

WHEN RECORDED, RETURN TO:

Jeff Calcagni
Toll Brothers, Inc.
250 Gibraltar Road
Horsham, Pennsylvania 19044

(Space above for Recorder's Use Only)

MUTUAL RESTRICTIVE COVENANT

THIS MUTUAL RESTRICTIVE COVENANT ("Covenant") is made this 14th day of November 2017, by and between Fieldstone Utah Investors, LLC, a Utah limited liability company as well as its successors and assigns, including with respect to the Additional Property as hereinafter defined ("Fieldstone") and Toll Southwest LLC, a Delaware limited liability company ("Toll"), each a ("Party") and together the ("Parties").

BACKGROUND

A. Fieldstone Hidden Canyon, LLC, as seller, and Toll (as successor in interest to Toll Bros., Inc.), as buyer, entered into that certain Purchase and Sale Agreement dated August 31, 2017 ("Original Agreement"), and that certain Addendum No. 1 to Purchase and Sale Agreement dated October 30, 2017, and that certain Addendum No. 2 to Purchase and Sale Agreement dated November 8, 2017 (collectively, the "Purchase Agreement") wherein Fieldstone Hidden Canyon, LLC, agreed to sell, and Toll agreed to purchase, the real property more particularly described in Exhibit A attached hereto and incorporated by this reference (the "Development Property"); and

B. Fieldstone is the owner of, or has the contractual right to purchase, certain real property adjacent to the Development Property (the "Retained Property") which consists of two parts: (i) the real property now owned by Fieldstone as more particularly described on Exhibit B hereto and incorporated by this reference (the "Owned Property"), and (ii) the real property which Fieldstone currently has the contractual right to purchase as more particularly described on Exhibit C attached hereto and incorporated by this reference (the "Additional Property"); and

C. The Parties desire to establish certain restrictive covenants to both benefit and burden the Development Property and the Retained Property subject to the conditions set forth herein.

NOW, THEREFORE, in consideration of the mutual covenants and promises set forth, the parties hereto, intending to be legally bound, do agree as follows:

1. Covenant. Fieldstone will not pursue any use of the Retained Property which is inconsistent with the uses identified in the current Preliminary Plat attached hereto as Exhibit D and incorporated herein by reference (the "Preliminary Plat"), which inconsistent use affects the

Development Property, without obtaining Toll’s prior written approval (i.e. if Fieldstone intends to develop the Retained Property in any manner other than as a residential site with up to one hundred seventy-six (176) “for sale” residential units, then Fieldstone will first obtain Toll’s prior written approval, not to be unreasonably withheld, conditioned or delayed). Similarly, Toll will not pursue any use of the Development Property which is inconsistent with the uses identified in the current Preliminary Plat (for the entire Development Property) or the Final Plat (for 39 Lots on the Development Property), which inconsistent use affects the Retained Property, without obtaining Fieldstone’s prior written approval (i.e. if Toll intends to develop the Development Property in any manner other than as a residential site with up to two hundred four (204) “for sale” residential units, then Toll will first obtain Fieldstone’s prior written approval, not to be unreasonably withheld, conditioned or delayed).

2. Recording. This Covenant shall be recorded against the Development Property and Retained Property in the office of the Utah County Recorder and the rights and obligations created by this Covenant shall become effective upon such recording, provided, however, that the Covenant shall only become effective as to the Additional Property immediately upon title to the same vesting in Fieldstone.

3. Binding Effect, Runs With the Land. The rights and privileges created hereby shall inure to the benefit of the parties, their heirs, successors, mortgagees, and assigns, and shall be covenants running with the land unaffected by any change in the ownership of the Development Property and the Retained Property, provided, however, that as to the Additional Property such rights and privileges shall only run with the land immediately upon title vesting in Fieldstone.

4. Notices. All communications, consents, and other notices provided for in this Covenant shall be in writing and shall be effective on the date hand delivered, sent by facsimile, or mailed by registered or certified mail, return receipt requested, postage prepaid, and addressed to the following address unless either party designates a different address in writing:

If to Toll:
Toll Southwest LLC
Attn.: Jeff Calcagni
250 Gibraltar Road
Horsham, Pennsylvania 19044

If to Fieldstone:
Fieldstone Utah Investors, LLC
Attn: Jason Harris
12896 S Pony Express Road, Suite 400
Draper, Utah 84020

5. Failure to Perform; Remedies. In the event of a default by Toll or Fieldstone which remains uncured for a period of fifteen (15) days or more after written notice of the same, the non-defaulting Party may seek any and all remedies permitted by law. In the event of any dispute between the parties regarding the enforcement or effect of this Covenant, the non-prevailing Party in any such dispute shall pay the prevailing Party's reasonable attorneys' fees and costs incurred.

6. Cooperation and Further Assurances. The Parties shall cooperate with each other and agree that the use and enjoyment of the Covenant created herein shall not interfere materially with either Party's development, use or enjoyment of the Development Property and the Retained Property. If so requested, each Party shall execute such additional documents, in recordable form,

to effectuate the purposes set forth herein.

7. Survival. If any term or provision of this Covenant or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Covenant, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected thereby, and each term and provision of this agreement shall be valid and be enforced to the fullest extent permitted by law.

8. Representations and Warranties. Each Party hereby represents and warrants to the other Party that it has the full right, power, title and interest to make the within covenant to the other Party, that in accordance with any instrument creating such Party as an entity, the terms and provisions of this Covenant are within the powers and authorities granted to such Party, and that the individuals executing this Covenant are fully authorized to do so by and on behalf of the Party for whom such signing Party is acting, provided that as to the Additional Property, the representations and warranties of Fieldstone will be effective only upon title to the Additional Property vesting in Fieldstone.

9. Counterpart Signatures. This Covenant may be executed in counterpart originals, and all executed counterparts shall, when taken together, constitute the entire Covenant.

10. Governing Law. This Covenant shall be interpreted and enforced in accordance with the laws of the State of Utah.

11. Amendment. This Covenant may not be modified, amended or terminated except in a writing signed by each Party hereto.

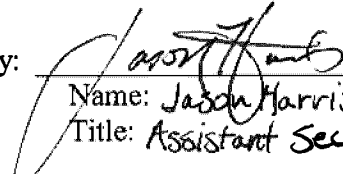
12. Entire Agreement. This Covenant contains the entire understanding of Toll and Fieldstone and supersedes all prior oral or written understandings relating to the covenant set forth in Section 1 above.

[Signatures follow]

The Parties have executed this Covenant to be effective as of the date first set forth above.

FIELDSTONE

FIELDSTONE UTAH INVESTORS, LLC,
a Utah limited liability company

By:  _____
Name: Jason Harris
Title: Assistant Secretary

TOLL

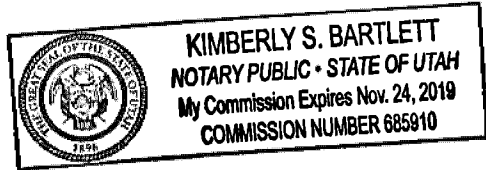
TOLL SOUTHWEST LLC, a Delaware
limited liability company

By: _____
Name:
Title:

STATE OF UTAH)
) : ss.
COUNTY OF SALT LAKE)

The foregoing instrument was acknowledged before me on this 14 day of November, 2017, by Jason Harris, the Assistant Secretary of Fieldstone Utah Investors, LLC, a Utah limited liability company.

[Signature]
Notary Public
My Commission Expires: 11/24/19



STATE OF UTAH)
) : ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me on this ____ day of _____, 2017, by _____, the _____ of Toll Southwest LLC, a Delaware limited liability company.

Notary Public
My Commission Expires:

The Parties have executed this Covenant to be effective as of the date first set forth above.

FIELDSTONE

FIELDSTONE UTAH INVESTORS, LLC,
a Utah limited liability company

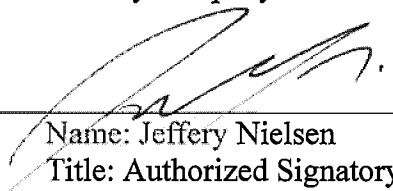
By: _____

Name:

Title:

TOLL

TOLL SOUTHWEST LLC, a Delaware
limited liability company

By:  _____

Name: Jeffery Nielsen

Title: Authorized Signatory

STATE OF UTAH)

) : ss.

COUNTY OF _____)

The foregoing instrument was acknowledged before me on this ____ day of _____, 2017, by _____, the _____ of Fieldstone Utah Investors, LLC, a Utah limited liability company.

Notary Public

My Commission Expires:

STATE OF Arizona)

) : ss.

COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me on this 13th day of November, 2017, by Jeffery Nielsen, the Authorized Signatory of Toll Southwest LLC, a Delaware limited liability company.

Corrine Suzanne Garcia

Notary Public

My Commission Expires: 3-18-2020



Exhibit ADevelopment Property

A portion of Section 19, Township 4 South, Range 1 East, Salt Lake Base & Meridian, Lehi, Utah, more particularly described as follows:

Beginning at the southeast corner of that Real Property described as Parcel 3 in Deed Entry 67264:2011 of the Official Records of Utah County, coincident with the northeast corner of EAGLE SUMMIT Subdivision 6A, according to the Official plat thereof on file in the Office of the Utah County Recorder located West 5,259.79 feet and North 6,662.01 feet from the Southeast Corner of Section 30, T4S, R1E, S.L.B. & M. (Basis of Bearing: N0°17'58"W along the Section line from said Southeast Corner to the East ¼ Corner of said Section 30), said point is also described as being N0°11'19"E along the Section line 1,291.05 feet and East 1,007.52 feet from the Southwest Corner of Section 19, T4S, R1E, S.L.B. & M.; thence Northeasterly along the arc of a 388.00 foot radius non-tangent curve (radius bears: N66°20'10"W) 75.42 feet through a central angle of 11°08'13" (chord: N18°05'43"E 75.30 feet); thence S75°54'23"E 96.16 feet; thence N8°16'45"E 119.81 feet; thence N7°25'00"W 89.47 feet, the previous 4 (four) courses along said deed; thence N66°46'43"E 1,275.96 feet; thence N31°43'56"E 32.56 feet; thence N58°15'57"W 99.00 feet; thence N31°44'03"E 1,453.54 feet; thence N3°52'57"E 892.49 feet; thence S71°13'07"E 772.84 feet; thence N83°47'25"E 52.08 feet; thence S70°44'20"E 112.82 feet; thence S19°11'42"W 240.00 feet; thence S70°52'34"E 113.10 feet; thence S30°48'17"E 73.19 feet; thence S70°52'34"E 114.33 feet; thence S62°47'54"E 128.83 feet; thence N83°57'50"E 65.54 feet; thence S66°33'44"E 177.40 feet; thence S64°15'06"E 385.89 feet; thence S55°06'25"E 121.62 feet; thence S57°20'42"W 457.05 feet; thence S14°04'26"E 504.71 feet; thence S13°08'06"W 724.54 feet; thence S39°20'18"W 765.65 feet; thence S68°30'56"E 150.67 feet to that Real Property described in Deed Entry No. 16062:2013; thence South along said deed 112.73 feet; thence West along said deed 104.95 feet to lands of Lehi City described in Deed Entry No. 148673:2006 of the Official Records; thence along said deed the following 4 (four) courses and distances: N11°39'19"W 43.98 feet; thence N64°04'00"W 102.30 feet; thence S81°46'14"W 105.65 feet; thence S57°49'29"W 174.31 feet to lands of Lehi City described in Deed Entry No. 19257:2005 of the Official Records; thence N56°26'01"W along said deed 255.04 feet to lands of Lehi City described in Deed Entry No. 19258:2005 of the Official Records; thence N47°10'18"W along said deed 176.16 feet to that Real Property described as Parcel 2 in Deed Entry No. 67264:2011 of the Official Records; thence along said deed the following 11 (eleven) courses and distances: N23°24'02"W 166.68 feet; thence N45°00'00"W 280.17 feet; thence N20°59'46"E 38.40 feet; thence along the arc of an 89.00 foot radius curve to the left 158.52 feet through a central angle of 102°02'59" (chord: N30°01'44"W 138.38 feet); thence N81°03'14"W 22.81 feet; thence along the arc of a 15.00 foot radius curve to the right 21.92 feet through a central angle of 83°44'11" (chord: N39°11'08"W 20.02 feet); thence Southwesterly along the arc of a 303.00 foot radius non-tangent curve (radius bears: N87°19'03"W) 395.80 feet through a central angle of 74°50'36" (chord: S40°06'15"W 368.25 feet); thence S77°31'33"W 127.92 feet; thence along the arc of a 172.00 foot radius curve to the left 343.83 feet through a central angle of 114°32'03" (chord: S20°15'32"W 289.37 feet); thence S37°00'30"E 154.70 feet; thence along the arc of a 228.00 foot radius curve to the right 167.58 feet through a central of 42°06'45" (chord: S15°57'08"E 163.83 feet) to the north line of that Real Property described in Deed Entry No. 16062:2013 of the Official Records; thence S84°09'17"W along said deed 3.77 feet; thence N89°01'44"W along said deed 8.89 feet; thence N82°59'07"W 44.31 feet along the extension of, and along the northeasterly terminus of FOX CANYON ROAD DEDICATION PLAT NO. 2, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence along said Dedication Plat: Southwesterly along the arc of a 170.00 foot radius non-tangent curve (radius bears: N82°59'07"W) 88.57 feet through a central angle of 29°51'00" (chord: S21°56'23"W 87.57 feet) to the northerly line of a portion of that Real Property described in Deed Entry No. 54471:2013 of the Official Records of Utah County; thence along said deed the following 3 (three) courses and distances: N75°36'45"W 4.28 feet; thence

Northeasterly along the arc of a 166.00 foot radius non-tangent curve (radius bears: N52°36'27"W) 23.83 feet through a central angle of 8°13'30" (chord: N33°16'48"E 23.81 feet); thence N76°02'31"W 1,622.97 feet along the extension of, and along said deed to the southeasterly line of said EAGLE SUMMIT Subdivision 6A; thence Northeasterly along the arc of a 388.00 foot radius non-tangent curve (radius bears: N66°19'59"W) 0.08 feet through a central angle of 0°00'43" (chord: N23°39'40"E 0.08 feet) to the point of beginning.

(11:013:0186)

Less and Excepting the following two parcels of land owned by Perry Land Investments, LLC:
Commencing North 6484.32 feet and West 4183.82 feet from Southeast Corner of Section 30, Township 4 South, Range 1 East, Salt Lake Base and Meridian; along a curve to the right (chord bears: North 84°34'12" West 79.9 feet, radius = 272 feet) arc length = 80.19 feet; thence North 76°7'28" West 645.63 feet; thence North 16°13'13" East 368.29 feet; thence South 77°2'55" East 818.56 feet; thence South 30°17'36" West 385.15 feet to the point of beginning.

(11:013:0107)

Commencing North 6808.07 feet and West 3951.49 feet from Southeast Corner of Section 30, Township 4 South, Range 1 East, Salt Lake Base and Meridian; thence North 392.76 feet; thence North 45°0'0" East 468.11 feet; thence East 148.39 feet; along a curve to the Left (chord bears: South 25°6'55" East 195.61 feet, radius = 428 feet); along a curve to the Right (chord bears: South 19°36'2" West 418.59 feet, radius = 247 feet); thence South 77°31'33" West 127.92 feet; along a curve to the Left (chord bears: South 54°52'7" West 175.66 feet, radius = 228 feet); along a curve to the Right (chord bears: South 67°19'21" West 17.25 feet, radius = 15 feet); along a curve to the Left (chord bears: South 82°58'46" West 138.55 feet, radius = 208 feet) to the point of beginning.

(11:013:0151)

Also, Less and Excepting that portion of land conveyed to Perry Land Investments, LLC, a Utah limited liability company by that certain Quit Claim Deed dated August 12, 2016, by and between, Fieldstone Hidden Canyon, LLC as (Grantor) and Perry Land Investments, LLC, a Utah limited liability company as (Grantee), recorded August 12, 2016, as Entry No. 76477:2016.

(11:013:0185)

Exhibit "B"

Owned Property

A portion of Section 19, Township 4 South, Range 1 East, Salt Lake Base & Meridian, Lehi, Utah, more particularly described as follows:

Beginning at a point located North 8,982.54 feet and West 2,143.54 feet from the Southeast Corner of Section of Section 30, T4S, R1E, S.L.B.& M. (Basis of Bearing: N0°17'58"W along the Section line from said Southeast Corner to the East ¼ Corner of said Section 30); thence N70°52'34"W 114.33 feet; thence N30°48'17"W 73.19 feet; thence N70°52'34"W 113.10 feet; thence N19°11'42"E 240.00 feet; thence N70°44'20"W 112.82 feet; thence S83°47'25"W 52.08 feet; thence N71°13'07"W 259.10 feet; thence N19°15'40"E 124.13 feet; thence N21°49'57"W 74.31 feet; thence N19°15'45"E 146.15 feet; thence S62°53'41"E 95.61 feet; thence S78°20'46"E 56.48 feet; thence S70°52'34"E 438.17 feet; thence S5°05'24"E 114.59 feet; thence S70°52'34"E 123.38 feet; thence S19°07'26"W 400.00 feet; thence S25°37'12"W 80.02 feet to the point of beginning.

Contains: 6.59+/- acres

Exhibit "C"Additional Property

A portion of Section 19, Township 4 South, Range 1 East, Salt Lake Base & Meridian, Lehi, Utah, more particularly described as follows:

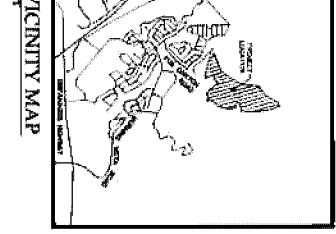
Beginning at a point located North 8,622.77 feet and West 1,353.69 feet from the Southeast Corner of Section of Section 30, T4S, R1E, S.L.B. & M. (Basis of Bearing: N0°17'58"W along the Section line from said Southeast Corner to the East ¼ Corner of said Section 30); thence N55°06'25"W 121.61 feet; thence N64°15'06"W 385.89 feet; thence N66°33'44"W 177.40 feet; thence S83°57'50"W 65.54 feet; thence N62°47'54"W 128.84 feet; thence N25°37'12"E 80.02 feet; thence N19°07'26"E 400.00 feet; thence N70°52'34"W 123.38 feet; thence N05°05'24"W 114.59 feet; thence N70°52'34"W 438.17 feet; thence N78°20'46"W 56.48 feet; thence N62°53'41"W 95.60 feet; thence S19°15'45"W 146.15 feet; thence S21°49'57"E 74.31 feet; thence S19°15'40"W 124.13 feet; thence N71°13'07"W 513.75 feet; thence N03°52'57"E 233.92 feet; thence N55°46'59"E 581.42 feet; thence N17°24'12"E 389.56 feet; thence N28°21'02"E 226.84 feet; thence N41°18'48"E 661.68 feet; thence N59°01'31"E 312.98 feet; thence S20°46'01"E 868.04 feet; thence S09°07'38"E 917.41 feet; thence S01°23'13"W 1,076.85 feet to the point of beginning.

Contains: 58.78 acres+/-

Exhibit D

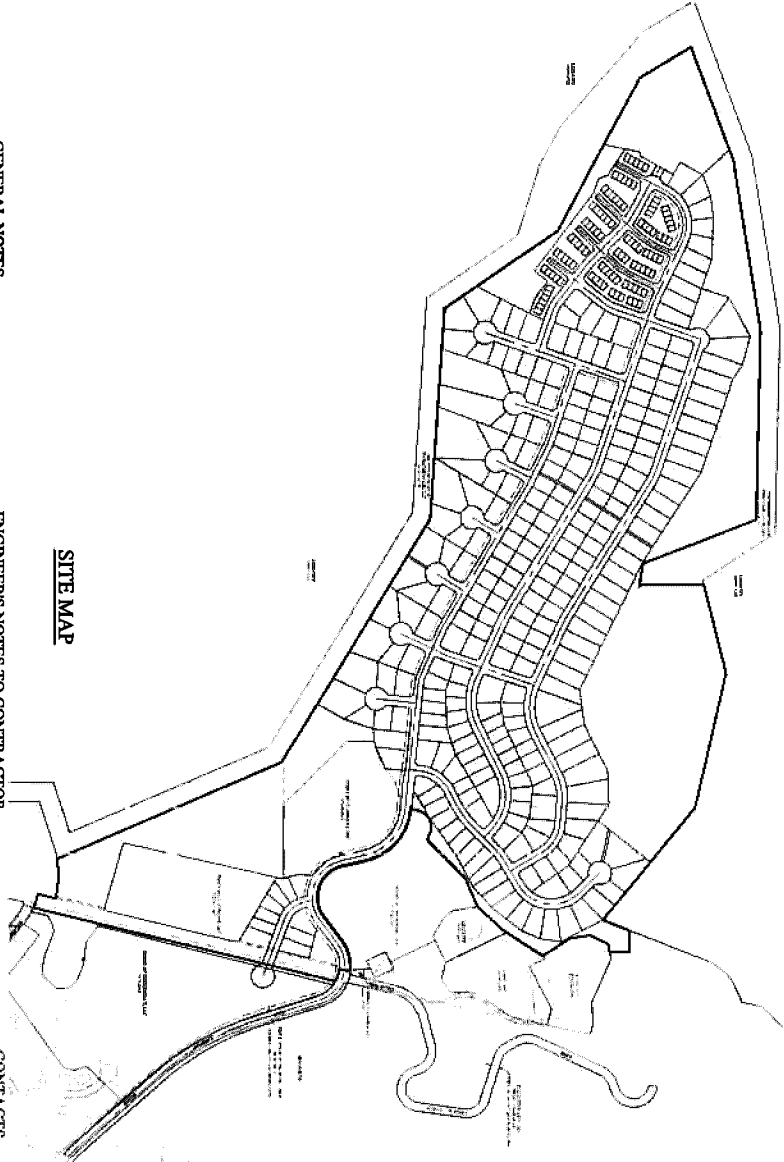
Preliminary Plat

[see attached]



HIDDEN CANYON RESIDENTIAL SUBDIVISION

PREPARED FOR:
FIELDSTONE HOMES
LOCATED IN:
LEHI, UTAH



SITE MAP

Sheet Number	Sheet Title
C1	Cover
C2.1	Preliminary Plat
C2.2	Preliminary Plat
C2.3	Preliminary Plat
C2.4	Preliminary Plat
C3.1	Site Plan
C3.2	Site Plan
C3.3	Site Plan
C4.1	Utility Plan
C4.2	Utility Plan
C4.3	Utility Plan
C5.1	Grading Plan
C5.2	Grading Plan
C5.3	Grading Plan
C6.2	Drainage Plan
C6.3	Drainage Plan
C7	Cut and Fill Plan
C8	Phasing Plan
C9	Landscape and Amenities Plan

GENERAL NOTES

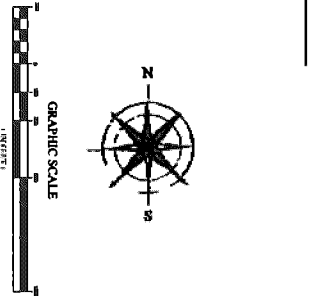
1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS AND BEING ANY DISCREPANCIES TO THE ENGINEER.
2. ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE REPORTED TO THE PROJECT ATTENTION NUMBER TO COMMENCEMENT OF CONSTRUCTION.
3. ALL CONSTRUCTION SHALL ADHERE TO LEHI CITY STREETS PLANS AND SPECIFICATIONS.
4. ALL UTILITIES SHALL BE APPROPRIATELY SHOWN ON THE PLAN. FIELD SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. FIELD SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. FIELD SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

1. THE ENGINEER HAS CONDUCTED VISUAL FIELD CHECKS ON THE PROPOSED ROAD ALIGNMENT, THERE ARE NO EXISTING UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
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4. ALL CONSTRUCTION SHALL ADHERE TO LEHI CITY STREETS PLANS AND SPECIFICATIONS.

CONTACTS

ENGINEER: FIELDSTONE HOMES
 PROJECT ATTENTION NUMBER: 113184
 PROJECT ATTENTION NUMBER: 113184
 PROJECT ATTENTION NUMBER: 113184



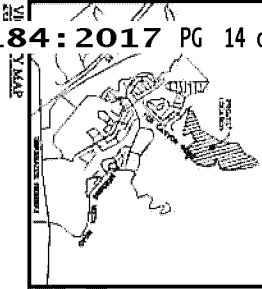
REVISION	DATE	DESCRIPTION
1	11/15/17	ISSUED FOR PERMIT

HIDDEN CANYON RESIDENTIAL SUBDIVISION
 LEHI, UTAH
 Cover



FOCUS
 ENGINEERING AND SURVEYING, LLC
 80 WEST 2300 SOUTH
 SANDY, UTAH 84070 P.O. BOX 1252-0075
 www.FocusUtah.com

COVER
 C1

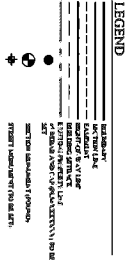


CENTRAL CANYON
 PRELIMINARY PLAT - NOT TO BE RECORDED
 LOCATED IN SECTIONS 19 & 18, T4S, R1E, S18&M
 LEHI, UTAH

MARKET VALUE	DATE	APPROXIMATE	APPROXIMATE	APPROXIMATE
MARKET VALUE	DATE	APPROXIMATE	APPROXIMATE	APPROXIMATE
41	10/12/01	6.000	34.000	34.000
42	10/12/01	6.000	34.000	34.000
43	10/12/01	6.000	34.000	34.000
44	10/12/01	6.000	34.000	34.000
45	10/12/01	6.000	34.000	34.000
46	10/12/01	6.000	34.000	34.000
47	10/12/01	6.000	34.000	34.000
48	10/12/01	6.000	34.000	34.000
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56	10/12/01	6.000	34.000	34.000
57	10/12/01	6.000	34.000	34.000
58	10/12/01	6.000	34.000	34.000
59	10/12/01	6.000	34.000	34.000
60	10/12/01	6.000	34.000	34.000

MARKET VALUE	DATE	APPROXIMATE	APPROXIMATE	APPROXIMATE
MARKET VALUE	DATE	APPROXIMATE	APPROXIMATE	APPROXIMATE
61	10/12/01	6.000	34.000	34.000
62	10/12/01	6.000	34.000	34.000
63	10/12/01	6.000	34.000	34.000
64	10/12/01	6.000	34.000	34.000
65	10/12/01	6.000	34.000	34.000
66	10/12/01	6.000	34.000	34.000
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73	10/12/01	6.000	34.000	34.000
74	10/12/01	6.000	34.000	34.000
75	10/12/01	6.000	34.000	34.000
76	10/12/01	6.000	34.000	34.000
77	10/12/01	6.000	34.000	34.000
78	10/12/01	6.000	34.000	34.000
79	10/12/01	6.000	34.000	34.000
80	10/12/01	6.000	34.000	34.000

MARKET VALUE	DATE	APPROXIMATE	APPROXIMATE	APPROXIMATE
MARKET VALUE	DATE	APPROXIMATE	APPROXIMATE	APPROXIMATE
81	10/12/01	6.000	34.000	34.000
82	10/12/01	6.000	34.000	34.000
83	10/12/01	6.000	34.000	34.000
84	10/12/01	6.000	34.000	34.000
85	10/12/01	6.000	34.000	34.000
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98	10/12/01	6.000	34.000	34.000
99	10/12/01	6.000	34.000	34.000
100	10/12/01	6.000	34.000	34.000



FIELD NOTES:
 The field notes for this project are located in the project folder on the hard drive of the surveyor. The field notes contain a detailed description of the survey process, including the dates, times, and locations of the observations. The field notes also contain a description of the surveying methods used, including the type of instrument used and the type of observations made. The field notes are an important part of the surveying record and should be kept for future reference.

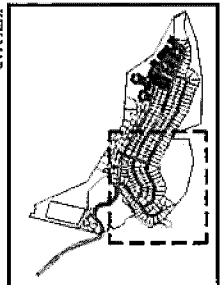
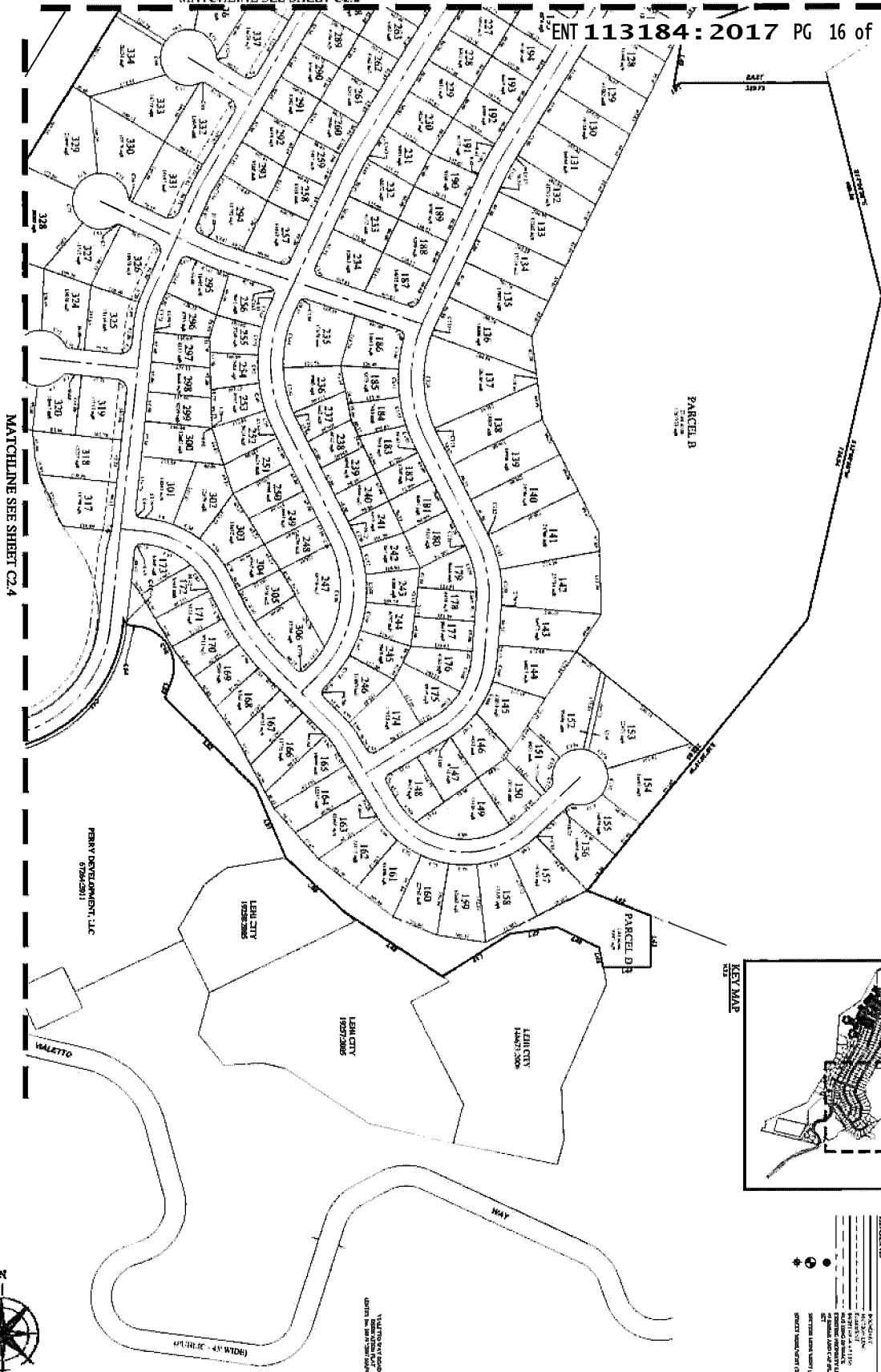
NOTES:
 1. The field notes for this project are located in the project folder on the hard drive of the surveyor. The field notes contain a detailed description of the survey process, including the dates, times, and locations of the observations. The field notes also contain a description of the surveying methods used, including the type of instrument used and the type of observations made. The field notes are an important part of the surveying record and should be kept for future reference.
 2. The field notes for this project are located in the project folder on the hard drive of the surveyor. The field notes contain a detailed description of the survey process, including the dates, times, and locations of the observations. The field notes also contain a description of the surveying methods used, including the type of instrument used and the type of observations made. The field notes are an important part of the surveying record and should be kept for future reference.
 3. The field notes for this project are located in the project folder on the hard drive of the surveyor. The field notes contain a detailed description of the survey process, including the dates, times, and locations of the observations. The field notes also contain a description of the surveying methods used, including the type of instrument used and the type of observations made. The field notes are an important part of the surveying record and should be kept for future reference.

PRELIMINARY PLAT

HIDDEN CANYON RESIDENTIAL SUBDIVISION
 LEHI, UTAH
 Preliminary Plat



FOCUS
 ENGINEERING AND SURVEYING, LLC
 305 N. 1200 W. SUITE 200
 LEHI, UTAH 84040-5000
 (801) 434-4444
 www.focusus.com



LEGEND

	PROPOSED
	EASEMENT
	RIGHT OF WAY
	EASEMENT FOR UTILITY
	EASEMENT FOR ACCESS
	EASEMENT FOR DRIVEWAY
	EASEMENT FOR STORM SEWER
	EASEMENT FOR WATER
	EASEMENT FOR SEWER
	EASEMENT FOR GAS
	EASEMENT FOR ELECTRIC
	EASEMENT FOR TELEPHONE
	EASEMENT FOR CABLE TV

THESE PLATS WERE PREPARED BY AN ENGINEER REGISTERED IN THE STATE OF UTAH. THESE PLATS ARE VALID ONLY AS SHOWN HEREON.

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED	08/15/2017	ASD	ASD
2	REVISED	08/15/2017	ASD	ASD

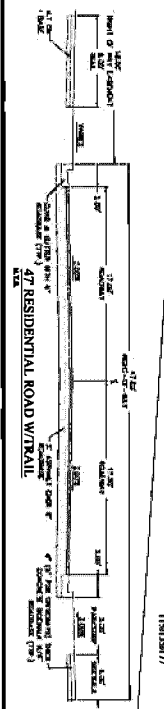
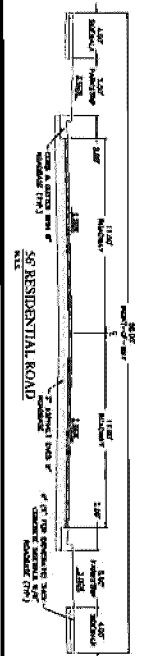
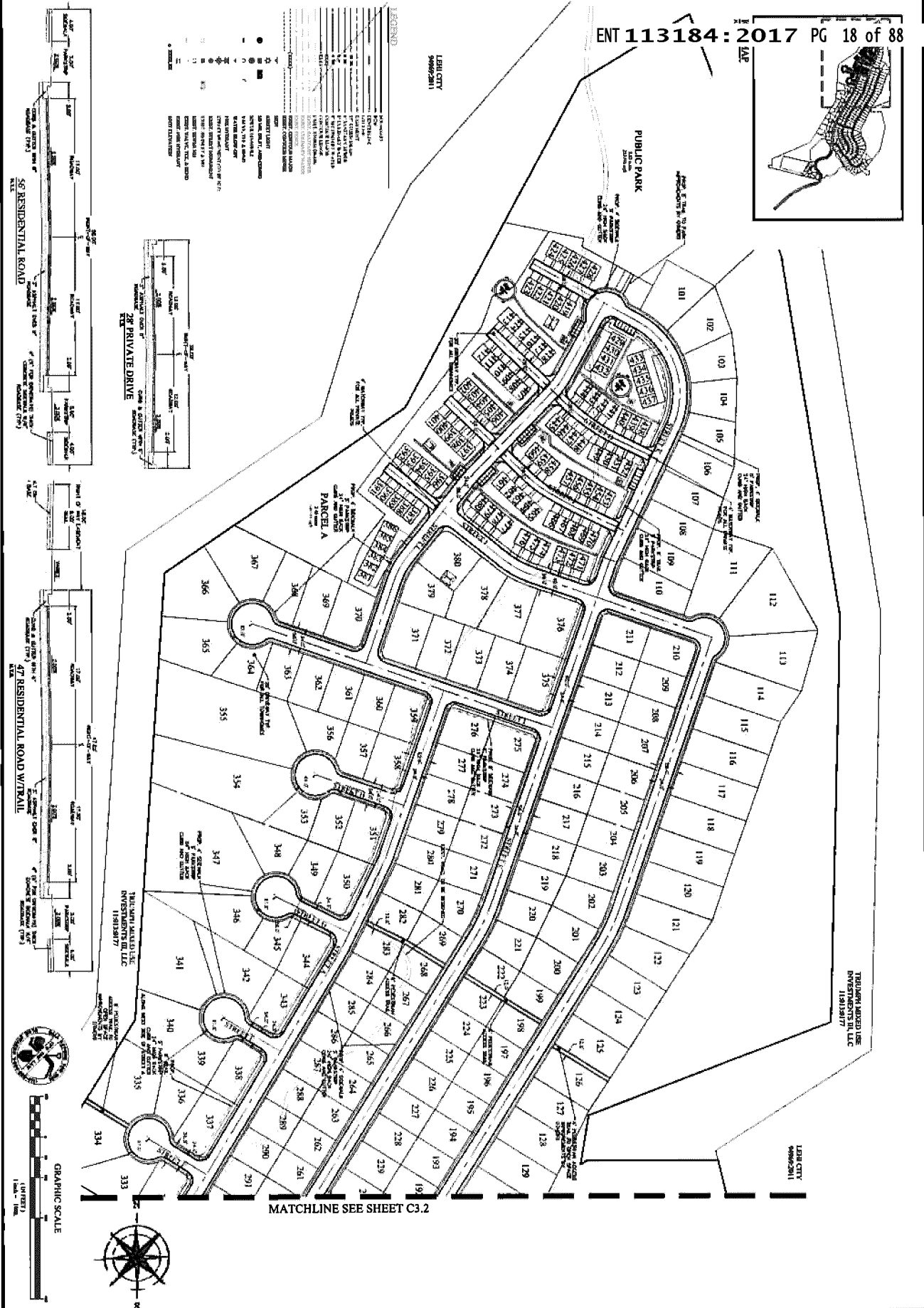
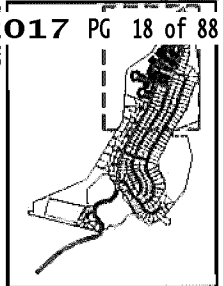
PRELIMINARY PLAT

C2.3

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Preliminary Plat



FOCUS
ENGINEERING AND SURVEYING, LLC
 11570 W. BEAR WASH. BLVD. SUITE 500
 SANDY, UT 84070-2202 P: 801-581-4444 F: 801-581-4444
 www.focusutah.com



LEGEND

EXISTING

- Lot Boundary
- Street Right-of-Way
- Public Park
- Lehi City
- Lehi City Manager
- Parcel A
- Parcel B
- Parcel C
- Parcel D
- Parcel E
- Parcel F
- Parcel G
- Parcel H
- Parcel I
- Parcel J
- Parcel K
- Parcel L
- Parcel M
- Parcel N
- Parcel O
- Parcel P
- Parcel Q
- Parcel R
- Parcel S
- Parcel T
- Parcel U
- Parcel V
- Parcel W
- Parcel X
- Parcel Y
- Parcel Z

PROPOSED

- Proposed Lot Boundary
- Proposed Street Right-of-Way
- Proposed Public Park
- Proposed Lehi City
- Proposed Lehi City Manager
- Proposed Parcel A
- Proposed Parcel B
- Proposed Parcel C
- Proposed Parcel D
- Proposed Parcel E
- Proposed Parcel F
- Proposed Parcel G
- Proposed Parcel H
- Proposed Parcel I
- Proposed Parcel J
- Proposed Parcel K
- Proposed Parcel L
- Proposed Parcel M
- Proposed Parcel N
- Proposed Parcel O
- Proposed Parcel P
- Proposed Parcel Q
- Proposed Parcel R
- Proposed Parcel S
- Proposed Parcel T
- Proposed Parcel U
- Proposed Parcel V
- Proposed Parcel W
- Proposed Parcel X
- Proposed Parcel Y
- Proposed Parcel Z

GRAPHIC SCALE

1" = 100'

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	11/15/17	JK
2	REVISED	12/15/17	JK
3	REVISED	01/15/18	JK
4	REVISED	02/15/18	JK
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6	REVISED	04/15/18	JK
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49	REVISED	11/15/21	JK
50	REVISED	12/15/21	JK

HIDDEN CANYON RESIDENTIAL SUBDIVISION

LEHI, UTAH

Site Plan



FOCUS

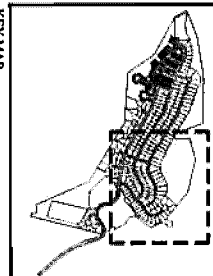
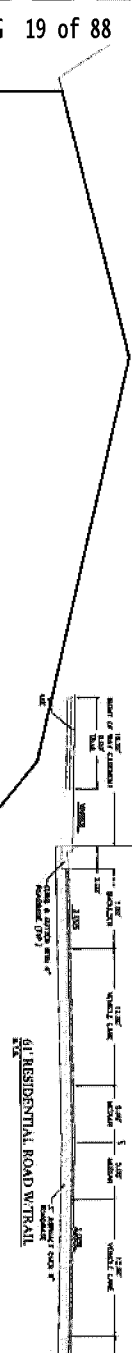
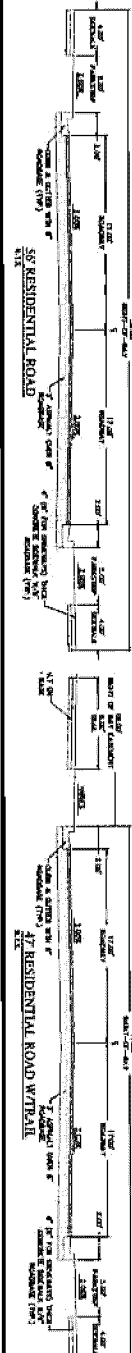
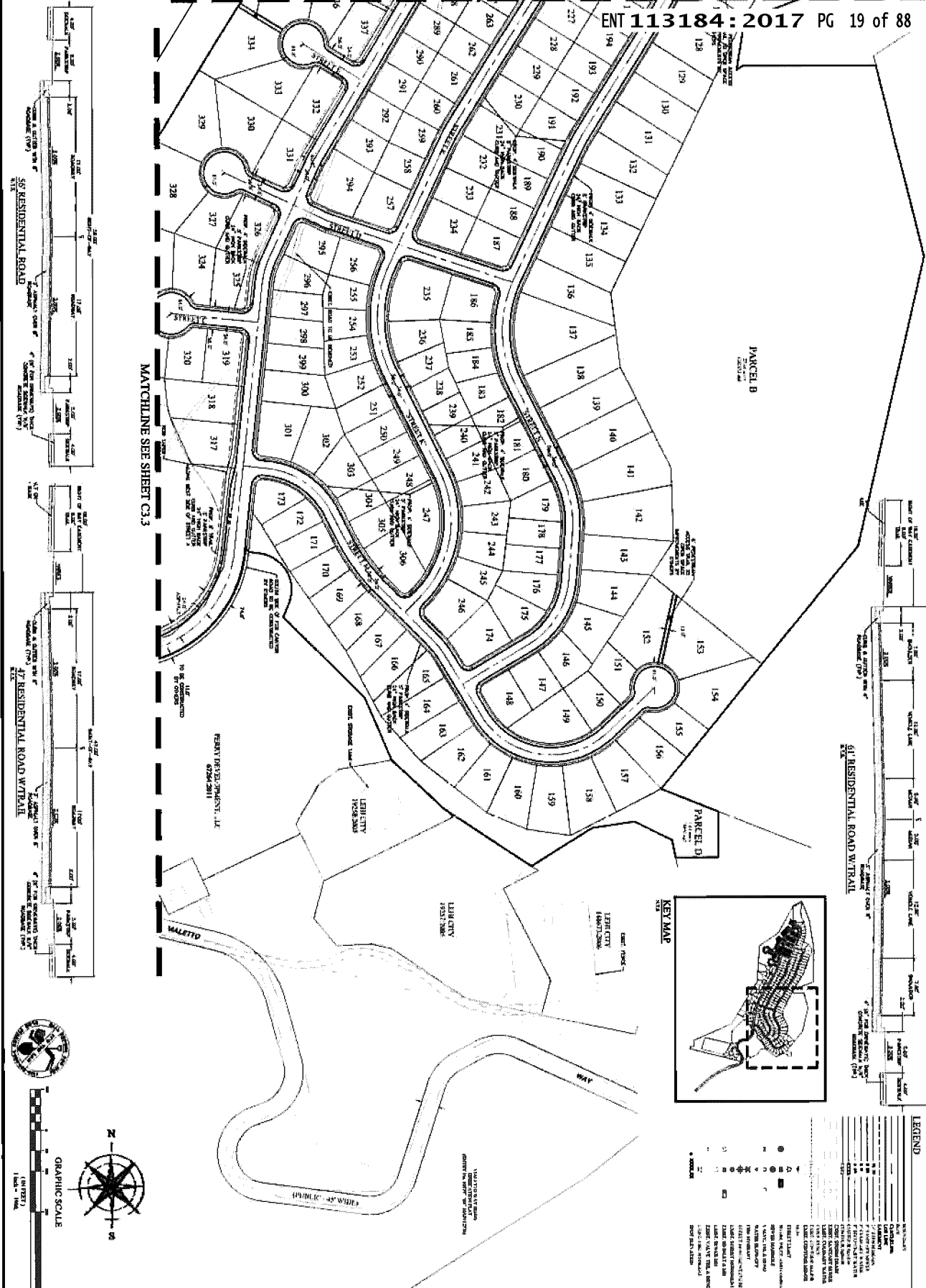
ENGINEERING AND SURVEYING, LLC

1100 W. 1000 S. SUITE 200

SAN JUAN, UTAH 84088

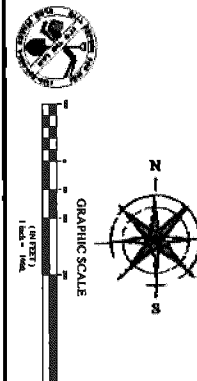
TEL: (435) 335-6055

WWW.FOCUSUTAH.COM



LEGEND

Symbol	Description
Circle with dot	Water Main
Circle with cross	Sewer Main
Circle with triangle	Gas Main
Circle with square	Electric
Circle with diamond	Telephone
Circle with asterisk	Fire Hydrant
Circle with plus	Manhole
Circle with X	Valve
Circle with dot and cross	Water Meter
Circle with cross and triangle	Sewer Meter
Circle with triangle and square	Gas Meter
Circle with square and diamond	Electric Meter
Circle with diamond and asterisk	Telephone Meter
Circle with asterisk and plus	Fire Hydrant
Circle with plus and X	Manhole
Circle with X and dot	Valve
Circle with dot and cross	Water Meter
Circle with cross and triangle	Sewer Meter
Circle with triangle and square	Gas Meter
Circle with square and diamond	Electric Meter
Circle with diamond and asterisk	Telephone Meter



REVISION BLOCK

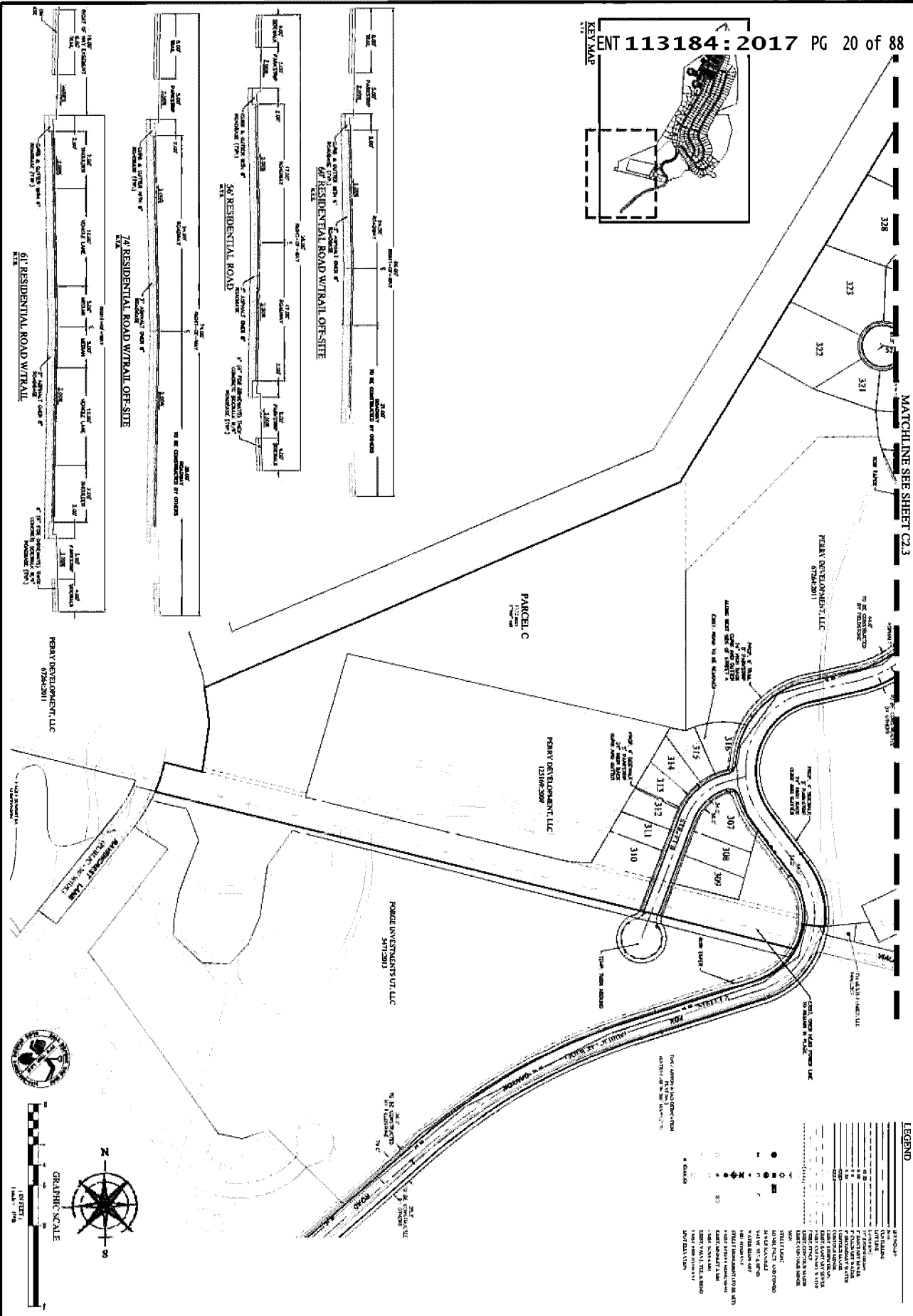
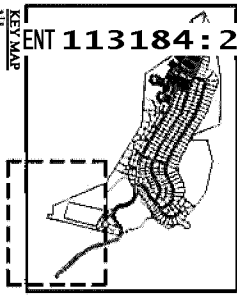
No.	Description	Date

SITE PLAN

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Site Plan



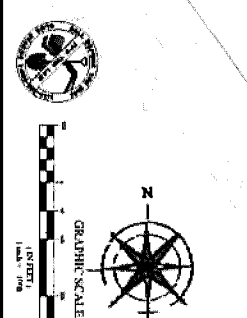
FOCUS
ENGINEERING AND SURVEYING, LLC
 12345 MAIN STREET, SUITE 100
 SANDY, UTAH 84070 TEL: (801) 332-0075
 www.focuseng.com



MATCHLINE SEE SHEET C3.3

LEGEND

Symbol	Description
Circle with dot	3" DIA. WATER MAIN
Circle with cross	6" DIA. WATER MAIN
Circle with plus	12" DIA. WATER MAIN
Circle with asterisk	18" DIA. WATER MAIN
Circle with X	24" DIA. WATER MAIN
Circle with diamond	30" DIA. WATER MAIN
Circle with square	36" DIA. WATER MAIN
Circle with triangle	42" DIA. WATER MAIN
Circle with circle	48" DIA. WATER MAIN
Circle with square	54" DIA. WATER MAIN
Circle with triangle	60" DIA. WATER MAIN
Circle with circle	66" DIA. WATER MAIN
Circle with square	72" DIA. WATER MAIN
Circle with triangle	78" DIA. WATER MAIN
Circle with circle	84" DIA. WATER MAIN
Circle with square	90" DIA. WATER MAIN
Circle with triangle	96" DIA. WATER MAIN
Circle with circle	102" DIA. WATER MAIN
Circle with square	108" DIA. WATER MAIN
Circle with triangle	114" DIA. WATER MAIN
Circle with circle	120" DIA. WATER MAIN
Circle with square	126" DIA. WATER MAIN
Circle with triangle	132" DIA. WATER MAIN
Circle with circle	138" DIA. WATER MAIN
Circle with square	144" DIA. WATER MAIN
Circle with triangle	150" DIA. WATER MAIN
Circle with circle	156" DIA. WATER MAIN
Circle with square	162" DIA. WATER MAIN
Circle with triangle	168" DIA. WATER MAIN
Circle with circle	174" DIA. WATER MAIN
Circle with square	180" DIA. WATER MAIN
Circle with triangle	186" DIA. WATER MAIN
Circle with circle	192" DIA. WATER MAIN
Circle with square	198" DIA. WATER MAIN
Circle with triangle	204" DIA. WATER MAIN
Circle with circle	210" DIA. WATER MAIN
Circle with square	216" DIA. WATER MAIN
Circle with triangle	222" DIA. WATER MAIN
Circle with circle	228" DIA. WATER MAIN
Circle with square	234" DIA. WATER MAIN
Circle with triangle	240" DIA. WATER MAIN
Circle with circle	246" DIA. WATER MAIN
Circle with square	252" DIA. WATER MAIN
Circle with triangle	258" DIA. WATER MAIN
Circle with circle	264" DIA. WATER MAIN
Circle with square	270" DIA. WATER MAIN
Circle with triangle	276" DIA. WATER MAIN
Circle with circle	282" DIA. WATER MAIN
Circle with square	288" DIA. WATER MAIN
Circle with triangle	294" DIA. WATER MAIN
Circle with circle	300" DIA. WATER MAIN
Circle with square	306" DIA. WATER MAIN
Circle with triangle	312" DIA. WATER MAIN
Circle with circle	318" DIA. WATER MAIN
Circle with square	324" DIA. WATER MAIN
Circle with triangle	330" DIA. WATER MAIN
Circle with circle	336" DIA. WATER MAIN
Circle with square	342" DIA. WATER MAIN
Circle with triangle	348" DIA. WATER MAIN
Circle with circle	354" DIA. WATER MAIN
Circle with square	360" DIA. WATER MAIN
Circle with triangle	366" DIA. WATER MAIN
Circle with circle	372" DIA. WATER MAIN
Circle with square	378" DIA. WATER MAIN
Circle with triangle	384" DIA. WATER MAIN
Circle with circle	390" DIA. WATER MAIN
Circle with square	396" DIA. WATER MAIN
Circle with triangle	402" DIA. WATER MAIN
Circle with circle	408" DIA. WATER MAIN
Circle with square	414" DIA. WATER MAIN
Circle with triangle	420" DIA. WATER MAIN
Circle with circle	426" DIA. WATER MAIN
Circle with square	432" DIA. WATER MAIN
Circle with triangle	438" DIA. WATER MAIN
Circle with circle	444" DIA. WATER MAIN
Circle with square	450" DIA. WATER MAIN
Circle with triangle	456" DIA. WATER MAIN
Circle with circle	462" DIA. WATER MAIN
Circle with square	468" DIA. WATER MAIN
Circle with triangle	474" DIA. WATER MAIN
Circle with circle	480" DIA. WATER MAIN
Circle with square	486" DIA. WATER MAIN
Circle with triangle	492" DIA. WATER MAIN
Circle with circle	498" DIA. WATER MAIN
Circle with square	504" DIA. WATER MAIN
Circle with triangle	510" DIA. WATER MAIN
Circle with circle	516" DIA. WATER MAIN
Circle with square	522" DIA. WATER MAIN
Circle with triangle	528" DIA. WATER MAIN
Circle with circle	534" DIA. WATER MAIN
Circle with square	540" DIA. WATER MAIN
Circle with triangle	546" DIA. WATER MAIN
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Circle with triangle	600" DIA. WATER MAIN
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Circle with triangle	618" DIA. WATER MAIN
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Circle with circle	714" DIA. WATER MAIN
Circle with square	720" DIA. WATER MAIN
Circle with triangle	726" DIA. WATER MAIN
Circle with circle	732" DIA. WATER MAIN
Circle with square	738" DIA. WATER MAIN
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Circle with triangle	798" DIA. WATER MAIN
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Circle with triangle	816" DIA. WATER MAIN
Circle with circle	822" DIA. WATER MAIN
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Circle with square	864" DIA. WATER MAIN
Circle with triangle	870" DIA. WATER MAIN
Circle with circle	876" DIA. WATER MAIN
Circle with square	882" DIA. WATER MAIN
Circle with triangle	888" DIA. WATER MAIN
Circle with circle	894" DIA. WATER MAIN
Circle with square	900" DIA. WATER MAIN



DATE	DESCRIPTION
11/13/18	ISSUED FOR PERMITS
11/13/18	ISSUED FOR CONSTRUCTION
11/13/18	ISSUED FOR RECORD

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/13/18
2	ISSUED FOR CONSTRUCTION	11/13/18
3	ISSUED FOR RECORD	11/13/18

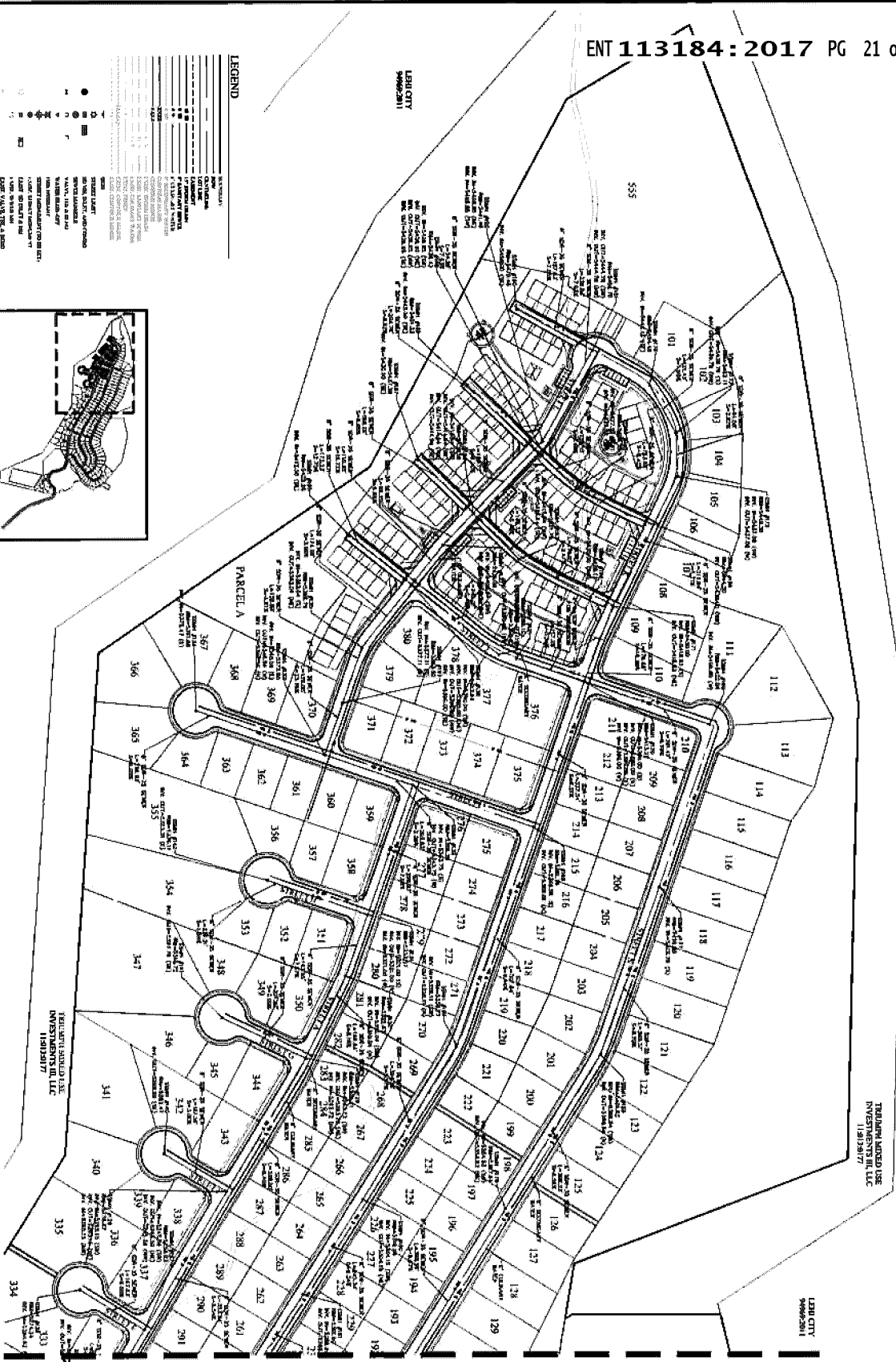
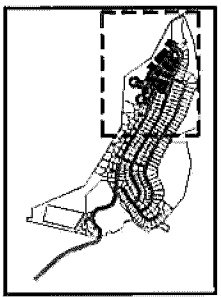
HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Site Plan



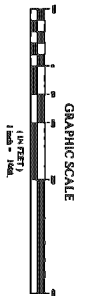
FOCUS
ENGINEERING AND SURVEYING, LLC
503 WFYF 8540 SOUTH
SANDY, UT 84088 | TEL: 313-555-0074
www.focuseng.com

LEGEND

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	1002\"



MATCHLINE SEE SHEET C4.2



C4.1

UTILITY PLAN

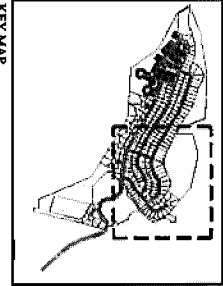
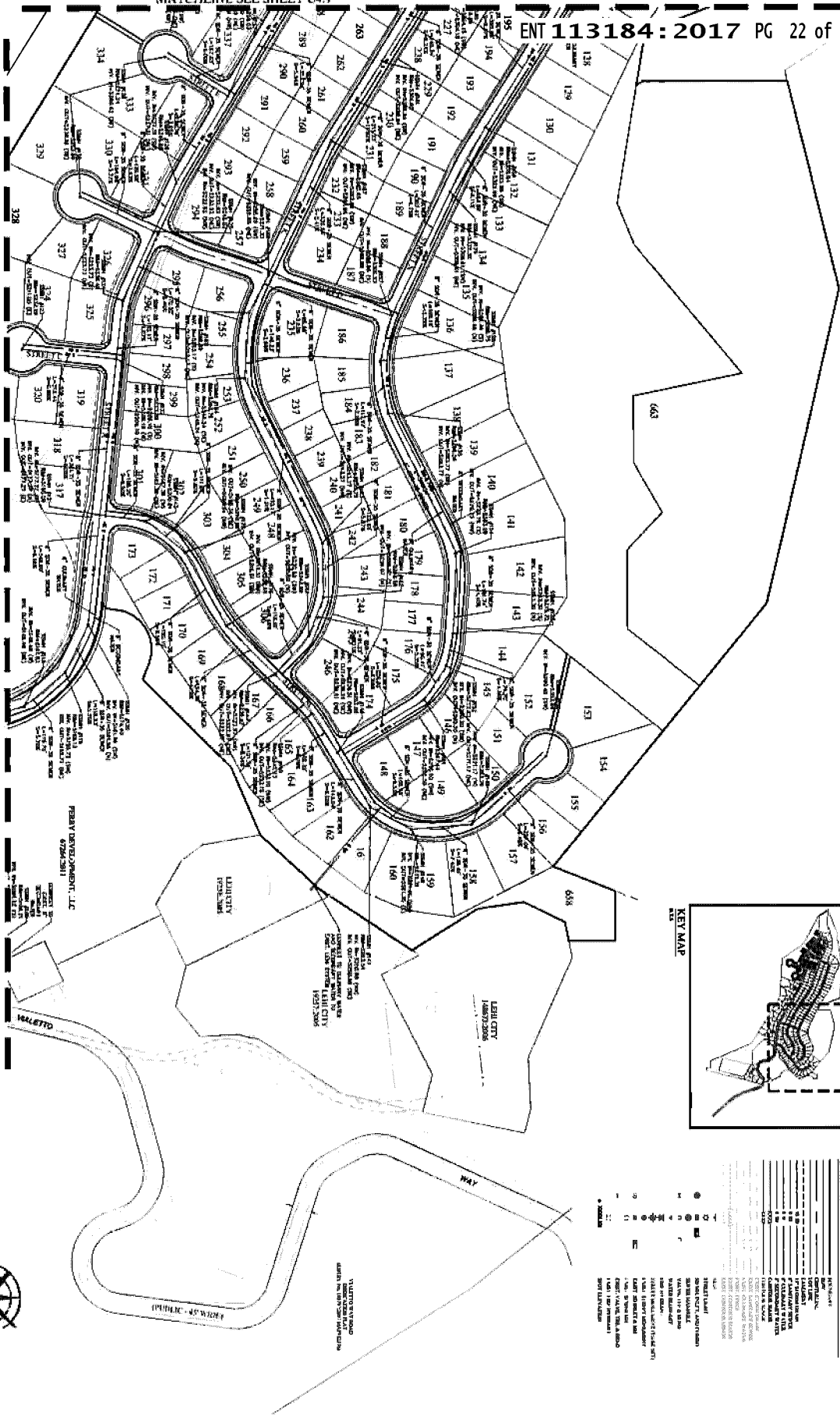
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Sheet No.	21
Date	11/13/17
Scale	AS SHOWN
Author	
Checker	
Engineer	

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Utility Plan



FOCUS
 ENGINEERING AND SURVEYING, LLC
 212 WEST 100 SOUTH
 SANDY, UT 84070
 (801) 253-5500
 www.focuseng.com

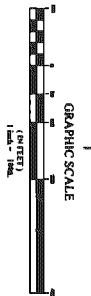
MATCHLINE SEE SHEET C4.3



KEY MAP

LEGEND

Symbol	Description
Circle with dot	WATER
Square with dot	SEWER
Triangle with dot	GAS
Circle with cross	ELECTRIC
Circle with horizontal lines	TELEPHONE
Circle with vertical lines	CABLE TV
Circle with diagonal lines	STORM SEWER
Circle with wavy lines	IRRIGATION
Circle with dots	WATER METER
Square with dots	SEWER METER
Triangle with dots	GAS METER
Circle with cross	ELECTRIC METER
Circle with horizontal lines	TELEPHONE METER
Circle with vertical lines	CABLE TV METER
Circle with diagonal lines	STORM SEWER METER
Circle with wavy lines	IRRIGATION METER
Circle with dots	WATER VALVE
Square with dots	SEWER VALVE
Triangle with dots	GAS VALVE
Circle with cross	ELECTRIC VALVE
Circle with horizontal lines	TELEPHONE VALVE
Circle with vertical lines	CABLE TV VALVE
Circle with diagonal lines	STORM SEWER VALVE
Circle with wavy lines	IRRIGATION VALVE
Circle with dots	WATER TAP
Square with dots	SEWER TAP
Triangle with dots	GAS TAP
Circle with cross	ELECTRIC TAP
Circle with horizontal lines	TELEPHONE TAP
Circle with vertical lines	CABLE TV TAP
Circle with diagonal lines	STORM SEWER TAP
Circle with wavy lines	IRRIGATION TAP



UTILITY PLAN

DATE: 12-12-17

BY: [Signature]

C4.2

HIDDEN CANYON RESIDENTIAL SUBDIVISION

LEHI, UTAH

Utility Plan



FOCUS

ENGINEERING AND SURVEYING, LLC

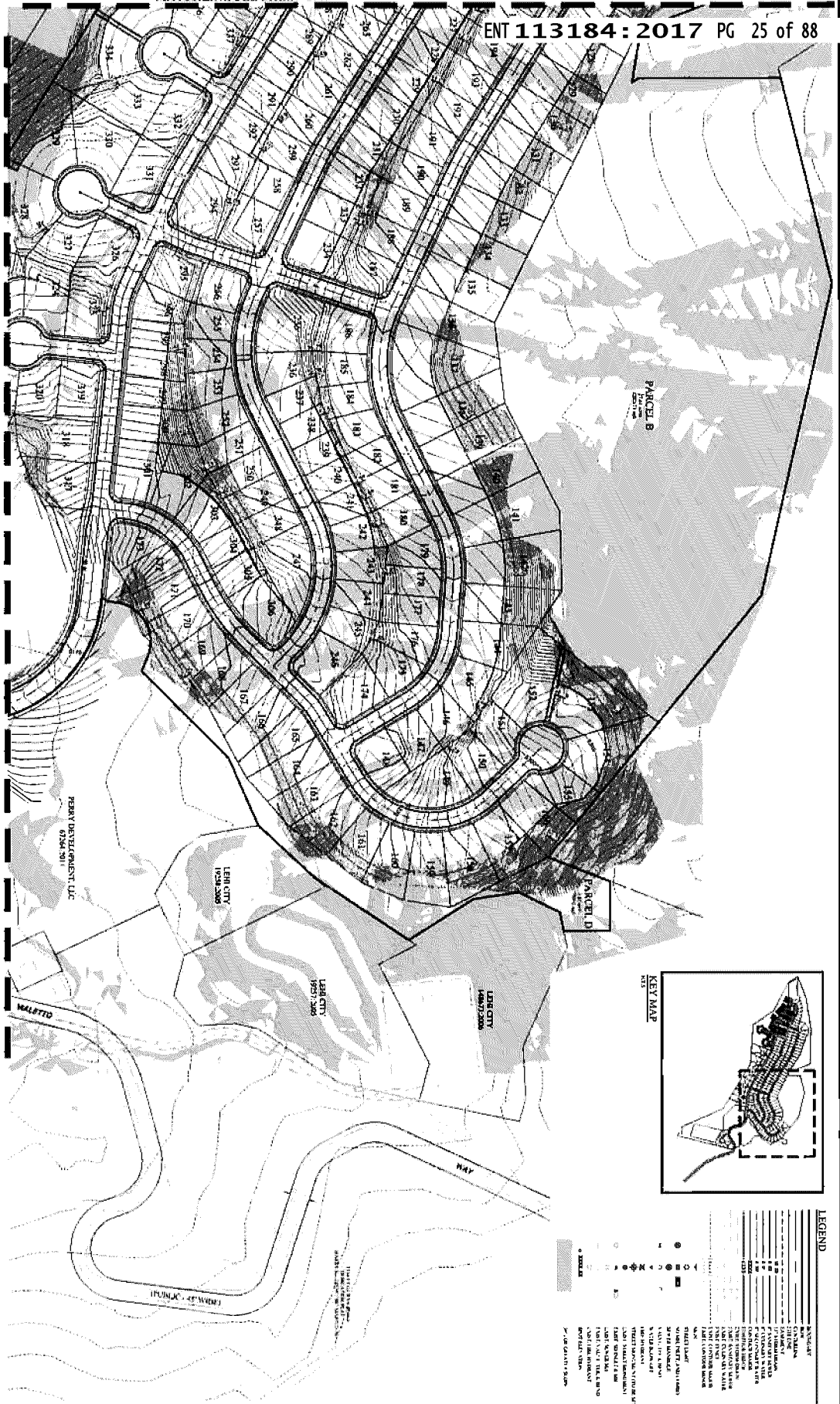
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SALT LAKE CITY, UTAH 84119

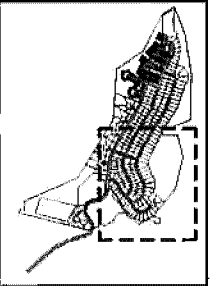
PHONE: (801) 555-0055

WWW.FOCUSUTAH.COM

MATCHLINE SEE SHEET C5.3



KEY MAP



LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING LOT
(Symbol)	PROPOSED LOT
(Symbol)	EXISTING ROAD
(Symbol)	PROPOSED ROAD
(Symbol)	EXISTING DRIVE
(Symbol)	PROPOSED DRIVE
(Symbol)	EXISTING SIDEWALK
(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXISTING CURB
(Symbol)	PROPOSED CURB
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING ELEVATION
(Symbol)	PROPOSED ELEVATION
(Symbol)	EXISTING GRADE
(Symbol)	PROPOSED GRADE
(Symbol)	EXISTING DRAINAGE
(Symbol)	PROPOSED DRAINAGE
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE
(Symbol)	EXISTING TREES
(Symbol)	PROPOSED TREES
(Symbol)	EXISTING LANDSCAPE
(Symbol)	PROPOSED LANDSCAPE
(Symbol)	EXISTING UTILITIES
(Symbol)	PROPOSED UTILITIES
(Symbol)	EXISTING ELEVATION
(Symbol)	PROPOSED ELEVATION
(Symbol)	EXISTING GRADE
(Symbol)	PROPOSED GRADE
(Symbol)	EXISTING DRAINAGE
(Symbol)	PROPOSED DRAINAGE
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE
(Symbol)	EXISTING TREES
(Symbol)	PROPOSED TREES
(Symbol)	EXISTING LANDSCAPE
(Symbol)	PROPOSED LANDSCAPE



GRAPHIC SCALE
 1" = 100'
 1:1250

NO.	DESCRIPTION	DATE
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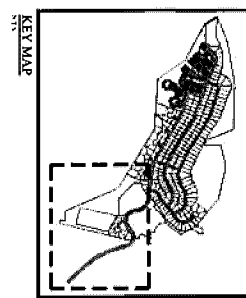
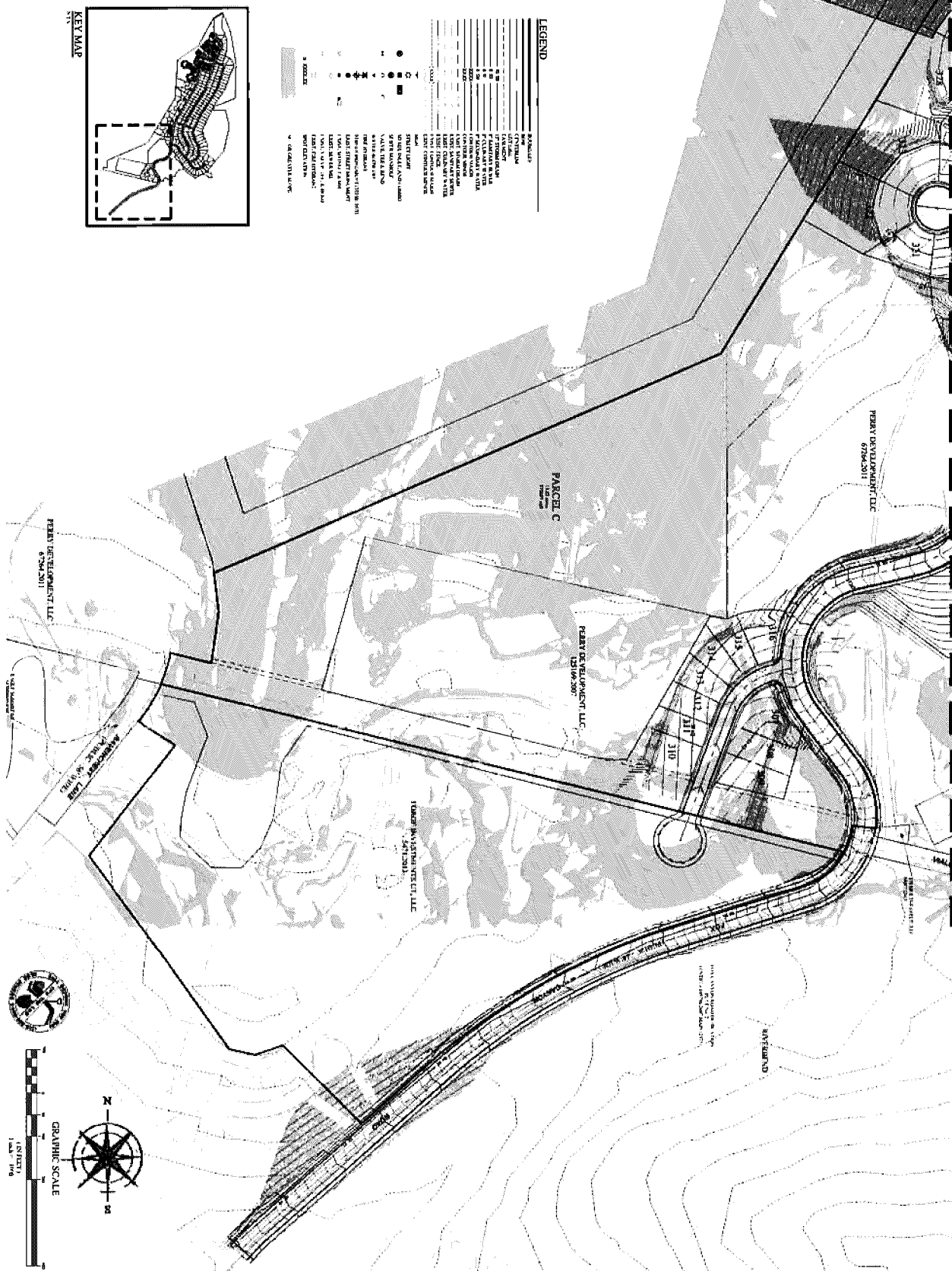
HIDDEN CANYON RESIDENTIAL SUBDIVISION
 LEHI, UTAH
 Grading Plan



FOCUS
 ENGINEERING AND SURVEYING, LLC
 302 WEST 200 SOUTH
 SANDY, UTAH 84003 P.O. BOX 352 0073
 www.focusutah.com

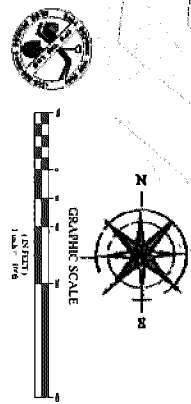
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MATCHLINE SEE SHEET C5.3



LEGEND

SYMBOL / LINE STYLE	DESCRIPTION
(Symbol)	PROPOSED LOT
(Symbol)	EXIST. LOT
(Symbol)	PROPOSED DRIVE
(Symbol)	EXIST. DRIVE
(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXIST. SIDEWALK
(Symbol)	PROPOSED UTILITY
(Symbol)	EXIST. UTILITY
(Symbol)	PROPOSED FENCE
(Symbol)	EXIST. FENCE
(Symbol)	PROPOSED WALL
(Symbol)	EXIST. WALL
(Symbol)	PROPOSED STAIR
(Symbol)	EXIST. STAIR
(Symbol)	PROPOSED POOL
(Symbol)	EXIST. POOL
(Symbol)	PROPOSED DECK
(Symbol)	EXIST. DECK
(Symbol)	PROPOSED PATIO
(Symbol)	EXIST. PATIO
(Symbol)	PROPOSED TERRACE
(Symbol)	EXIST. TERRACE
(Symbol)	PROPOSED PORCH
(Symbol)	EXIST. PORCH
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	EXIST. DRIVEWAY
(Symbol)	PROPOSED GARAGE
(Symbol)	EXIST. GARAGE
(Symbol)	PROPOSED POLE
(Symbol)	EXIST. POLE
(Symbol)	PROPOSED SIGN
(Symbol)	EXIST. SIGN
(Symbol)	PROPOSED LIGHT
(Symbol)	EXIST. LIGHT
(Symbol)	PROPOSED TREE
(Symbol)	EXIST. TREE
(Symbol)	PROPOSED SHRUB
(Symbol)	EXIST. SHRUB
(Symbol)	PROPOSED GRASS
(Symbol)	EXIST. GRASS
(Symbol)	PROPOSED ROCK
(Symbol)	EXIST. ROCK
(Symbol)	PROPOSED PAVEMENT
(Symbol)	EXIST. PAVEMENT
(Symbol)	PROPOSED CURB
(Symbol)	EXIST. CURB
(Symbol)	PROPOSED DRAIN
(Symbol)	EXIST. DRAIN
(Symbol)	PROPOSED MANHOLE
(Symbol)	EXIST. MANHOLE
(Symbol)	PROPOSED GROUND ELEVATION
(Symbol)	EXIST. GROUND ELEVATION
(Symbol)	PROPOSED FINISHED ELEVATION
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(Symbol)	EXIST. FINISH DRIVEWAY
(Symbol)	PROPOSED FINISH GARAGE
(Symbol)	EXIST. FINISH GARAGE
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(Symbol)	EXIST. FINISH POLE
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(Symbol)	PROPOSED FINISH LIGHT
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(Symbol)	EXIST. FINISH DRAIN
(Symbol)	PROPOSED FINISH MANHOLE
(Symbol)	EXIST. FINISH MANHOLE
(Symbol)	PROPOSED FINISH GROUND ELEVATION
(Symbol)	EXIST. FINISH GROUND ELEVATION
(Symbol)	PROPOSED FINISH FINISHED ELEVATION
(Symbol)	EXIST. FINISH FINISHED ELEVATION
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(Symbol)	EXIST. FINISH FINISH GRADE
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(Symbol)	EXIST. FINISH FINISH DRIVEWAY
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(Symbol)	EXIST. FINISH FINISH SIGN
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(Symbol)	EXIST. FINISH FINISH GRASS
(Symbol)	PROPOSED FINISH FINISH ROCK
(Symbol)	EXIST. FINISH FINISH ROCK
(Symbol)	PROPOSED FINISH FINISH PAVEMENT
(Symbol)	EXIST. FINISH FINISH PAVEMENT
(Symbol)	PROPOSED FINISH FINISH CURB
(Symbol)	EXIST. FINISH FINISH CURB
(Symbol)	PROPOSED FINISH FINISH DRAIN
(Symbol)	EXIST. FINISH FINISH DRAIN
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(Symbol)	EXIST. FINISH FINISH MANHOLE
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(Symbol)	EXIST. FINISH FINISH FINISH PAVEMENT
(Symbol)	PROPOSED FINISH FINISH FINISH CURB
(Symbol)	EXIST. FINISH FINISH FINISH CURB
(Symbol)	PROPOSED FINISH FINISH FINISH DRAIN
(Symbol)	EXIST. FINISH FINISH FINISH DRAIN
(Symbol)	PROPOSED FINISH FINISH FINISH MANHOLE
(Symbol)	EXIST. FINISH FINISH FINISH MANHOLE



GRADING PLAN

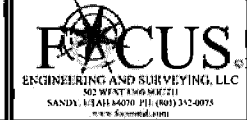
C5.3

NO.	REVISION	DATE

HIDDEN CANYON RESIDENTIAL SUBDIVISION

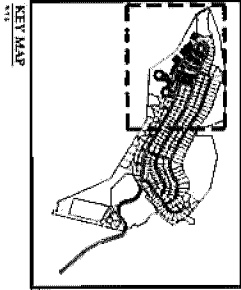
LEHI, UTAH

Grading Plan

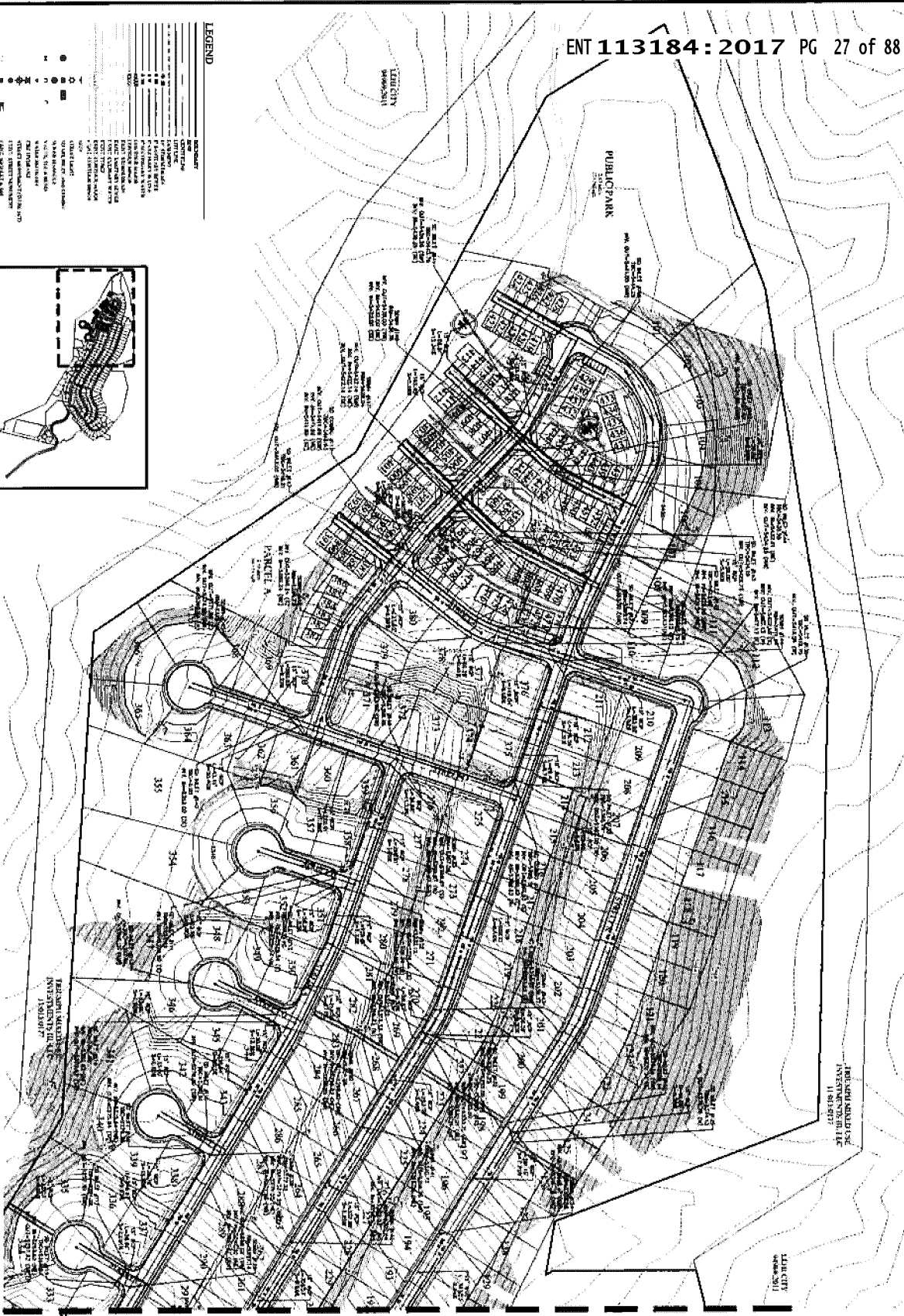


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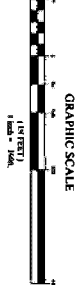
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—	PROPOSED ROADS
—	EXISTING UTILITY LINES
—	PROPOSED UTILITY LINES
—	EXISTING EROSION CONTROL
—	PROPOSED EROSION CONTROL
—	EXISTING DRAINAGE
—	PROPOSED DRAINAGE
—	EXISTING CONTOURS
—	PROPOSED CONTOURS
—	EXISTING BUILDINGS
—	PROPOSED BUILDINGS
—	EXISTING TREES
—	PROPOSED TREES
—	EXISTING VEGETATION
—	PROPOSED VEGETATION
—	EXISTING POWER LINES
—	PROPOSED POWER LINES
—	EXISTING TELEPHONE LINES
—	PROPOSED TELEPHONE LINES
—	EXISTING WATER LINES
—	PROPOSED WATER LINES
—	EXISTING SEWER LINES
—	PROPOSED SEWER LINES
—	EXISTING GAS LINES
—	PROPOSED GAS LINES
—	EXISTING CABLE LINES
—	PROPOSED CABLE LINES
—	EXISTING FENCE LINES
—	PROPOSED FENCE LINES
—	EXISTING SIGNAGE
—	PROPOSED SIGNAGE
—	EXISTING LIGHTING
—	PROPOSED LIGHTING
—	EXISTING LANDSCAPE
—	PROPOSED LANDSCAPE
—	EXISTING UTILITIES
—	PROPOSED UTILITIES
—	EXISTING OBSTACLES
—	PROPOSED OBSTACLES
—	EXISTING EROSION CONTROL
—	PROPOSED EROSION CONTROL
—	EXISTING DRAINAGE
—	PROPOSED DRAINAGE
—	EXISTING CONTOURS
—	PROPOSED CONTOURS
—	EXISTING BUILDINGS
—	PROPOSED BUILDINGS
—	EXISTING TREES
—	PROPOSED TREES
—	EXISTING VEGETATION
—	PROPOSED VEGETATION
—	EXISTING POWER LINES
—	PROPOSED POWER LINES
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—	PROPOSED FENCE LINES
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—	PROPOSED SIGNAGE
—	EXISTING LIGHTING
—	PROPOSED LIGHTING
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—	PROPOSED LANDSCAPE
—	EXISTING UTILITIES
—	PROPOSED UTILITIES
—	EXISTING OBSTACLES
—	PROPOSED OBSTACLES



NOTES: 1. THIS PLAN IS THE PROPERTY OF THE ENGINEER AND SURVEYOR. 2. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON. 3. ANY REUSE OF THIS PLAN FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND SURVEYOR IS STRICTLY PROHIBITED. 4. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND SURVEYOR.



MATCHLINE SEE SHEET C5.2



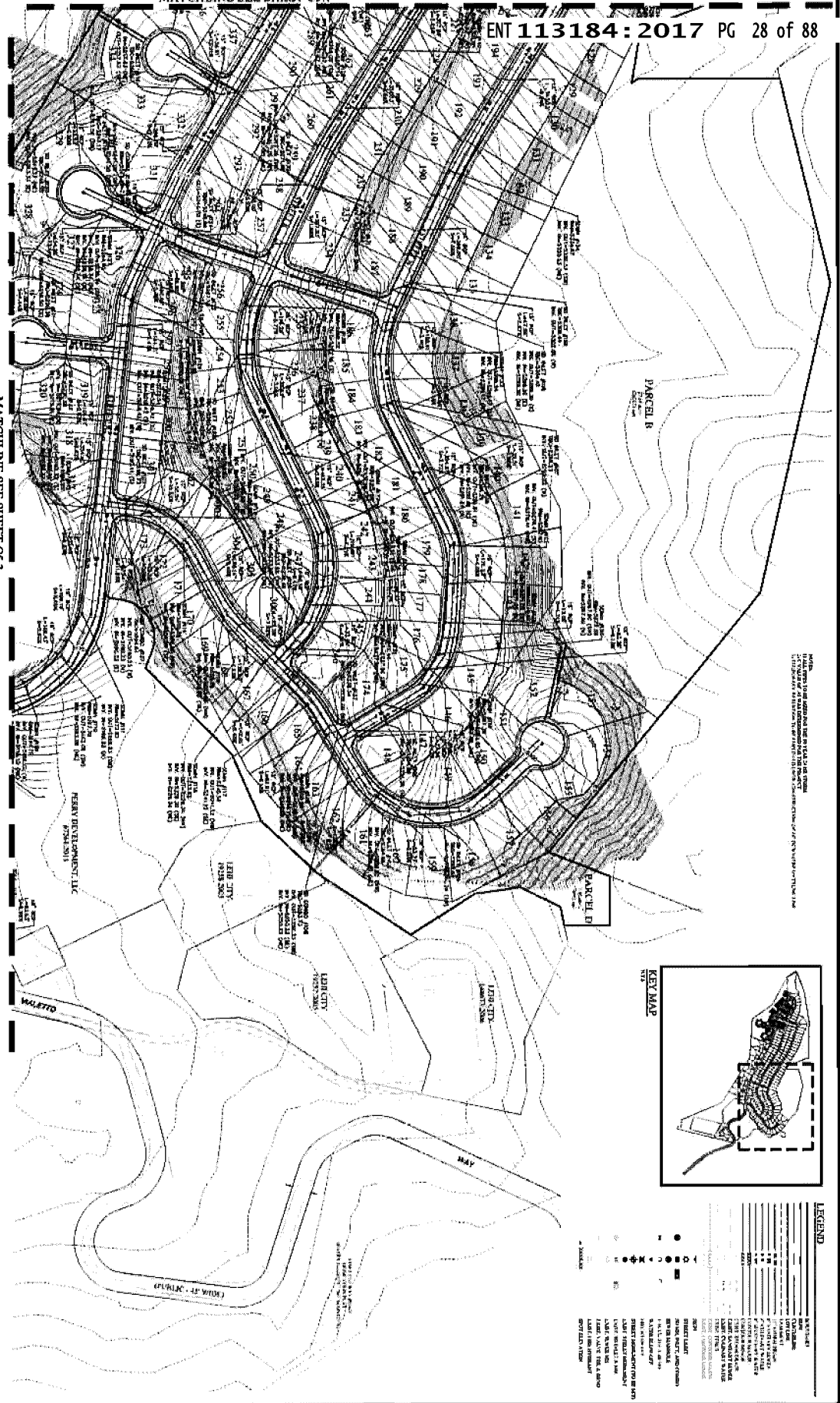
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HIDDEN CANYON RESIDENTIAL SUBDIVISION
 LEHI, UTAH
 Drainage Plan

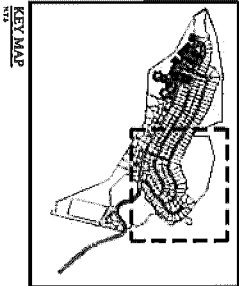


FOCUS
 ENGINEERING AND SURVEYING, LLC
 252 WEST 4000 SOUTH
 SANDY, UTAH 84088 P.O. BOX 113120 UT 84011
 www.focus Utah.com

MATCHLINE SEE SHEET C5.3



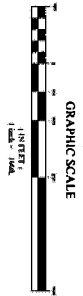
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 1. ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 2. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS OBSTRUCTIONS TO THE PROPOSED DRAINAGE SYSTEM.
 3. THE DESIGNER HAS ASSUMED THAT THE EXISTING DRAINAGE SYSTEM IS AS SHOWN ON THE ATTACHED SURVEY AND HAS NOT CONDUCTED A FIELD SURVEY OF THE EXISTING DRAINAGE SYSTEM.
 4. THE DESIGNER HAS ASSUMED THAT THE EXISTING DRAINAGE SYSTEM IS AS SHOWN ON THE ATTACHED SURVEY AND HAS NOT CONDUCTED A FIELD SURVEY OF THE EXISTING DRAINAGE SYSTEM.
 5. THE DESIGNER HAS ASSUMED THAT THE EXISTING DRAINAGE SYSTEM IS AS SHOWN ON THE ATTACHED SURVEY AND HAS NOT CONDUCTED A FIELD SURVEY OF THE EXISTING DRAINAGE SYSTEM.



KEY MAP

LEGEND

PROPOSED	EXISTING
1" = 1'	2" = 1'
3" = 1'	4" = 1'
5" = 1'	6" = 1'
7" = 1'	8" = 1'
9" = 1'	10" = 1'
11" = 1'	12" = 1'
13" = 1'	14" = 1'
15" = 1'	16" = 1'
17" = 1'	18" = 1'
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31" = 1'	32" = 1'
33" = 1'	34" = 1'
35" = 1'	36" = 1'
37" = 1'	38" = 1'
39" = 1'	40" = 1'
41" = 1'	42" = 1'
43" = 1'	44" = 1'
45" = 1'	46" = 1'
47" = 1'	48" = 1'
49" = 1'	50" = 1'



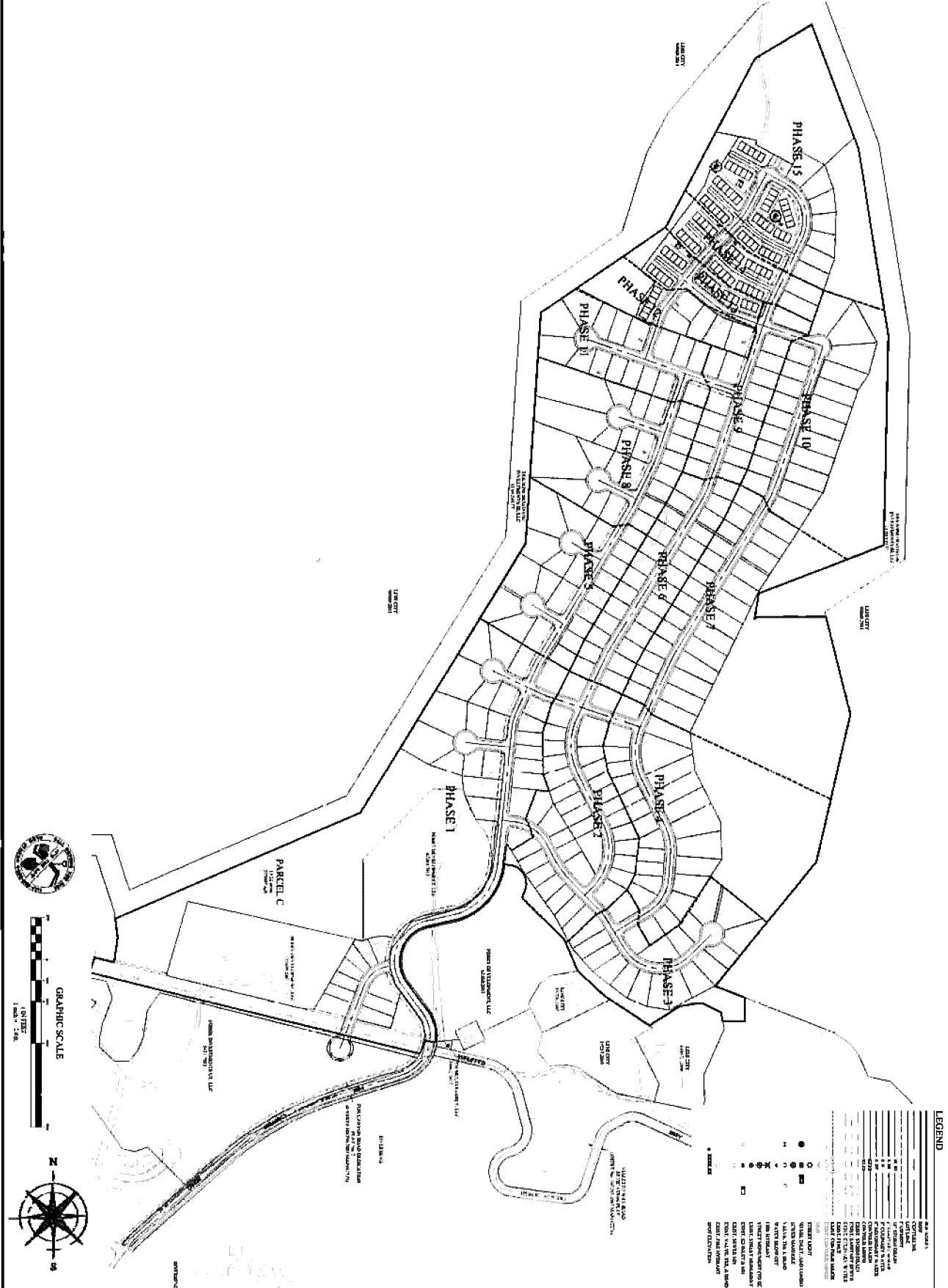
REVISIONS

NO.	DATE	DESCRIPTION
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7	08/14/14	REVISED PER COMMENTS
8	08/14/14	REVISED PER COMMENTS
9	08/14/14	REVISED PER COMMENTS
10	08/14/14	REVISED PER COMMENTS

HIDDEN CANYON RESIDENTIAL SUBDIVISION
 LEHI, UTAH
 Drainage Plan



FOCUS
 ENGINEERING AND SURVEYING, LLC
 2400 W. 1500 N. SUITE 200
 LEHI, UTAH 84040
 PH: (801) 315-2019
 www.focusllc.com



REVISION	DATE	BY	CHKD	DESCRIPTION

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Phasing Plan



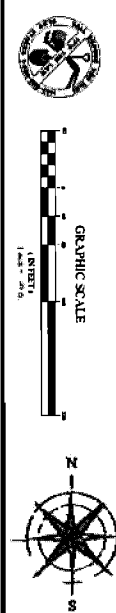
FOCUS
ENGINEERING AND SURVEYING, LLC
RANDY HEATH 4010 E. 10010 S. SUITE 200
LEHI, UTAH 84043 PH: (801) 552-0875
www.focusutah.com

1:202503-157 Central Legend.dwg 11/17/2017 10:42:13 AM 23 11/17/2017 10:42:13 AM


- AMENITIES**
- 1. 1/2" DIA. LIGHT FIXTURE
 - 2. 1/2" DIA. LIGHT FIXTURE
 - 3. 1/2" DIA. LIGHT FIXTURE
 - 4. 1/2" DIA. LIGHT FIXTURE
- PARKING TABULATIONS**
- 1. 1/2" DIA. LIGHT FIXTURE
 - 2. 1/2" DIA. LIGHT FIXTURE
 - 3. 1/2" DIA. LIGHT FIXTURE
- LANDSCAPE TABULATIONS**
- 1. 1/2" DIA. LIGHT FIXTURE
 - 2. 1/2" DIA. LIGHT FIXTURE
 - 3. 1/2" DIA. LIGHT FIXTURE
 - 4. 1/2" DIA. LIGHT FIXTURE
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- THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE ENGINEER AND SURVEYOR AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON. IT IS TO BE KEPT IN CONFIDENCE AND NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND SURVEYOR.

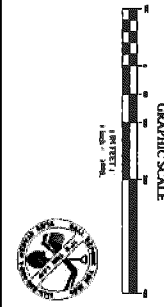
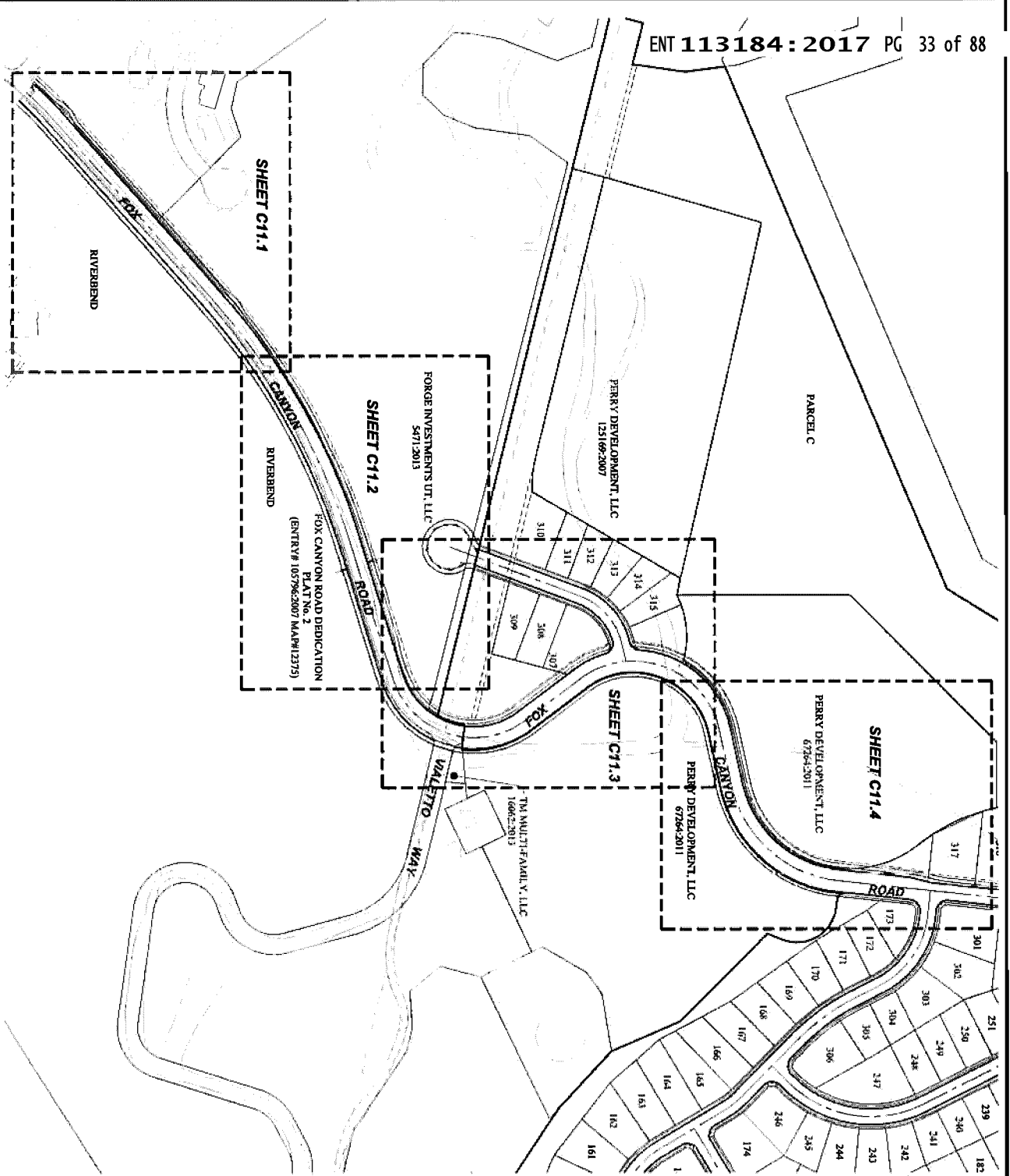


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TRIUMPH MIXED USE
INVESTMENTS III, LLC
11-013-0177

C9	<p>LANDSCAPE AND AMENITIES PLAN</p>	<p>HIDDEN CANYON RESIDENTIAL SUBDIVISION LEHI, UTAH Landscape and Amenities Plan</p>		<p>FOCUS ENGINEERING AND SURVEYING, LLC 92 WEST 2ND NORTH SANDY, UTAH 84070 PH: (801) 352-4075 www.focuseng.com</p>
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LEGEND

- PROPOSED
- EXISTING
- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPOSED CURB
- EXISTING CURB
- PROPOSED PAVEMENT
- EXISTING PAVEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- PROPOSED BIKEWAY
- EXISTING BIKEWAY
- PROPOSED UTILITY
- EXISTING UTILITY
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED EROSION CONTROL
- EXISTING EROSION CONTROL
- PROPOSED TREES
- EXISTING TREES
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHTING
- EXISTING LIGHTING
- PROPOSED LANDSCAPING
- EXISTING LANDSCAPING

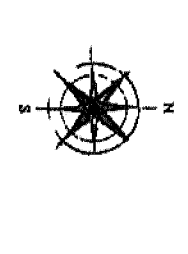
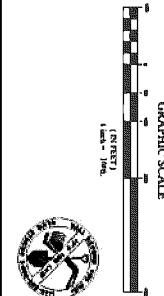
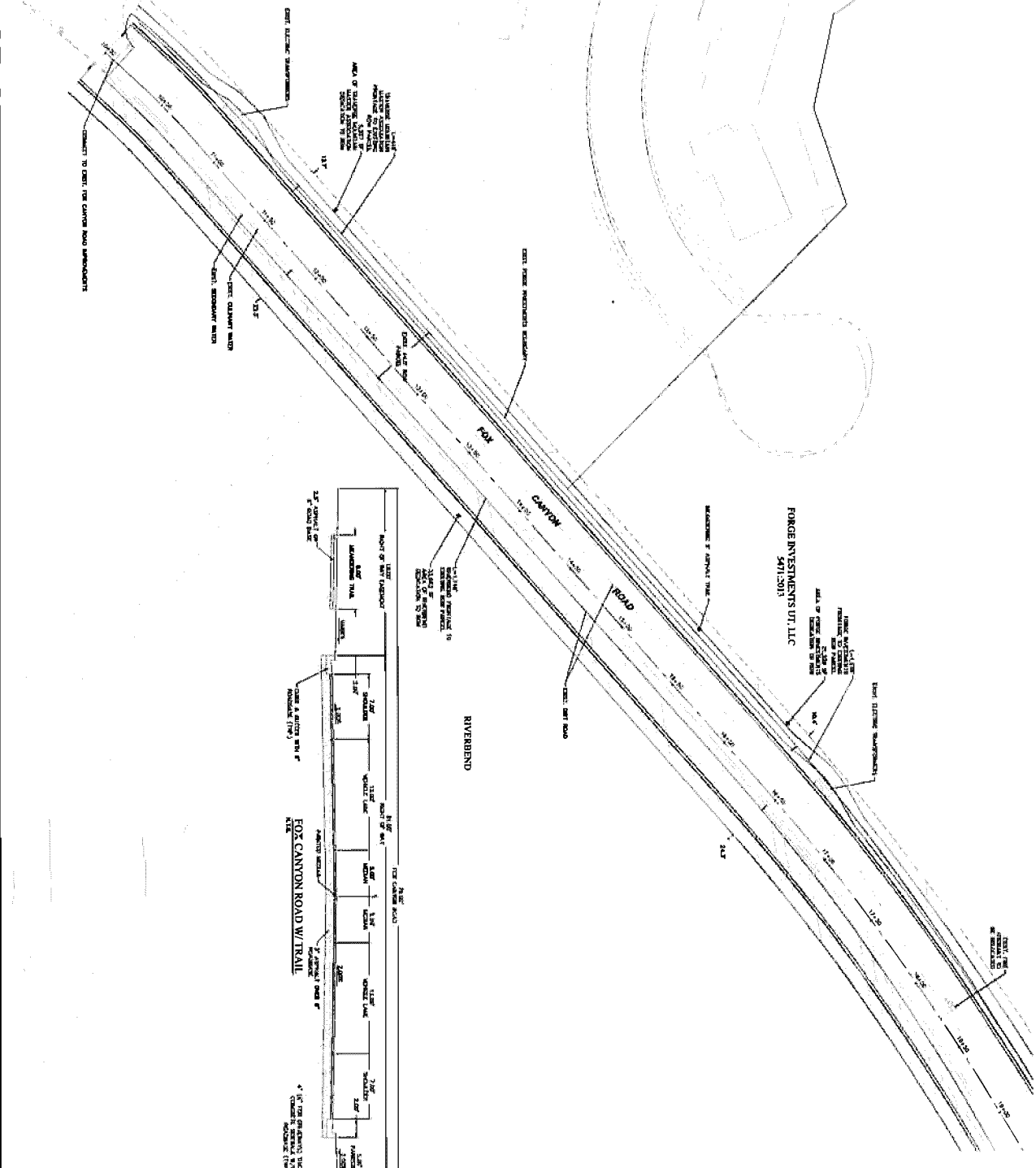
FOX CANYON ROAD PLAN
C11.0

REVISION BLOCK

NO.	DATE	DESCRIPTION

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Fox Canyon Road Plan

FOCUS
ENGINEERING AND SURVEYING, LLC
903 WEST 8000 SOUTH
SANDY, UTAH 84088
TEL: 313-432-4075
WWW.FOCUS-UTAH.COM



LEGEND

	EASEMENT
	UTILITY
	PROPERTY LINE
	ROAD
	TRAIL
	WATER MAIN
	SEWER MAIN
	GAS LINE
	ELECTRIC LINE
	PROPOSED ROAD
	PROPOSED TRAIL
	BOUNDARY
	POINT OF INTEREST
	EXISTING ROAD
	EXISTING TRAIL
	SURVEY POINT
	EASEMENT AREA
	UTILITY AREA
	PROPERTY AREA
	ROAD AREA
	TRAIL AREA
	WATER MAIN AREA
	SEWER MAIN AREA
	GAS LINE AREA
	ELECTRIC LINE AREA

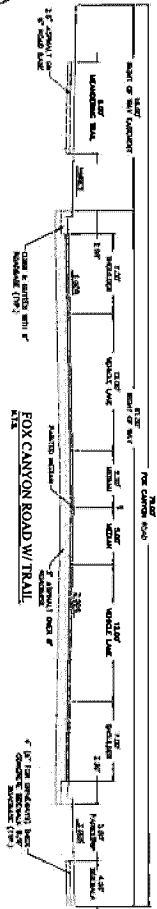
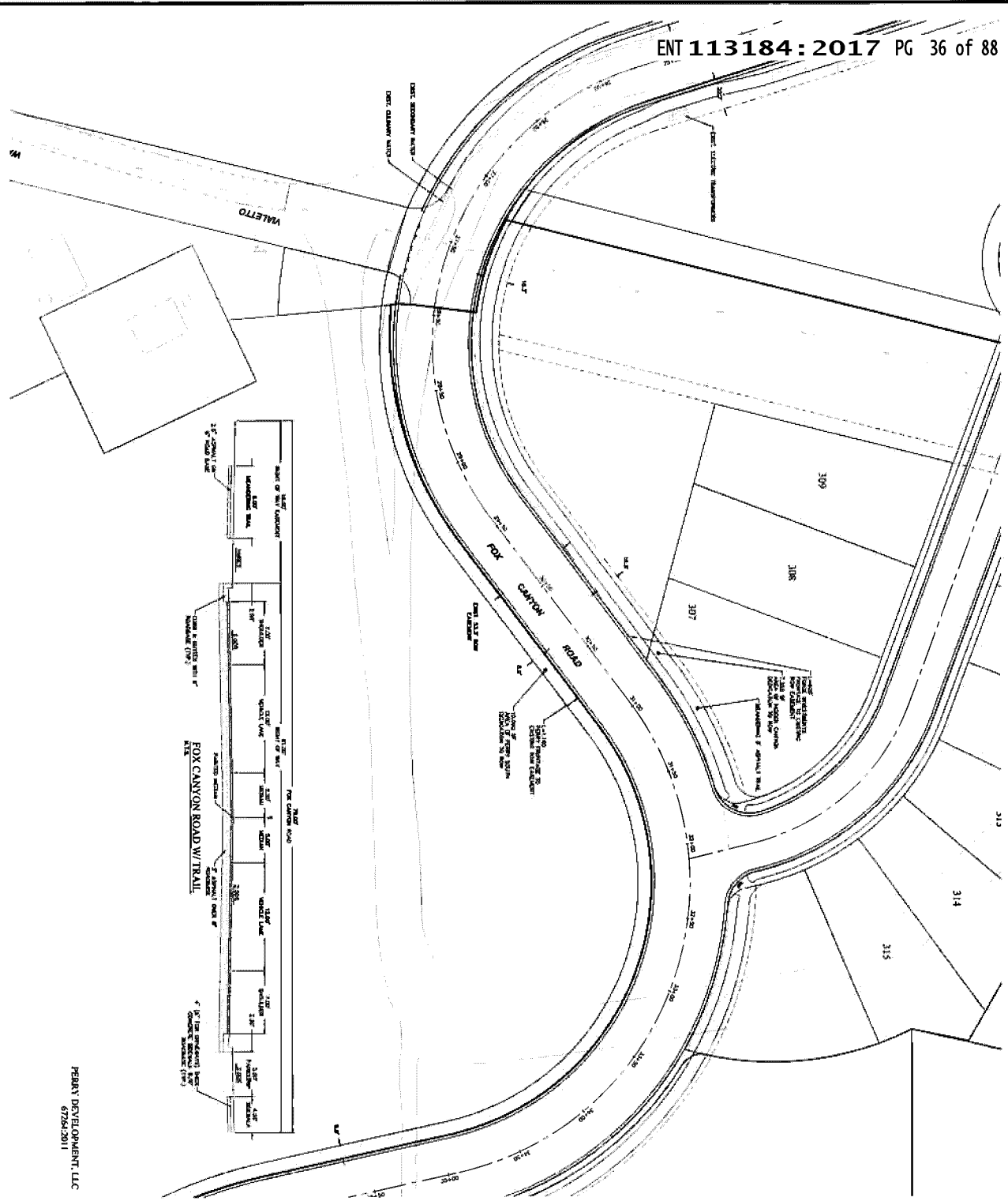
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2	AS BUILT	08/15/17
3	REVISION	08/15/17

HIDDEN CANYON RESIDENTIAL SUBDIVISION

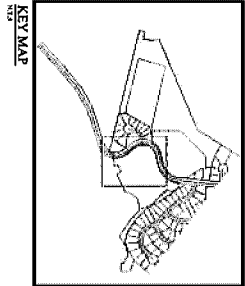
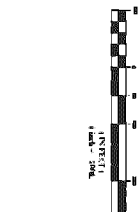
LEHI, UTAH
Fox Canyon Road Plan

FOCUS
 ENGINEERING AND SURVEYING, LLC
 40 WEST MAIN STREET
 SANDY, UTAH 84070 P.O. BOX 1552-0075
 www.focusurv.com

FOX CANYON
 ROAD PLAN
 C11.1



FERRY DEVELOPMENT, LLC
67564-3011



LEGEND

CITY OF LEHI	
Lot Line	-----
Property Line	-----
Utility Line	-----
Stormwater Infiltration	-----
Electric Transmission	-----
Water Mains	-----
Sewer Mains	-----
Gas Mains	-----
Proposed Road	-----
Existing Road	-----
Proposed Easement	-----
Existing Easement	-----
Proposed Utility	-----
Existing Utility	-----
Proposed Structure	-----
Existing Structure	-----
Proposed Setback	-----
Existing Setback	-----
Proposed Fence	-----
Existing Fence	-----
Proposed Landscaping	-----
Existing Landscaping	-----
Proposed Utility Pole	-----
Existing Utility Pole	-----
Proposed Pole	-----
Existing Pole	-----
Proposed Street Light	-----
Existing Street Light	-----
Proposed Sign	-----
Existing Sign	-----
Proposed Structure	-----
Existing Structure	-----
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Proposed Structure	-----
Existing Structure	-----

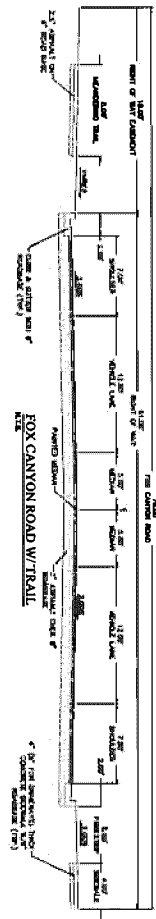
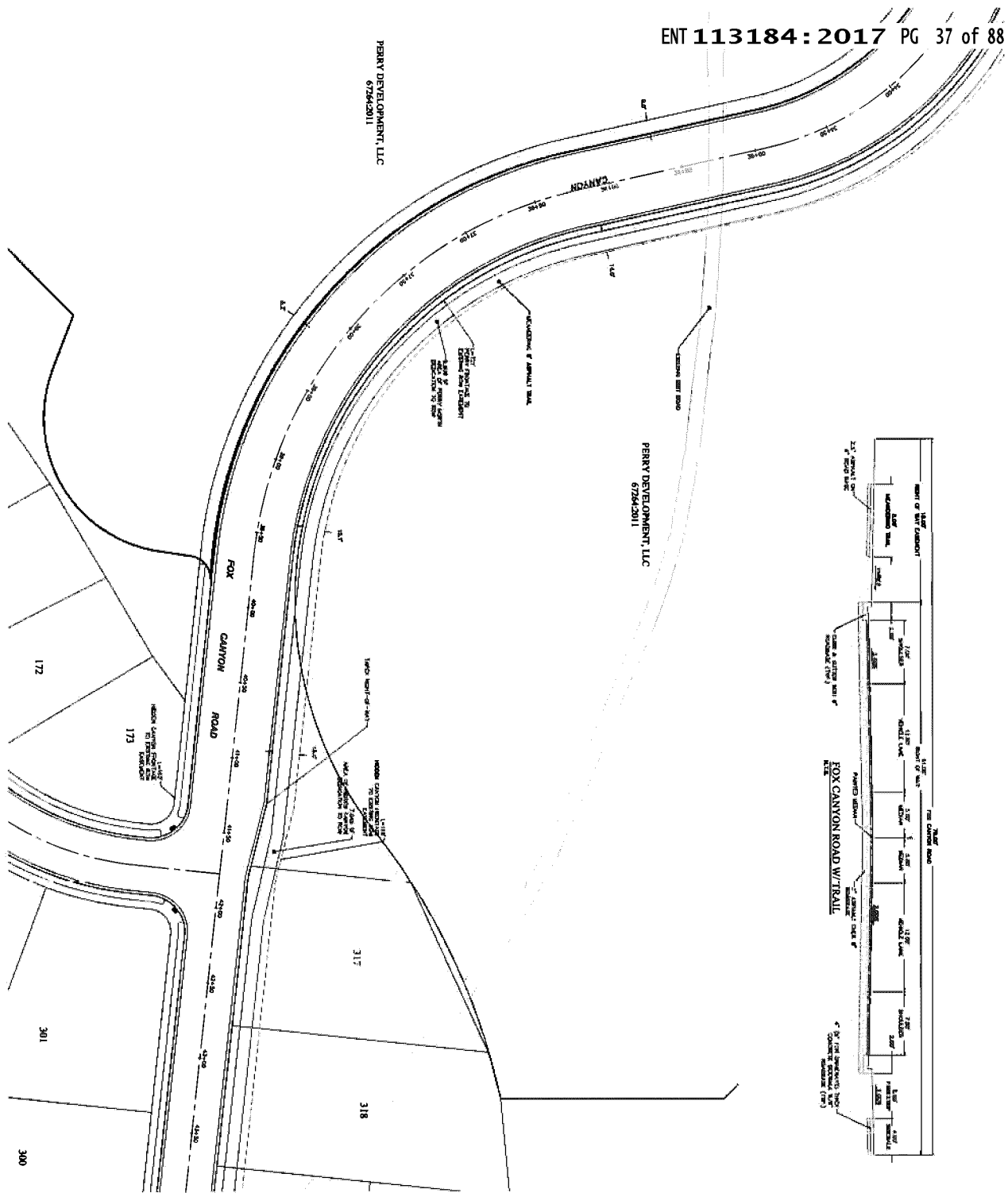
REVISIONS CHECK	
DATE	DESCRIPTION

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Fox Canyon Road Plan

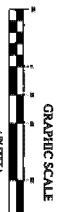
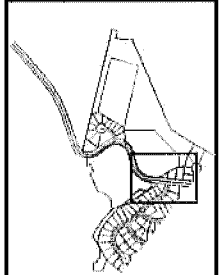
FOCUS
ENGINEERING AND SURVEYING, LLC
307 WEST 500 SOUTH
LEHI, UTAH 84043
PHONE: 801.433.4411
WWW.FOCUS-ES.COM

11/15/2017 1:17 PM C:\Users\jerry\Desktop\11-15-17\Fox Canyon Road Plan.dwg

PERRY DEVELOPMENT, LLC
672642011



- LEGEND**
- 1/2" CENTERLINE
 - 3" RAIL CENTERLINE
 - 6" RAIL CENTERLINE
 - 12" RAIL CENTERLINE
 - 18" RAIL CENTERLINE
 - 24" RAIL CENTERLINE
 - 30" RAIL CENTERLINE
 - 36" RAIL CENTERLINE
 - 42" RAIL CENTERLINE
 - 48" RAIL CENTERLINE
 - 54" RAIL CENTERLINE
 - 60" RAIL CENTERLINE
 - 66" RAIL CENTERLINE
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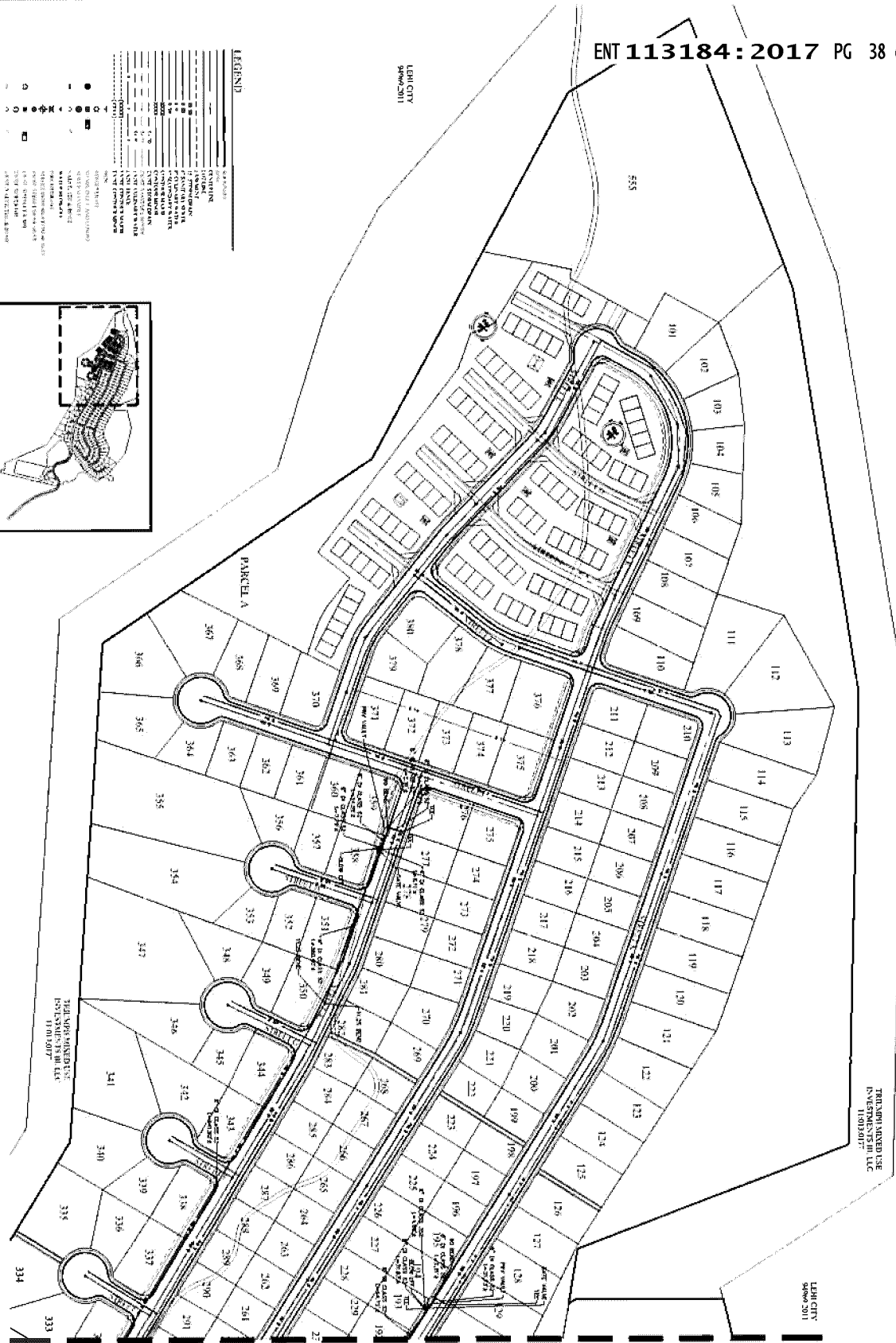
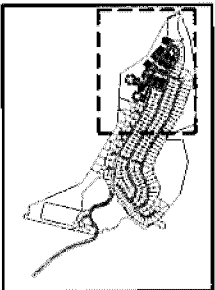
HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Fox Canyon Road Plan

FOCUS
ENGINEERING AND SURVEYING, LLC
302 WEST 840 SOUTH
RANDY, UTAH 84401 P.O. BOX 181275
PH: 435.937.8777 FAX: 435.937.8778
www.focusurvey.com

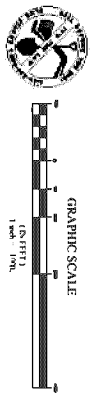
DATE	REVISION	DESCRIPTION

FOCUS ENGINEERING AND SURVEYING, LLC
C11.4
3/13/17

SYMBOL	DESCRIPTION
(Symbol: Solid Circle)	MANHOLE
(Symbol: Circle with X)	VALVE
(Symbol: Circle with D)	HYDRO-PNEUMATIC TANK
(Symbol: Circle with S)	SOFT TISSUE SANITATION UNIT
(Symbol: Circle with T)	TANK
(Symbol: Circle with E)	ELECTRICAL CONTROL BUILDING
(Symbol: Circle with W)	WATER METER
(Symbol: Circle with R)	RADIUM TEST POINT
(Symbol: Circle with H)	HYDRO-PNEUMATIC TANK
(Symbol: Circle with B)	BOILER
(Symbol: Circle with P)	PUMP
(Symbol: Circle with L)	LIQUID STORAGE TANK
(Symbol: Circle with G)	GENERATOR
(Symbol: Circle with C)	CONCRETE CATCH BASIN
(Symbol: Circle with M)	MANHOLE
(Symbol: Circle with V)	VALVE
(Symbol: Circle with T)	TANK
(Symbol: Circle with E)	ELECTRICAL CONTROL BUILDING
(Symbol: Circle with W)	WATER METER
(Symbol: Circle with R)	RADIUM TEST POINT
(Symbol: Circle with B)	BOILER
(Symbol: Circle with P)	PUMP
(Symbol: Circle with L)	LIQUID STORAGE TANK
(Symbol: Circle with G)	GENERATOR
(Symbol: Circle with C)	CONCRETE CATCH BASIN
(Symbol: Circle with M)	MANHOLE
(Symbol: Circle with V)	VALVE
(Symbol: Circle with T)	TANK
(Symbol: Circle with E)	ELECTRICAL CONTROL BUILDING
(Symbol: Circle with W)	WATER METER
(Symbol: Circle with R)	RADIUM TEST POINT
(Symbol: Circle with B)	BOILER
(Symbol: Circle with P)	PUMP
(Symbol: Circle with L)	LIQUID STORAGE TANK
(Symbol: Circle with G)	GENERATOR
(Symbol: Circle with C)	CONCRETE CATCH BASIN
(Symbol: Circle with M)	MANHOLE
(Symbol: Circle with V)	VALVE
(Symbol: Circle with T)	TANK
(Symbol: Circle with E)	ELECTRICAL CONTROL BUILDING
(Symbol: Circle with W)	WATER METER
(Symbol: Circle with R)	RADIUM TEST POINT
(Symbol: Circle with B)	BOILER
(Symbol: Circle with P)	PUMP
(Symbol: Circle with L)	LIQUID STORAGE TANK
(Symbol: Circle with G)	GENERATOR
(Symbol: Circle with C)	CONCRETE CATCH BASIN
(Symbol: Circle with M)	MANHOLE
(Symbol: Circle with V)	VALVE
(Symbol: Circle with T)	TANK </td



MATCHLINE SEE SHEET C4.2



C16.1

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/10/17
2	REVISED FOR COMMENTS	10/27/17
3	REVISED FOR COMMENTS	11/01/17
4	REVISED FOR COMMENTS	11/01/17
5	REVISED FOR COMMENTS	11/01/17
6	REVISED FOR COMMENTS	11/01/17

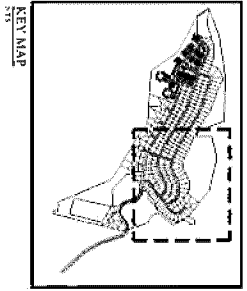
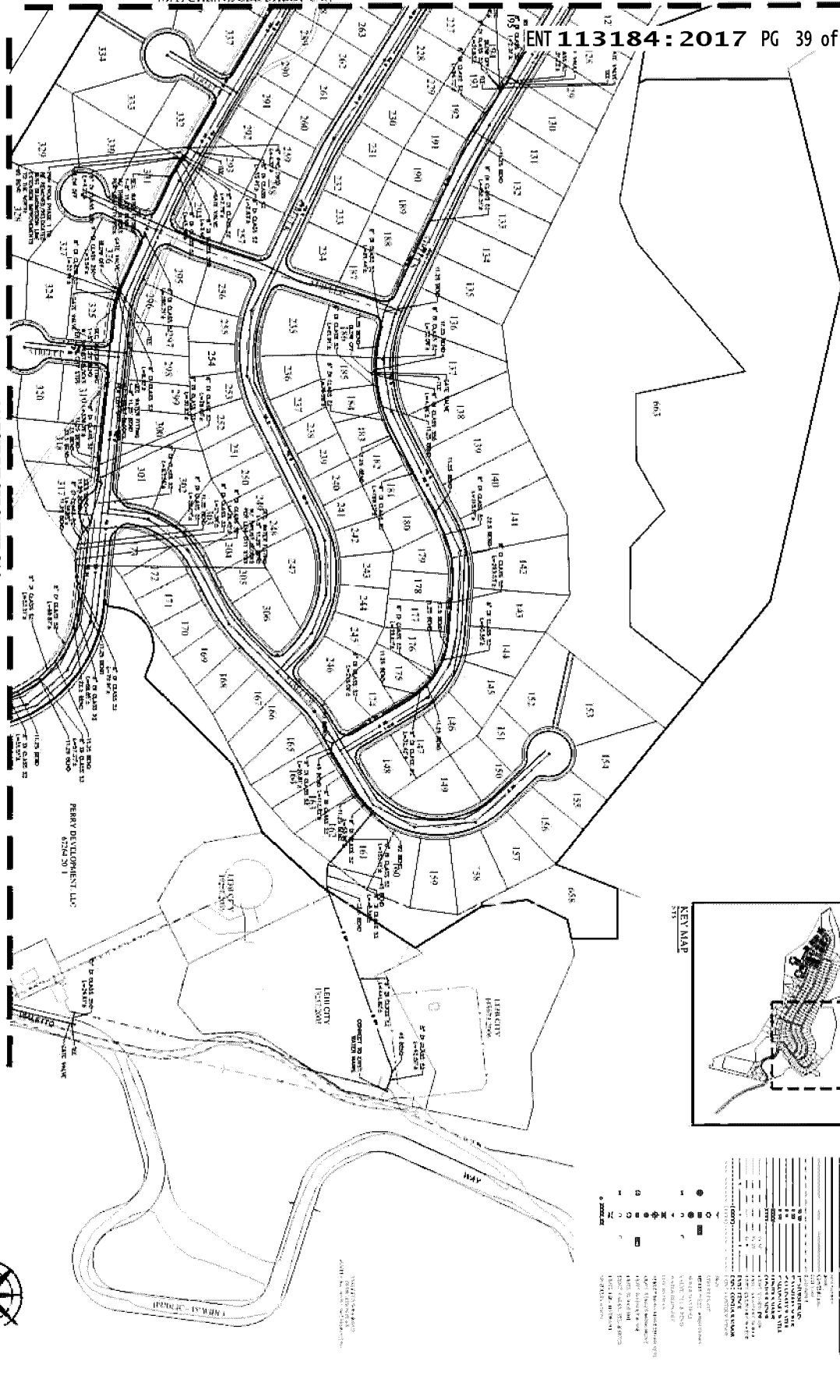
HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Secondary Water Transmission Plan



FOCUS
 ENGINEERING AND SURVEYING, LLC
 22 WEST CENTER STREET
 SUITE 100 • LEHI, UT 84043 • PHONE 313-14075
 WWW.FOCUS-UT.COM

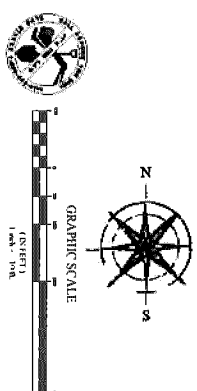
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MATCHLINE SEE SHEET C4.3



LEGEND

Symbol	Description
○	PROPOSED WATER TRANSMISSION LINE
○	EXISTING WATER TRANSMISSION LINE
○	EXISTING WATER MAIN
○	EXISTING WATER SERVICE LINE
○	EXISTING WATER METER
○	EXISTING WATER VALVE
○	EXISTING WATER HYDRANT
○	EXISTING WATER PUMP
○	EXISTING WATER TANK
○	EXISTING WATER TOWER
○	EXISTING WATER WASTEWATER TREATMENT PLANT
○	EXISTING WASTEWATER COLLECTION SYSTEM
○	EXISTING WASTEWATER TREATMENT PLANT
○	EXISTING WASTEWATER TREATMENT PLANT
○	EXISTING WASTEWATER TREATMENT PLANT
○	EXISTING WASTEWATER TREATMENT PLANT
○	EXISTING WASTEWATER TREATMENT PLANT



NO.	DESCRIPTION	DATE
1	DESIGNED BY	
2	CHECKED BY	
3	APPROVED BY	
4	DATE	
5	SCALE	
6	PROJECT NO.	
7	SHEET NO.	
8	TOTAL SHEETS	
9	PROJECT NAME	
10	CLIENT NAME	
11	CLIENT ADDRESS	
12	CLIENT PHONE	
13	CLIENT FAX	
14	CLIENT EMAIL	
15	CLIENT WEBSITE	
16	CLIENT URL	
17	CLIENT STATE	
18	CLIENT CITY	
19	CLIENT ZIP	
20	CLIENT COUNTY	
21	CLIENT DISTRICT	
22	CLIENT ZONE	
23	CLIENT DEPARTMENT	
24	CLIENT DIVISION	
25	CLIENT SECTION	
26	CLIENT OFFICE	
27	CLIENT BRANCH	
28	CLIENT CONTACT	
29	CLIENT TITLE	
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31	CLIENT FAX	
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95	CLIENT DEPARTMENT	
96	CLIENT DIVISION	
97	CLIENT SECTION	
98	CLIENT OFFICE	
99	CLIENT BRANCH	
100	CLIENT CONTACT	

HIDDEN CANYON RESIDENTIAL SUBDIVISION

LEHI, UTAH

Secondary Water Transmission Plan



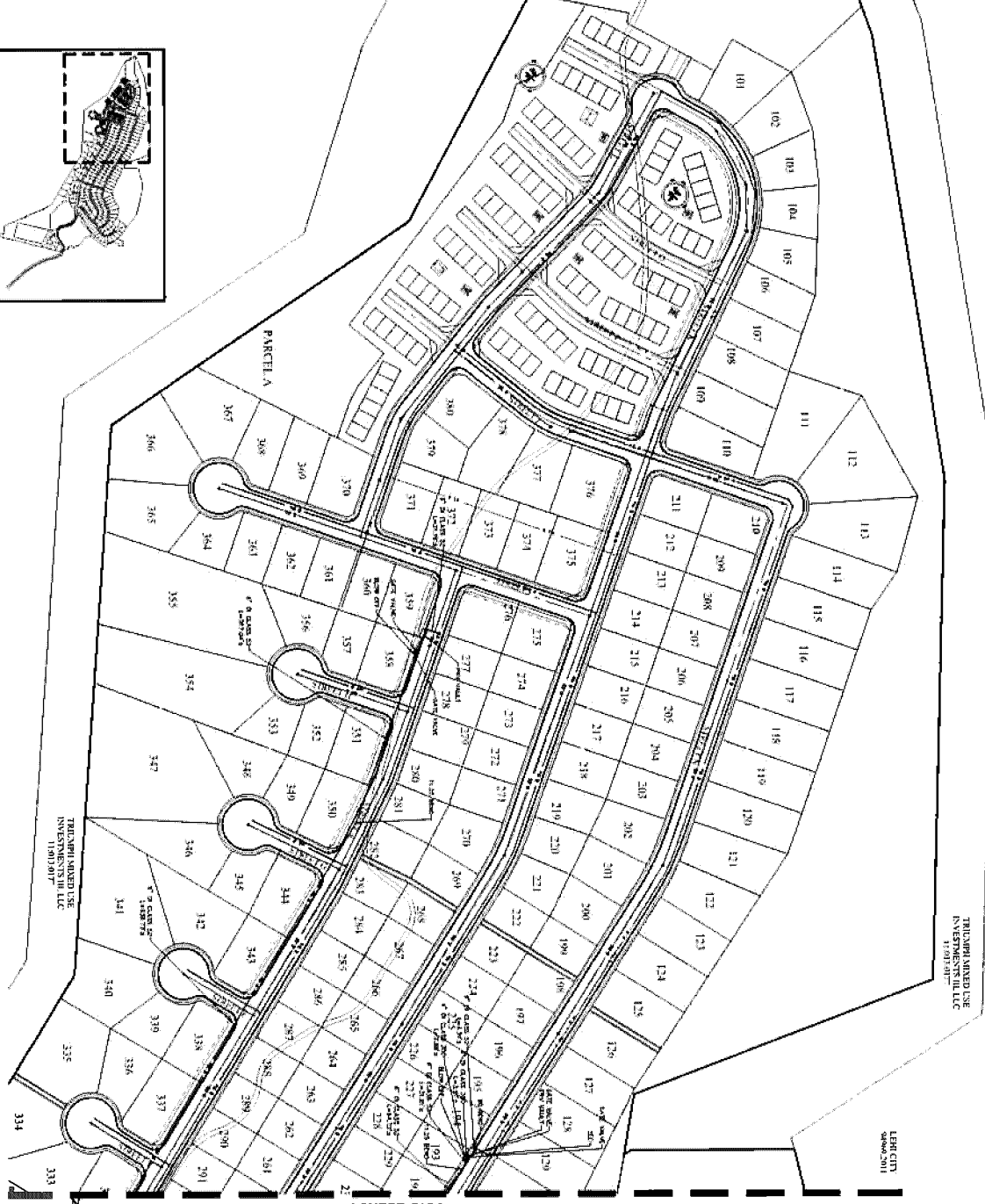
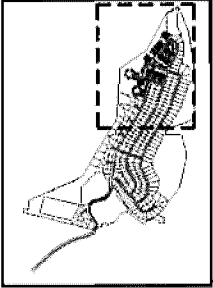
FOCUS
ENGINEERING AND SURVEYING, LLC
22 WEST CENTER STREET
MIDVALL, UTAH 84047 PH: (801) 952-0075
www.focusutah.com

C162

LEHI CITY
9089 2011

LEGEND

[Symbol]	SEWER MAIN
[Symbol]	SEWER BRANCH
[Symbol]	SEWER SERVICE LINE
[Symbol]	SEWER VALVE
[Symbol]	SEWER CLEANOUT
[Symbol]	SEWER MANHOLE
[Symbol]	SEWER PUMP STATION
[Symbol]	SEWER TRENCH
[Symbol]	SEWER TRENCH COVER
[Symbol]	SEWER TRENCH WALL
[Symbol]	SEWER TRENCH FLOOR
[Symbol]	SEWER TRENCH ROOF
[Symbol]	SEWER TRENCH CURB
[Symbol]	SEWER TRENCH SLOPE
[Symbol]	SEWER TRENCH ELEVATION
[Symbol]	SEWER TRENCH WIDTH
[Symbol]	SEWER TRENCH DEPTH
[Symbol]	SEWER TRENCH LENGTH
[Symbol]	SEWER TRENCH AREA
[Symbol]	SEWER TRENCH VOLUME
[Symbol]	SEWER TRENCH WEIGHT
[Symbol]	SEWER TRENCH COST
[Symbol]	SEWER TRENCH MATERIAL
[Symbol]	SEWER TRENCH METHOD
[Symbol]	SEWER TRENCH NOTES



MATCHLINE SEE SHEET C17.2

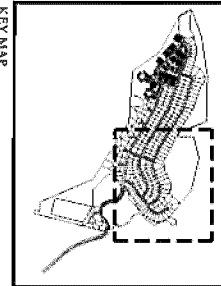
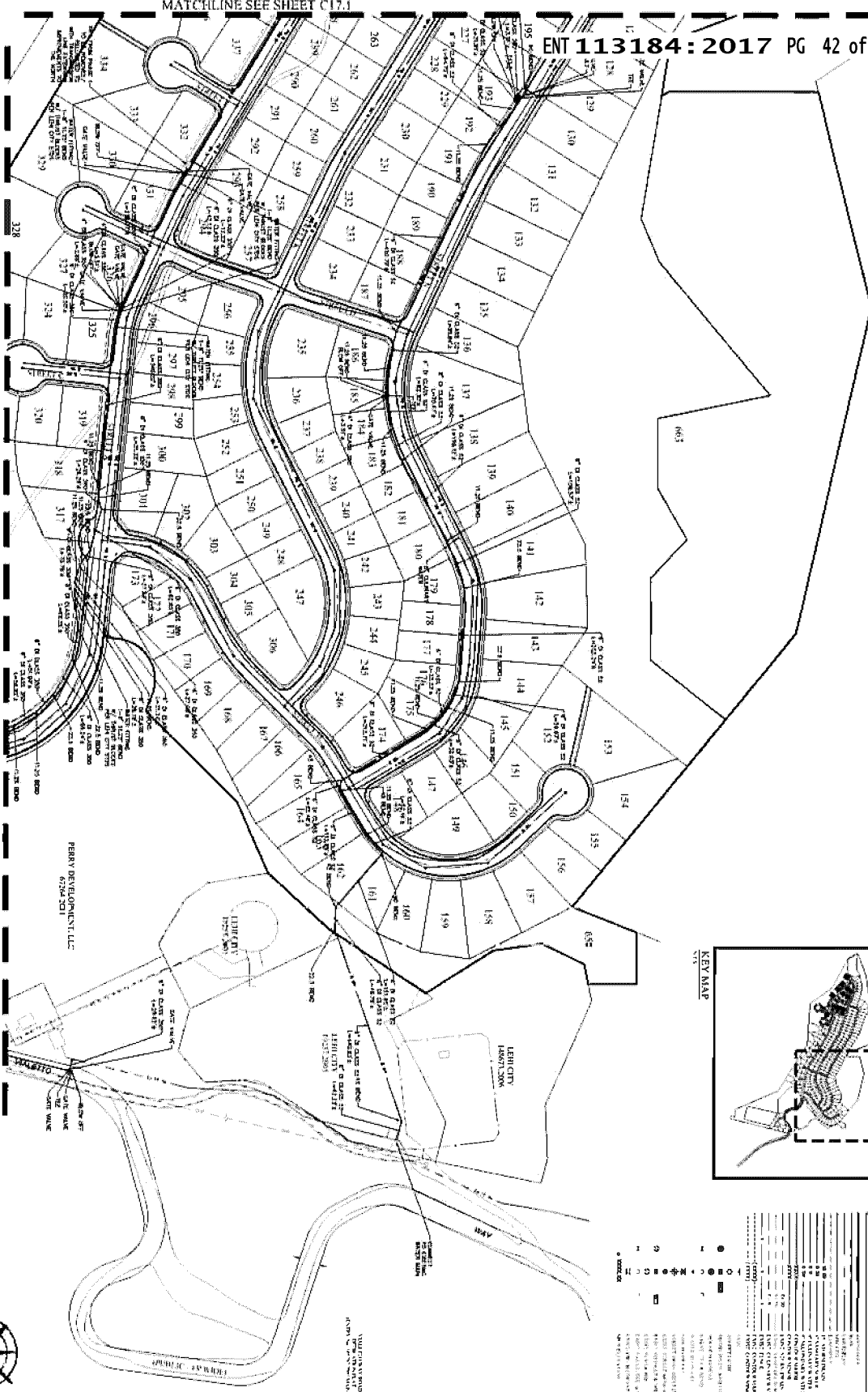
PROJECT NO.	C17.1
DATE	11/15/17
DRAWN BY	JK
CHECKED BY	JK
APPROVED BY	JK
SCALE	AS SHOWN
SHEET NO.	41
TOTAL SHEETS	88

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Water Transmission Plan



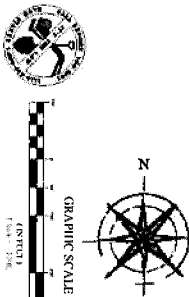
FOCUS
ENGINEERING AND SURVEYING, LLC
2250 S. W. 13TH STREET
MESA, AZ 85202-3807
PH: (602) 352-0075
WWW.FOCUS-ES.COM

MATCHLINE SEE SHEET C17.3



LEGEND

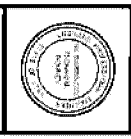
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(Symbol)	4" DIA. CL. 3" PVC
(Symbol)	4" DIA. CL. 2" PVC
(Symbol)	4" DIA. CL. 1.5" PVC
(Symbol)	4" DIA. CL. 1" PVC
(Symbol)	4" DIA. CL. 0.75" PVC
(Symbol)	4" DIA. CL. 0.5" PVC
(Symbol)	4" DIA. CL. 0.375" PVC
(Symbol)	4" DIA. CL. 0.25" PVC
(Symbol)	4" DIA. CL. 0.1875" PVC
(Symbol)	4" DIA. CL. 0.125" PVC
(Symbol)	4" DIA. CL. 0.0625" PVC
(Symbol)	4" DIA. CL. 15" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 8" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 6" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 4" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 3" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 2" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 1.5" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 1" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 0.75" PVC (1/2" THICK)
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(Symbol)	4" DIA. CL. 0.375" PVC (1/2" THICK)
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(Symbol)	4" DIA. CL. 0.125" PVC (1/2" THICK)
(Symbol)	4" DIA. CL. 0.0625" PVC (1/2" THICK)



DATE	DESCRIPTION

NO.	DESCRIPTION	DATE	BY	CHECKED BY

HIDDEN CANYON RESIDENTIAL SUBDIVISION
 LEHI, UTAH
 Water Transmission Plan



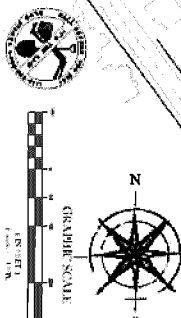
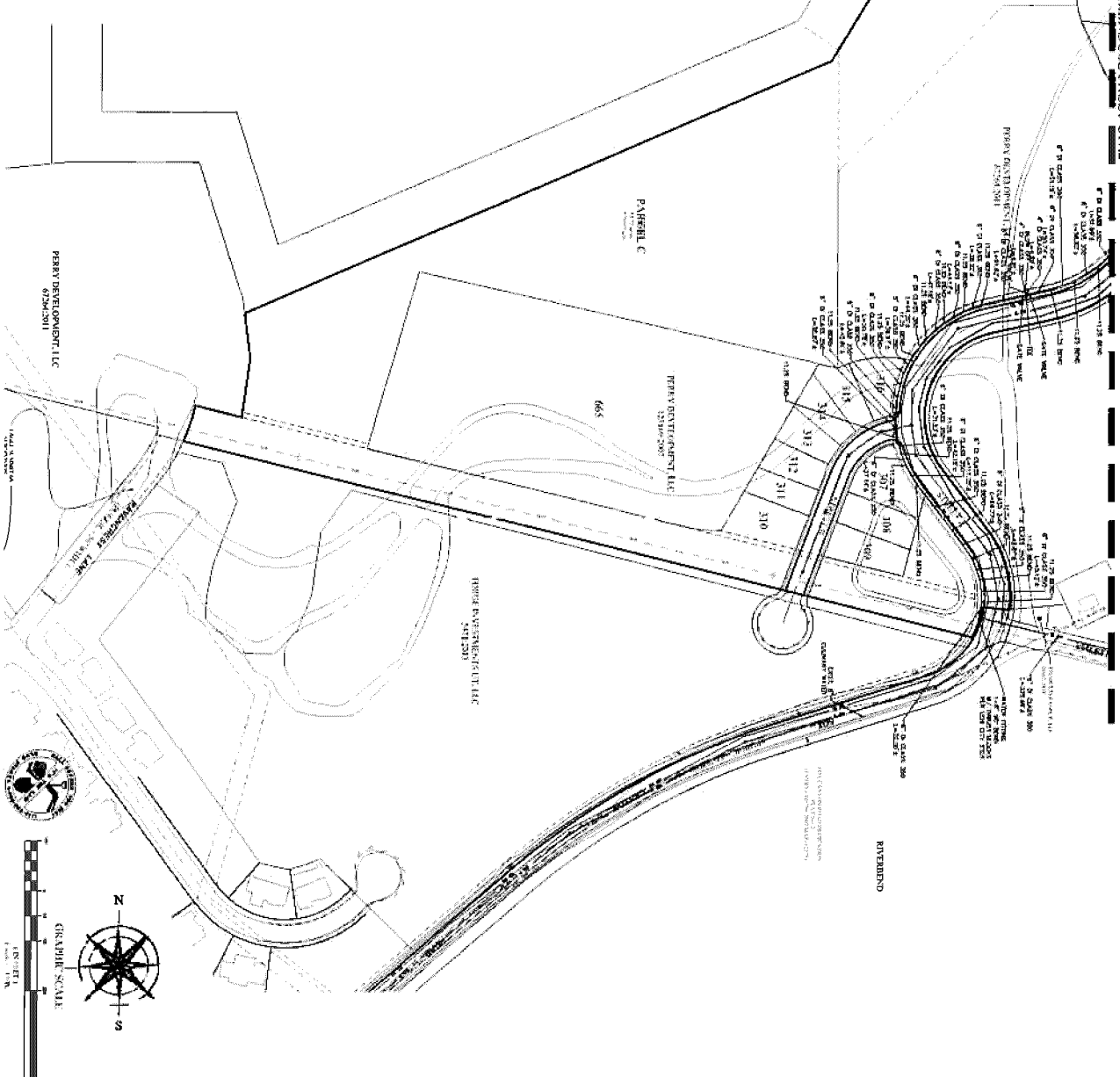
FOCUS
 ENGINEERING AND SURVEYING, LLC
 32 WEST CENTER STREET
 MIDVALE, UTAH 84047 P.O. BOX 355-0075
 www.focusinc.com

CITY
2011

LEGEND

NO.	DESCRIPTION
1	PROPERTY LINE
2	ADJACENT PROPERTY LINE
3	EXISTING CONCRETE DRIVE
4	EXISTING ASPHALT DRIVE
5	EXISTING GRAVEL DRIVE
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MATCHLINE SEE SHEET C172



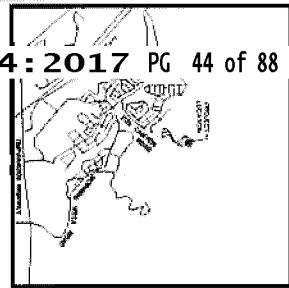
REVISIONS	
NO.	DATE

HIDDEN CANYON RESIDENTIAL SUBDIVISION
LEHI, UTAH
Water Transmission Plan



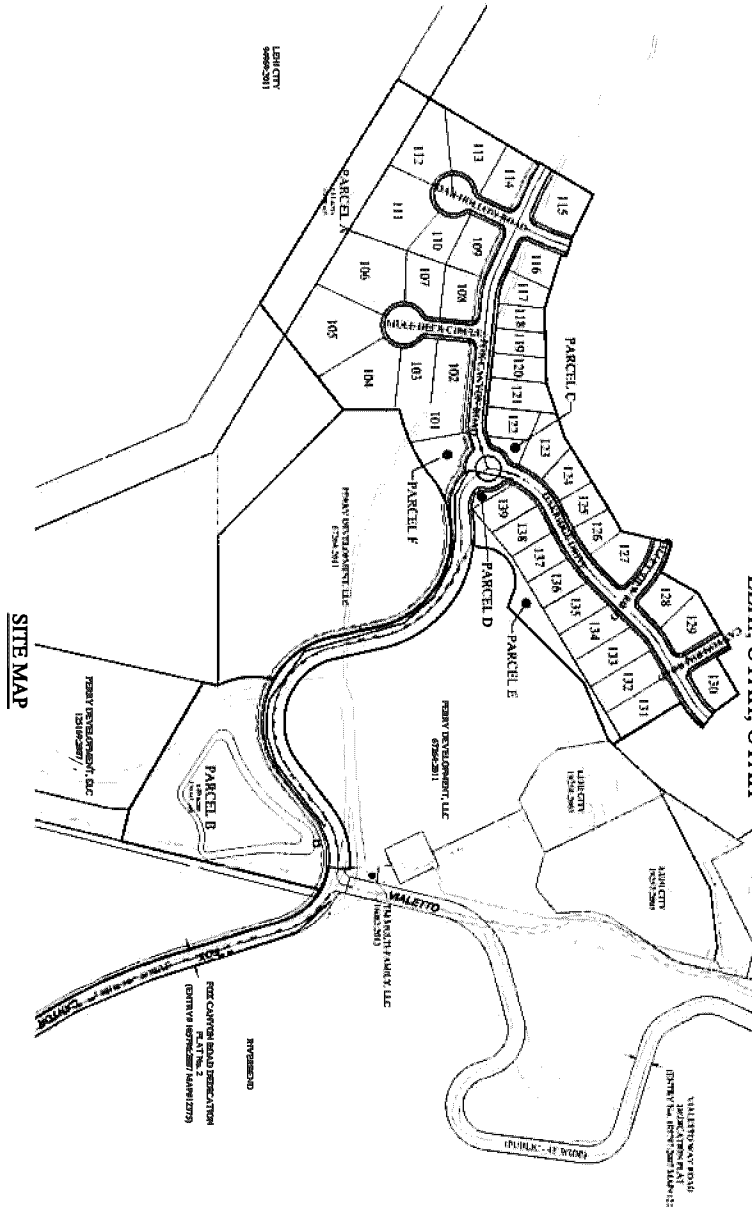
FOCUS
ENGINEERING AND SURVEYING, LLC
12 WEST COMB & SHERBO
BIRDALE, UTAH 84002 PH: (435) 733-8899
www.FocusEng.com

ENT 113184: 2017 PG 43 of 88



HIDDEN CANYON PLAT "A"

PREPARED FOR:
FIELDSTONE HOMES
LOCATED IN:
LEHI, UTAH, UTAH



SITE MAP

GENERAL NOTES

1. CONTRACTOR TO READ THESE GENERAL AND SPECIAL NOTES CAREFULLY AND TO UNDERSTAND THE INTENT OF THE CONTRACTOR'S OBLIGATIONS AND RESPONSIBILITIES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ORDINANCES AND RESOLUTIONS.
3. ALL UTILITIES AND ROAD IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ORDINANCES AND RESOLUTIONS.
4. ALL UTILITIES AND ROAD IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ORDINANCES AND RESOLUTIONS.
5. ALL UTILITIES AND ROAD IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ORDINANCES AND RESOLUTIONS.

NOTICE

BY THE SIGNATURE OF THE CONTRACTOR, THE CONTRACTOR SHALL CERTIFY THAT THE CONTRACTOR HAS READ AND UNDERSTANDS THE INTENT OF THE CONTRACTOR'S OBLIGATIONS AND RESPONSIBILITIES.

ENGINEER'S NOTES TO CONTRACTOR

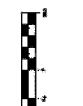
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.

LEHI CITY NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI, UTAH, AND THE STATE OF UTAH.

CONTACTS

FOR MORE INFORMATION, CONTACT THE ENGINEER AT THE FOLLOWING ADDRESS:
FOCUS ENGINEERING AND SURVEYING, LLC
1000 SOUTH 1000 WEST, SUITE 100
LEHI, UTAH 84040
PHONE: (801) 734-1111
FAX: (801) 734-1112
WWW.FOCUS-UTAH.COM



Sheet Number	Sheet Title
C1	COVER
C2.1	Final Plan
C2.2	Final Plan
C3	Overall Site Plan
C4	Site Plan
C5	Site Plan
C6	Grading Plan
C7	Grading Plan
C7.1	Grading Plan
C8	Drainage Plan
C8.1	Drainage Plan
C8.2	Drainage Plan
C9	Drainage Plan
C9.1	Drainage Plan
C9.2	Drainage Plan
C10	Water Plan
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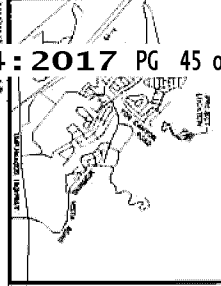
HIDDEN CANYON PLAT "A"

LEHI, UTAH
Cover

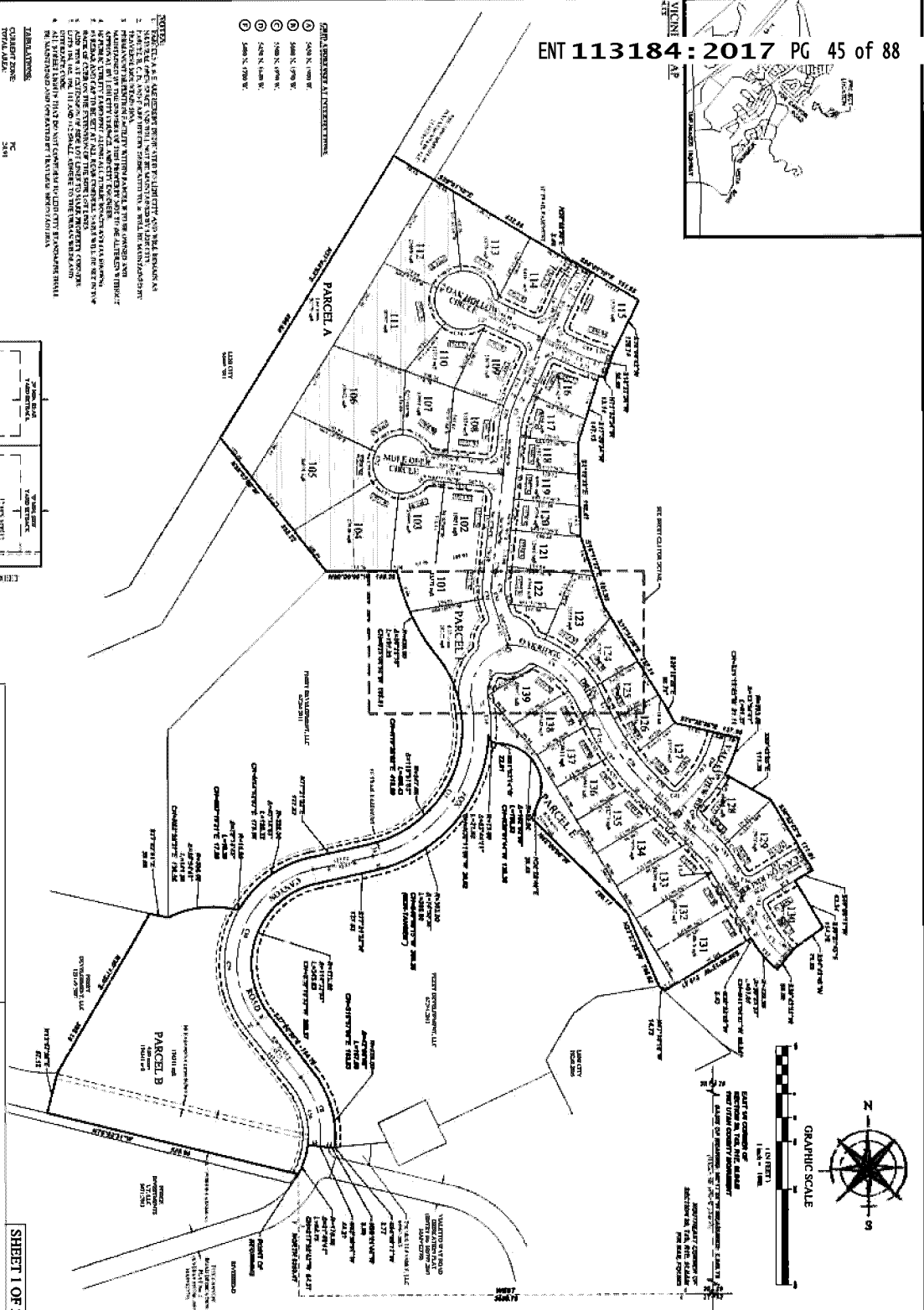


COVER

C1

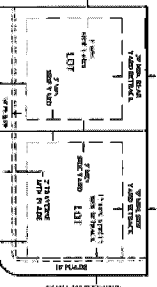


VICINITY MAP



GRAPHIC SCALE
1" = 100'

- NOTES:**
1. ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



TYPICAL BUILDING SETBACKS

FOCUS
ENGINEERING AND SURVEYING, LLC
11500 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80231
TEL: 303.733.8800
WWW.FOCUS-ES.COM

LIMITED LIABILITY ACKNOWLEDGMENT

I, the undersigned, hereby certify that I am a duly licensed Professional Engineer in the State of Colorado, and I am the author of the engineering work shown on this plan. I understand that this plan is being submitted to the City of Denver for review and approval. I agree to indemnify and hold the City of Denver harmless from and against all claims, damages, costs, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Denver as a result of my negligence or the negligence of any other person in connection with the preparation, use, or reliance upon this plan. My commission expires on 12/31/2017.

DATE: 11/15/2017
BY: [Signature]
TITLE: PROFESSIONAL ENGINEER

LIMITED LIABILITY ACKNOWLEDGMENT

I, the undersigned, hereby certify that I am a duly licensed Professional Engineer in the State of Colorado, and I am the author of the engineering work shown on this plan. I understand that this plan is being submitted to the City of Denver for review and approval. I agree to indemnify and hold the City of Denver harmless from and against all claims, damages, costs, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Denver as a result of my negligence or the negligence of any other person in connection with the preparation, use, or reliance upon this plan. My commission expires on 12/31/2017.

DATE: 11/15/2017
BY: [Signature]
TITLE: PROFESSIONAL ENGINEER

SHEET 1 OF 2

SURVEYOR'S CERTIFICATE

I, the undersigned, hereby certify that I am a duly licensed Professional Surveyor in the State of Colorado, and I am the author of the surveying work shown on this plan. I understand that this plan is being submitted to the City of Denver for review and approval. I agree to indemnify and hold the City of Denver harmless from and against all claims, damages, costs, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Denver as a result of my negligence or the negligence of any other person in connection with the preparation, use, or reliance upon this plan. My commission expires on 12/31/2017.

DATE: 11/15/2017
BY: [Signature]
TITLE: PROFESSIONAL SURVEYOR

BOUNDARY DESCRIPTION

A portion of Parcel A, bounded by Parcel B, Parcel C, Parcel D, Parcel E, Parcel F, Parcel G, Parcel H, Parcel I, Parcel J, Parcel K, Parcel L, Parcel M, Parcel N, Parcel O, Parcel P, Parcel Q, Parcel R, Parcel S, Parcel T, Parcel U, Parcel V, Parcel W, Parcel X, Parcel Y, Parcel Z, Parcel AA, Parcel AB, Parcel AC, Parcel AD, Parcel AE, Parcel AF, Parcel AG, Parcel AH, Parcel AI, Parcel AJ, Parcel AK, Parcel AL, Parcel AM, Parcel AN, Parcel AO, Parcel AP, Parcel AQ, Parcel AR, Parcel AS, Parcel AT, Parcel AU, Parcel AV, Parcel AW, Parcel AX, Parcel AY, Parcel AZ, Parcel BA, Parcel BB, Parcel BC, Parcel BD, Parcel BE, Parcel BF, Parcel BG, Parcel BH, Parcel BI, Parcel BJ, Parcel BK, Parcel BL, Parcel BM, Parcel BN, Parcel BO, Parcel BP, Parcel BQ, Parcel BR, Parcel BS, Parcel BT, Parcel BU, Parcel BV, Parcel BW, Parcel BX, Parcel BY, Parcel BZ, Parcel CA, Parcel CB, Parcel CC, Parcel CD, Parcel CE, Parcel CF, Parcel CG, Parcel CH, Parcel CI, Parcel CJ, Parcel CK, Parcel CL, Parcel CM, Parcel CN, Parcel CO, Parcel CP, Parcel CQ, Parcel CR, Parcel CS, Parcel CT, Parcel CU, Parcel CV, Parcel CW, Parcel CX, Parcel CY, Parcel CZ, Parcel DA, Parcel DB, Parcel DC, Parcel DD, Parcel DE, Parcel DF, Parcel DG, Parcel DH, Parcel DI, Parcel DJ, Parcel DK, Parcel DL, Parcel DM, Parcel DN, Parcel DO, Parcel DP, Parcel DQ, Parcel DR, Parcel DS, Parcel DT, Parcel DU, Parcel DV, Parcel DW, Parcel DX, Parcel DY, Parcel DZ, Parcel EA, Parcel EB, Parcel EC, Parcel ED, Parcel EE, Parcel EF, Parcel EG, Parcel EH, Parcel EI, Parcel EJ, Parcel EK, Parcel EL, Parcel EM, Parcel EN, Parcel EO, Parcel EP, Parcel EQ, Parcel ER, Parcel ES, Parcel ET, Parcel EU, Parcel EV, Parcel EW, Parcel EX, Parcel EY, Parcel EZ, Parcel FA, Parcel FB, Parcel FC, Parcel FD, Parcel FE, Parcel FF, Parcel FG, Parcel FH, Parcel FI, Parcel FJ, Parcel FK, Parcel FL, Parcel FM, Parcel FN, Parcel FO, Parcel FP, Parcel FQ, Parcel FR, Parcel FS, Parcel FT, Parcel FU, Parcel FV, Parcel FW, Parcel FX, Parcel FY, Parcel FZ, Parcel GA, Parcel GB, Parcel GC, Parcel GD, Parcel GE, Parcel GF, Parcel GG, Parcel GH, Parcel GI, Parcel GJ, Parcel GK, Parcel GL, Parcel GM, Parcel GN, Parcel GO, Parcel GP, Parcel GQ, Parcel GR, Parcel GS, Parcel GT, Parcel GU, Parcel GV, Parcel GW, Parcel GX, Parcel GY, Parcel GZ, Parcel HA, Parcel HB, Parcel HC, Parcel HD, Parcel HE, Parcel HF, Parcel HG, Parcel HH, Parcel HI, Parcel HJ, Parcel HK, Parcel HL, Parcel HM, Parcel HN, Parcel HO, Parcel HP, Parcel HQ, Parcel HR, Parcel HS, Parcel HT, Parcel HU, Parcel HV, Parcel HW, Parcel HX, Parcel HY, Parcel HZ, Parcel IA, Parcel IB, Parcel IC, Parcel ID, Parcel IE, Parcel IF, Parcel IG, Parcel IH, Parcel II, Parcel IJ, Parcel IK, Parcel IL, Parcel IM, Parcel IN, Parcel IO, Parcel IP, Parcel IQ, Parcel IR, Parcel IS, Parcel IT, Parcel IU, Parcel IV, Parcel IW, Parcel IX, Parcel IY, Parcel IZ, Parcel JA, Parcel JB, Parcel JC, Parcel JD, Parcel JE, Parcel JF, Parcel JG, Parcel JH, Parcel JI, Parcel JJ, Parcel JK, Parcel JL, Parcel JM, 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Parcel QN, Parcel QO, Parcel QP, Parcel QQ, Parcel QR, Parcel QS, Parcel QT, Parcel QU, Parcel QV, Parcel QW, Parcel QX, Parcel QY, Parcel QZ, Parcel RA, Parcel RB, Parcel RC, Parcel RD, Parcel RE, Parcel RF, Parcel RG, Parcel RH, Parcel RI, Parcel RJ, Parcel RK, Parcel RL, Parcel RM, Parcel RN, Parcel RO, Parcel RP, Parcel RQ, Parcel RR, Parcel RS, Parcel RT, Parcel RU, Parcel RV, Parcel RW, Parcel RX, Parcel RY, Parcel RZ, Parcel SA, Parcel SB, Parcel SC, Parcel SD, Parcel SE, Parcel SF, Parcel SG, Parcel SH, Parcel SI, Parcel SJ, Parcel SK, Parcel SL, Parcel SM, Parcel SN, Parcel SO, Parcel SP, Parcel SQ, Parcel SR, Parcel SS, Parcel ST, Parcel SU, Parcel SV, Parcel SW, Parcel SX, Parcel SY, Parcel SZ, Parcel TA, Parcel TB, Parcel TC, Parcel TD, Parcel TE, Parcel TF, Parcel TG, Parcel TH, Parcel TI, Parcel TJ, Parcel TK, Parcel TL, Parcel TM, Parcel TN, Parcel TO, Parcel TP, Parcel TQ, Parcel TR, Parcel TS, Parcel TU, Parcel TV, Parcel TW, Parcel TX, Parcel TY, Parcel TZ, Parcel UA, 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OWNER'S DEDICATION

I, the undersigned, hereby certify that I am the owner of the property described in this plan, and I hereby dedicate the property described in this plan to the City of Denver for use as a public street. I understand that this plan is being submitted to the City of Denver for review and approval. I agree to indemnify and hold the City of Denver harmless from and against all claims, damages, costs, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Denver as a result of my negligence or the negligence of any other person in connection with the preparation, use, or reliance upon this plan.

DATE: 11/15/2017
BY: [Signature]
TITLE: OWNER

ACCEPTANCE BY LEGISLATIVE BODY

I, the undersigned, hereby certify that I am a duly elected member of the City Council of the City of Denver, and I have reviewed and approved this plan. I understand that this plan is being submitted to the City of Denver for review and approval. I agree to indemnify and hold the City of Denver harmless from and against all claims, damages, costs, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Denver as a result of my negligence or the negligence of any other person in connection with the preparation, use, or reliance upon this plan.

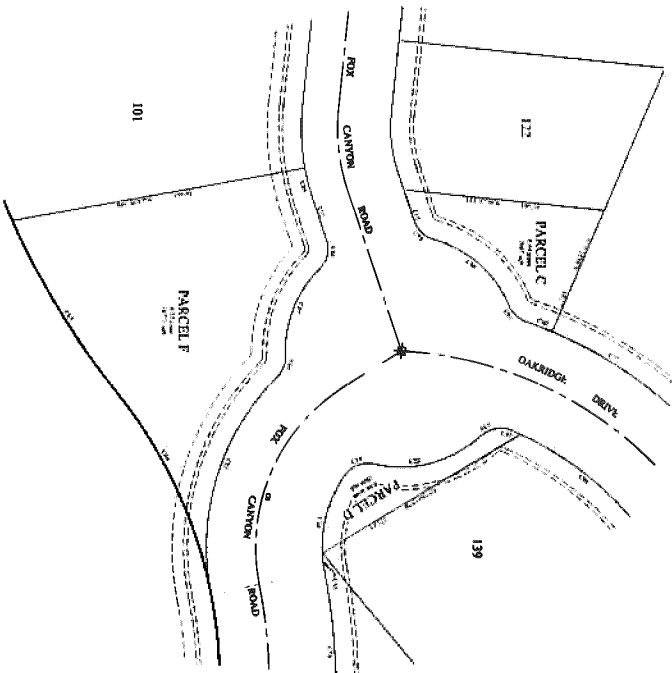
DATE: 11/15/2017
BY: [Signature]
TITLE: CITY COUNCIL MEMBER

PLANNING COMMISSION APPROVAL

I, the undersigned, hereby certify that I am a duly appointed member of the Planning Commission of the City of Denver, and I have reviewed and approved this plan. I understand that this plan is being submitted to the City of Denver for review and approval. I agree to indemnify and hold the City of Denver harmless from and against all claims, damages, costs, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Denver as a result of my negligence or the negligence of any other person in connection with the preparation, use, or reliance upon this plan.

DATE: 11/15/2017
BY: [Signature]
TITLE: PLANNING COMMISSION MEMBER

HIDDEN CANYON
A RESIDENTIAL SUBDIVISION
LAKESIDE COUNTY, COLO



Block	Parcel	Area	Use	Volume	Remarks
...

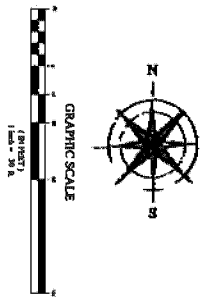
Block	Parcel	Area	Use	Volume	Remarks
...

Block	Parcel	Area	Use	Volume	Remarks
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Block	Parcel	Area	Use	Volume	Remarks
...

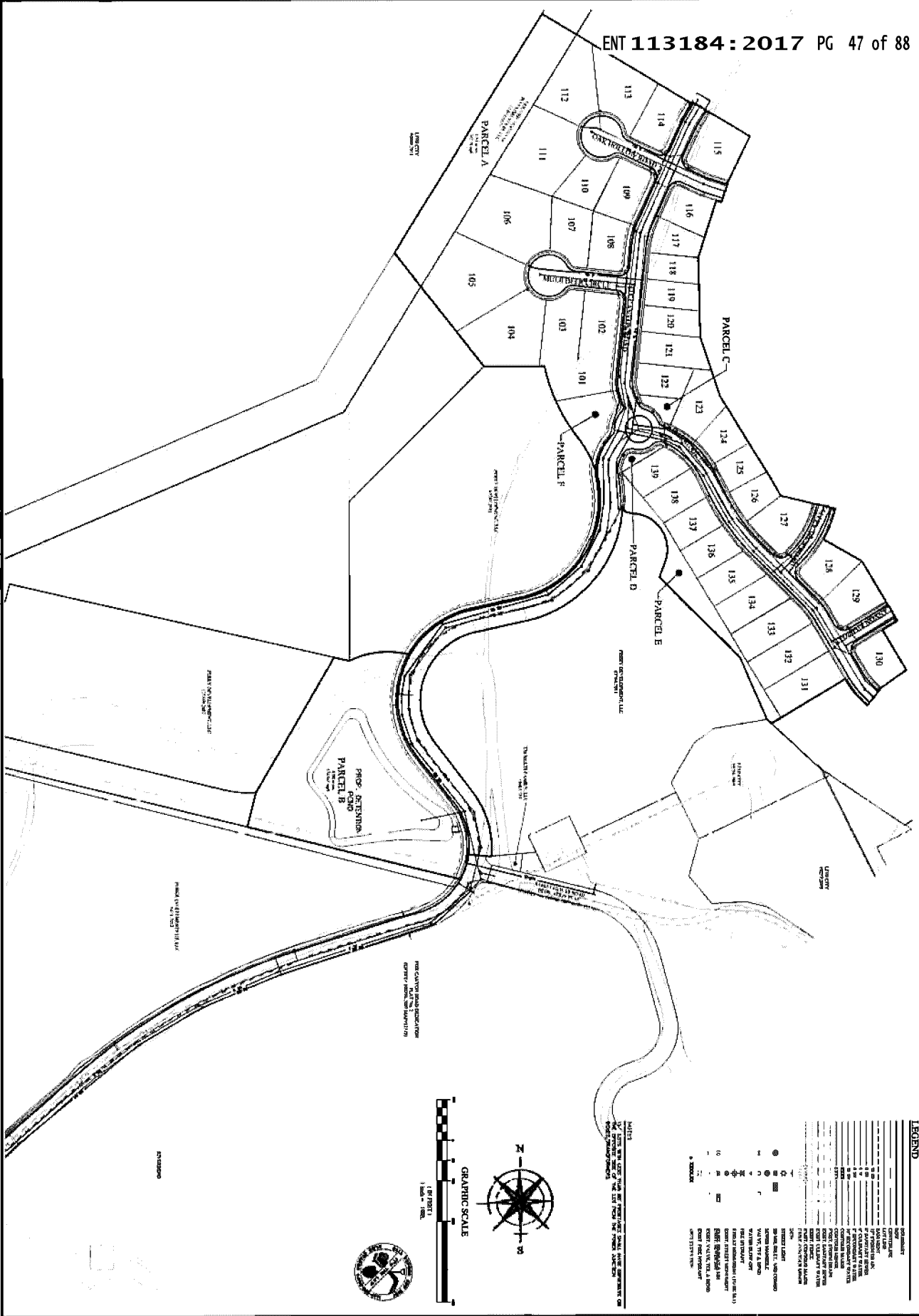
Lot	Area	Remarks
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Lot	Area	Remarks
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PLAT "A"
HIDDEN CANYON
A RESIDENTIAL SUBDIVISION
JANUARY 1, 2017

2017-12-27 10:57:57 AM / C:\Users\jstevens\Documents\113184\AS21\Final\AS21.dwg

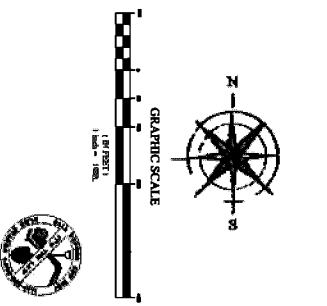


LEGEND

---	EXISTING ROAD
---	PROPOSED ROAD
---	PROPOSED DRIVE
---	PROPOSED SIDEWALK
---	PROPOSED BIKEWAY
---	PROPOSED UTILITY
---	PROPOSED FENCE
---	PROPOSED SIGN
---	PROPOSED LIGHT
---	PROPOSED TREE
---	PROPOSED PLANT
---	PROPOSED STRUCTURE
---	PROPOSED POND
---	PROPOSED DRAINAGE
---	PROPOSED EROSION CONTROL
---	PROPOSED LANDSCAPE
---	PROPOSED SECURITY
---	PROPOSED FURNITURE
---	PROPOSED ART
---	PROPOSED OTHER

NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
4. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TITLE INSURANCE.
5. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDING FEES.
6. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDING TAXES.
7. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDING COSTS.
8. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDING DELAY COSTS.
9. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDING DELAY FEES.
10. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDING DELAY PENALTIES.



HIDDEN CANYON PLAT "A"

LEHI, UTAH

Overall Site Plan

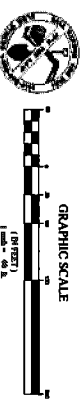
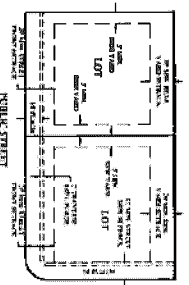
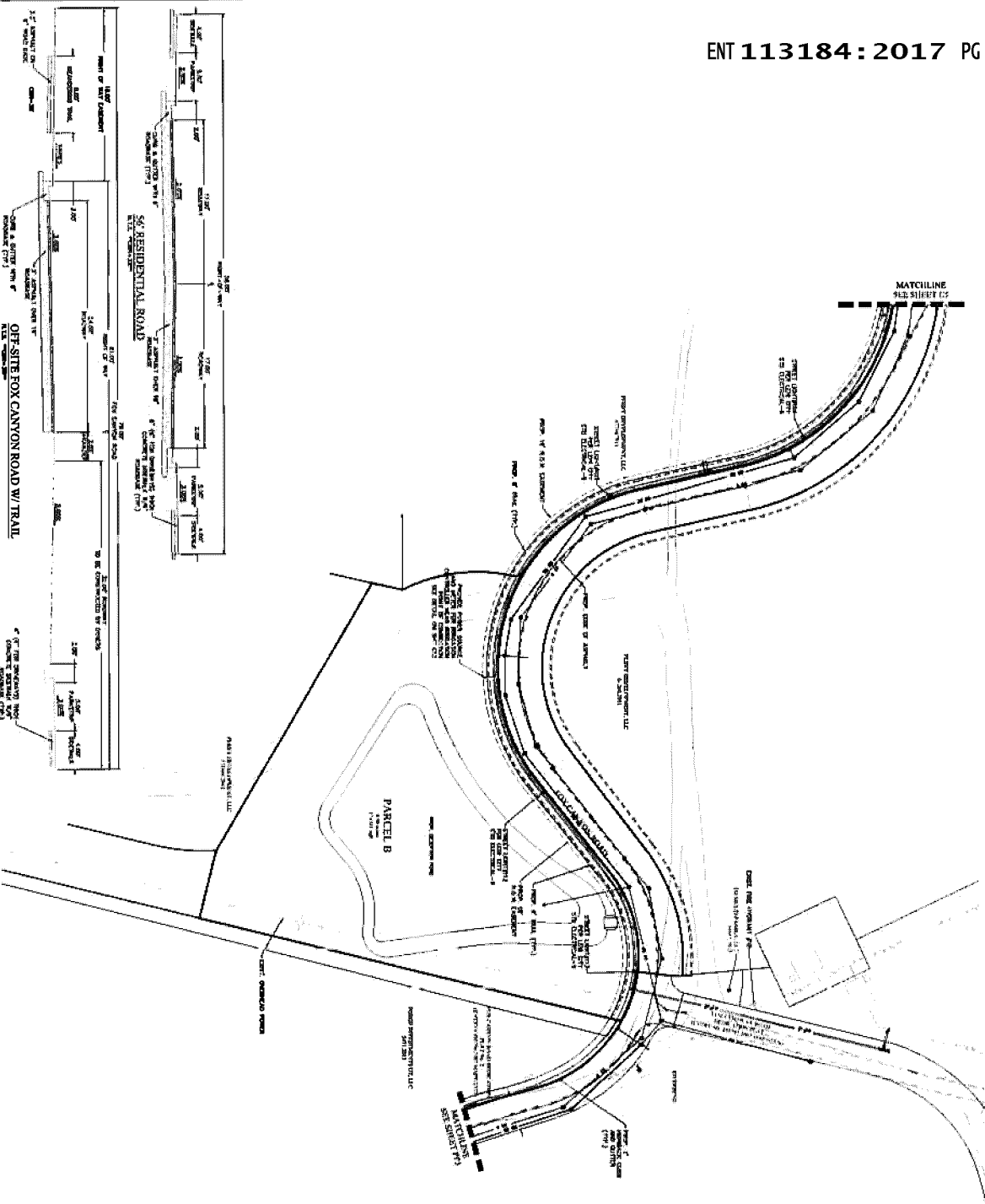


FOCUS
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 P.O. BOX 1352-0075
www.FocusES.com

OVERALL SITE PLAN

NO. 1	DATE	BY	CHECKED
1	11/15/17	JL	ML
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3			
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20			

C3



- LEGEND**
- PROPERTY LINE
 - OFF-SITE FOX CANYON ROAD W/ TRAIL
 - SCT RESIDENTIAL ROAD
 - HIDDEN CANYON ROAD
 - SETTLEMENTS
 - PUBLIC STREET
 - TYPICAL BUILDING SETBACKS
 - MINIMUM FRONT SETBACK
 - MINIMUM REAR SETBACK
 - MINIMUM SIDE SETBACK
 - MINIMUM SETBACK FROM PROPERTY LINE
 - MINIMUM SETBACK FROM PUBLIC STREET
 - MINIMUM SETBACK FROM SETTLEMENTS
 - MINIMUM SETBACK FROM NEARBY DEVELOPMENT LLC
 - MINIMUM SETBACK FROM MATCHLINE

NOTES
1. THIS SITE PLAN IS FOR THE PURPOSES OF SUBMITTING TO THE LEHI MUNICIPAL UTILITY DEPARTMENT FOR REVIEW AND APPROVAL.
2. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LEHI MUNICIPAL UTILITY DEPARTMENT.
3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LEHI MUNICIPAL UTILITY DEPARTMENT.
4. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LEHI MUNICIPAL UTILITY DEPARTMENT.

HIDDEN CANYON PLAT "A"

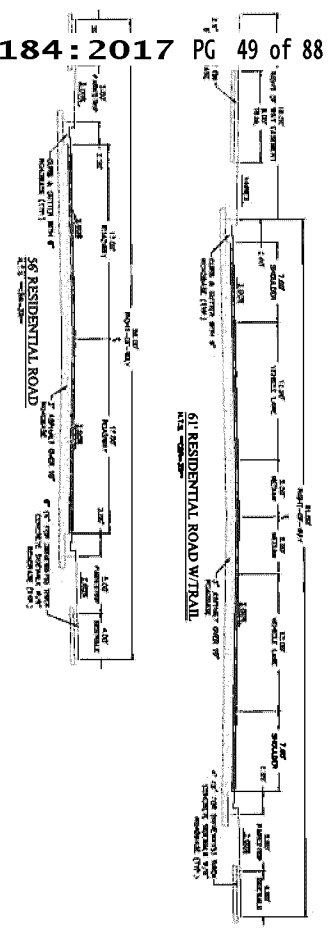
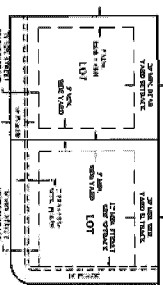
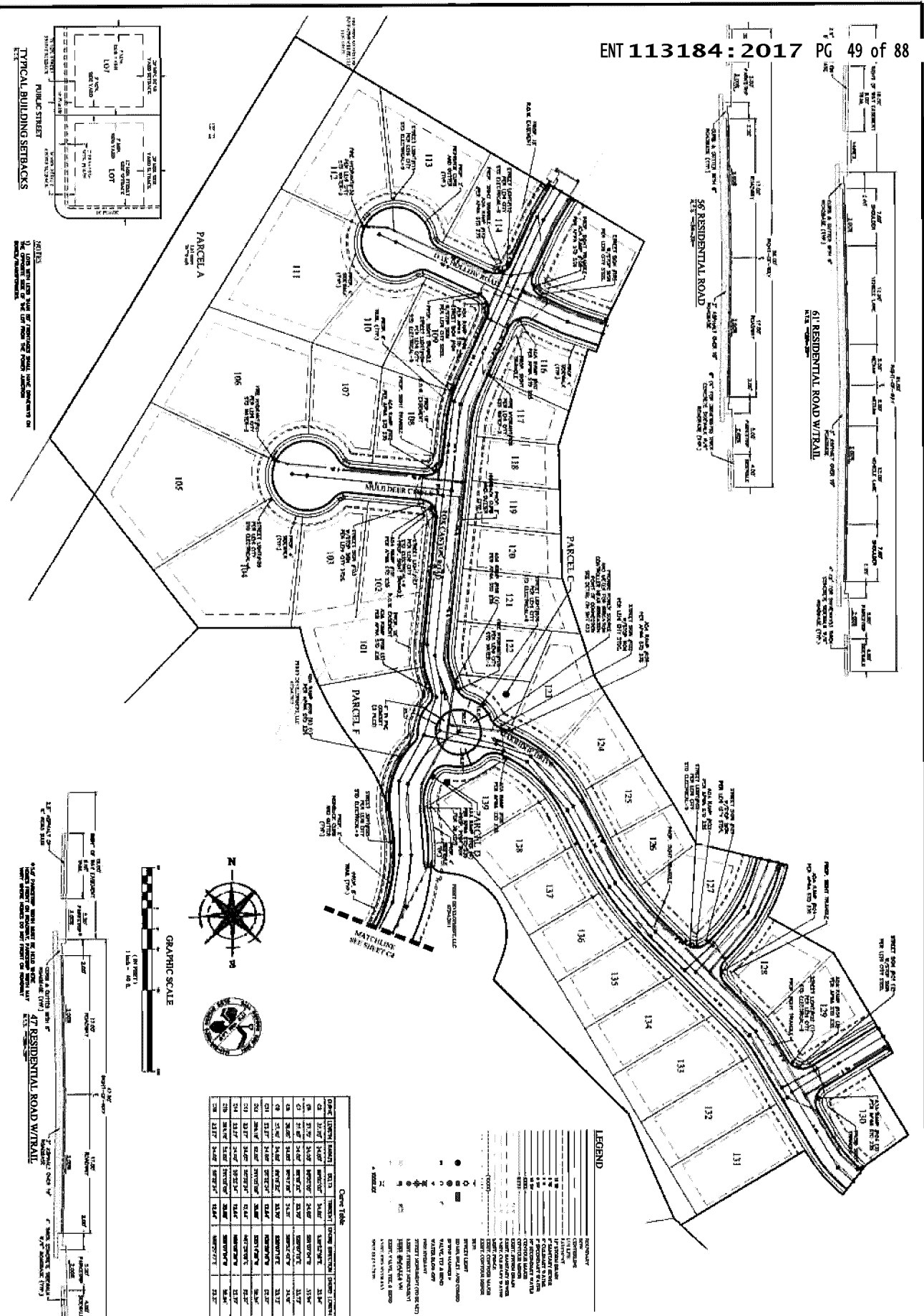
LEHI, UTAH
Site Plan



FOCUS
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 P1: (801) 532-0073
www.focusnh.com

NO.	DATE	DESCRIPTION

DATE	BY	APP'D



NOTES

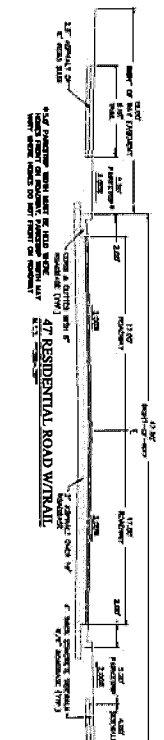
1. ALL LOT AREA SHALL BE MAINTAINED AS OPEN SPACE TO BE MAINTAINED BY THE PROPERTY OWNER.
2. ALL LOT AREA SHALL BE MAINTAINED AS OPEN SPACE TO BE MAINTAINED BY THE PROPERTY OWNER.
3. ALL LOT AREA SHALL BE MAINTAINED AS OPEN SPACE TO BE MAINTAINED BY THE PROPERTY OWNER.
4. ALL LOT AREA SHALL BE MAINTAINED AS OPEN SPACE TO BE MAINTAINED BY THE PROPERTY OWNER.



Parcel	Area (sq. ft.)	Area (ac.)
105	11,800	0.27
106	11,800	0.27
107	11,800	0.27
108	11,800	0.27
109	11,800	0.27
110	11,800	0.27
111	11,800	0.27
112	11,800	0.27
113	11,800	0.27
114	11,800	0.27
115	11,800	0.27
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156	11,800	0.27
157	11,800	0.27
158	11,800	0.27
159	11,800	0.27
160	11,800	0.27

LEGEND

[Symbol]	Subdivision Boundary
[Symbol]	Lot Boundary
[Symbol]	Proposed Road Right of Way
[Symbol]	Proposed Road Easement
[Symbol]	Proposed Utility Easement
[Symbol]	Proposed Storm Drain
[Symbol]	Proposed Water Main
[Symbol]	Proposed Gas Line
[Symbol]	Proposed Sewer Line
[Symbol]	Proposed Telephone Line
[Symbol]	Proposed Cable TV Line
[Symbol]	Proposed Electric Line
[Symbol]	Proposed Natural Gas Line
[Symbol]	Proposed Fire Line
[Symbol]	Proposed Telephone Pole
[Symbol]	Proposed Cable Pole
[Symbol]	Proposed Electric Pole
[Symbol]	Proposed Fire Pole
[Symbol]	Proposed Natural Gas Pole
[Symbol]	Proposed Fire Hydrant
[Symbol]	Proposed Manhole
[Symbol]	Proposed Valve
[Symbol]	Proposed Meter
[Symbol]	Proposed Transformer
[Symbol]	Proposed Pole Support
[Symbol]	Proposed Pole Base
[Symbol]	Proposed Pole Top
[Symbol]	Proposed Pole Mid
[Symbol]	Proposed Pole End
[Symbol]	Proposed Pole Connection
[Symbol]	Proposed Pole Transition
[Symbol]	Proposed Pole Junction
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[Symbol]	Proposed Pole Tap
[Symbol]	Proposed Pole Branch
[Symbol]	Proposed Pole Loop
[Symbol]	Proposed Pole Taper
[Symbol]	Proposed Pole Flare
[Symbol]	Proposed Pole Girth
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[Symbol]	Proposed Pole Splice Stars
[Symbol]	Proposed Pole Splice Planets
[Symbol]	Proposed Pole Splice Galaxies
[Symbol]	Proposed Pole Splice Universe



REVISIONS

NO.	DATE	DESCRIPTION
1	01/11/17	ISSUED
2	01/11/17	REVISED
3	01/11/17	REVISED
4	01/11/17	REVISED

DATE: 01/11/2017
TIME: 10:00 AM
PROJECT: HIDDEN CANYON PLAT "A"
SHEET NO.: 49 OF 88

SCALE: 1" = 40'
GRAPHIC SCALE: 1" = 40'

PROPERTY OWNER: [Name]
DEVELOPER: [Name]
ARCHITECT: [Name]
ENGINEER: [Name]

DATE: 01/11/2017
TIME: 10:00 AM
PROJECT: HIDDEN CANYON PLAT "A"
SHEET NO.: 49 OF 88

SCALE: 1" = 40'
GRAPHIC SCALE: 1" = 40'

PROPERTY OWNER: [Name]
DEVELOPER: [Name]
ARCHITECT: [Name]
ENGINEER: [Name]

DATE: 01/11/2017
TIME: 10:00 AM
PROJECT: HIDDEN CANYON PLAT "A"
SHEET NO.: 49 OF 88

SITE PLAN

05

REVISIONS

NO.	DATE	DESCRIPTION
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2	01/11/17	REVISED
3	01/11/17	REVISED
4	01/11/17	REVISED

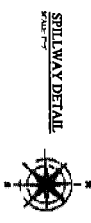
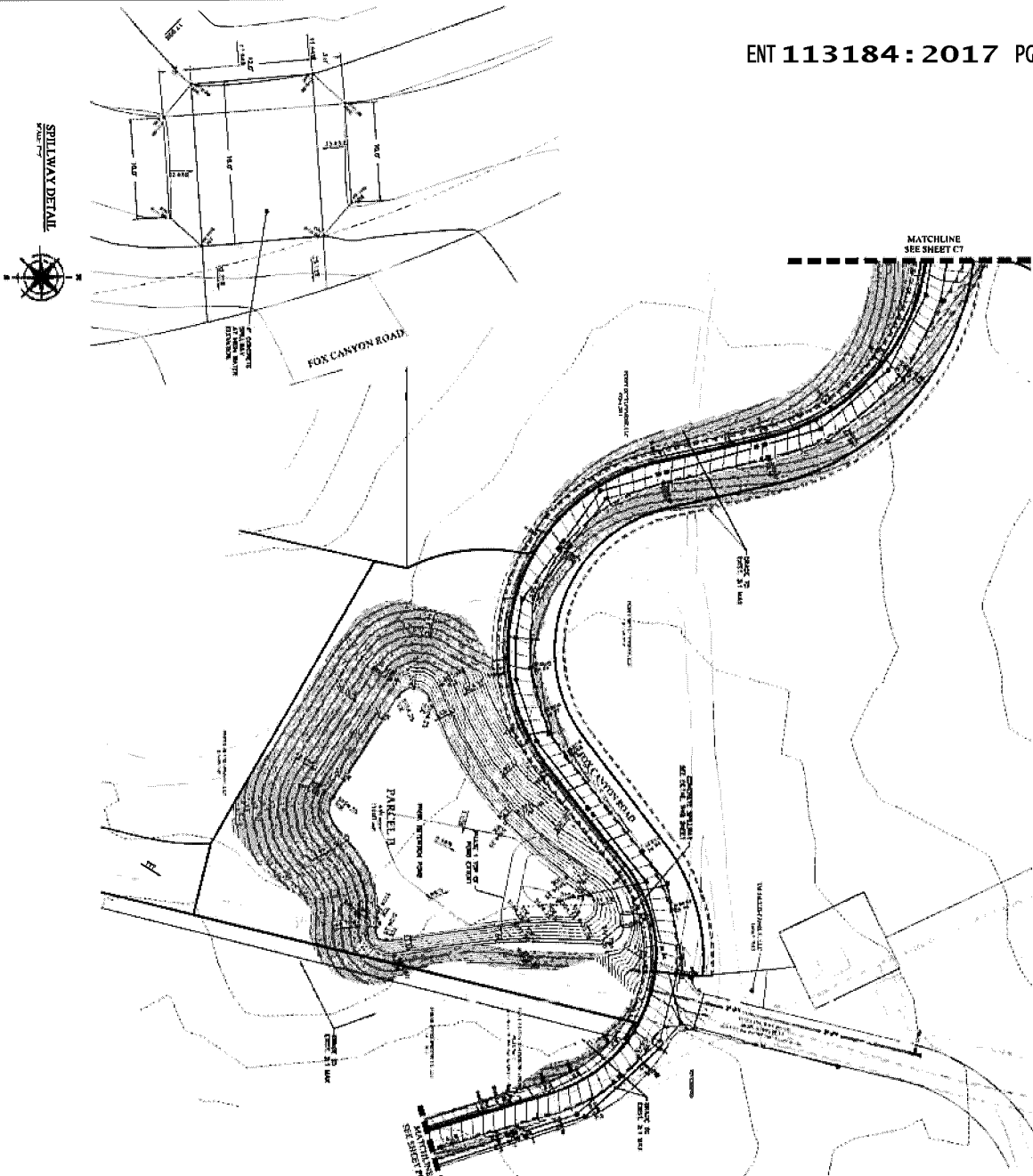
HIDDEN CANYON PLAT "A"

LEHI, UTAH

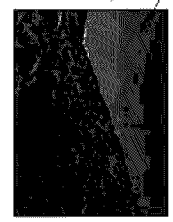
Site Plan



FOCUS
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 MIDVALE, UTAH 84047 P.O. BOX 12017
 (801) 352-0073
www.focusu.com



RE-VEGETATION DETAIL



NOTES:
 1) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.
 2) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.
 3) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.
 4) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.
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 9) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.
 10) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/15/17
2	ISSUED FOR PERMITS	11/15/17
3	ISSUED FOR PERMITS	11/15/17
4	ISSUED FOR PERMITS	11/15/17
5	ISSUED FOR PERMITS	11/15/17
6	ISSUED FOR PERMITS	11/15/17
7	ISSUED FOR PERMITS	11/15/17
8	ISSUED FOR PERMITS	11/15/17
9	ISSUED FOR PERMITS	11/15/17
10	ISSUED FOR PERMITS	11/15/17

NOTES:
 1) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.
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 9) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.
 10) ALL RE-VEGETATION AREAS SHALL BE PLANTED WITH NATIVE PLANTS AND TREES.

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING GRADE
(Symbol)	PROPOSED GRADE
(Symbol)	EXISTING ROAD
(Symbol)	PROPOSED ROAD
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING VEGETATION
(Symbol)	PROPOSED VEGETATION
(Symbol)	EXISTING CONSTRUCTION LIMITS
(Symbol)	PROPOSED CONSTRUCTION LIMITS
(Symbol)	EXISTING EROSION CONTROL
(Symbol)	PROPOSED EROSION CONTROL
(Symbol)	EXISTING FLOODPLAIN
(Symbol)	PROPOSED FLOODPLAIN
(Symbol)	EXISTING WETLANDS
(Symbol)	PROPOSED WETLANDS
(Symbol)	EXISTING ADJACENT PROPERTY
(Symbol)	PROPOSED ADJACENT PROPERTY
(Symbol)	EXISTING NEIGHBORHOOD
(Symbol)	PROPOSED NEIGHBORHOOD
(Symbol)	EXISTING ZONING
(Symbol)	PROPOSED ZONING
(Symbol)	EXISTING EASEMENTS
(Symbol)	PROPOSED EASEMENTS
(Symbol)	EXISTING ENCUMBRANCES
(Symbol)	PROPOSED ENCUMBRANCES
(Symbol)	EXISTING RECORDS
(Symbol)	PROPOSED RECORDS
(Symbol)	EXISTING SURVEY
(Symbol)	PROPOSED SURVEY
(Symbol)	EXISTING ADJACENT PROPERTY
(Symbol)	PROPOSED ADJACENT PROPERTY
(Symbol)	EXISTING NEIGHBORHOOD
(Symbol)	PROPOSED NEIGHBORHOOD
(Symbol)	EXISTING ZONING
(Symbol)	PROPOSED ZONING
(Symbol)	EXISTING EASEMENTS
(Symbol)	PROPOSED EASEMENTS
(Symbol)	EXISTING ENCUMBRANCES
(Symbol)	PROPOSED ENCUMBRANCES
(Symbol)	EXISTING RECORDS
(Symbol)	PROPOSED RECORDS
(Symbol)	EXISTING SURVEY
(Symbol)	PROPOSED SURVEY

GRADING PLAN

NO.	DATE	BY	CHKD.
1	11/15/17	JM	SM
2	11/15/17	JM	SM
3	11/15/17	JM	SM
4	11/15/17	JM	SM
5	11/15/17	JM	SM
6	11/15/17	JM	SM
7	11/15/17	JM	SM
8	11/15/17	JM	SM
9	11/15/17	JM	SM
10	11/15/17	JM	SM

REVISION BLOCK

NO.	DATE	BY	CHKD.
1	11/15/17	JM	SM
2	11/15/17	JM	SM
3	11/15/17	JM	SM
4	11/15/17	JM	SM
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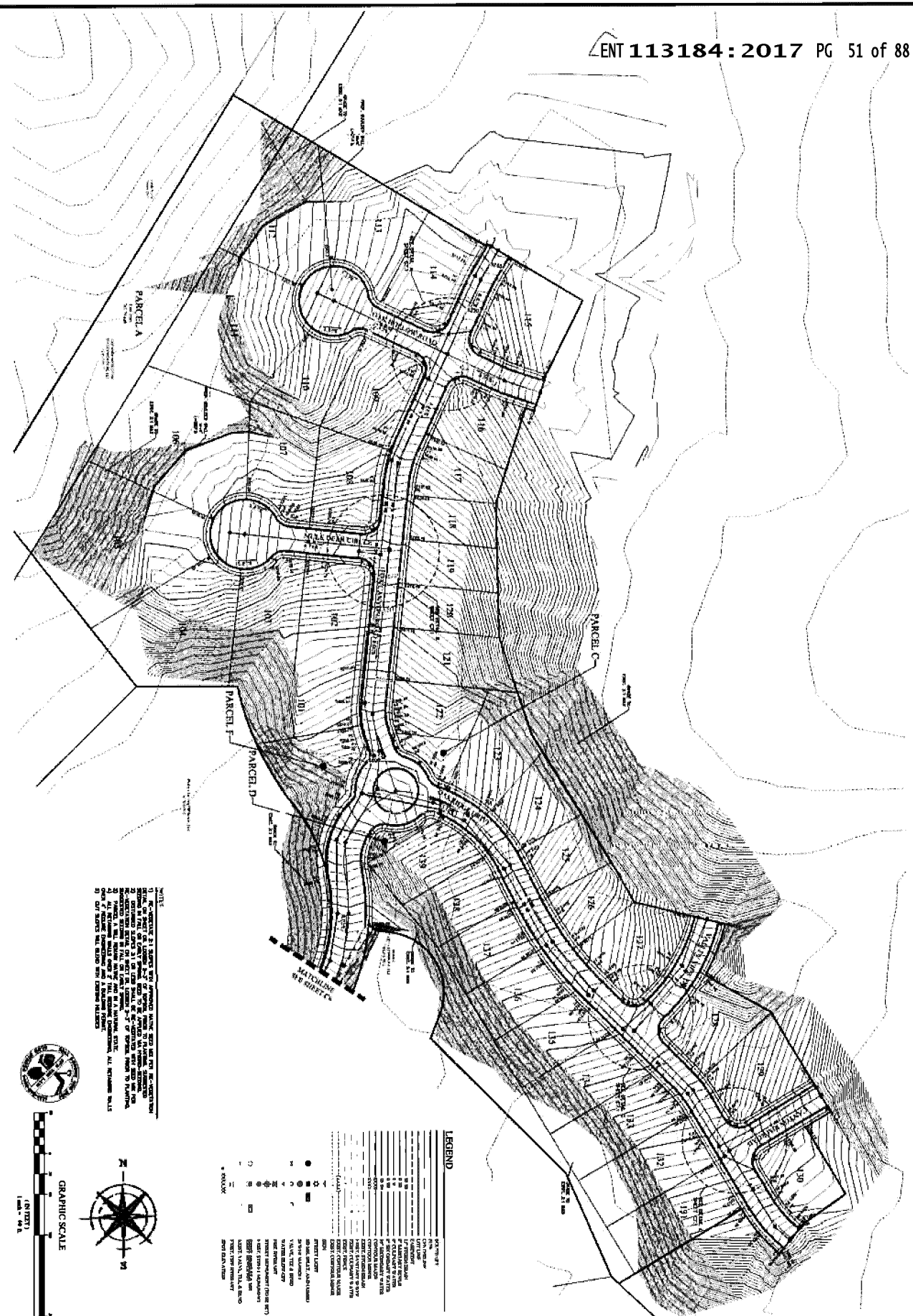
HIDDEN CANYON PLAT "A"

LEHI, UTAH

Grading Plan



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 222 WEST CENTER STREET
 SALT LAKE CITY, UTAH 84119
 TEL: (801) 232-0877
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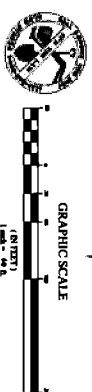


NOTES:

- 1) RE-CONSTRUCT 2.1 SLOPE AND IMPROVED BANKING, SEE SEE PLAN FOR RE-CONSTRUCTION.
- 2) ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ZONING ORDINANCE, CHAPTER 17.02, AND THE UTAH DEPARTMENT OF HERITAGE AND ARTS, DIVISION OF HISTORIC PRESERVATION, REGULATIONS, CHAPTER 17.02, AND THE UTAH DEPARTMENT OF HERITAGE AND ARTS, DIVISION OF HISTORIC PRESERVATION, REGULATIONS, CHAPTER 17.02.
- 3) ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ZONING ORDINANCE, CHAPTER 17.02, AND THE UTAH DEPARTMENT OF HERITAGE AND ARTS, DIVISION OF HISTORIC PRESERVATION, REGULATIONS, CHAPTER 17.02.
- 4) ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ZONING ORDINANCE, CHAPTER 17.02, AND THE UTAH DEPARTMENT OF HERITAGE AND ARTS, DIVISION OF HISTORIC PRESERVATION, REGULATIONS, CHAPTER 17.02.
- 5) ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEHI, UTAH, ZONING ORDINANCE, CHAPTER 17.02, AND THE UTAH DEPARTMENT OF HERITAGE AND ARTS, DIVISION OF HISTORIC PRESERVATION, REGULATIONS, CHAPTER 17.02.

LEGEND

1/8" = 1' (VERTICAL)	1/8" = 1' (HORIZONTAL)
1/4" = 1' (VERTICAL)	1/4" = 1' (HORIZONTAL)
1/2" = 1' (VERTICAL)	1/2" = 1' (HORIZONTAL)
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9 3/4" = 1' (VERTICAL)	9 3/4" = 1' (HORIZONTAL)
10" = 1' (VERTICAL)	10" = 1' (HORIZONTAL)



REVISION BLOCK	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	REVISED TO SHOW GRADING
3	REVISED TO SHOW ROADWAY
4	REVISED TO SHOW UTILITIES
5	REVISED TO SHOW FENCE
6	REVISED TO SHOW SIGNAGE
7	REVISED TO SHOW LIGHTING
8	REVISED TO SHOW LANDSCAPE
9	REVISED TO SHOW PAVING
10	REVISED TO SHOW CURBS
11	REVISED TO SHOW SIDEWALKS
12	REVISED TO SHOW BIKEWAYS
13	REVISED TO SHOW TRAILS
14	REVISED TO SHOW UTILITIES
15	REVISED TO SHOW FENCE
16	REVISED TO SHOW SIGNAGE
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100	REVISED TO SHOW CURBS

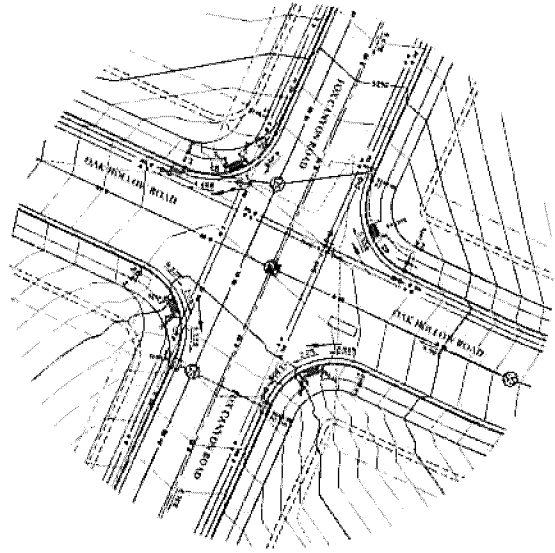
HIDDEN CANYON PLAT "A"

LEHI, UTAH

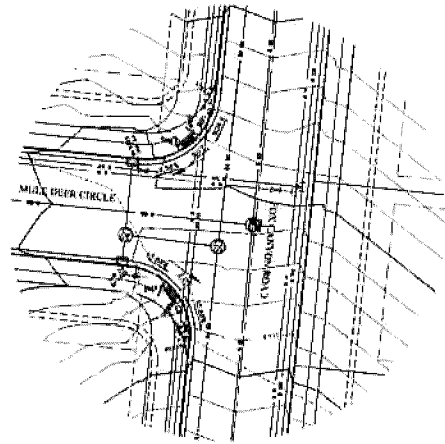
Grading Plan



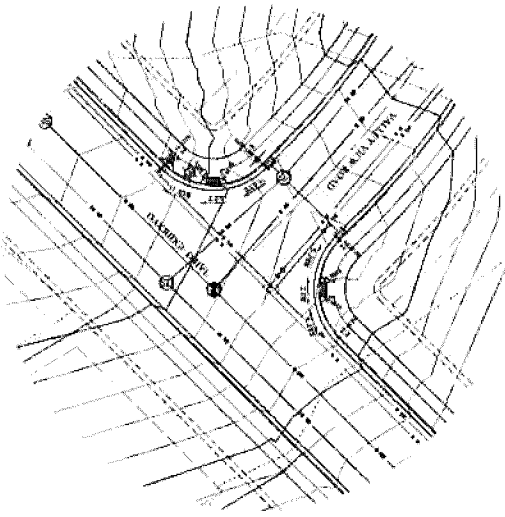
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 ENGINEERING AND SURVEYING, LLC
 47 WEST CENTER STREET
 MIDVALE, UTAH 84047 P: (801) 552-6013
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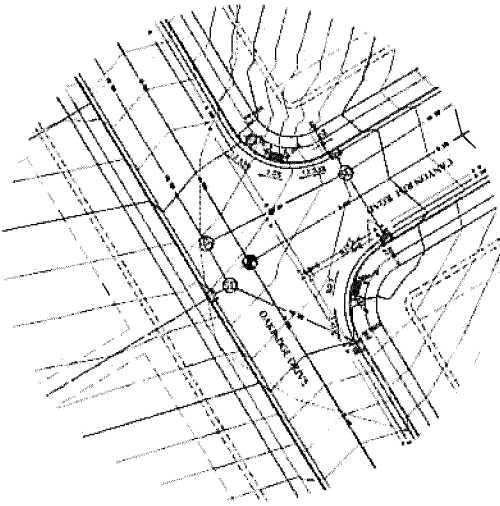
DETAIL A - OAK HOLLOW RD & FOX CANYON RD



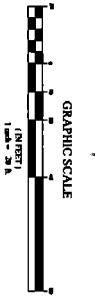
DETAIL B - MUDE DEER CIRCLE & FOX CANYON RD



DETAIL C - VALLEY VIEW RD & OAKRIDGE DR



DETAIL D - CANYON RIM RD & OAKRIDGE DR



THE ENGINEER HAS CONDUCTED A VISUAL GENERAL SURVEY OF THE PROPOSED SITES AND HAS FOUND NO OBSTACLES TO THE PROPOSED GRADING PLAN. THE PROPOSED GRADING PLAN IS BASED ON THE EXISTING TOPOGRAPHY AND THE PROPOSED ROAD ALIGNMENTS. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL SURVEY OF THE PROPOSED SITES AND HAS FOUND NO OBSTACLES TO THE PROPOSED GRADING PLAN. THE PROPOSED GRADING PLAN IS BASED ON THE EXISTING TOPOGRAPHY AND THE PROPOSED ROAD ALIGNMENTS.

LEGEND	
	BOUNDARY
	EASEMENT
	UTILITY
	STREAM
	ROAD
	STRUCTURE
	VEGETATION
	SPOT ELEVATION
	PROPOSED ROAD
	EXISTING ROAD
	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	EXISTING STRUCTURE
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	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	EXISTING STRUCTURE

NO.	REVISION	DATE
1	AS SHOWN	10/1/17

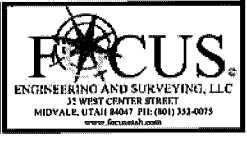
GRADING PLAN

C7.1

HIDDEN CANYON PLAT "A"

LEHI, UTAH

Grading Plan



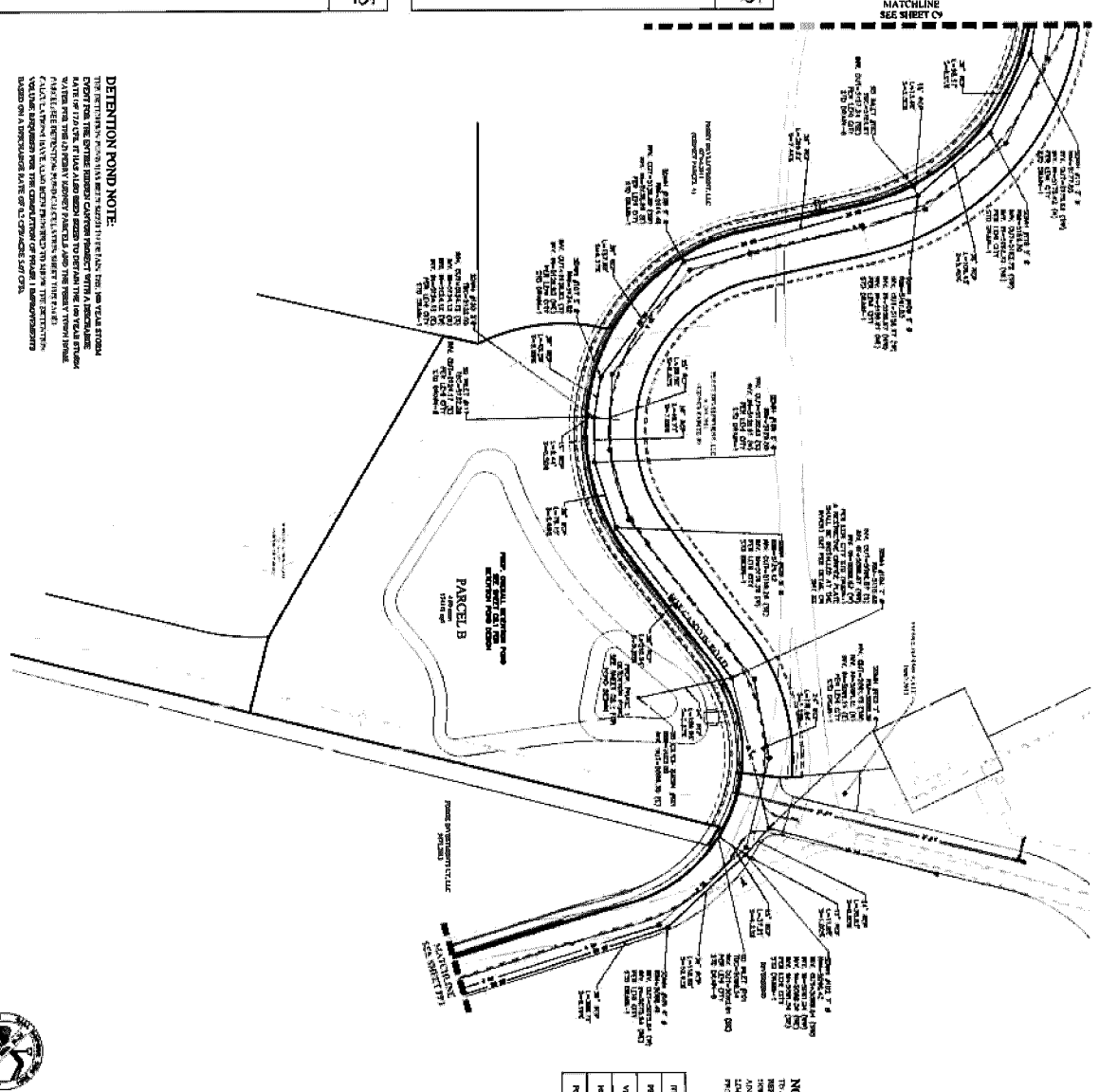
Small text at the bottom left corner of the page, likely a file path or version number.

Table with 2 columns: Description, Quantity. Includes items like 4" x 4" x 8" sds, 4" x 4" x 8" sds, etc.

Form with fields for Project Name, Location, Date, and other details. Includes FOCUS logo.

Table with 2 columns: Description, Quantity. Includes items like 4" x 4" x 8" sds, 4" x 4" x 8" sds, etc.

DETECTION POND NOTE: THE DETECTION POND SHALL BE DESIGNED TO DETECT AND TRAP... (rest of the note text)



LEGEND section with symbols and descriptions for various materials and features like 12" POLYPROPYLENE SAND, 6" CONCRETE, etc.

NOTE: TO AVOID THE NEED TO CONSTRUCT THE 30' x 30' x 4' DETENTION POND... (rest of the note text)

Table with 2 columns: AREA (SQ FT) and PERCENTAGE. Includes rows for FURNISHING CANON, POCKET PACKERS, etc.

* HIDDEN CANYON DEVELOPMENT HAS ISSUED A NOTIFICATION... (rest of the text)

Graphic Scale (1" = 40'), North Arrow, and FOCUS logo.

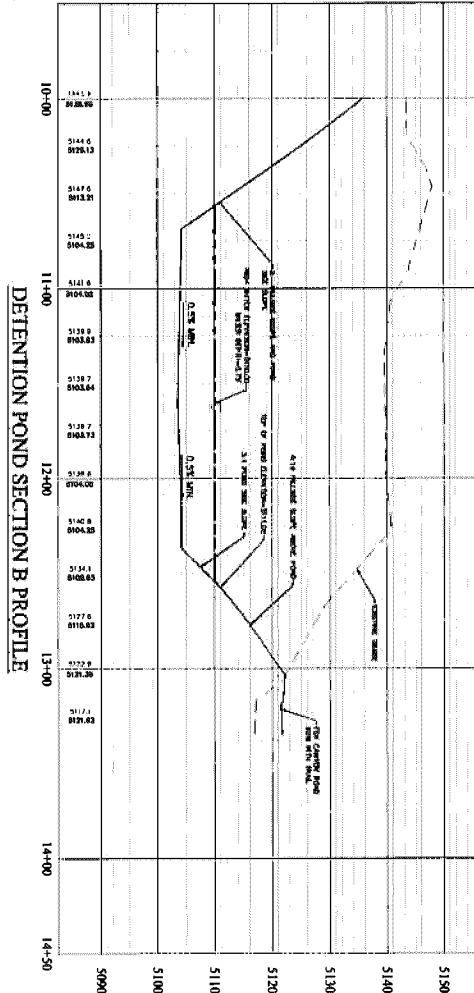
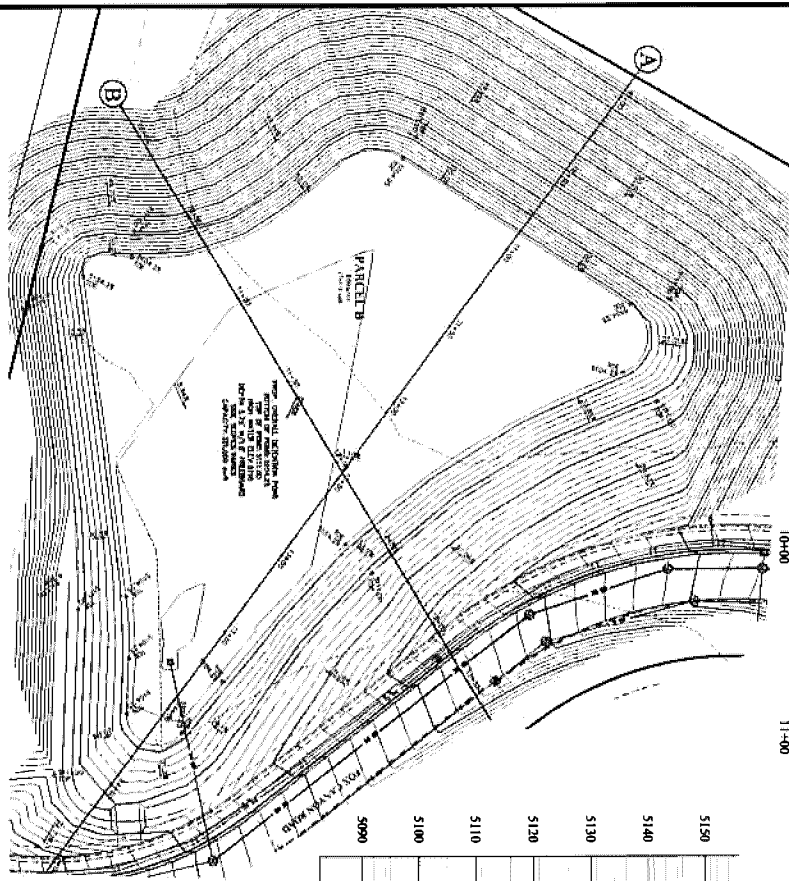
REVISIONS table with columns for No., Date, and Description.

HIDDEN CANYON PLAT "A" LEHI, UTAH Drainage Plan

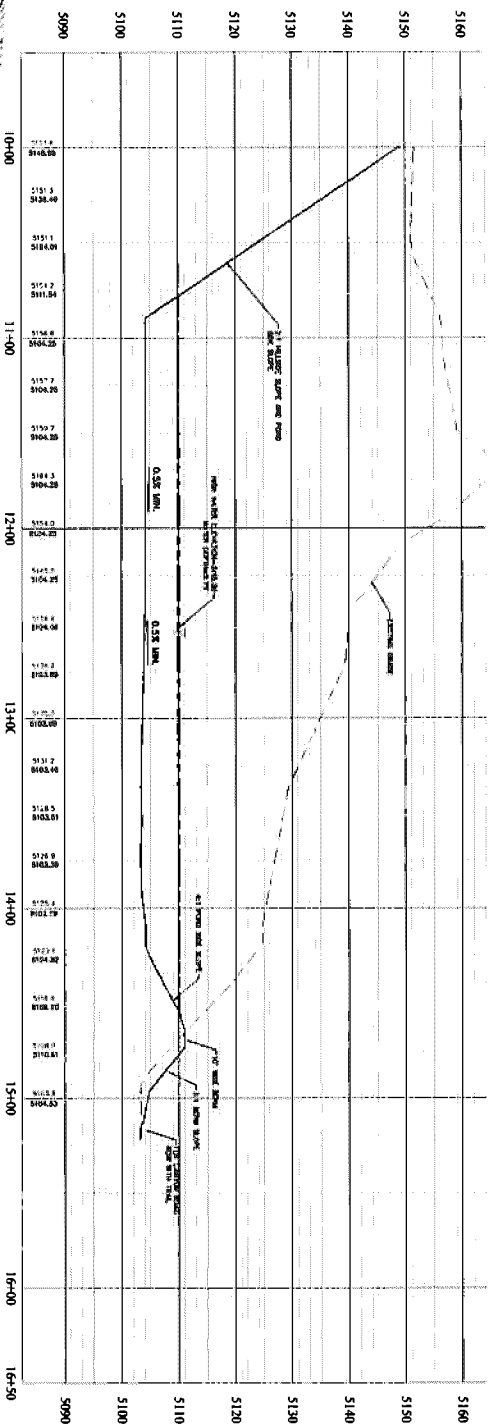


FOCUS ENGINEERING AND SURVEYING, LLC logo and contact information.

11-2013-11-27: Civil/Cover/Grp 11-17/1/04/060 11-17/1/04/060 11-17/1/04/060 Drainage Plan/Drp



DETENTION POND SECTION A PROFILE



REVISION BLOCK	
NO.	DATE

HIDDEN CANYON PLAT "A"

LEHI, UTAH

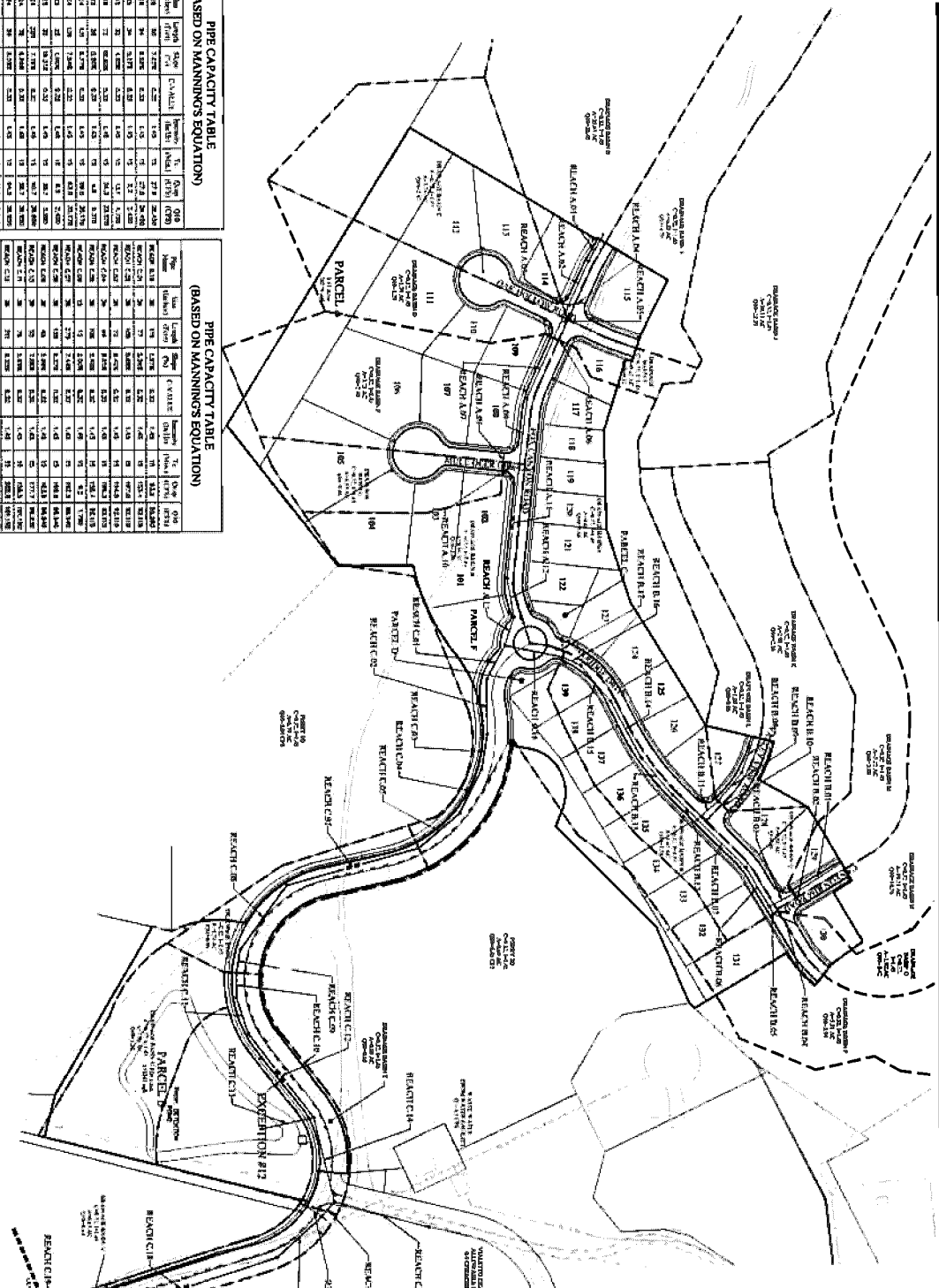
Detention Pond Profiles



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MIDVALE, UTAH 84047 PH: (801) 352-9699
www.FocusUtah.com

C8.1

DETENTION POND PROFILES



PIPE CAPACITY TABLE
(BASED ON MANNINGS EQUATION)

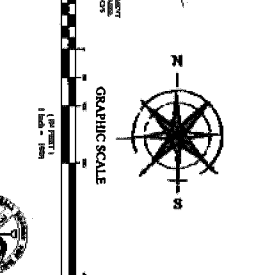
PIPE SIZE (INCH)	DEPTH (INCH)	VELOCITY (FT/SEC)	DISCHARGE (MGD)	HYDRAULIC RADIUS (FT)	ROUGHNESS COEFFICIENT (N)
4	4	1.49	0.34	0.55	0.149
6	6	1.49	0.78	0.55	0.149
8	8	1.49	1.36	0.55	0.149
10	10	1.49	2.09	0.55	0.149
12	12	1.49	2.97	0.55	0.149
14	14	1.49	3.99	0.55	0.149
16	16	1.49	5.16	0.55	0.149
18	18	1.49	6.48	0.55	0.149
20	20	1.49	7.95	0.55	0.149
22	22	1.49	9.57	0.55	0.149
24	24	1.49	11.34	0.55	0.149
26	26	1.49	13.26	0.55	0.149
28	28	1.49	15.33	0.55	0.149
30	30	1.49	17.55	0.55	0.149
32	32	1.49	20.02	0.55	0.149
34	34	1.49	22.74	0.55	0.149
36	36	1.49	25.71	0.55	0.149
38	38	1.49	28.94	0.55	0.149
40	40	1.49	32.43	0.55	0.149
42	42	1.49	36.18	0.55	0.149
44	44	1.49	40.19	0.55	0.149
46	46	1.49	44.46	0.55	0.149
48	48	1.49	49.00	0.55	0.149
50	50	1.49	53.81	0.55	0.149
52	52	1.49	58.89	0.55	0.149
54	54	1.49	64.24	0.55	0.149
56	56	1.49	69.87	0.55	0.149
58	58	1.49	75.78	0.55	0.149
60	60	1.49	81.97	0.55	0.149
62	62	1.49	88.44	0.55	0.149
64	64	1.49	95.19	0.55	0.149
66	66	1.49	102.22	0.55	0.149
68	68	1.49	109.54	0.55	0.149
70	70	1.49	117.15	0.55	0.149
72	72	1.49	125.06	0.55	0.149
74	74	1.49	133.27	0.55	0.149
76	76	1.49	141.79	0.55	0.149
78	78	1.49	150.62	0.55	0.149
80	80	1.49	159.76	0.55	0.149
82	82	1.49	169.22	0.55	0.149
84	84	1.49	179.00	0.55	0.149
86	86	1.49	189.11	0.55	0.149
88	88	1.49	199.56	0.55	0.149
90	90	1.49	210.35	0.55	0.149
92	92	1.49	221.49	0.55	0.149
94	94	1.49	232.98	0.55	0.149
96	96	1.49	244.83	0.55	0.149
98	98	1.49	257.04	0.55	0.149
100	100	1.49	269.62	0.55	0.149

PIPE CAPACITY TABLE
(BASED ON MANNINGS EQUATION)

PIPE SIZE (INCH)	DEPTH (INCH)	VELOCITY (FT/SEC)	DISCHARGE (MGD)	HYDRAULIC RADIUS (FT)	ROUGHNESS COEFFICIENT (N)
10	10	1.49	2.09	0.55	0.149
12	12	1.49	2.97	0.55	0.149
14	14	1.49	3.99	0.55	0.149
16	16	1.49	5.16	0.55	0.149
18	18	1.49	6.48	0.55	0.149
20	20	1.49	7.95	0.55	0.149
22	22	1.49	9.57	0.55	0.149
24	24	1.49	11.34	0.55	0.149
26	26	1.49	13.26	0.55	0.149
28	28	1.49	15.33	0.55	0.149
30	30	1.49	17.55	0.55	0.149
32	32	1.49	20.02	0.55	0.149
34	34	1.49	22.74	0.55	0.149
36	36	1.49	25.71	0.55	0.149
38	38	1.49	28.94	0.55	0.149
40	40	1.49	32.43	0.55	0.149
42	42	1.49	36.18	0.55	0.149
44	44	1.49	40.19	0.55	0.149
46	46	1.49	44.46	0.55	0.149
48	48	1.49	49.00	0.55	0.149
50	50	1.49	53.81	0.55	0.149
52	52	1.49	58.89	0.55	0.149
54	54	1.49	64.24	0.55	0.149
56	56	1.49	69.87	0.55	0.149
58	58	1.49	75.78	0.55	0.149
60	60	1.49	81.97	0.55	0.149
62	62	1.49	88.44	0.55	0.149
64	64	1.49	95.19	0.55	0.149
66	66	1.49	102.22	0.55	0.149
68	68	1.49	109.54	0.55	0.149
70	70	1.49	117.15	0.55	0.149
72	72	1.49	125.06	0.55	0.149
74	74	1.49	133.27	0.55	0.149
76	76	1.49	141.79	0.55	0.149
78	78	1.49	150.62	0.55	0.149
80	80	1.49	159.76	0.55	0.149
82	82	1.49	169.22	0.55	0.149
84	84	1.49	179.00	0.55	0.149
86	86	1.49	189.11	0.55	0.149
88	88	1.49	199.56	0.55	0.149
90	90	1.49	210.35	0.55	0.149
92	92	1.49	221.49	0.55	0.149
94	94	1.49	232.98	0.55	0.149
96	96	1.49	244.83	0.55	0.149
98	98	1.49	257.04	0.55	0.149
100	100	1.49	269.62	0.55	0.149

LEGEND

- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- PROPOSED SEWER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED FIBER OPTIC LINE
- PROPOSED CABLE TV LINE
- PROPOSED CATV LINE
- PROPOSED CONDUIT
- PROPOSED TRENCH
- PROPOSED MANHOLE
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED SANITARY MANHOLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED GAS VALVE
- PROPOSED ELECTRIC VALVE
- PROPOSED TELEPHONE VALVE
- PROPOSED FIBER OPTIC VALVE
- PROPOSED CATV VALVE
- PROPOSED CONDUIT VALVE
- PROPOSED TRENCH VALVE
- PROPOSED MANHOLE VALVE
- PROPOSED VALVE VALVE
- PROPOSED FIRE HYDRANT VALVE
- PROPOSED WATER METER VALVE
- PROPOSED SANITARY MANHOLE VALVE
- PROPOSED SEWER MANHOLE VALVE
- PROPOSED STORM SEWER MANHOLE VALVE
- PROPOSED GAS VALVE VALVE
- PROPOSED ELECTRIC VALVE VALVE
- PROPOSED TELEPHONE VALVE VALVE
- PROPOSED FIBER OPTIC VALVE VALVE
- PROPOSED CATV VALVE VALVE
- PROPOSED CONDUIT VALVE VALVE
- PROPOSED TRENCH VALVE VALVE
- PROPOSED MANHOLE VALVE VALVE
- PROPOSED VALVE VALVE VALVE
- PROPOSED FIRE HYDRANT VALVE VALVE
- PROPOSED WATER METER VALVE VALVE
- PROPOSED SANITARY MANHOLE VALVE VALVE
- PROPOSED SEWER MANHOLE VALVE VALVE
- PROPOSED STORM SEWER MANHOLE VALVE VALVE
- PROPOSED GAS VALVE VALVE VALVE
- PROPOSED ELECTRIC VALVE VALVE VALVE
- PROPOSED TELEPHONE VALVE VALVE VALVE
- PROPOSED FIBER OPTIC VALVE VALVE VALVE
- PROPOSED CATV VALVE VALVE VALVE
- PROPOSED CONDUIT VALVE VALVE VALVE
- PROPOSED TRENCH VALVE VALVE VALVE
- PROPOSED MANHOLE VALVE VALVE VALVE
- PROPOSED VALVE VALVE VALVE VALVE



REVISIONS

NO.	DATE	DESCRIPTION

DATE: 12/15/2017

PROJECT: HIDDEN CANYON PLAT "A"

SHEET: 57 OF 88

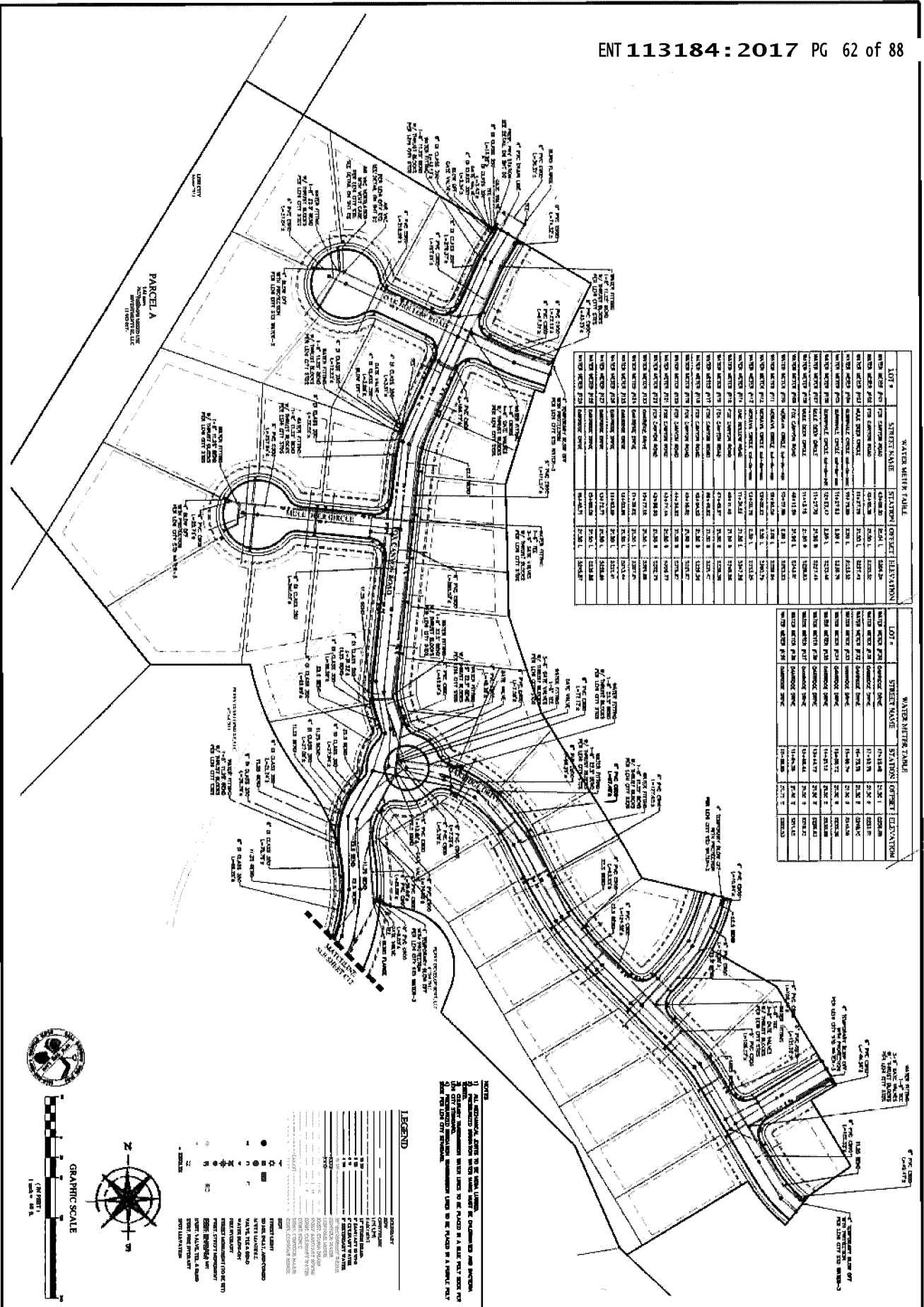
SCALE: AS SHOWN

HIDDEN CANYON PLAT "A"

LEHI, UTAH

Pipe Sizing Plan

FOCUS
ENGINEERING AND SURVEYING, LLC
125 WEST CENTER STREET, SUITE 100
MIDVALE, UTAH 84047 PH: (801) 352-0075
WWW.FOCUS-UTAH.COM

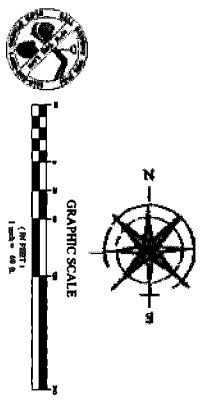


WATER METER TABLE

LOT #	STREET NAME	STATION	OFFSET	ELEVATION
101	101	101	101	101
102	102	102	102	102
103	103	103	103	103
104	104	104	104	104
105	105	105	105	105
106	106	106	106	106
107	107	107	107	107
108	108	108	108	108
109	109	109	109	109
110	110	110	110	110
111	111	111	111	111
112	112	112	112	112
113	113	113	113	113
114	114	114	114	114
115	115	115	115	115
116	116	116	116	116
117	117	117	117	117
118	118	118	118	118
119	119	119	119	119
120	120	120	120	120
121	121	121	121	121
122	122	122	122	122
123	123	123	123	123
124	124	124	124	124
125	125	125	125	125
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138	138	138	138	138
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141	141	141	141	141
142	142	142	142	142
143	143	143	143	143
144	144	144	144	144
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146	146	146	146	146
147	147	147	147	147
148	148	148	148	148
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150	150	150	150	150
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152	152	152	152	152
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154	154	154	154	154
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164	164	164	164	164
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166	166	166	166	166
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195	195	195	195	195
196	196	196	196	196
197	197	197	197	197
198	198	198	198	198
199	199	199	199	199
200	200	200	200	200

WATER METER TABLE

LOT #	STREET NAME	STATION	OFFSET	ELEVATION
201	201	201	201	201
202	202	202	202	202
203	203	203	203	203
204	204	204	204	204
205	205	205	205	205
206	206	206	206	206
207	207	207	207	207
208	208	208	208	208
209	209	209	209	209
210	210	210	210	210
211	211	211	211	211
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214	214	214	214	214
215	215	215	215	215
216	216	216	216	216
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218	218	218	218	218
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220	220	220	220	220
221	221	221	221	221
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226	226	226	226	226
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232	232	232	232	232
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238	238	238	238	238
239	239	239	239	239
240	240	240	240	240
241	241	241	241	241
242	242	242	242	242
243	243	243	243	243
244	244	244	244	244
245	245	245	245	245
246	246	246	246	246
247	247	247	247	247
248	248	248	248	248
249	249	249	249	249
250	250	250	250	250



NOTES

- ALL WATER MAINS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL SERVICE LINES SHALL BE 1/2" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL VALVES SHALL BE 1/2" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL HYDRANTS SHALL BE 4" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL FIRE HYDRANTS SHALL BE 4" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL WATER MAINS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL SERVICE LINES SHALL BE 1/2" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL VALVES SHALL BE 1/2" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL HYDRANTS SHALL BE 4" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL FIRE HYDRANTS SHALL BE 4" DIA. UNLESS OTHERWISE SPECIFIED.

WATER PLAN

C12.1

HIDDEN CANYON PLAT "A"

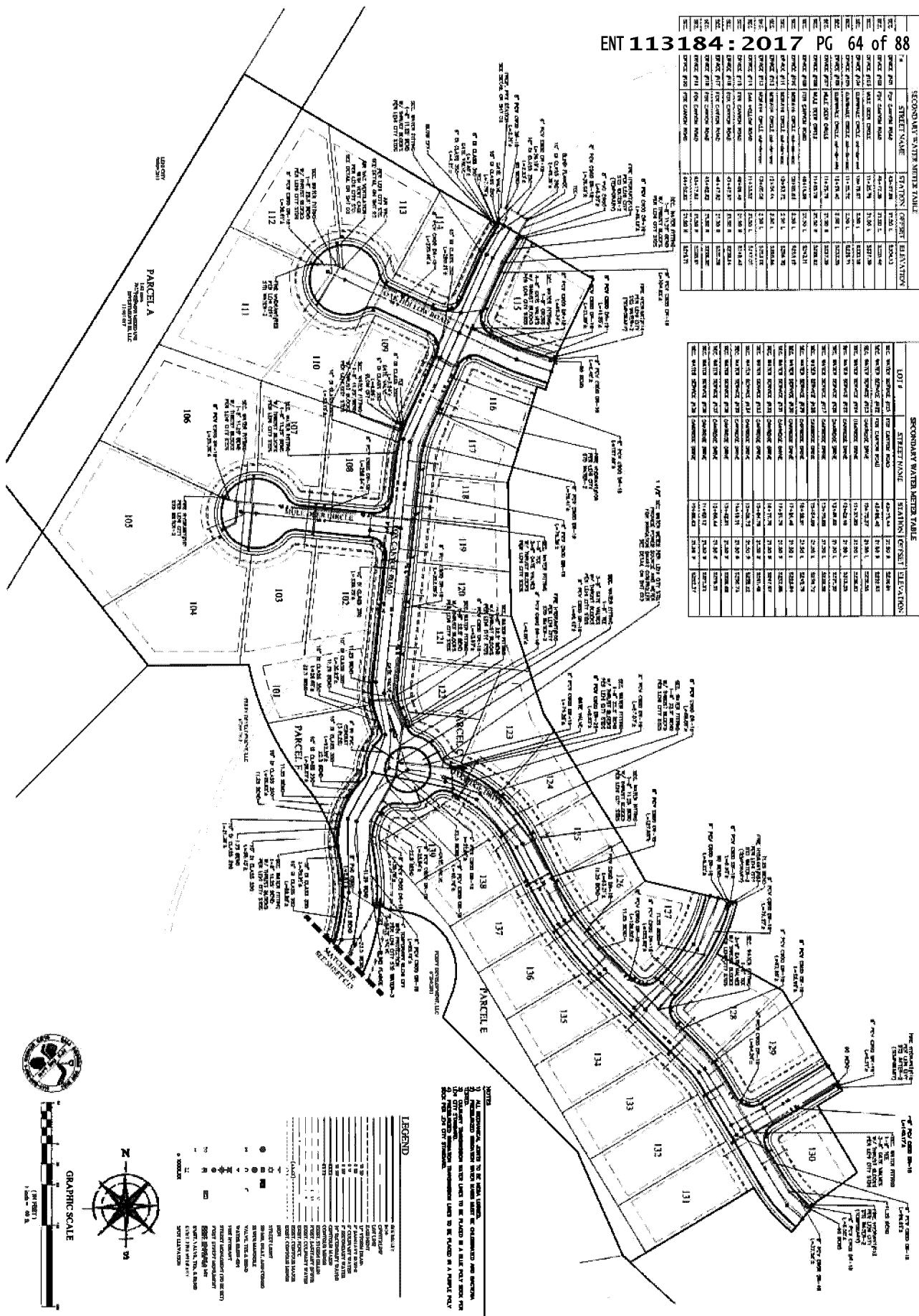
LEHI, UTAH

Water Plan



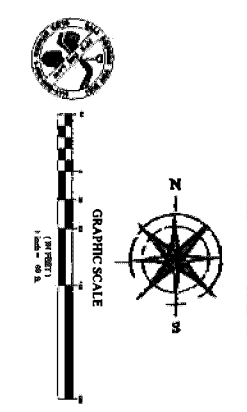
FOCUS
ENGINEERING AND SURVEYING, LLC

33 WEST CENTER STREET
SUITE 200 • LEHI, UTAH 84043
PHONE: (801) 382-4605
WWW.FOCUS-UTAH.COM



STATION	ESTIM. ELEVATION
101	5200.0
102	5200.0
103	5200.0
104	5200.0
105	5200.0
106	5200.0
107	5200.0
108	5200.0
109	5200.0
110	5200.0
111	5200.0
112	5200.0
113	5200.0
114	5200.0
115	5200.0
116	5200.0
117	5200.0
118	5200.0
119	5200.0
120	5200.0
121	5200.0
122	5200.0
123	5200.0
124	5200.0
125	5200.0
126	5200.0
127	5200.0
128	5200.0
129	5200.0
130	5200.0

LOT #	STREET NAME	STATION	ESTIM. ELEVATION
101	101	101	5200.0
102	102	102	5200.0
103	103	103	5200.0
104	104	104	5200.0
105	105	105	5200.0
106	106	106	5200.0
107	107	107	5200.0
108	108	108	5200.0
109	109	109	5200.0
110	110	110	5200.0
111	111	111	5200.0
112	112	112	5200.0
113	113	113	5200.0
114	114	114	5200.0
115	115	115	5200.0
116	116	116	5200.0
117	117	117	5200.0
118	118	118	5200.0
119	119	119	5200.0
120	120	120	5200.0
121	121	121	5200.0
122	122	122	5200.0
123	123	123	5200.0
124	124	124	5200.0
125	125	125	5200.0
126	126	126	5200.0
127	127	127	5200.0
128	128	128	5200.0
129	129	129	5200.0
130	130	130	5200.0



LEGEND

Symbol	Description
Circle with cross	Manhole
Circle with dot	Valve
Circle with 'H'	Hydrant
Circle with 'M'	Meter
Circle with 'V'	Valve
Circle with 'S'	Service
Circle with 'C'	Control
Circle with 'P'	Pressure
Circle with 'T'	Transformer
Circle with 'E'	Electric
Circle with 'G'	Gas
Circle with 'W'	Water
Circle with 'S'	Sanitary
Circle with 'D'	Drain
Circle with 'V'	Valve
Circle with 'M'	Manhole
Circle with 'C'	Control
Circle with 'P'	Pressure
Circle with 'T'	Transformer
Circle with 'E'	Electric
Circle with 'G'	Gas
Circle with 'W'	Water
Circle with 'S'	Sanitary
Circle with 'D'	Drain

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH CONSTRUCTION CODE AND THE UTAH PLUMBING CODE.
3. ALL MATERIALS SHALL BE AS SPECIFIED OR OF EQUAL OR BETTER QUALITY.
4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT.
5. ALL UTILITY LINES SHALL BE DEPTH MARKED AND COLOR CODED IN ACCORDANCE WITH THE UTAH UTILITY COLOR MARKING ACT.
6. ALL UTILITY LINES SHALL BE PROTECTED BY A MINIMUM 24" COVER.


REVISION BLOCK

NO.	DATE	DESCRIPTION

HIDDEN CANYON PLAT "A"

LEHI, UTAH

Secondary Water Plan



FOCUS
ENGINEERING AND SURVEYING, LLC
1111 SOUTH CENTER STREET
SALT LAKE CITY, UT 84143
PHONE: 313.212.2077
WWW.FOCUS-UTAH.COM

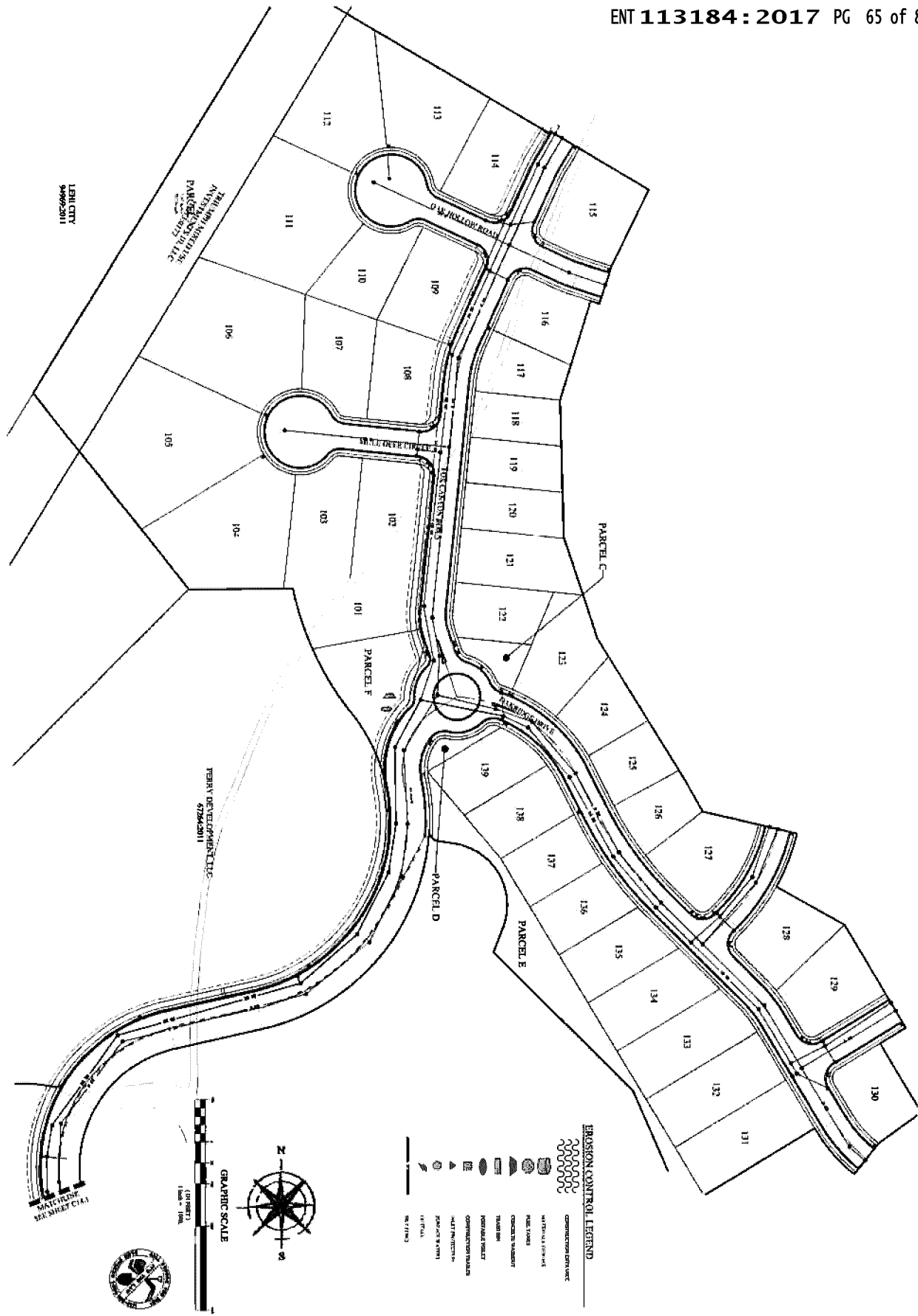
GRAPHIC SCALE

1" = 50.0'

PROJECT NO. C13.1

DATE: 12/17/17

SCALE: AS SHOWN



HIDDEN CANYON PLAT "A"

LEHI, UTAH

Erosion Control Plan

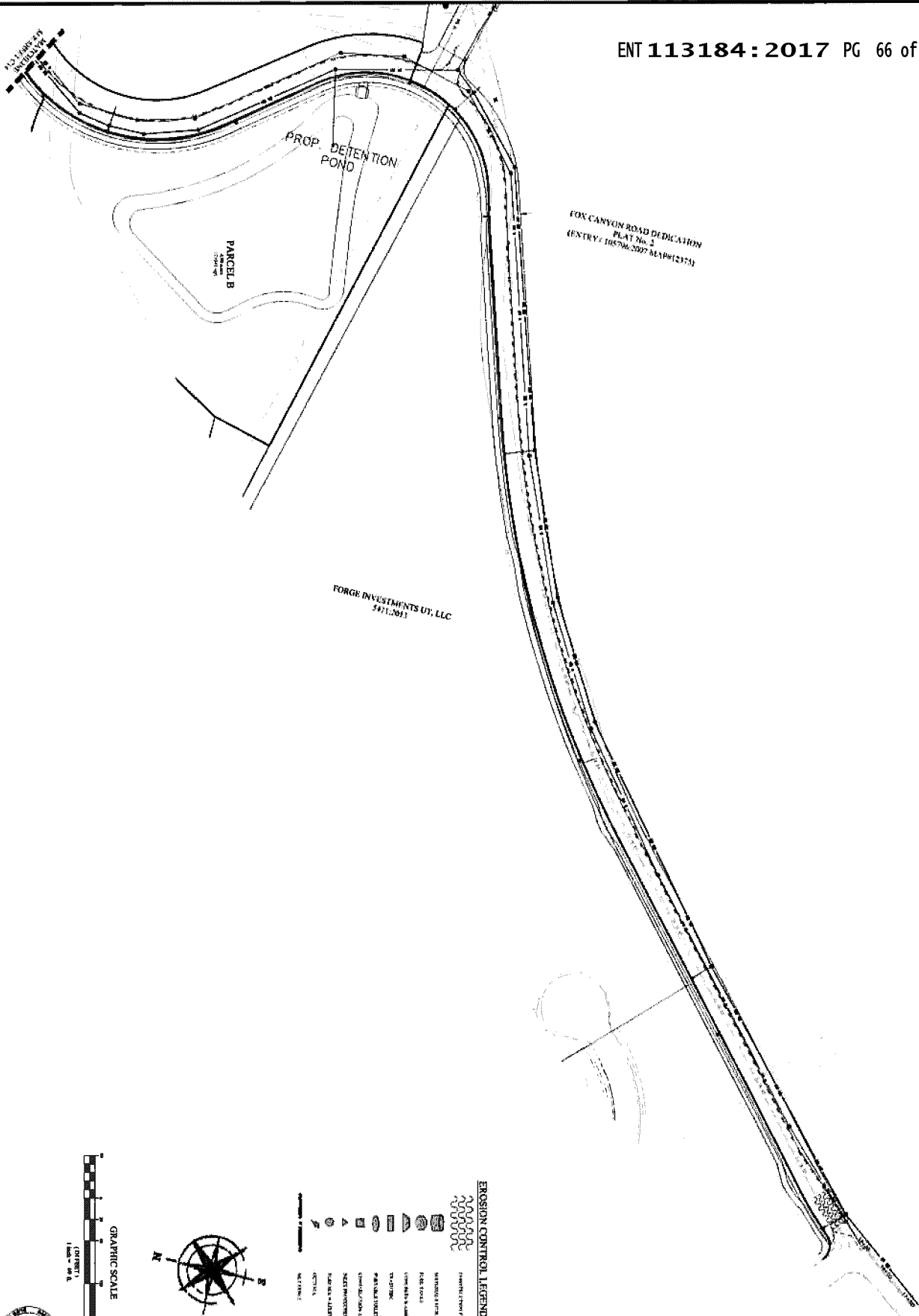
REVISION TABLE

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

EROSION CONTROL PLAN

C14





EROSION CONTROL LEGEND

[Symbol]	EROSION CONTROL MAT
[Symbol]	ROCK ARMOUR
[Symbol]	CONCRETE CURB
[Symbol]	TRAP
[Symbol]	VEGETATION
[Symbol]	VEGETATION STRIP
[Symbol]	CONCRETE/PAVED SURFACE
[Symbol]	PAVED DRIVEWAY
[Symbol]	PAVED DRIVEWAY
[Symbol]	PAVED DRIVEWAY
[Symbol]	PAVED DRIVEWAY
[Symbol]	PAVED DRIVEWAY
[Symbol]	PAVED DRIVEWAY

EROSION CONTROL PLAN	DATE	10/11/2017
	SCALE	AS SHOWN
C14.1	PROJECT	HIDDEN CANYON PLAT "A"
	CLIENT	LEHI, UTAH

HIDDEN CANYON PLAT "A"

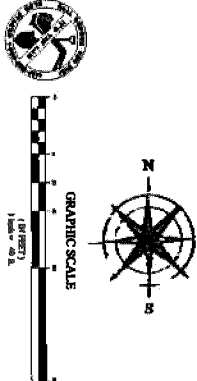
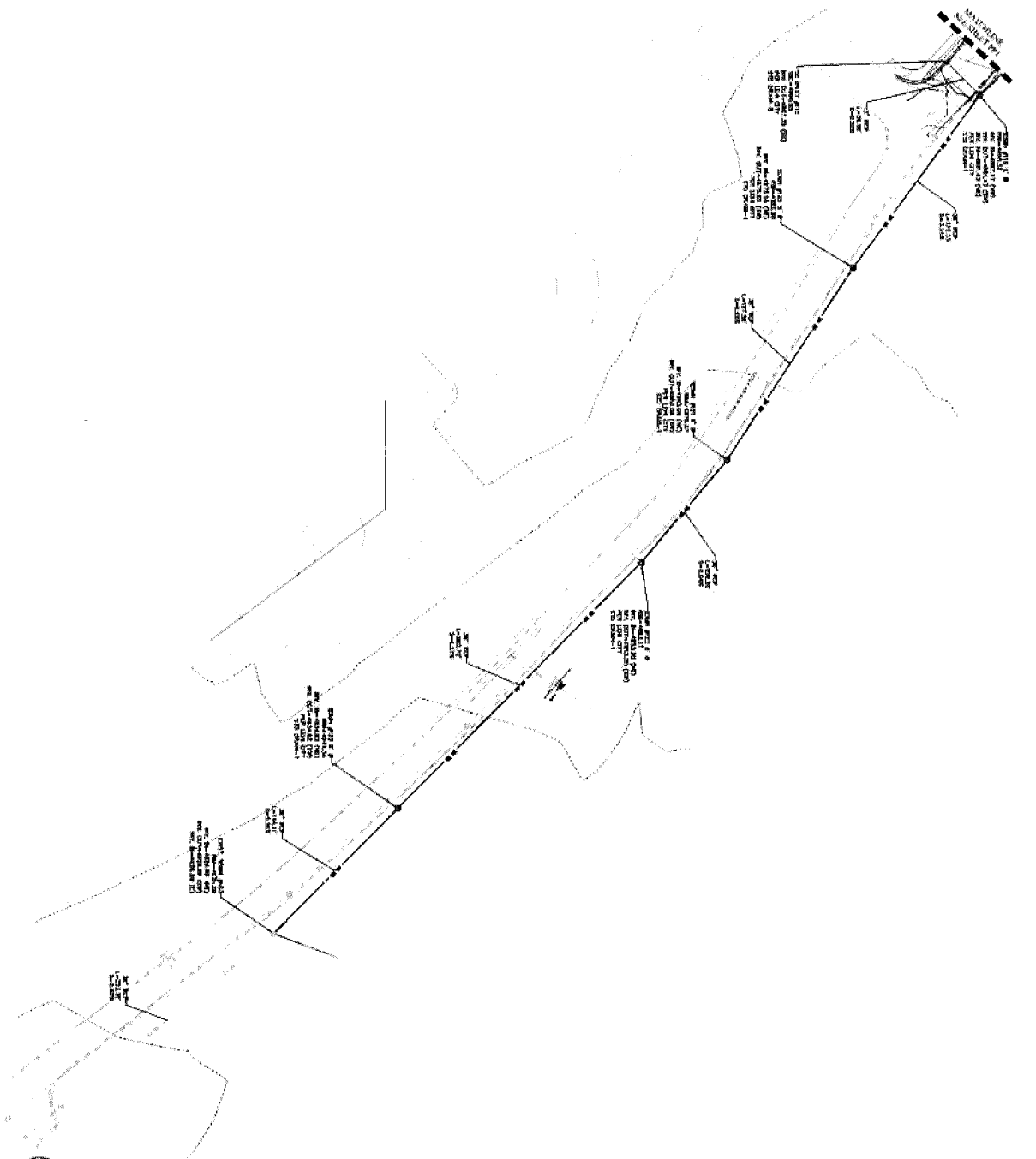
LEHI, UTAH

Erosion Control Plan



FOCUS
ENGINEERING AND SURVEYING, LLC

2 WEST CENTER STREET
MIDVALE, UTAH 84047 P.O. BOX 253-0873
www.focususllc.com



LEGEND

—	PROPERTY LINE
—	EXISTING STORM DRAIN
—	EXISTING SEWER
—	EXISTING PAVEMENT
—	EXISTING CONCRETE
—	EXISTING CURB
—	EXISTING DRIVEWAY
—	EXISTING WALKWAY
—	EXISTING FENCE
—	EXISTING UTILITY
—	EXISTING POWER
—	EXISTING TELEPHONE
—	EXISTING GAS
—	EXISTING WATER
—	EXISTING SLOPE
—	EXISTING ELEVATION
—	EXISTING DRAINAGE
—	EXISTING GRADE
—	EXISTING SURFACE
—	EXISTING VEGETATION
—	EXISTING TREES
—	EXISTING SHRUBS
—	EXISTING HERBS
—	EXISTING GRASS
—	EXISTING SOIL
—	EXISTING ROCK
—	EXISTING SAND
—	EXISTING SILT
—	EXISTING CLAY
—	EXISTING GROUNDWATER
—	EXISTING SURFACE WATER
—	EXISTING DRAINAGE BASIN
—	EXISTING WATERSHED
—	EXISTING CATCHMENT AREA
—	EXISTING OVERFLOW AREA
—	EXISTING RETENTION AREA
—	EXISTING TREATMENT AREA
—	EXISTING STORAGE AREA
—	EXISTING INLET
—	EXISTING MANHOLE
—	EXISTING CATCH BASIN
—	EXISTING FILTER
—	EXISTING CHECK VALVE
—	EXISTING FLOW METER
—	EXISTING PRESSURE TRANSDUCER
—	EXISTING SCOUR PROTECTION
—	EXISTING EROSION CONTROL
—	EXISTING SLOPE STABILIZATION
—	EXISTING DRAINAGE STRUCTURE
—	EXISTING PAVEMENT STRUCTURE
—	EXISTING CURB STRUCTURE
—	EXISTING DRIVEWAY STRUCTURE
—	EXISTING WALKWAY STRUCTURE
—	EXISTING FENCE STRUCTURE
—	EXISTING UTILITY STRUCTURE
—	EXISTING POWER STRUCTURE
—	EXISTING TELEPHONE STRUCTURE
—	EXISTING GAS STRUCTURE
—	EXISTING WATER STRUCTURE
—	EXISTING SLOPE STRUCTURE
—	EXISTING ELEVATION STRUCTURE
—	EXISTING DRAINAGE STRUCTURE
—	EXISTING WATERSHED STRUCTURE
—	EXISTING CATCHMENT AREA STRUCTURE
—	EXISTING OVERFLOW AREA STRUCTURE
—	EXISTING RETENTION AREA STRUCTURE
—	EXISTING TREATMENT AREA STRUCTURE
—	EXISTING STORAGE AREA STRUCTURE
—	EXISTING INLET STRUCTURE
—	EXISTING MANHOLE STRUCTURE
—	EXISTING CATCH BASIN STRUCTURE
—	EXISTING FILTER STRUCTURE
—	EXISTING FLOW METER STRUCTURE
—	EXISTING PRESSURE TRANSDUCER STRUCTURE
—	EXISTING SCOUR PROTECTION STRUCTURE
—	EXISTING EROSION CONTROL STRUCTURE
—	EXISTING SLOPE STABILIZATION STRUCTURE
—	EXISTING DRAINAGE STRUCTURE

HIDDEN CANYON PLAT "A"

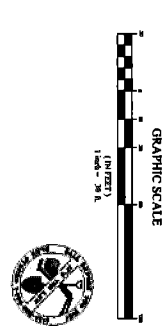
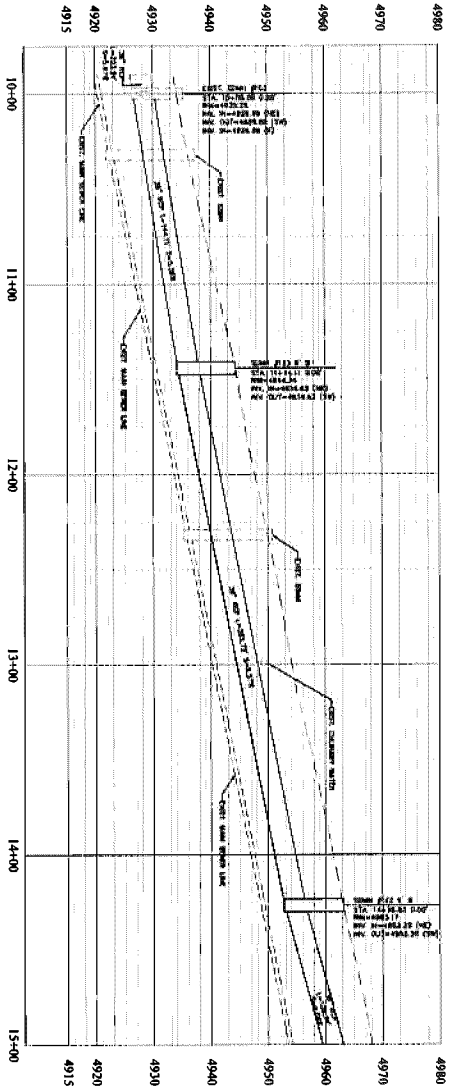
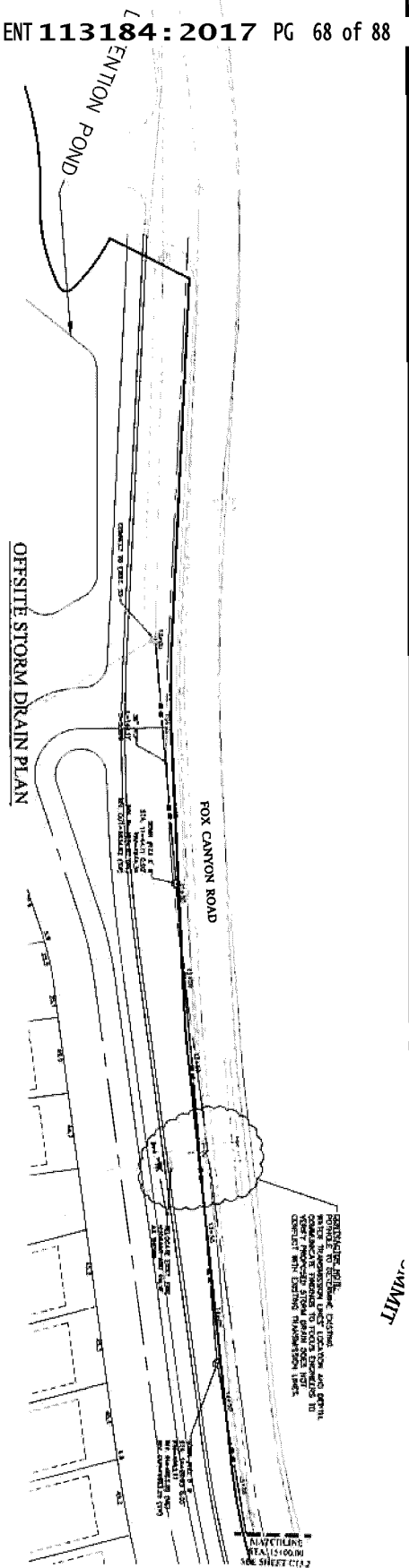
LEHI, UTAH

Offsite Storm Drain Plan



OFFSITE STORM DRAIN PLAN	REVISIONS
NO. DATE BY	NO. DATE DESCRIPTION
1 10/10/17 JH	1 10/10/17 Initial Plan
2 11/10/17 JH	2 11/10/17 Final Plan

C15



LEGEND

[Symbol]	24" DIAM. CONCRETE PIPE
[Symbol]	18" DIAM. CONCRETE PIPE
[Symbol]	15" DIAM. CONCRETE PIPE
[Symbol]	12" DIAM. CONCRETE PIPE
[Symbol]	9" DIAM. CONCRETE PIPE
[Symbol]	6" DIAM. CONCRETE PIPE
[Symbol]	4" DIAM. CONCRETE PIPE
[Symbol]	3" DIAM. CONCRETE PIPE
[Symbol]	2" DIAM. CONCRETE PIPE
[Symbol]	1.5" DIAM. CONCRETE PIPE
[Symbol]	1" DIAM. CONCRETE PIPE
[Symbol]	0.75" DIAM. CONCRETE PIPE
[Symbol]	0.5" DIAM. CONCRETE PIPE
[Symbol]	0.375" DIAM. CONCRETE PIPE
[Symbol]	0.25" DIAM. CONCRETE PIPE
[Symbol]	0.1875" DIAM. CONCRETE PIPE
[Symbol]	0.125" DIAM. CONCRETE PIPE
[Symbol]	0.09375" DIAM. CONCRETE PIPE
[Symbol]	0.0625" DIAM. CONCRETE PIPE
[Symbol]	0.046875" DIAM. CONCRETE PIPE
[Symbol]	0.03125" DIAM. CONCRETE PIPE
[Symbol]	0.0234375" DIAM. CONCRETE PIPE
[Symbol]	0.015625" DIAM. CONCRETE PIPE
[Symbol]	0.01171875" DIAM. CONCRETE PIPE
[Symbol]	0.0078125" DIAM. CONCRETE PIPE
[Symbol]	0.005859375" DIAM. CONCRETE PIPE
[Symbol]	0.00430625" DIAM. CONCRETE PIPE
[Symbol]	0.0032296875" DIAM. CONCRETE PIPE
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[Symbol]	0.00102171875" DIAM. CONCRETE PIPE
[Symbol]	0.00076640625" DIAM. CONCRETE PIPE
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[Symbol]	0.0004310625" DIAM. CONCRETE PIPE
[Symbol]	0.000323296875" DIAM. CONCRETE PIPE
[Symbol]	0.0002424609375" DIAM. CONCRETE PIPE
[Symbol]	0.0001818453125" DIAM. CONCRETE PIPE
[Symbol]	0.0001363840625" DIAM. CONCRETE PIPE
[Symbol]	0.0001022880625" DIAM. CONCRETE PIPE
[Symbol]	0.0000767160625" DIAM. CONCRETE PIPE
[Symbol]	0.0000575370625" DIAM. CONCRETE PIPE
[Symbol]	0.0000431530625" DIAM. CONCRETE PIPE
[Symbol]	0.000032364609375" DIAM. CONCRETE PIPE
[Symbol]	0.000024273453125" DIAM. CONCRETE PIPE
[Symbol]	0.00001818240625" DIAM. CONCRETE PIPE
[Symbol]	0.00001363140625" DIAM. CONCRETE PIPE
[Symbol]	0.00001022040625" DIAM. CONCRETE PIPE
[Symbol]	0.00000766940625" DIAM. CONCRETE PIPE
[Symbol]	0.00000574840625" DIAM. CONCRETE PIPE
[Symbol]	0.00000432740625" DIAM. CONCRETE PIPE
[Symbol]	0.00000324640625" DIAM. CONCRETE PIPE
[Symbol]	0.00000242540625" DIAM. CONCRETE PIPE
[Symbol]	0.00000180440625" DIAM. CONCRETE PIPE
[Symbol]	0.00000136340625" DIAM. CONCRETE PIPE
[Symbol]	0.00000102240625" DIAM. CONCRETE PIPE
[Symbol]	0.00000076740625" DIAM. CONCRETE PIPE
[Symbol]	0.00000057540625" DIAM. CONCRETE PIPE
[Symbol]	0.00000043340625" DIAM. CONCRETE PIPE
[Symbol]	0.00000032540625" DIAM. CONCRETE PIPE
[Symbol]	0.00000024340625" DIAM. CONCRETE PIPE
[Symbol]	0.00000018140625" DIAM. CONCRETE PIPE
[Symbol]	0.00000013640625" DIAM. CONCRETE PIPE
[Symbol]	0.00000010240625" DIAM. CONCRETE PIPE
[Symbol]	0.00000007640625" DIAM. CONCRETE PIPE
[Symbol]	0.00000005740625" DIAM. CONCRETE PIPE
[Symbol]	0.00000004340625" DIAM. CONCRETE PIPE
[Symbol]	0.00000003240625" DIAM. CONCRETE PIPE
[Symbol]	0.00000002440625" DIAM. CONCRETE PIPE
[Symbol]	0.00000001840625" DIAM. CONCRETE PIPE
[Symbol]	0.00000001340625" DIAM. CONCRETE PIPE
[Symbol]	0.00000001040625" DIAM. CONCRETE PIPE
[Symbol]	0.00000000740625" DIAM. CONCRETE PIPE
[Symbol]	0.00000000540625" DIAM. CONCRETE PIPE
[Symbol]	0.00000000440625" DIAM. CONCRETE PIPE
[Symbol]	0.00000000340625" DIAM. CONCRETE PIPE
[Symbol]	0.00000000240625" DIAM. CONCRETE PIPE
[Symbol]	0.00000000140625" DIAM. CONCRETE PIPE
[Symbol]	0.00000000040625" DIAM. CONCRETE PIPE

OFFSITE STORM DRAIN PLAN AND PROFILE

NO. OF STATIONS	10+00	11+00	12+00	13+00	14+00	15+00
DATE						
SCALE						
PROJECT NO.	C15.1					

HIDDEN CANYON PLAT "A"

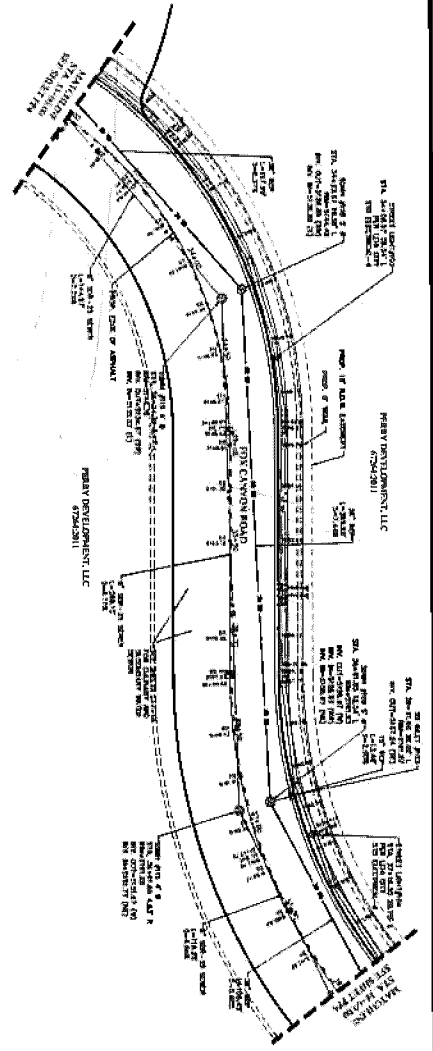
LEHI, UTAH

Offsite Storm Drain Plan and Profile

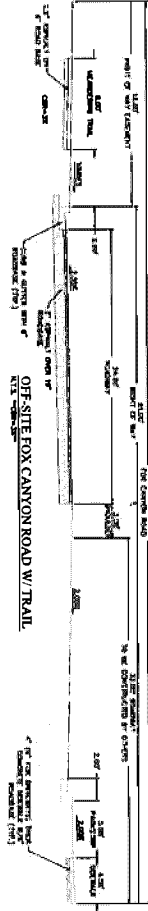


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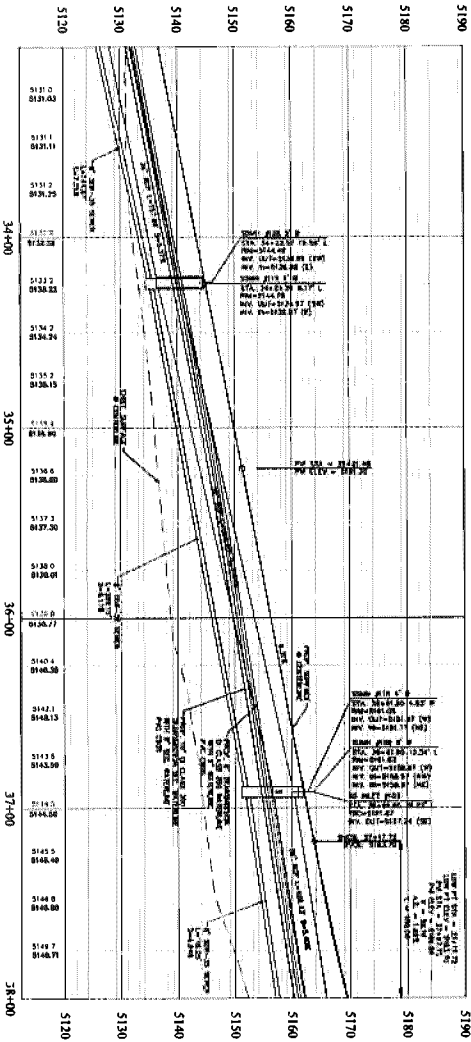
25 WEST LEVATH STREET
LEHI, UTAH 84043
PHONE: (801) 444-1111 FAX: (801) 444-6071
WWW.FOCUS-ENG.COM



FOX CANYON ROAD PLAN



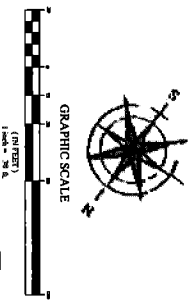
OFF SITE FOX CANYON ROAD W/ TRAIL



FOX CANYON ROAD PROFILE

LEGEND

Symbol	Description
—	1" GRADE
—	2" GRADE
—	3" GRADE
—	4" GRADE
—	5" GRADE
—	6" GRADE
—	7" GRADE
—	8" GRADE
—	9" GRADE
—	10" GRADE
—	11" GRADE
—	12" GRADE
—	13" GRADE
—	14" GRADE
—	15" GRADE
—	16" GRADE
—	17" GRADE
—	18" GRADE
—	19" GRADE
—	20" GRADE
—	21" GRADE
—	22" GRADE
—	23" GRADE
—	24" GRADE
—	25" GRADE
—	26" GRADE
—	27" GRADE
—	28" GRADE
—	29" GRADE
—	30" GRADE
—	31" GRADE
—	32" GRADE
—	33" GRADE
—	34" GRADE
—	35" GRADE
—	36" GRADE
—	37" GRADE
—	38" GRADE
—	39" GRADE
—	40" GRADE
—	41" GRADE
—	42" GRADE
—	43" GRADE
—	44" GRADE
—	45" GRADE
—	46" GRADE
—	47" GRADE
—	48" GRADE
—	49" GRADE
—	50" GRADE
—	51" GRADE
—	52" GRADE
—	53" GRADE
—	54" GRADE
—	55" GRADE
—	56" GRADE
—	57" GRADE
—	58" GRADE
—	59" GRADE
—	60" GRADE
—	61" GRADE
—	62" GRADE
—	63" GRADE
—	64" GRADE
—	65" GRADE
—	66" GRADE
—	67" GRADE
—	68" GRADE
—	69" GRADE
—	70" GRADE
—	71" GRADE
—	72" GRADE
—	73" GRADE
—	74" GRADE
—	75" GRADE
—	76" GRADE
—	77" GRADE
—	78" GRADE
—	79" GRADE
—	80" GRADE



HIDDEN CANYON PLAT "A"
 LEHI, UTAH
 Fox Canyon Road Plan and Profile

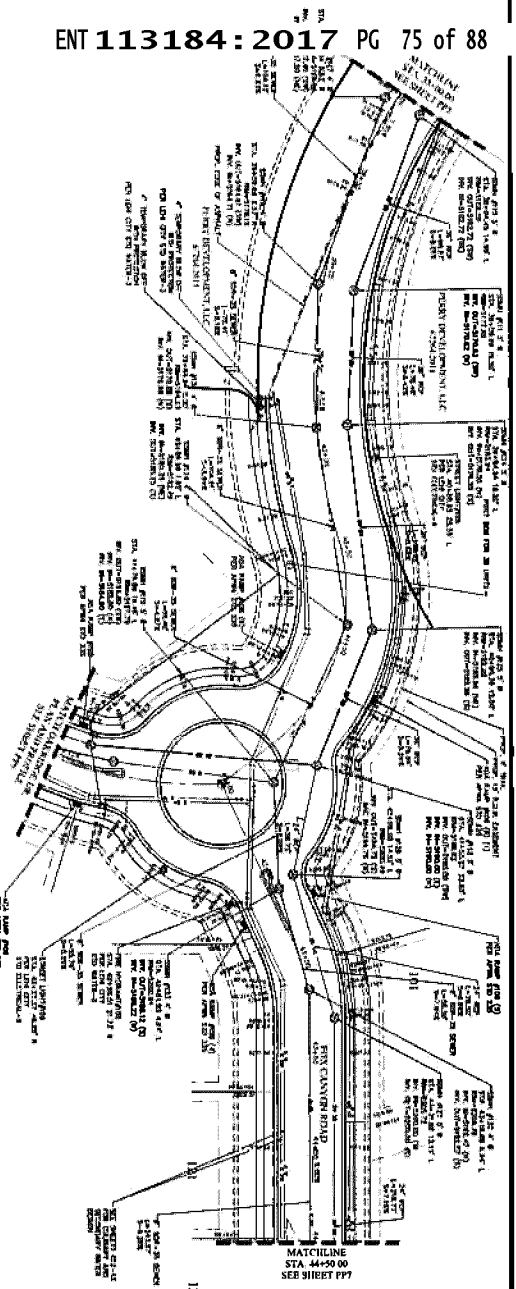


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 MIDVALE, UTAH 84047 P1: (801) 352-0075
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FOX CANYON
 ROAD PLAN
 AND PROFILE

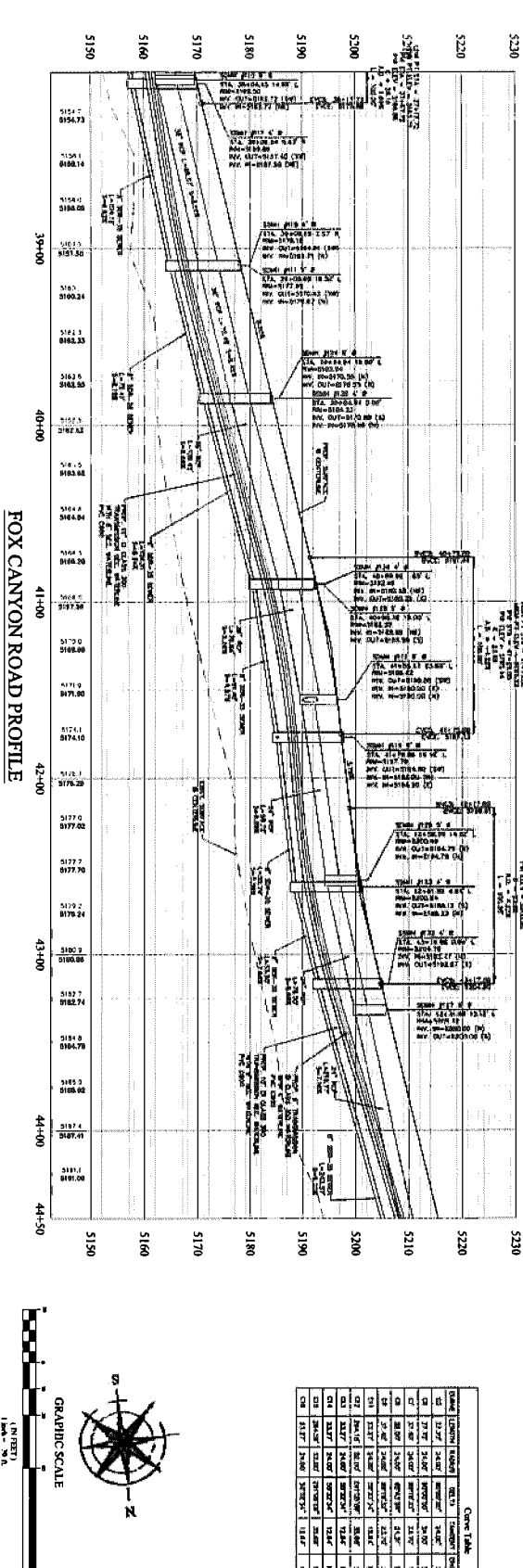
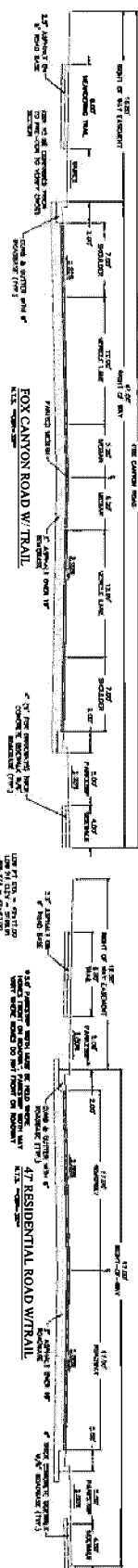
PP5

FOX CANYON ROAD PLAN



LEGEND

---	Proposed Right-of-Way
---	Proposed Roadway
---	Proposed Shoulder
---	Proposed Concrete Curbs
---	Proposed Asphalt Pavement
---	Proposed Gravel Pavement
---	Proposed Gravel Subgrade
---	Proposed Gravel Subbase
---	Proposed Gravel Base
---	Proposed Gravel Binder
---	Proposed Gravel Surface
---	Proposed Gravel Subgrade
---	Proposed Gravel Subbase
---	Proposed Gravel Base
---	Proposed Gravel Binder
---	Proposed Gravel Surface
---	Proposed Gravel Subgrade
---	Proposed Gravel Subbase
---	Proposed Gravel Base
---	Proposed Gravel Binder
---	Proposed Gravel Surface
---	Proposed Gravel Subgrade
---	Proposed Gravel Subbase
---	Proposed Gravel Base
---	Proposed Gravel Binder
---	Proposed Gravel Surface
---	Proposed Gravel Subgrade
---	Proposed Gravel Subbase
---	Proposed Gravel Base
---	Proposed Gravel Binder
---	Proposed Gravel Surface



FOX CANYON ROAD PROFILE



Curve Data

Station	PC	PT	PI	Grade	Curve Length	Radius	Delta	Center of Gravity
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00
5210.00	5210.00	5210.00	5210.00	2.12%	5210.00	1000.00	90.00	5210.00

HIDDEN CANYON PLAT "A"
LEHI, UTAH
Fox Canyon Road Plan and Profile

FOX CANYON ROAD PLAN AND PROFILE
PP6



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ENGINEERING AND SURVEYING, LLC
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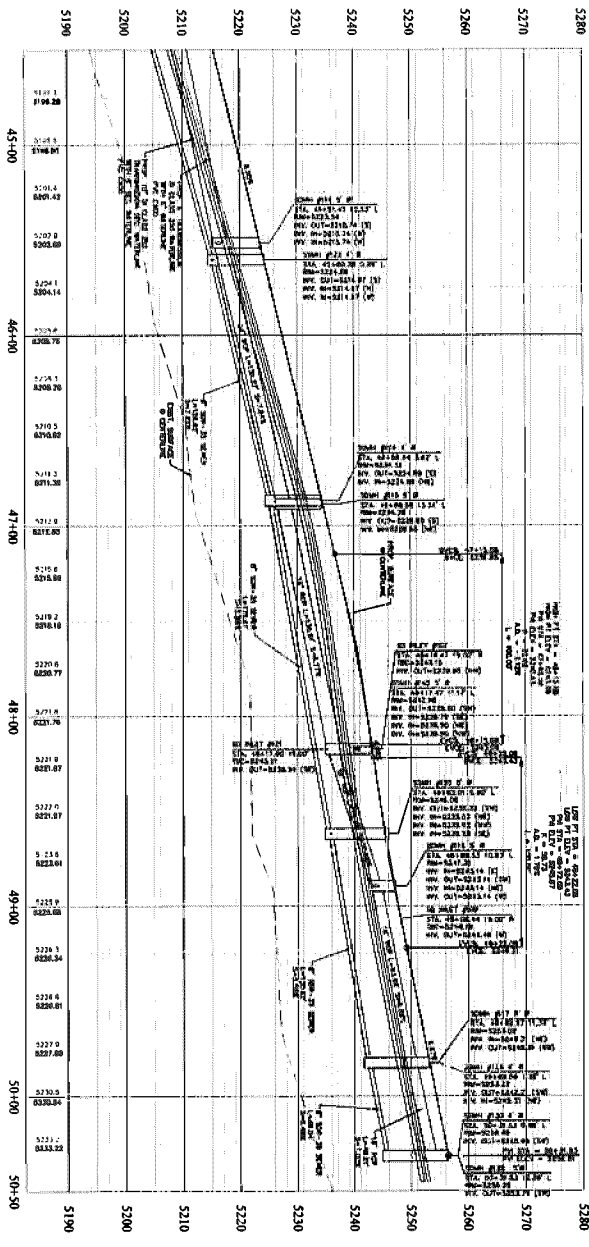
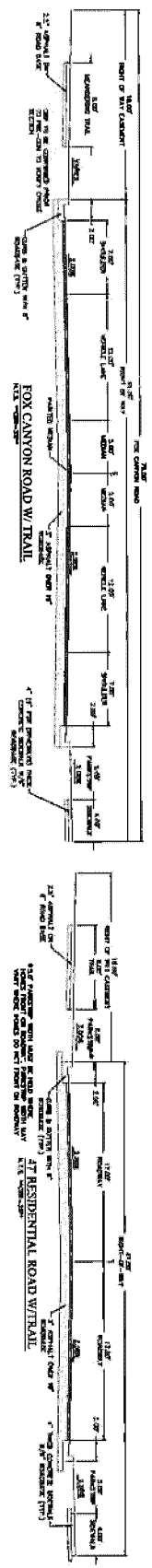
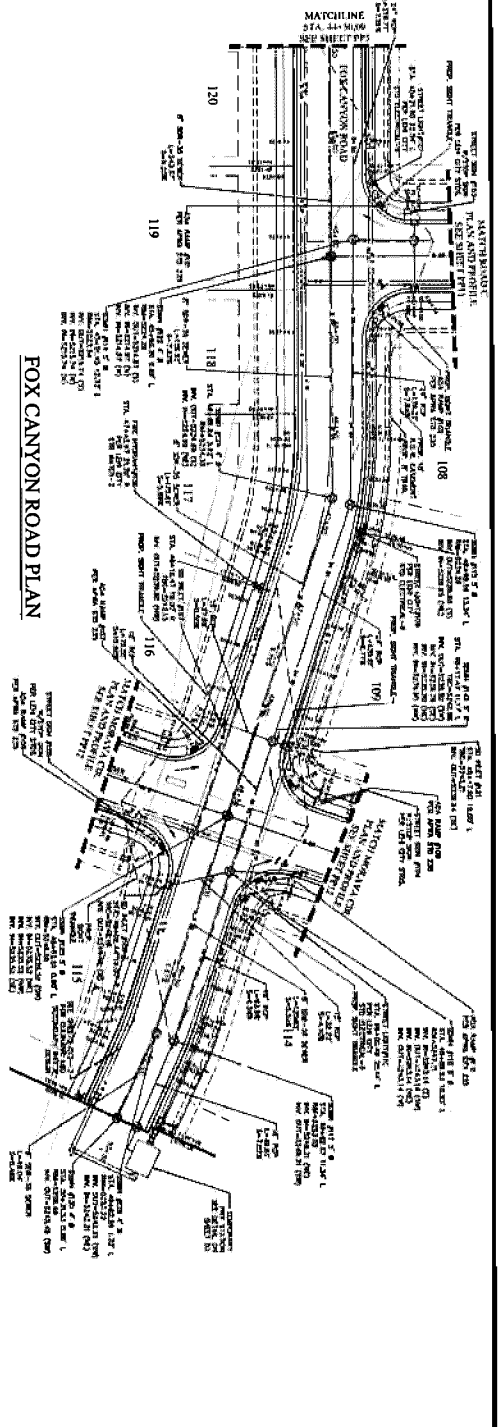
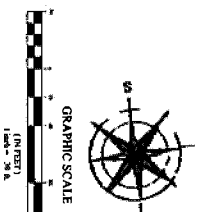


Chart Title

NAME	LOCATION	DATE	PROJECT	OWNER	CREATED
CS	108	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	109	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	110	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	111	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	112	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	113	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	114	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	115	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	116	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	117	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	118	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	119	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17
CS	120	10/20/17	FOX CANYON ROAD	LEHI, UTAH	10/20/17



FOX CANYON ROAD PLAN AND PROFILE

PP7

HIDDEN CANYON PLAT "A"

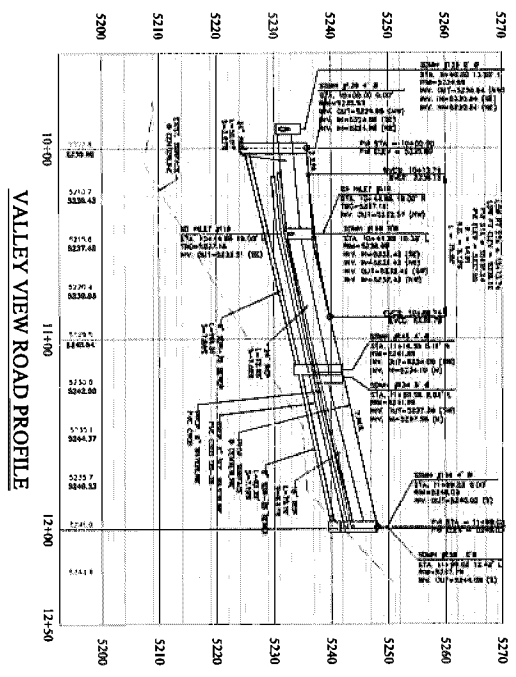
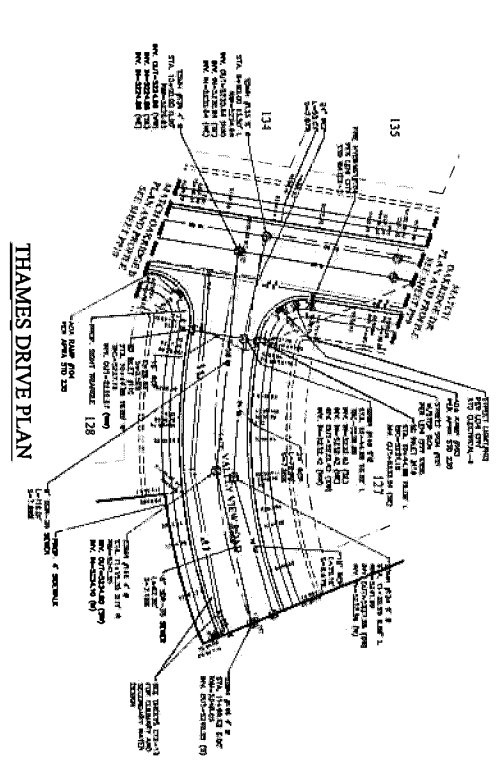
LEHI, UTAH

Fox Canyon Road Plan and Profile



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www.focus-engineering.com

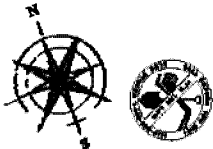
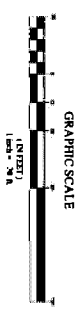


LEGEND

- PROPERTY LINE
- EXISTING DRIVEWAY
- PROPOSED DRIVEWAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING DRIVE
- PROPOSED DRIVE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING UTILITY
- PROPOSED UTILITY
- EXISTING CURB
- PROPOSED CURB
- EXISTING GRADE
- PROPOSED GRADE
- EXISTING TOP OF FINISH
- PROPOSED TOP OF FINISH
- EXISTING FINISH
- PROPOSED FINISH
- EXISTING SURFACE
- PROPOSED SURFACE
- EXISTING TYPICAL SECTION
- PROPOSED TYPICAL SECTION
- EXISTING DRIVEWAY TYPICAL SECTION
- PROPOSED DRIVEWAY TYPICAL SECTION
- EXISTING DRIVEWAY TYPICAL SECTION
- PROPOSED DRIVEWAY TYPICAL SECTION

Curve Table

STATION	LENGTH	RIGHT	ANGLE	DEGREE	PC	PT	PI	PD	EA	EB	EC	ED	EA	EB	EC	ED	EA	EB	EC	ED
5270.00	100.00	RIGHT	90.00	90.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00	5270.00
5260.00	100.00	RIGHT	90.00	90.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00	5260.00
5250.00	100.00	RIGHT	90.00	90.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00	5250.00
5240.00	100.00	RIGHT	90.00	90.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00	5240.00
5230.00	100.00	RIGHT	90.00	90.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00	5230.00
5220.00	100.00	RIGHT	90.00	90.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00	5220.00
5210.00	100.00	RIGHT	90.00	90.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00	5210.00
5200.00	100.00	RIGHT	90.00	90.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00	5200.00

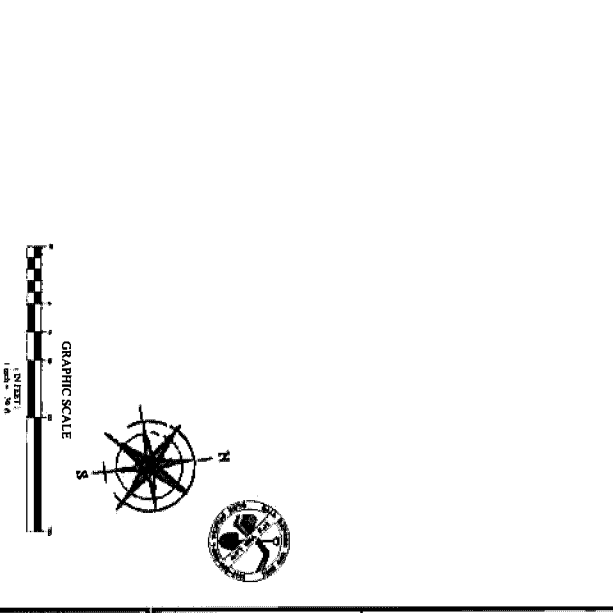
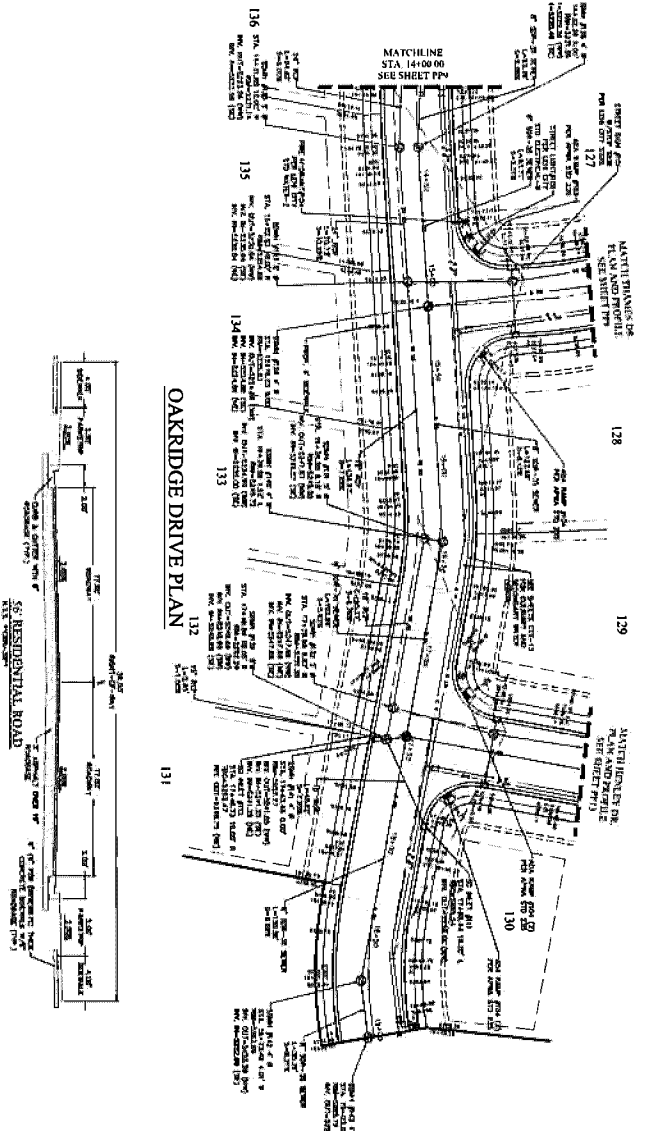
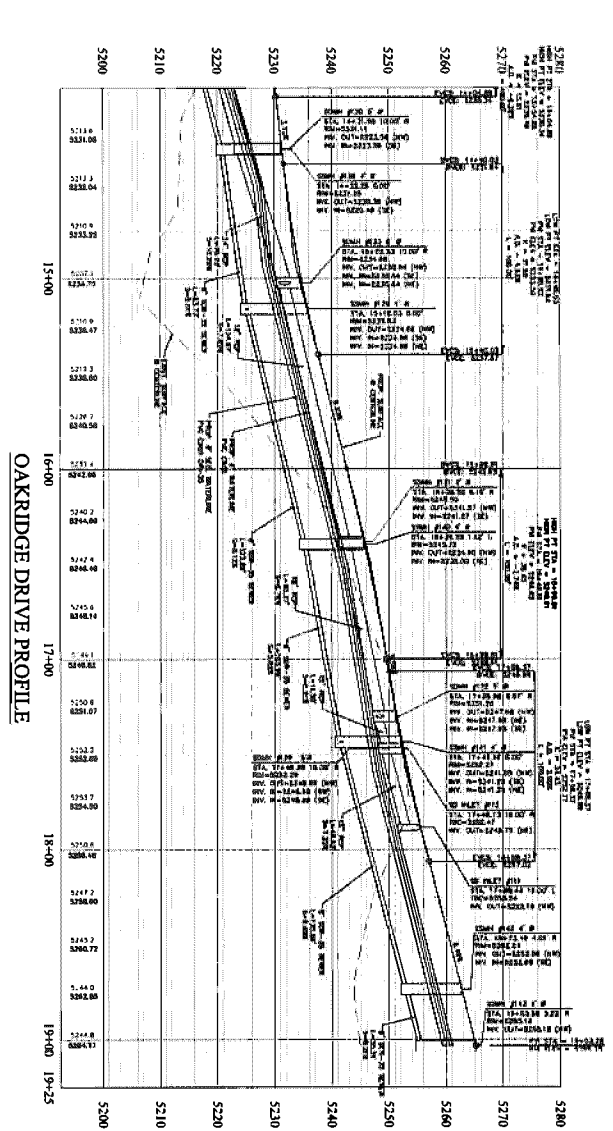


HIDDEN CANYON PLAT "A"
 LEHI, UTAH
 Thames Drive Plan and Profile



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 www.focusinc.com

THAMES DRIVE PLAN AND PROFILE
 PP8



Station	Grade	Profile	Right of Way	Shoulder	Right of Way
15+40.0	5255.22				
15+50.0	5252.00				
16+00.0	5245.40				
16+50.0	5238.60				
17+00.0	5230.00				
17+50.0	5218.00				
18+00.0	5203.00				
18+50.0	5185.00				
19+00.0	5162.00				
19+43.25	5132.00				

LEGEND

[Symbol]	EXISTING CENTERLINE
[Symbol]	EXISTING RIGHT OF WAY
[Symbol]	EXISTING ROADWAY
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING SHOULDER
[Symbol]	EXISTING DRIVEWAY
[Symbol]	EXISTING UTILITY
[Symbol]	EXISTING DRAINAGE
[Symbol]	EXISTING CURB
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING TREE
[Symbol]	EXISTING LANDSCAPE
[Symbol]	EXISTING STRUCTURE
[Symbol]	EXISTING CONCRETE
[Symbol]	EXISTING ASPHALT
[Symbol]	EXISTING GRAVEL
[Symbol]	EXISTING SAND
[Symbol]	EXISTING SOIL
[Symbol]	EXISTING ROCK
[Symbol]	EXISTING VEGETATION
[Symbol]	EXISTING WATER
[Symbol]	EXISTING EROSION
[Symbol]	EXISTING DAMAGE
[Symbol]	EXISTING OBSTRUCTION
[Symbol]	EXISTING HAZARD
[Symbol]	EXISTING ANTI-COLLISION
[Symbol]	EXISTING SAFETY
[Symbol]	EXISTING SECURITY
[Symbol]	EXISTING DEFENSE
[Symbol]	EXISTING PROTECTION
[Symbol]	EXISTING BARRIER
[Symbol]	EXISTING GUARDRAIL
[Symbol]	EXISTING FENCEPOST
[Symbol]	EXISTING POST
[Symbol]	EXISTING SIGNPOST
[Symbol]	EXISTING MARKER
[Symbol]	EXISTING REFLECTOR
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING SIGNAL
[Symbol]	EXISTING TRAFFIC
[Symbol]	EXISTING CONTROL
[Symbol]	EXISTING STOP
[Symbol]	EXISTING YIELD
[Symbol]	EXISTING PRIORITY
[Symbol]	EXISTING RIGHT OF WAY
[Symbol]	EXISTING ADJUTANT
[Symbol]	EXISTING SURVEY
[Symbol]	EXISTING CONTROL
[Symbol]	EXISTING MONUMENT
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HIDDEN CANYON PLAT "A"

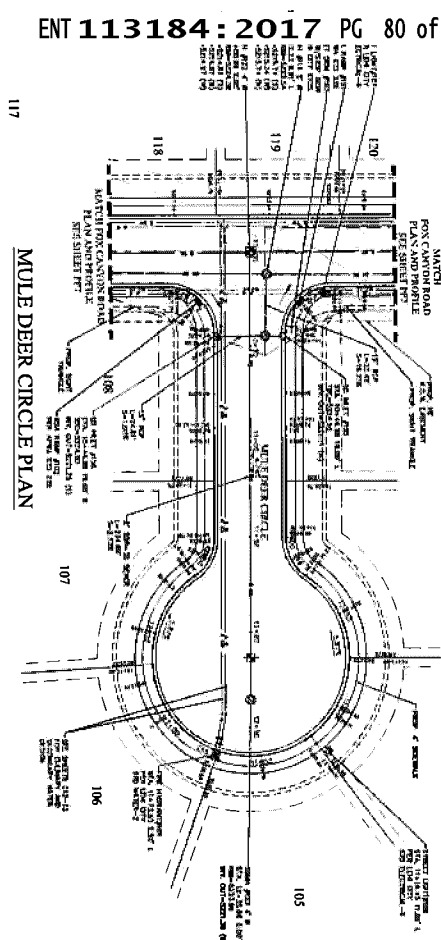
LEHI, UTAH

Oakridge Plan and Profile

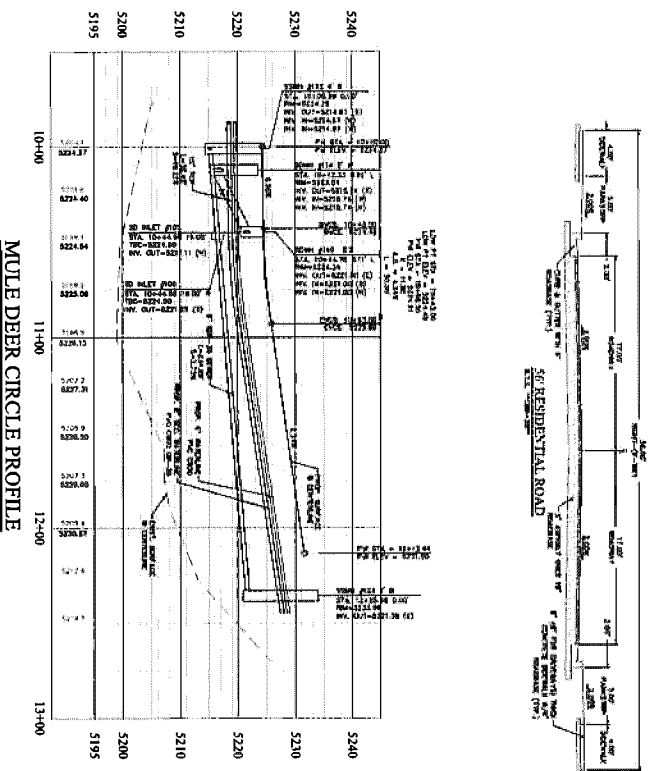


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www.focusutah.com

DATE	10/10/17
BY	[Signature]
CHECKED	[Signature]
DESIGNED	[Signature]
DRAWN	[Signature]
PROJECT	HIDDEN CANYON PLAT "A"
DATE	10/10/17
BY	[Signature]
CHECKED	[Signature]
DESIGNED	[Signature]
DRAWN	[Signature]
PROJECT	OAKRIDGE DRIVE PLAN AND PROFILE
DATE	10/10/17
BY	[Signature]
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PROJECT	OAKRIDGE DRIVE PLAN AND PROFILE



MULE DEER CIRCLE PLAN

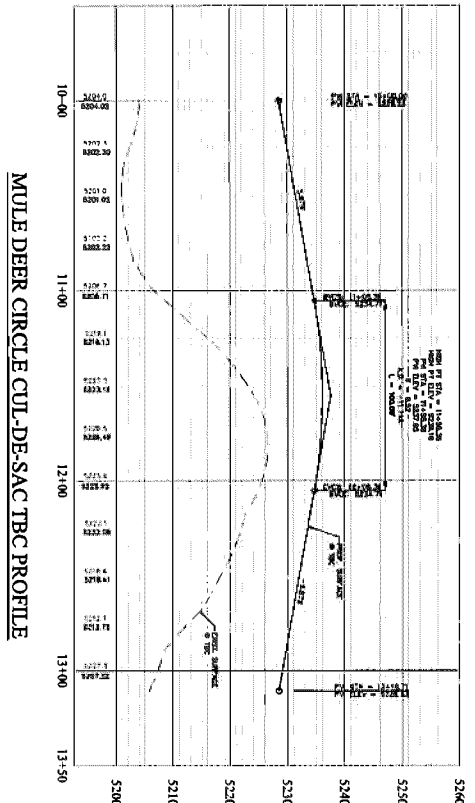
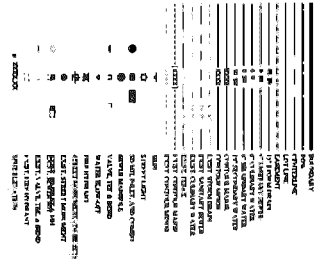


MULE DEER CIRCLE PROFILE

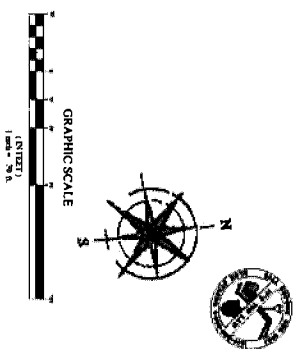
Chart Table

LINE	SECTION	RELU	NUMBER	CHORD	RESIDUAL	CHORD LENGTH
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C2	232.76	34.87	34.87	34.87	0.00	34.87
C3	232.76	34.87	34.87	34.87	0.00	34.87
C4	232.76	34.87	34.87	34.87	0.00	34.87
C5	232.76	34.87	34.87	34.87	0.00	34.87
C6	232.76	34.87	34.87	34.87	0.00	34.87
C7	232.76	34.87	34.87	34.87	0.00	34.87
C8	232.76	34.87	34.87	34.87	0.00	34.87
C9	232.76	34.87	34.87	34.87	0.00	34.87
C10	232.76	34.87	34.87	34.87	0.00	34.87
C11	232.76	34.87	34.87	34.87	0.00	34.87
C12	232.76	34.87	34.87	34.87	0.00	34.87
C13	232.76	34.87	34.87	34.87	0.00	34.87
C14	232.76	34.87	34.87	34.87	0.00	34.87
C15	232.76	34.87	34.87	34.87	0.00	34.87
C16	232.76	34.87	34.87	34.87	0.00	34.87
C17	232.76	34.87	34.87	34.87	0.00	34.87
C18	232.76	34.87	34.87	34.87	0.00	34.87
C19	232.76	34.87	34.87	34.87	0.00	34.87
C20	232.76	34.87	34.87	34.87	0.00	34.87
C21	232.76	34.87	34.87	34.87	0.00	34.87
C22	232.76	34.87	34.87	34.87	0.00	34.87
C23	232.76	34.87	34.87	34.87	0.00	34.87
C24	232.76	34.87	34.87	34.87	0.00	34.87
C25	232.76	34.87	34.87	34.87	0.00	34.87
C26	232.76	34.87	34.87	34.87	0.00	34.87
C27	232.76	34.87	34.87	34.87	0.00	34.87
C28	232.76	34.87	34.87	34.87	0.00	34.87
C29	232.76	34.87	34.87	34.87	0.00	34.87
C30	232.76	34.87	34.87	34.87	0.00	34.87

LEGEND



MULE DEER CIRCLE CUL-DE-SAC TBC PROFILE



HIDDEN CANYON PLAT "A"

LEHI, UTAH

Mule Deer Circle Plan and Profile



FOCUS

ENGINEERING AND SURVEYING, LLC

25 WEST CENTER STREET
SOUTHDALE, UTAH 84094
TEL: 435-966-2424
WWW.FOCUS-ENG.COM

REVISION	DATE	BY	CHK	DESCRIPTION
1				

MULE DEER CIRCLE PLAN AND PROFILE
PP11

81) Mobile Washes

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

82) Concrete Wash Management

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

83) Stabilized Construction Materials

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

84) Lehi Prohibitions - Concrete Block

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

85) 100' Service

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

86) Lehi Prohibitions - Concrete

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

87) Lehi Prohibitions - Concrete

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

88) Lehi Prohibitions - Concrete Block

QUESTIONS

- 1) Wash station is located on construction site.
- 2) Wash station is located on construction site.
- 3) Wash station is located on construction site.
- 4) Wash station is located on construction site.
- 5) Wash station is located on construction site.
- 6) Wash station is located on construction site.
- 7) Wash station is located on construction site.
- 8) Wash station is located on construction site.
- 9) Wash station is located on construction site.
- 10) Wash station is located on construction site.

ANSWERS

- 1) A
- 2) A
- 3) A
- 4) A
- 5) A
- 6) A
- 7) A
- 8) A
- 9) A
- 10) A

Attention Contractors

All mud and or debris tracked onto any streets shall be the responsibility of that person as per Lehi City Drainage Ordinance 13.40.

Fines are a Class C Misdemeanor and the project will be shut down until resolved.

LEHI CITY EROSION CONTROL SIGN

HIDDEN CANYON PLAT "A"
LEHI, UTAH
Erosion Control Details

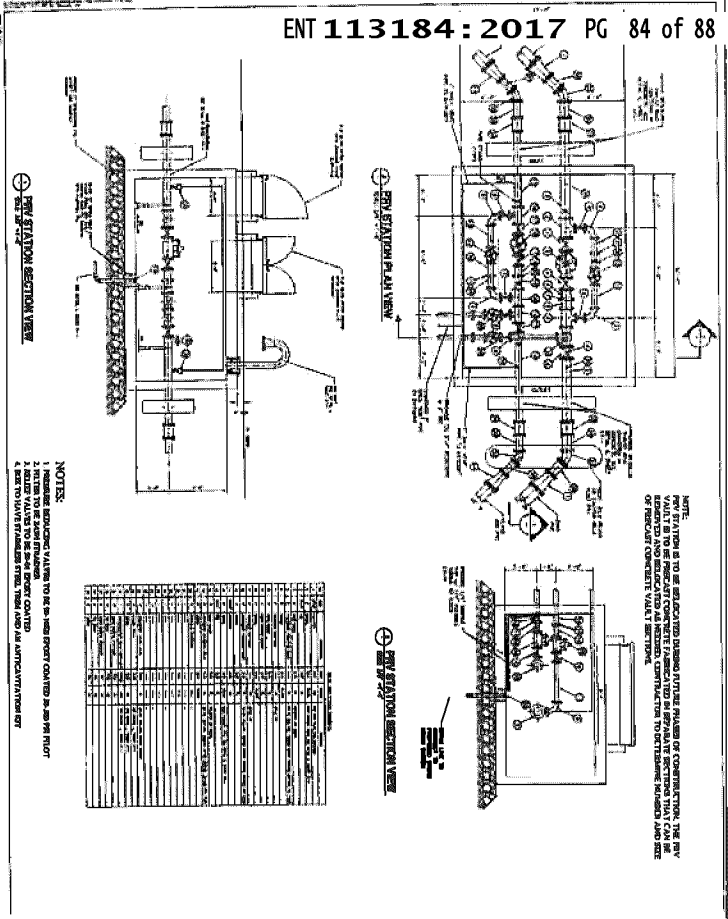
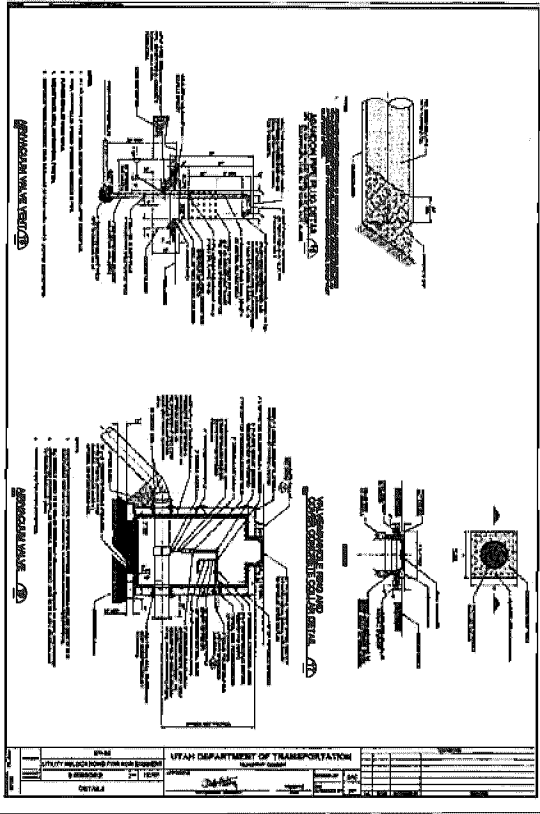


FOCUS
ENGINEERING AND SURVEYING, LLC
31 WEST CENTER STREET
MIDVALE, UTAH 84047 P: (801) 352-0075
www.focuswash.com

EROSION CONTROL DETAILS

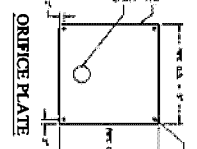
NO.	DATE	REVISION
1	02/28/17	15/277
2		
3		
4		
5		
6		
7		
8		
9		
10		

D1



NOTES:
 1. ALL CEILING JOISTS TO BE 2x8 SPACED @ 16" ON CENTER.
 2. ALL CEILING JOISTS TO BE 2x8 SPACED @ 16" ON CENTER.
 3. ALL CEILING JOISTS TO BE 2x8 SPACED @ 16" ON CENTER.

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	2x8 JOIST	10	LF	1.50	15.00
2	1/2" GYPSUM BOARD	10	SF	1.00	10.00
3	1/2" GYPSUM BOARD	10	SF	1.00	10.00
4	1/2" GYPSUM BOARD	10	SF	1.00	10.00
5	1/2" GYPSUM BOARD	10	SF	1.00	10.00
6	1/2" GYPSUM BOARD	10	SF	1.00	10.00
7	1/2" GYPSUM BOARD	10	SF	1.00	10.00
8	1/2" GYPSUM BOARD	10	SF	1.00	10.00
9	1/2" GYPSUM BOARD	10	SF	1.00	10.00
10	1/2" GYPSUM BOARD	10	SF	1.00	10.00



NOTES:
 1. ALL ORIFICE PLATES TO BE 1/2" THICK.
 2. ALL ORIFICE PLATES TO BE 1/2" THICK.
 3. ALL ORIFICE PLATES TO BE 1/2" THICK.
 4. ALL ORIFICE PLATES TO BE 1/2" THICK.

UTAH DEPARTMENT OF TRANSPORTATION
 PROJECT NO. 113184
 SHEET NO. 84 OF 88

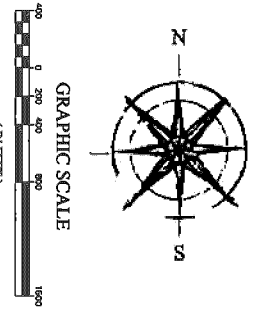
HIDDEN CANYON PLAT "A"
 LEHI, UTAH
 Details



FOCUS
 ENGINEERING AND SURVEYING, LLC
 2300 WEST 11000 SOUTH
 SALT LAKE CITY, UT 84119
 (801) 488-1100

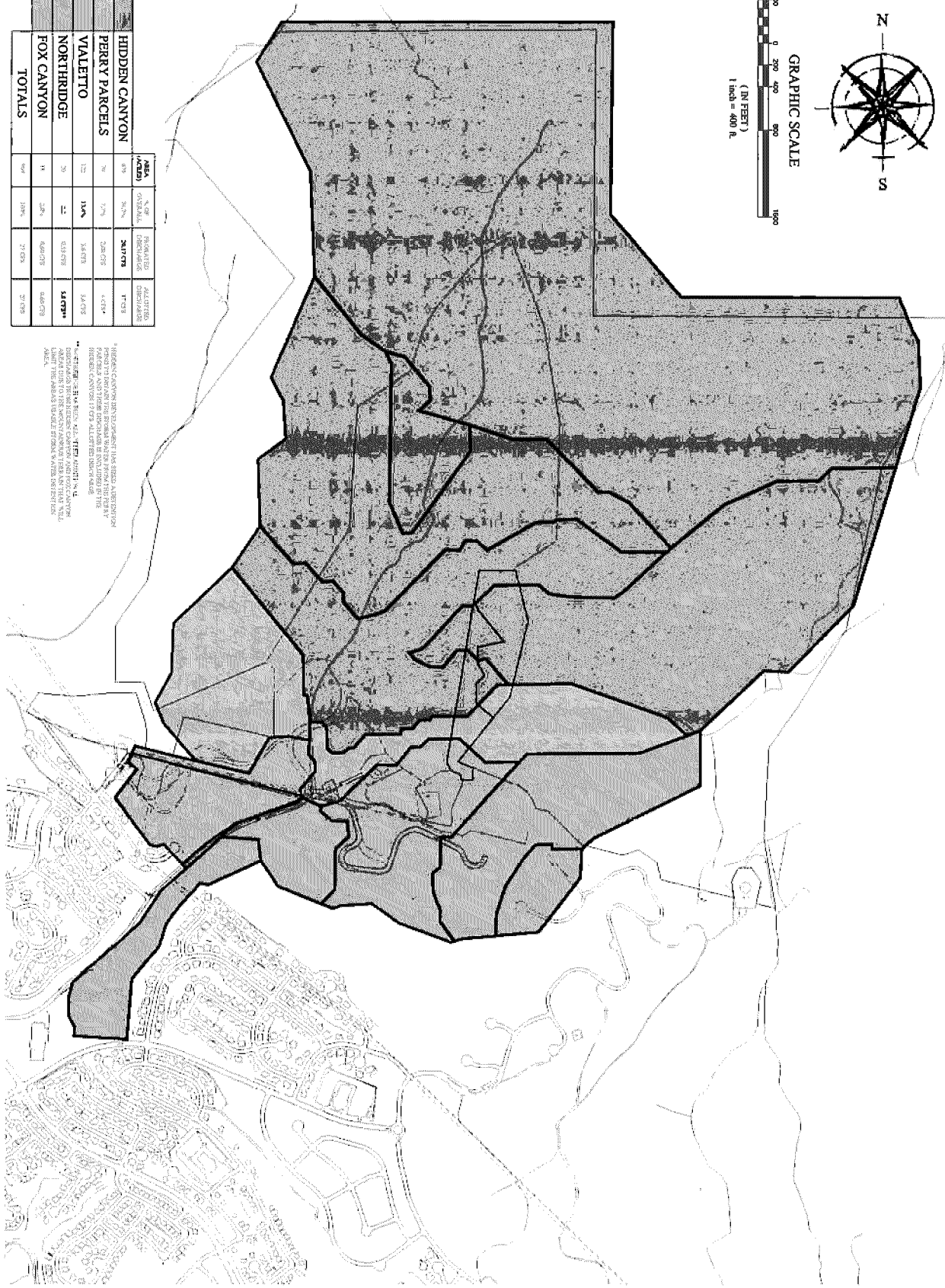
NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	ORIFICE PLATE	10	SF	1.00	10.00
2	ORIFICE PLATE	10	SF	1.00	10.00
3	ORIFICE PLATE	10	SF	1.00	10.00
4	ORIFICE PLATE	10	SF	1.00	10.00
5	ORIFICE PLATE	10	SF	1.00	10.00
6	ORIFICE PLATE	10	SF	1.00	10.00
7	ORIFICE PLATE	10	SF	1.00	10.00
8	ORIFICE PLATE	10	SF	1.00	10.00
9	ORIFICE PLATE	10	SF	1.00	10.00
10	ORIFICE PLATE	10	SF	1.00	10.00

D2



Area	Area (Acres)	% of Overall	Pro-rated Discharge	Allowable Discharge
HIDDEN CANYON	419	36.2%	2,117 CFS	1,713 CFS
PERRY PARCELS	79	7.0%	238 CFS	4,624 CFS*
VIALETTO	122	10.6%	343 CFS	3,439 CFS
NORTHIDGE	79	7.0%	238 CFS	3,439 CFS
FOX CANYON	18	1.6%	64 CFS	64 CFS
TOTALS	615	53.4%	2,792 CFS	2,792 CFS

*HIDDEN CANYON IMPROVEMENT HAS BEEN ALLOCATED TO THE PRO-RATED DISCHARGE RATE OF 1,713 CFS. PERRY PARCELS, VIALETTO, NORTHIDGE, FOX CANYON, AND THE TOTAL ALLOWABLE DISCHARGE IS 2,792 CFS. THE PRO-RATED DISCHARGE FOR THE PERRY PARCELS, VIALETTO, NORTHIDGE, AND FOX CANYON ARE 4,624 CFS, 3,439 CFS, 3,439 CFS, AND 64 CFS, RESPECTIVELY. THE TOTAL ALLOWABLE DISCHARGE FOR THE PERRY PARCELS, VIALETTO, NORTHIDGE, AND FOX CANYON IS 8,566 CFS. THE PRO-RATED DISCHARGE FOR THE PERRY PARCELS, VIALETTO, NORTHIDGE, AND FOX CANYON IS 4,624 CFS, 3,439 CFS, 3,439 CFS, AND 64 CFS, RESPECTIVELY. THE TOTAL ALLOWABLE DISCHARGE FOR THE PERRY PARCELS, VIALETTO, NORTHIDGE, AND FOX CANYON IS 8,566 CFS.



ALLOWABLE DISCHARGE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

PRO-RATED STORM WATER DISCHARGE RATES
 ALLOWABLE DISCHARGE TO AVOID 48" PARALLEL IMPROVEMENTS
EXHIBIT 2

FOCUS
 ENGINEERING AND SURVEYING, LLC
 77 SOUTH CUMBER STREET
 MIDLAND, TEXAS 79701-1711
 www.focusllc.com

Hidden Canyon Overall Detention Pond

Project: Hidden Canyon
 Location: Lehi, Utah
 Date: 5/25/2016
 Calculated By: Travis Benson



100-Year Runoff Calculation

Design Criteria

Intensity Table: Per NOAA Atlas 14
 Return Period: 100 year
 Allowable Discharge: 0.40 cfs/acre Per Traverse Mountain Area Plan

Allowable Discharge

Storm Drain Discharge: 74.3 cfs

Designed Discharge

Storm Drain Discharge: 17.0 cfs

Surface Type	Area (sf)	"C" Value	C*A
Medium Density Residential	4,400,005	0.38	1,672,002
Perry Townhomes	287,653	0.50	143,827
Perry Kidney Parcel A	295,772	0.38	112,393
Perry Kidney Parcel B	378,536	0.38	143,844
Open Space	2,728,589	0.20	545,718
Totals	8,090,555		2,617,783
Weighted "C" Value		0.32	

Drainage Calculations

Duration	Intensity	Runoff C	Area	Rainfall	Accumulated	Allowable	Discharge	Required
					Flow	Discharge		Storage
min	in/hr		Ac	cfs	cf	cfs	cf	cf
15.0	4.16	0.32	185.73	250.00	225.000	17.00	15.300	209.700
30.0	2.80	0.32	185.73	168.27	302.884	17.00	30.600	272.284
60.0	1.73	0.32	185.73	103.97	374.278	17.00	61.200	313.078
120.0	0.96	0.32	185.73	57.69	415.384	17.00	122.400	292.984
180.0	0.65	0.32	185.73	39.06	421.874	17.00	183.600	238.274
360.0	0.36	0.32	185.73	21.63	467.307	17.00	367.200	100.107
720.0	0.21	0.32	185.73	12.62	545.191	17.00	734.400	-189.209
1440.0	0.11	0.32	185.73	6.61	571.153	17.00	1,468.800	897.647

Maximum Storage Requirement: 313,078
 Maximum Storage Requirement (ac-ft): 7.19

Hidden Canyon Plat A Detention Pond

Project: Hidden Canyon
 Location: Lehi, Utah
 Date: 8/24/2016
 Calculated By: Travis Benson



100-Year Runoff Calculation

Design Criteria

Intensity Table: Per NOAA Atlas 14
 Return Period: 100 year
 Designed Discharge: 0.20 cfs/acre
 Allowable Discharge: 0.40 cfs/acre Per Traverse Mountain Area Plan

Designed Discharge

Storm Drain Discharge: 5.1 cfs 48,627

Surface Type	Area (sf)	"C" Value	C*A
Hidden Canyon Phase 1	1,103,242	0.32	356,840
Weighted "C" Value		0.32	

Drainage Calculations

Duration	Intensity	Runoff C	Area	Rainfall	Accumulated	Allowable	Discharge	Required
min	in/hr		Ac	cfs	Flow	Discharge		Storage
					cf	cfs	cf	cf
15.0	4.16	0.32	25.33	34.08	30.671	5.07	4,559	26,112
30.0	2.80	0.32	25.33	22.94	41,287	5.07	9,118	32,170
60.0	1.73	0.32	25.33	14.17	51,019	5.07	18,235	32,784
120.0	0.96	0.32	25.33	7.86	56,623	5.07	36,471	20,152
180.0	0.65	0.32	25.33	5.32	57,507	5.07	54,706	2,801
360.0	0.36	0.32	25.33	2.95	63,700	5.07	109,412	-45,712
720.0	0.21	0.32	25.33	1.72	74,317	5.07	218,825	-144,508
1440.0	0.11	0.32	25.33	0.90	77,856	5.07	437,650	-359,794

Maximum Storage Requirement: 32,784
 Maximum Storage Requirement (ac-ft): 0.75

Detention Basin Design

Storage Requirement: 32,784 cf
 Total Storage: 48,627 cf **DETENTION ADEQUATE**

Orifice Design

Restriction Rate: 0.20 CFS/ACRE
 Allowable Outfall Rate Q (cfs): 5.07
 Orifice Sizing: h = 4 ft
 C = 0.6
 A = 0.526 sf
 dia. = 9.82 inches
 Orifice Size = 9.8 inch

HIDDEN CANYON DEVELOPMENT

PLAT A NARRATIVE

Plat A of the Hidden Canyon Development is a 25.33 acre phase in the Central Canyon area of Traverse Mountain in Lehi City.

The development has been designed to contain the 100 year storm event within the roadway and proposed detention pond. The proposed storm drain system has been designed to collect and convey the water from the 10 year storm event to a detention pond at the south end of the project. The pond has been sized at 316,000 cubic feet of storage to detain the storm water from the 100 year storm event for the entire Hidden Canyon Development and the three parcels held by Perry Homes (2 parcels referred to as "kidney" parcels and the "town home" parcel) with a total combined release rate of 17.0 cfs. The Traverse Mountain discharge rate allowed by Lehi City is 0.4 cfs/acre (65.46 cfs). The pond has been oversized to mitigate the need for upsizing the downstream storm drain infrastructure. A smaller detention pond will be constructed to detain the storm water for Plat A. The detention volume required for the completion of Hidden Canyon Plat A is 32,784 cubic feet with a release rate of 0.2 cfs/acre (5.07 cfs). With each additional phase, or the development of any of the 3 Perry parcels, the detention pond will need to be enlarged to adequately service the additional acreage and subsequent storm water detention needs. Updated calculations will need to be provided for each additional phase showing the revised detention pond size. The restrictive orifice will also need to be resized for the additional flows until it reaches the max discharge rate of 17 cfs.

(See attached calculations.)

Exhibit 2 has been prepared to show the drainage basin's allowable pro-rated discharge rates that will need to be met to avoid the need to construct the 48" parallel storm drain line referred to in the Traverse Mountain area plan.

Due to the oversized detention pond and the max discharge rate of 17 cfs from the pond, the storm drain pipes below the detention pond in Fox Canyon Road have been sized to convey the 10 year storm water from Vialetto and Fox Canyon developments at the Traverse Mountain max discharge rate of 0.4 cfs/acre.