

**AGREEMENT REGARDING CONSTRUCTION OF LAKESHORE DRIVE**

This *Agreement Regarding Construction of Lakeshore Drive* (“**Agreement**”) is made effective as of the date signed by all parties, as shown on the signature page (“**Effective Date**”), by and between Blue Peak Holdings, LLC, a Utah limited liability company (“**Developer**”), and American Fork City, a municipal corporation and political subdivision of the State of Utah (“**City**”).

**RECITALS**

A. Developer is under contract to purchase certain real property within the City’s municipal boundaries (as depicted on **Exhibit A** attached hereto, the “**Property**”). Developer anticipates developing a residential subdivision (“**Project**”) on the Property.

B. The Property is subject to that certain *Annexation Agreement* dated December 12, 2017, between the City and a prior owner of the Property (“**Annexation Agreement**”).

C. Among other things, the Annexation Agreement contemplates that the owner of the Property will dedicate a right of way for a major street within the City known as Lakeshore Drive or Lakeshore Boulevard (as depicted on **Exhibit B** attached hereto, “**Lakeshore Drive**” and the area on which Lakeshore Drive will be located being the “**Lakeshore Drive Parcel**”).

D. The current owner of the Lakeshore Drive Parcel has dedicated, or is expected to dedicate concurrently with the execution of this Agreement, the Lakeshore Drive Parcel to the City.

E. Lakeshore Drive is a beneficial, if not necessary, access for the Project.

F. Developer is willing to construct the right of way improvements for Lakeshore Drive (as defined below, the “**Improvements**”) and the parties are willing share the cost of the Improvements, all on the terms and conditions set forth herein.

**AGREEMENT**

THEREFORE, in consideration of the mutual promises set forth herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties do hereby agree as follows:

1. **Recitals Incorporated.** The foregoing recitals are hereby incorporated and made part of the parties’ agreement.

2. **Construction of Improvements.** The parties agree to the following provisions with respect to the construction of the Improvements:

2.1. **Acquisition Contingency.** Notwithstanding any contrary provision of this Agreement, Developer’s duties under this Agreement are contingent on Developer acquiring the Property. Developer may elect to pursue all or any portion of the duties hereunder prior to acquiring the Property but shall have no obligation to do so.



2.2. Scope of Improvements. As used in this Agreement, the term **“Improvements”** means and refers to the right of way infrastructure and related to be constructed within the Lakeshore Drive Parcel including the following, but only to the extent necessary to comply with the applicable City ordinances, codes, or regulations (collectively **“Codes”**): paving, curb and gutter, lighting, storm water channels, and sewer lines. The scope of the Improvements is further set out on Exhibit C attached hereto. The Improvements will be constructed pursuant to plans or engineered drawings (collectively, **“Plans”**) approved by the City for compliance with the City’s Codes, with such approval not to be unreasonably withheld, conditioned, or delayed.

2.3. Contractors. Developer shall engage, retain, supervise, and direct all contractors, subcontractors, suppliers, laborers, and other vendors necessary to construct the Improvements (collectively, the **“Contractor Parties”**). Developer will be responsible to pay all such Contractor Parties in a timely manner. Provided the City is not in default in its obligation to pay the City Contribution, described below, Developer will keep the Lakeshore Drive Parcel free from all construction and preconstruction liens arising from the construction of the Improvements. Developer shall cause the Contractor Parties to construct the Improvements in a manner consistent with applicable Codes. For all components of the Improvements, Developer will ensure that the applicable Contractor Parties hold all requisite licenses or certifications required by any local, state, or federal regulatory entity with appropriate jurisdiction to regulate or authorize the construction of the Improvements.

2.4. Timeframe for Construction and Force Majeure. Provided Developer has taken title to the Property, construction of the Improvements will begin no later than sixty (60) days after the later of (a) the Effective Date or (b) the City’s approval of the Plans. Thereafter, Developer will continue with commercially reasonable diligence to pursue completion of the Improvements. If Developer is unable to comply with any deadline or timeframe established by this Agreement because of stoppage, delays, or interference caused by unexpected forces or events outside Developer’s control (each, a **“Force Majeure Event”**), then such deadline or timeframe will be extended the amount of time reasonably required for Developer to comply with such deadline or timeframe provided Developer gives written notice of the occurrence of the Force Majeure Event to the City. Examples of Force Majeure Events include, without limitation, earthquakes, floods, fires, unusually severe weather, the failure of governmental entities to provide permits or approvals, strikes, disruption or delay of transportation systems, shortages of materials, delay of fabrication of materials, wars, civil unrest, and pandemics or other widespread health crises.

2.5. Construction Easement. If the Lakeshore Drive Parcel has not been designated as a public utility easement as of the Effective Date, the City hereby grants Developer a temporary construction easement over the Lakeshore Drive Parcel (**“Easement”**). Pursuant to the Easement, Developer and the Contractor Parties shall have the right to enter the Lakeshore Drive Parcel for all purposes related to the construction of the Improvements. The Easement

will automatically terminate when the Improvements are complete and the City's warranty period has expired.

2.6. No Obligation to Construct Trail. The parties acknowledge and agree that the Annexation Agreement contemplates that the owner of the Property will dedicate land for a pedestrian trail ("Trail") adjacent to Lakeshore Drive. The parties acknowledge and agree that the Lakeshore Drive Parcel includes the area for the Trail or that the current owner of the Property will dedicate land for the Trail concurrently herewith. The parties further agree that nothing in this Agreement shall be deemed to create an obligation for Developer to construct any portion of the Trail or any other infrastructure other than the Improvements, as described on Exhibit C attached hereto.

3. Cost Sharing. The parties agree to the following provisions with respect to the cost of the Improvements:

3.1. Cost of Improvements. The cost of the various components of the Improvements is detailed on Exhibit C attached hereto. The parties acknowledge and agree the cost to construct the Improvements ("Improvement Cost") is expected to be at least \$2.3 million, as set forth on Exhibit C hereto.

3.2. Agreement to Share Improvement Cost. The parties agree that the construction of the Improvements will be a material benefit to both Developer and the City and, consequently, the parties agree to share the Improvement Cost as provided herein.

3.3. City Contribution and Cost Overruns. The City has agreed to pay for the upsizing of Lakeshore Drive, which is estimated to be approximately seven hundred fifty thousand dollars (\$750,000.00) (such amount being the "City Contribution"). The parties further agree that Developer will be responsible for the remaining portions of Improvement Costs. Specifically, Developer will bear the risk of any cost increases or cost overruns.

3.4. Time for City Contribution. The City will deliver the City Contribution to Developer not later than forty-five (45) days after the later of: (a) the date the City accepts the Improvements under applicable Codes; or (b) the date Developer posts the warranty bond or other security required under applicable Codes.

3.5. Contribution of Third-Parties. Nothing in this Agreement will prevent Developer from seeking or accepting contribution for the cost of the Improvements from third-parties. Any such contribution which Developer is able to obtain will inure to the benefit of Developer and will not be an offset to the City's obligation to pay the City's Contribution as provided herein.

4. Temporary Emergency Access Easement. In connection with Developer's residential development of the Project, Developer agrees to designate Lot 294 in Plat D of the Project as a

temporary emergency access easement (“**Emergency Access**”) to be used for emergency ingress and egress purposes. Until the Emergency Access is terminated pursuant to the conditions identified below, Developer will refrain from constructing any structure or improvements on Lot 294 which would impede access across the same in emergency situations. Developer will improve the Emergency Access to standards for fire apparatus access roads pursuant to Appendix D of the International Fire Code (2018). To ensure that the Emergency Access is not used except in cases of emergency, Developer may install a “crash gate” or similar barrier across the Emergency Access. Lot 294 will cease to function as an Emergency Access and may be developed as a residential lot within the Project upon the construction of a secondary access point not involving the intersection of 980 South and 1000 West.

5. **Default and Waiver.** Any party claiming a default under this Agreement shall give the other party written notice identifying the alleged default with specificity, and the other party shall thereafter have ten (10) days to cure the same before the party claiming default will be entitled to any remedies for such alleged default. Notwithstanding the foregoing, if the alleged default cannot reasonably be cured within such ten (10) day period, a party will not be deemed in default if such party commences a cure within such ten (10) day period and pursues the cure to completion with reasonable diligence. No waiver of any provision of this Agreement will be deemed effective unless in writing. Any waiver of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach of the same or any other provision hereof. All waivers shall be in writing.

6. **Miscellaneous.**

6.1. **No Partnership.** Nothing in this Agreement shall create or imply a partnership or joint venture between the parties. Except as expressly provided herein, neither party will be agents of the other party or able to legally bind the other party.

6.2. **Assignment.** The City’s obligation to pay the City Contribution may not be assigned or delegated without Developer’s express written consent. Developer’s obligations may only be assigned to an individual or entity who acquires all or a portion of the Property, provided that any such assignee must agree in writing to assume the obligations of Developer hereunder.

6.3. **Severability and Reformation.** If any one or more of the provisions or parts of a provision contained in this Agreement shall, for any reason, be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision or part of a provision of this Agreement; and this Agreement shall, to the fullest extent lawful, be reformed and construed as if such invalid, illegal, or unenforceable provision, or part of a provision, had never been contained herein, and such provision or part be reformed so that it would be valid, legal, and enforceable to the maximum extent possible. Without limiting the foregoing, if any provision (or part of a provision) contained in this Agreement shall for any reason be held to be excessively broad as to duration, activity, or subject, it shall

be construed by limiting and reducing it, so as to be enforceable to the fullest extent compatible with the then-existing applicable law.

6.4. Headings. Headings and subheadings are for convenience only and shall not be deemed to be a part of this Agreement.

6.5. Amendments. This Agreement may not be amended or modified, in whole or in part, except by an instrument in writing signed by all parties hereto.

6.6. Counterparts. This Agreement may be executed in one or more counterparts which may be exchanged by traditional or electronic means, each of which shall constitute an original and all of which shall be deemed a single agreement.

6.7. Governing Law. This Agreement is governed by the laws of the State of Utah. Any action to interpret or enforce this Agreement shall be subject to the procedural laws applicable to the courts of the State of Utah.

6.8. Enforcement. In the event of any action to interpret or enforce this Agreement, the prevailing party shall be entitled to an award of the costs incurred therein (including recovering any judgment issued to a party), including reasonable attorney fees.

6.9. Notices. All notices, requests, demands, and other communications required or permitted under this Agreement shall be in writing and sent as follows:

If to the City: American Fork City  
Public Works Director  
51 E. Main St.  
American Fork UT 84003

With a copy to: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If to Developer: Blue Peak Holdings, LLC  
820 S. 850 E., Suite A4  
Lehi, Utah 84043

With a copy to: York Howell & Guymon  
Attn: Daniel C. Dansie  
10610 S. Jordan Gateway, Suite 200


South Jordan, Utah 84095  
Telephone: 801-527-1040  
Email: [dansie@yorkhowell.com](mailto:dansie@yorkhowell.com)

***[End of Agreement. Remainder of Page Intentionally Blank. Signatures Follow.]***

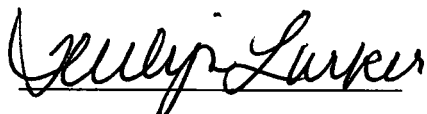
IN WITNESS WHEREOF, the parties hereto have executed this *Agreement Regarding Construction of Lakeshore Drive* as of the Effective Date.

**BLUE PEAK**

**Blue Peak Holdings, LLC**, a Utah limited liability company


By:   
Name: JACOB M. MORAN  
Title: MANAGER  
Date: 7/15/21

**ATTEST**


  
City Recorder

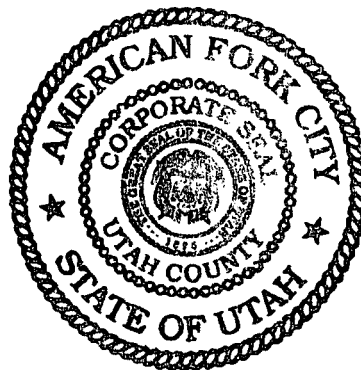
**CITY**

**The City of American Fork**, a political subdivision of the State of Utah

By:   
Name: Bradley J. Frost  
Title: Mayor  
Date: 7/20/21

**APPROVED AS TO FORM**

  
City Attorney



**EXHIBIT A**

**(Description of the Property)**



**EXHIBIT A**  
**(DESCRIPTION OF PROPERTY)**

**Plat A**

BEGINNING AT A POINT LOCATED N89°52'20"E 2170.18 FEET AND S00°26'22"E 620.17 FEET FROM THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 00°40'12" WEST 454.19 FEET; THENCE WEST 5.62 FEET; THENCE SOUTH 01°10'00" WEST 650.91 FEET; THENCE NORTH 88°34'45" EAST 11.27 FEET; THENCE SOUTH 01°33'05" WEST 1260.43 FEET; THENCE ALONG THE ARC OF A 662.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 364.42 FEET (CURVE HAVING A CENTRAL ANGLE OF 31°32'27" AND LONG CHORD BEARS N48°13'47"W 359.84 FEET); THENCE NORTH 57°32'26" EAST 20.00 FEET; THENCE ALONG THE ARC OF A 642.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 381.09 FEET (CURVE HAVING A CENTRAL ANGLE OF 34°00'38" AND LONG CHORD BEARS N15°27'15"W 375.52 FEET); THENCE NORTH 01°33'05" EAST 891.95 FEET; THENCE ALONG THE ARC OF A 792.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 322.29 FEET (CURVE HAVING A CENTRAL ANGLE OF 23°18'56" AND LONG CHORD BEARS N13°12'32"E 320.07 FEET); THENCE NORTH 24°52'00" EAST 20.8259 FEET; THENCE NORTH 65°08'00" WEST 1247.80 FEET; THENCE NORTH 01°01'26" EAST 481.06 FEET; THENCE SOUTH 65°08'00" EAST 128.08 FEET; THENCE ALONG THE ARC OF A 564.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 151.36 FEET (CURVE HAVING A CENTRAL ANGLE OF 15°22'34" AND LONG CHORD BEARS N15°43'12"E 150.90 FEET); THENCE SOUTH 89°37'30" EAST 80.63 FEET; THENCE ALONG THE ARC OF 15.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 18.90 FEET (CURVE HAVING A CENTRAL ANGLE OF 72°12'35" AND LONG CHORD BEARS S29°01'43"E 17.68 FEET); THENCE SOUTH 65°08'00" EAST 73.40 FEET; THENCE NORTH 25°49'32" EAST 111.15 FEET; THENCE SOUTH 84°19'13" EAST 111.29 FEET; THENCE ALONG THE ARC OF 243.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 28.63 FEET (CURVE HAVING A CENTRAL ANGLE OF 06°45'04" AND LONG CHORD BEARS N04°20'18"E 28.62 FEET); THENCE NORTH 00°57'46" EAST 191.44 FEET; THENCE SOUTH 89°59'55" WEST 102.20 FEET; THENCE NORTH 01°00'15" EAST 426.91 FEET; THENCE SOUTH 89°01'56" EAST 278.69 FEET; THENCE SOUTH 00°58'07" WEST 728.75 FEET; THENCE NORTH 89°49'39" EAST 47.33 FEET; THENCE SOUTH 00°27'39" WEST 179.69 FEET; THENCE SOUTH 24°52'00" WEST 64.00 FEET; THENCE NORTH 65°08'00" WEST 32.98 FEET; THENCE SOUTH 24°52'00" WEST 108.00 FEET; THENCE SOUTH 65°08'00" EAST 420.00 FEET; THENCE NORTH 24°52'00" EAST 164.01 FEET; THENCE SOUTH 65°08'00" EAST 411.52 FEET TO THE POINT OF BEGINNING. AREA = 1,651,214 SF OR 37.91 ACRES BASIS OF BEARING IS NORTH 89°52'20" EAST ALONG SECTION LINE FROM THE SOUTH QUARTER CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE SOUTHEAST CORNER OF SAID SECTION 22. (NAD 27)

**Plat B**

BEGINNING AT A POINT LOCATED S89°52'20"W 2552.50 FEET AND SOUTH 1813.11 FEET FROM THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 01°33'05" WEST 558.65 FEET; THENCE ALONG THE ARC OF A 642.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 381.09 FEET (CURVE HAVING A CENTRAL ANGLE OF 34°00'38" AND LONG CHORD BEARS S15°27'15"E 275.52 FEET); THENCE SOUTH 57°32'26" WEST 20.00 FEET; THENCE ALONG THE ARC OF A 662.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 61.16 FEET (CURVE HAVING A CENTRAL ANGLE OF 05°17'37" AND LONG CHORD BEARS

S35°06'23"E 61.14 FEET); THENCE ALONG THE ARC OF A NON-TANGENT 10.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 14.78 FEET (CURVE HAVING A CENTRAL ANGLE OF 84°42'23" AND LONG CHORD BEARS N80°06'23"W 13.47 FEET); THENCE SOUTH 57°32'26" WEST 31.45 FEET; THENCE ALONG THE ARC OF A 527.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 292.95 FEET (CURVE HAVING A CENTRAL ANGLE OF 31°50'58" AND LONG CHORD BEARS S73°27'55"W 289.19 FEET); THENCE SOUTH 89°23'24" WEST 550.03 FEET; THENCE ALONG THE ARC OF 750.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 407.03 FEET (CURVE HAVING A CENTRAL ANGLE OF 31°05'41" AND LONG CHORD BEARS N75°03'46"W 402.05 FEET); THENCE NORTH 27°34'34" EAST 486.75 FEET; THENCE ALONG THE ARC OF 464.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 224.39 FEET (CURVE HAVING A CENTRAL ANGLE OF 27°42'28" AND LONG CHORD BEARS N13°43'20"E 222.21 FEET); THENCE NORTH 00°07'53" WEST 1043.06 FEET; THENCE ALONG THE ARC OF 364.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 140.87 FEET (CURVE HAVING A CENTRAL ANGLE OF 22°10'27" AND LONG CHORD BEARS N11°13'07"W 139.99 FEET); THENCE NORTH 22°18'20" WEST 210.72 FEET; THENCE ALONG THE ARC OF 436.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 137.87 FEET (CURVE HAVING A CENTRAL ANGLE OF 18°07'05" AND LONG CHORD BEARS N13°14'48"W 137.30 FEET); THENCE SOUTH 65°08'00" EAST 94.95 FEET; THENCE ALONG THE ARC OF 356.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 66.33 FEET (CURVE HAVING A CENTRAL ANGLE OF 10°40'34" AND LONG CHORD BEARS S16°58'03"E 66.24 FEET); THENCE SOUTH 22°18'20" EAST 210.72 FEET; THENCE ALONG THE ARC OF 444.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 171.83 FEET (CURVE HAVING A CENTRAL ANGLE OF 22°10'27" AND LONG CHORD BEARS S11°13'07"E 170.76 FEET); THENCE SOUTH 00°07'53" EAST 694.85 FEET; THENCE ALONG THE ARC OF 25.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 38.54 FEET (CURVE HAVING A CENTRAL ANGLE OF 88°19'02" AND LONG CHORD BEARS S44°17'24"E 34.83 FEET); THENCE SOUTH 88°26'55" EAST 740.19 FEET; THENCE ALONG THE ARC OF 30.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 47.12 FEET (CURVE HAVING A CENTRAL ANGLE OF 90°00'00" AND LONG CHORD BEARS N46°33'05"E 42.43 FEET) TO THE POINT OF BEGINNING. AREA = 1,120,576 SF OR 25.72 ACRES BASIS OF BEARING IS NORTH 89°52'20" EAST ALONG SECTION LINE FROM THE SOUTH QUARTER CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE SOUTHEAST CORNER OF SAID SECTION 22.

**Plat C**

BEGINNING AT A POINT LOCATED S89°52'20"W 3427.56 FEET AND SOUTH 1791.73 FEET FROM THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 00°07'53" EAST 290.59 FEET; THENCE ALONG THE ARC OF A 464.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 224.39 FEET (CURVE HAVING A CENTRAL ANGLE OF 27°42'28" AND LONG CHORD BEARS S13°43'20"W 222.21 FEET); THENCE SOUTH 27°34'34" WEST 486.75 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 750.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 56.76 FEET (CURVE HAVING A CENTRAL ANGLE OF 04°20'11" AND LONG CHORD BEARS N57°20'49"W 56.75 FEET); THENCE NORTH 55°10'44" WEST 357.76 FEET; THENCE ALONG THE ARC OF A 700.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 624.75 FEET (CURVE HAVING A CENTRAL ANGLE OF 51°08'11" AND LONG CHORD BEARS N29°36'38"W 604.22 FEET); THENCE NORTH 04°02'32" WEST 100.53 FEET; THENCE ALONG THE ARC OF A 900.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 85.64 FEET (CURVE HAVING A CENTRAL

ANGLE OF 05°27'07" AND LONG CHORD BEARS N06°46'05"W 85.61 FEET); THENCE NORTH 82°47'55" EAST 283.55 FEET; THENCE ALONG THE ARC OF 1036.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 158.73 FEET (CURVE HAVING A CENTRAL ANGLE OF 08°46'42" AND LONG CHORD BEARS N87°11'16"E 158.57 FEET); THENCE SOUTH 88°26'55" EAST 467.42 FEET; THENCE ALONG THE ARC OF 25.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 40.00 FEET (CURVE HAVING A CENTRAL ANGLE OF 91°40'58" AND LONG CHORD BEARS N45°42'36"E 35.87 FEET) TO THE POINT OF BEGINNING. AREA = 660,990 SF OR 15.17 ACRES BASIS OF BEARING IS NORTH 89°52'20" EAST ALONG SECTION LINE FROM THE SOUTH QUARTER CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE SOUTHEAST CORNER OF SAID SECTION 22. (NAD 27)

**Plat D**

BEGINNING AT A POINT LOCATED S89°52'20"W 3794.36 FEET AND SOUTH 1507.83 FEET FROM THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 09°52'59" EAST 112.76 FEET; THENCE SOUTH 07°10'09" EAST 64.04 FEET; THENCE SOUTH 05°06'36" EAST 125.80 FEET; THENCE NORTH 88°26'55" WEST 164.74 FEET; THENCE ALONG THE ARC OF A 1036.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 158.27 FEET (CURVE HAVING A CENTRAL ANGLE OF 08°45'10" AND LONG CHORD BEARS S87°11'16"W 158.57 FEET); THENCE SOUTH 82°47'55" WEST 283.55 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 900.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 949.62 FEET (CURVE HAVING A CENTRAL ANGLE OF 60°27'16" AND LONG CHORD BEARS N39°43'17"W 906.18 FEET); THENCE NORTH 01°05'13" EAST 271.37 FEET; THENCE SOUTH 88°26'57" EAST 161.74 FEET; THENCE SOUTH 89°53'59" EAST 247.36 FEET; THENCE SOUTH 10°58'14" EAST 68.58 FEET; THENCE SOUTH 47°45'12" EAST 156.22 FEET; THENCE SOUTH 43°38'15" EAST 64.02 FEET; THENCE SOUTH 43°14'59" EAST 86.77 FEET; THENCE SOUTH 38°55'54" EAST 75.61 FEET; THENCE SOUTH 36°32'59" EAST 73.21 FEET; THENCE SOUTH 29°51'38" EAST 90.00 FEET; THENCE SOUTH 26°41'54" EAST 75.07 FEET; THENCE SOUTH 22°04'57" EAST 91.22 FEET; THENCE SOUTH 19°51'06" EAST 13.73 FEET; THENCE NORTH 70°32'58" EAST 101.79 FEET; THENCE SOUTH 84°46'30" EAST 70.10 FEET; THENCE NORTH 71°44'36" EAST 102.25 FEET TO THE POINT OF BEGINNING. AREA = 498,884 SF OR 11.45 ACRES BASIS OF BEARING IS NORTH 89°52'20" EAST ALONG SECTION LINE FROM THE SOUTH QUARTER CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE SOUTHEAST CORNER OF SAID SECTION 22. (NAD 27)

**EXHIBIT B**

**(Depiction of Lakeshore Drive Parcel)**

**EXHIBIT B**

## (Description of Lakeshore Drive Parcel)

A roadway and trail right-of-way of 87.00 feet in width described as follows:

Beginning at a point that is N 89°50'11" E 375.32 feet along the section line and South 1055.07 feet from the Northwest corner of Section 27, Township 5 South, Range 1 East, Salt Lake Base & Meridian.



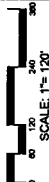


Thence along the arc of a 987.00 foot radius curve to the right a distance of 1162.23 feet (curve having a central angle of 67°28'05" and a long chord bearing S37°46'34"E 1096.24 feet); Thence South 04°02'32" East 100.53 feet; Thence along the arc of a 613.00 foot radius curve to the left a distance of 547.11 feet (curve having a central angle of 51°08'12" and a long chord bearing S29°36'38"E 529.13 feet); Thence South 55°10'44" East 355.00 feet; Thence along the arc of a 663.00 foot radius curve to the left a distance of 409.99 feet (curve having a central angle of 35°25'52" and a long chord bearing S72°53'40"E 403.49 feet); Thence North 89°23'24" East 550.03 feet; Thence along the arc of a 440.00 foot radius curve to the left a distance of 246.63 feet (curve having a central angle of 32°06'58" and a long chord bearing N73°19'55"E 243.42 feet); Thence along the arc of a 117.00 foot radius curve to the left a distance of 77.00 feet (curve having a central angle of 37°42'35" and a long chord bearing N21°52'01"E 75.62 feet); Thence North 59°55'14" East 84.33 feet; Thence along the arc of a 75.00 foot radius curve to the left a distance of 69.65 feet (curve having a central angle of 53°12'30" and a long chord bearing S81°59'03"E 67.17 feet); Thence South 33°57'26" East 64.02 feet; Thence along the arc of a 75.00 foot radius curve to the left a distance of 71.34 feet (curve having a central angle of 54°30'08" and a long chord bearing S17°40'05"W 68.68 feet); Thence along the arc of a 558.00 foot radius curve to the left a distance of 182.61 feet (curve having a central angle of 18°45'02" and a long chord bearing S49°39'58"E 181.80 feet); Thence South 01°33'05" West 116.54 feet; Thence along the arc of a 662.00 foot radius curve to the right a distance of 303.26 feet (curve having a central angle of 26°14'49" and a long chord bearing N50°52'36"W 300.62 feet); Thence along the arc of a 10.00 foot radius curve to the left a distance of 14.78 feet (curve having a central angle of 84°42'23" and a long chord bearing N80°06'22"W 13.47 feet); Thence South 57°32'26" West 31.45 feet; Thence along the arc of a 527.00 foot radius curve to the right a distance of 292.95 feet (curve having a central angle of 31°50'58" and a long chord bearing S73°27'55"W 289.19 feet); Thence South 89°23'24" West 550.03 feet; Thence along the arc of a 750.00 foot radius curve to the right a distance of 463.79 feet (curve having a central angle of 35°25'52" and a long chord bearing N72°53'40"W 456.44 feet); Thence North 55°10'44" West 355.00 feet; Thence along the arc of a 700.00 foot radius curve to the right a distance of 624.75 feet (curve having a central angle of 51°08'12" and a long chord bearing N29°36'38"W 604.22 feet); Thence North 04°02'32" West 100.53 feet; Thence along the arc of a 900.00 foot radius curve to the left a distance of 1032.53 feet (curve having a central angle of 65°43'57" and a long chord bearing N36°54'30"W 976.83 feet); Thence North 01°10'00" East 91.57 feet to the point of beginning.

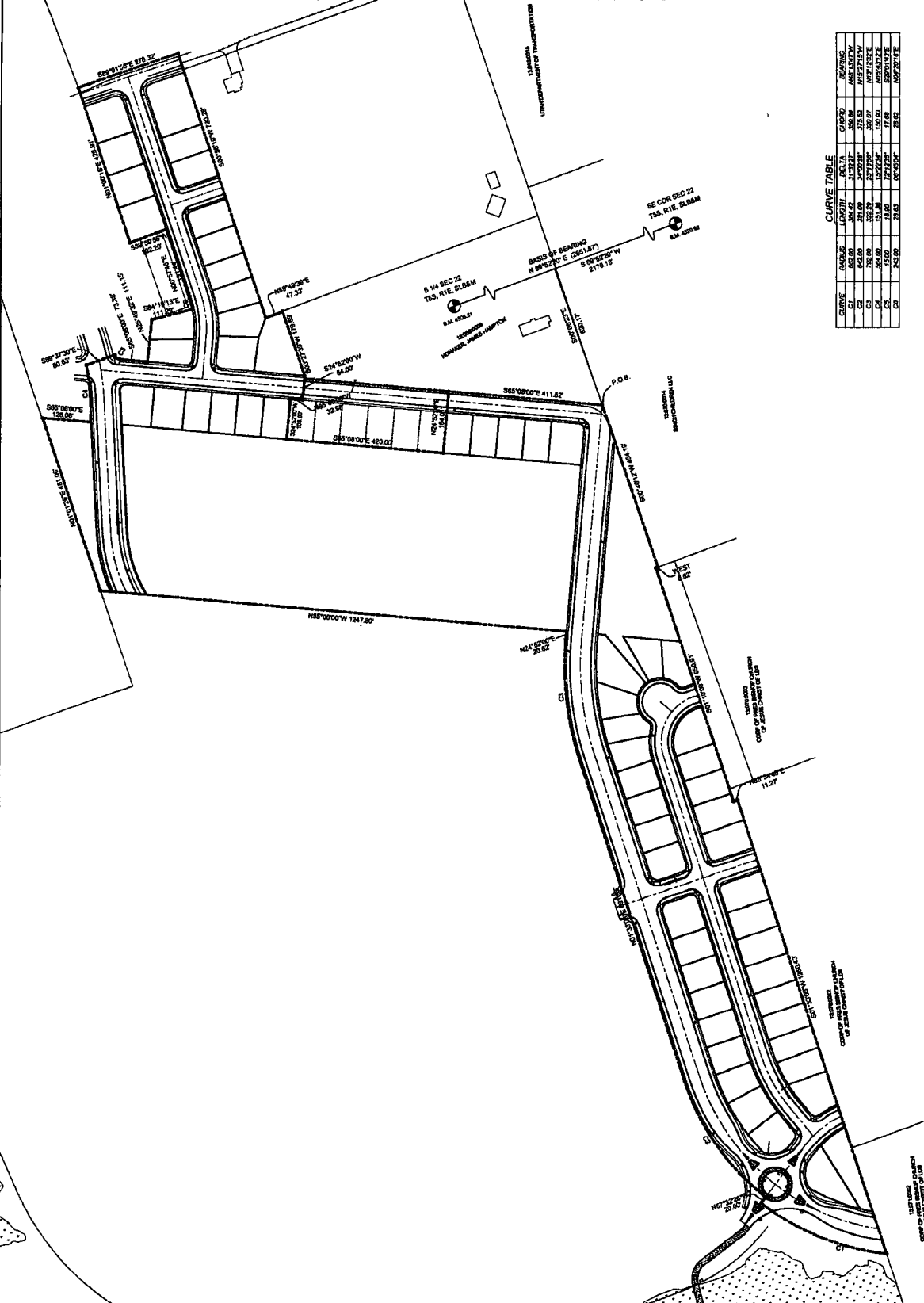
Containing 344,701 sf (7.91 ac)

**EXHIBIT C**

**(Plans)**



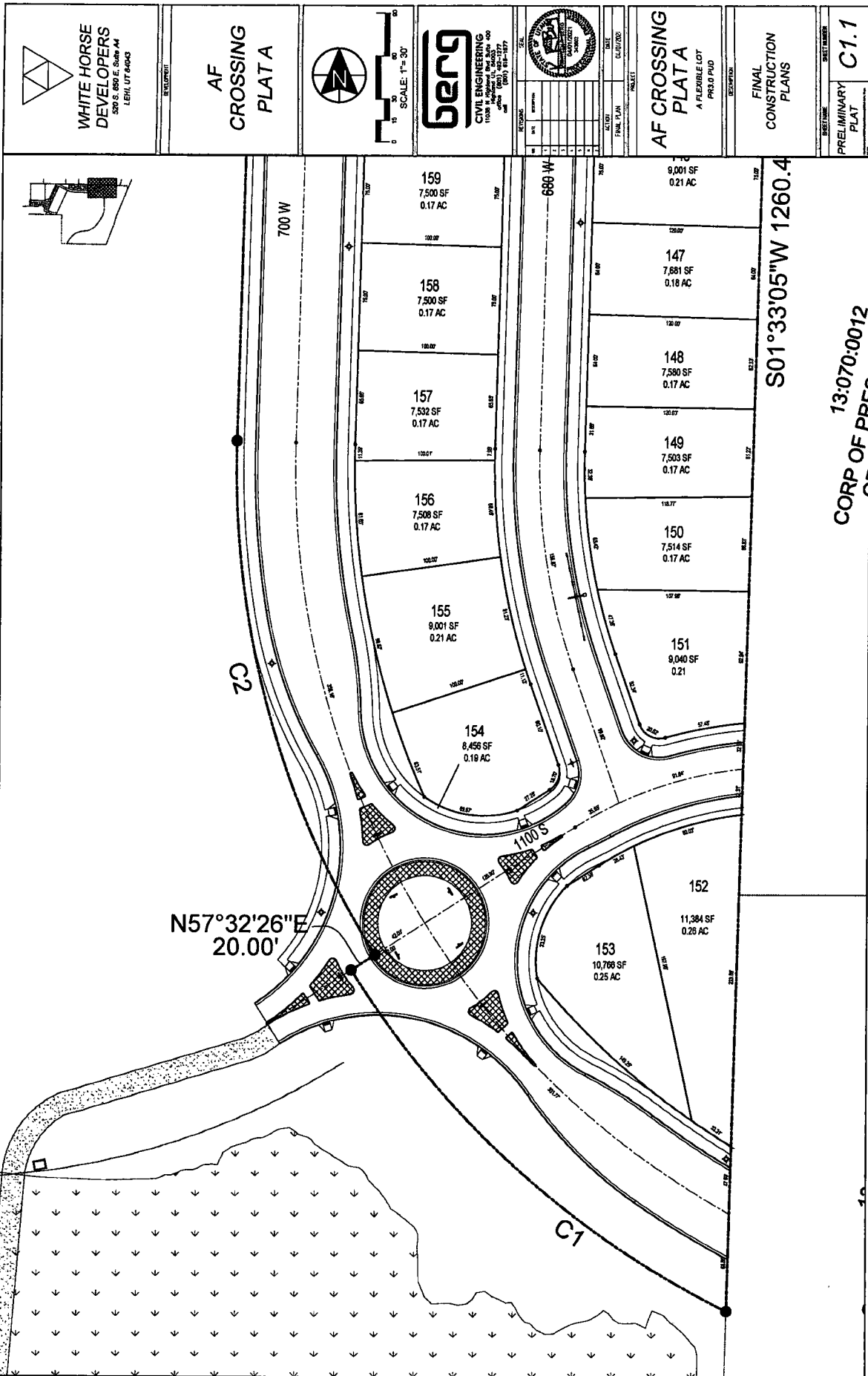
 <b>WHITE HORSE DEVELOPERS</b> 520 S. 800 E. Suite #4 LEHI, UT 84043	<b>AF CROSSING PLAT A</b>	 SCALE: 1" = 120' 	 <b>CIVIL ENGINEERING</b> 1100 S. 1000 W. Suite 100 LEHI, UT 84043 PH: (801) 434-1577 FAX: (801) 434-1577	 DATE: _____ QUANTITY: _____ PROJECT: _____ ACTION: _____ FIN. PLAN: _____	<b>AF CROSSING PLAT A</b> A FEASIBLE LOT FIELD PAID EXCISEMENT	<b>FINAL CONSTRUCTION PLANS</b>	SHEET NUMBER SHEET NAME SHEET DATE <b>PRELIMINARY PLAT C1.0</b>
--	---------------------------	--	---	---	---	---------------------------------	--

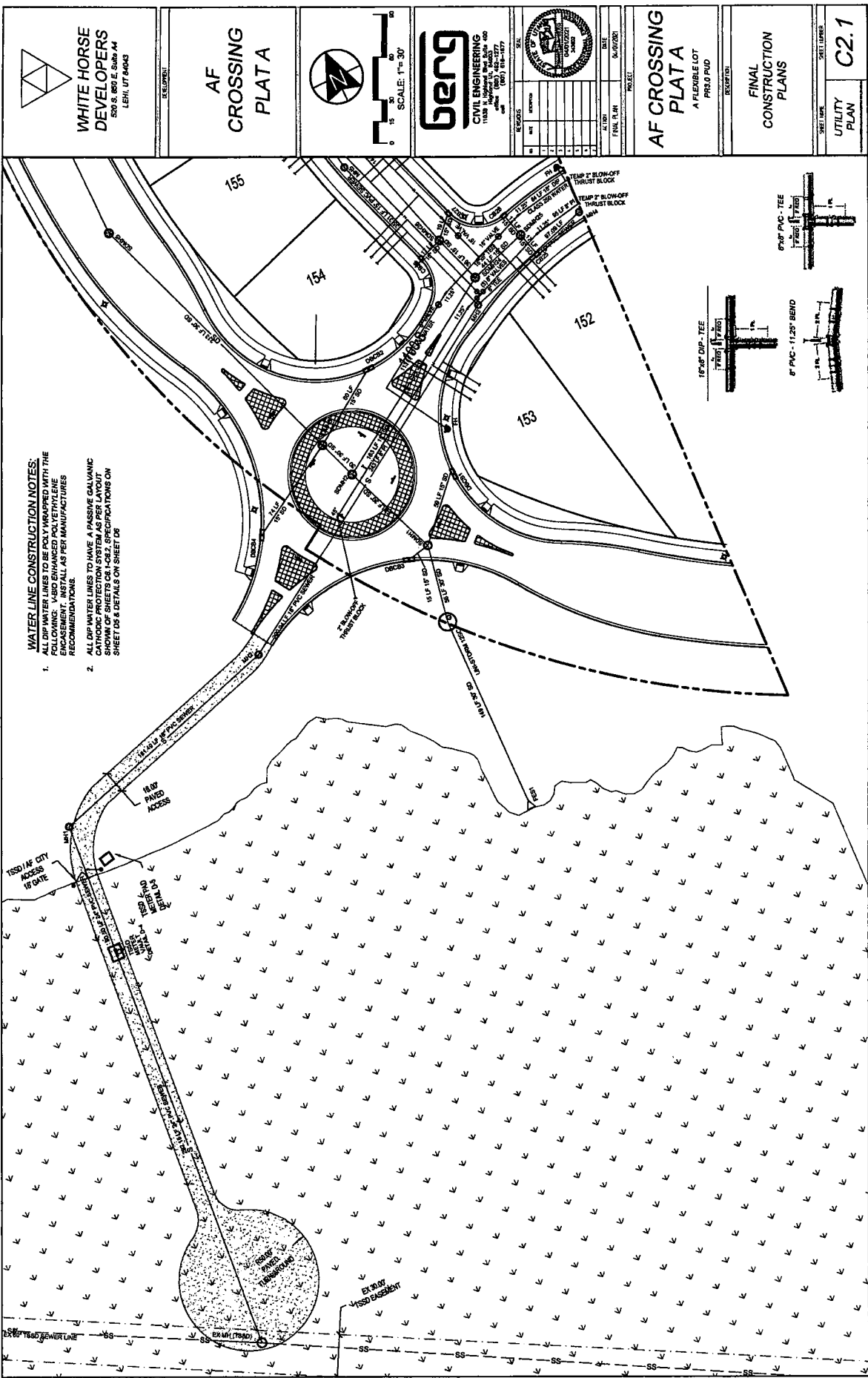


**CURVE TABLE**

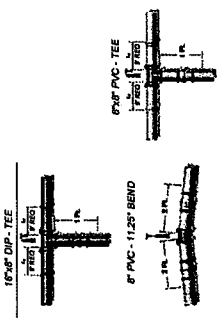
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	450.00	217.32	21.7322°	350.84	N85°17'37.71" W
C2	350.00	173.71	17.371°	278.32	N87°27'17.71" W
C3	250.00	129.83	12.983°	199.50	N89°37'02.72" W
C4	150.00	76.64	7.664°	125.00	N91°46'47.72" W
C5	100.00	51.04	5.104°	76.64	N93°56'32.72" W
C6	50.00	25.52	2.552°	38.32	N96°06'17.72" W









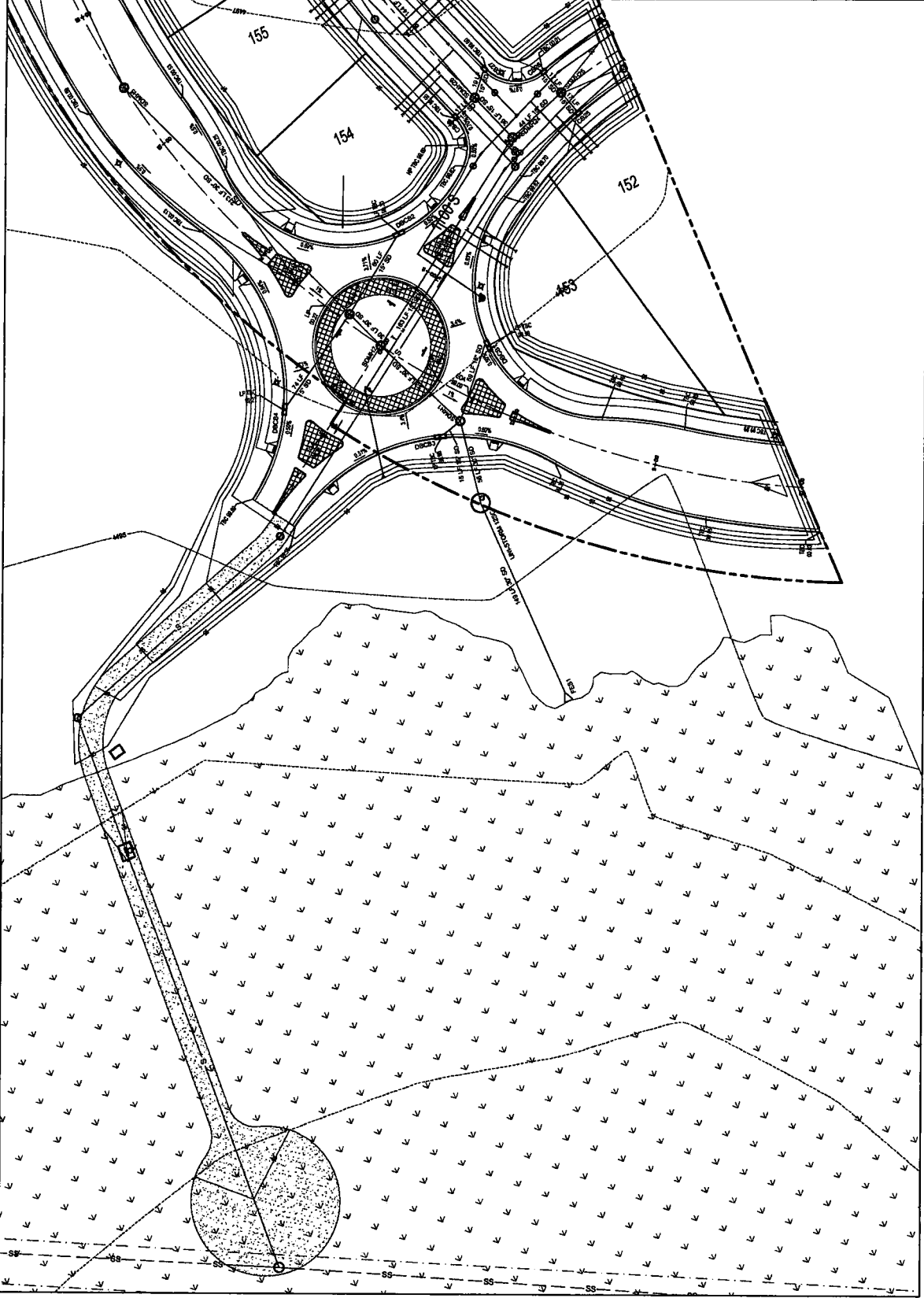


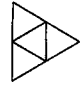
- WATER LINE CONSTRUCTION NOTES:**
1. ALL DIP WATER LINES TO BE POLY WRAPPED WITH THE ENCASEMENT, INSTALL AS PER MANUFACTURERS RECOMMENDATIONS.
  2. ALL DIP WATER LINES TO HAVE A PASSIVE GALVANIC CATHODIC PROTECTION SYSTEM AS PER LAYOUT SHOWN OF SHEETS CR-L-02. SPECIFICATIONS ON SHEET DS & DETAILS ON SHEET DS



<p><b>WHITE HORSE DEVELOPERS</b> 500 S. 801 E. SUITE 44 LEHI, UT 84043</p>		<p><b>AF CROSSING PLAT A</b></p>				<p><b>BERG CIVIL ENGINEERING</b> 11400 S. 14000 E. SUITE 400 SANDY, UT 84086 PHONE (801) 784-1177 FAX (801) 784-1177</p>				<p><b>AF CROSSING PLAT A</b> A FLEXIBLE LOT PRD.0.PUD</p>		<p><b>FINAL CONSTRUCTION PLANS</b></p>		<p><b>C2.1</b></p>	
<p>REVISIONS</p>		<p>DATE</p>		<p>BY</p>		<p>DATE</p>		<p>PROJECT</p>		<p>DESCRIPTION</p>		<p>SHEET NUMBER</p>		<p>UTILITY PLAN</p>	


 <p><b>WHITE HORSE DEVELOPERS</b> 320 S. 10TH E. SUITE 404 LEHI, UT 84043</p>	<p>DEVELOPMENT</p> <p><b>AF CROSSING PLAT A</b></p>	 <p>SCALE: 1" = 30'</p>	 <p><b>BENG</b> CIVIL ENGINEERING 1100 S. 10TH E. SUITE 400 LEHI, UT 84043 PHONE: (801) 734-1277</p>	 <table border="1"> <tr><td>NO.</td><td>DATE</td><td>DESCRIPTION</td></tr> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td></tr> <tr><td>10</td><td></td><td></td></tr> </table>	NO.	DATE	DESCRIPTION	1			2			3			4			5			6			7			8			9			10			<p><b>AF CROSSING PLAT A</b> A FLEXIBLE LOT PROJECT PROVIDED</p>	<p>FINAL CONSTRUCTION PLANS</p>	<p>SHEET NAME: <b>C3.1</b> GRADING PLAN</p>
NO.	DATE	DESCRIPTION																																						
1																																								
2																																								
3																																								
4																																								
5																																								
6																																								
7																																								
8																																								
9																																								
10																																								






**WHITE HORSE DEVELOPERS**  
5200 W. 10th St. Suite 404  
Lehi, UT 84040

**AF CROSSING PLAT A**



SCALE: 1" = 30'



**BERG CIVIL ENGINEERING**  
1100 S. 1000 E., SUITE 200  
LEHI, UT 84040  
(801) 434-1277

NO.	REVISION	DATE
1	FINAL PLAN	04/20/20

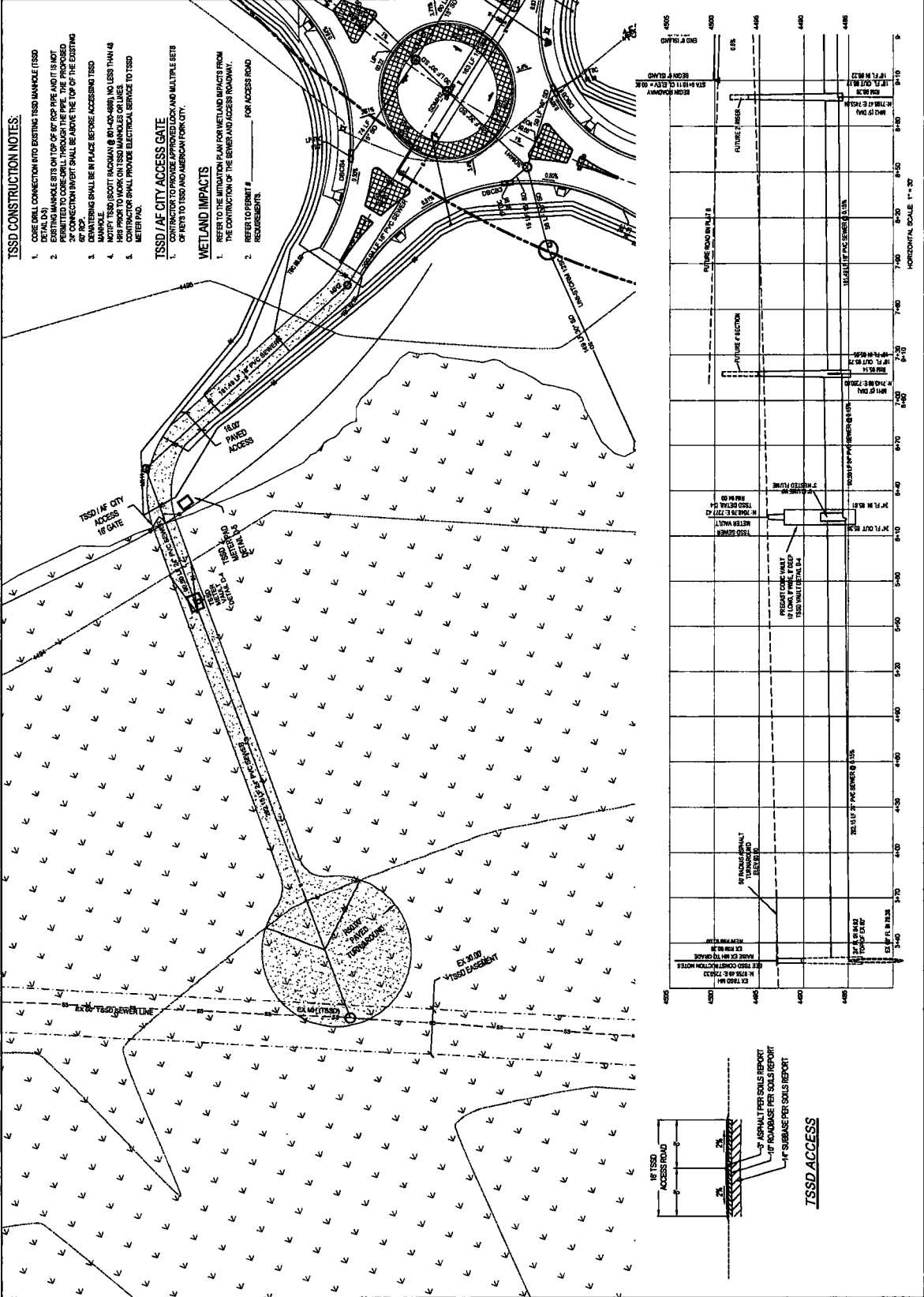
**AF CROSSING PLAT A**  
A FLEXIBLE LOT  
FIELD PAID




**FINAL CONSTRUCTION PLANS**

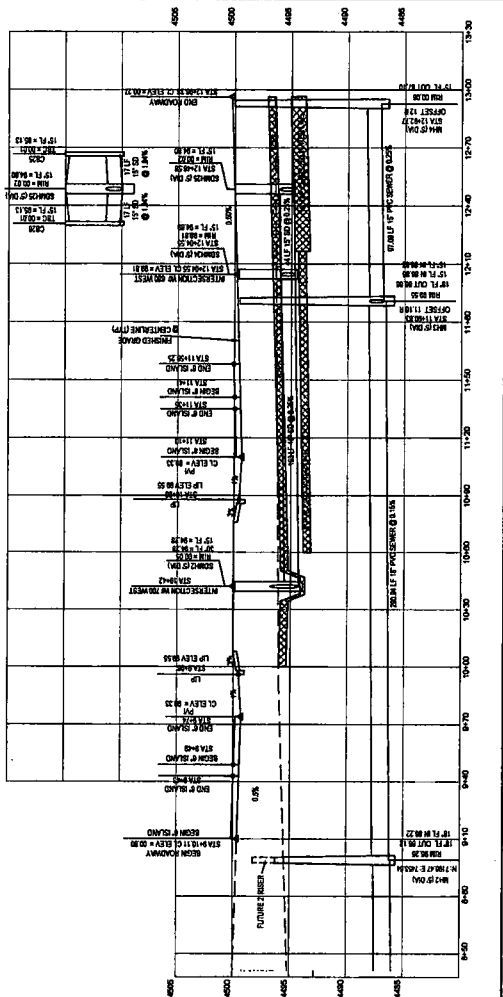
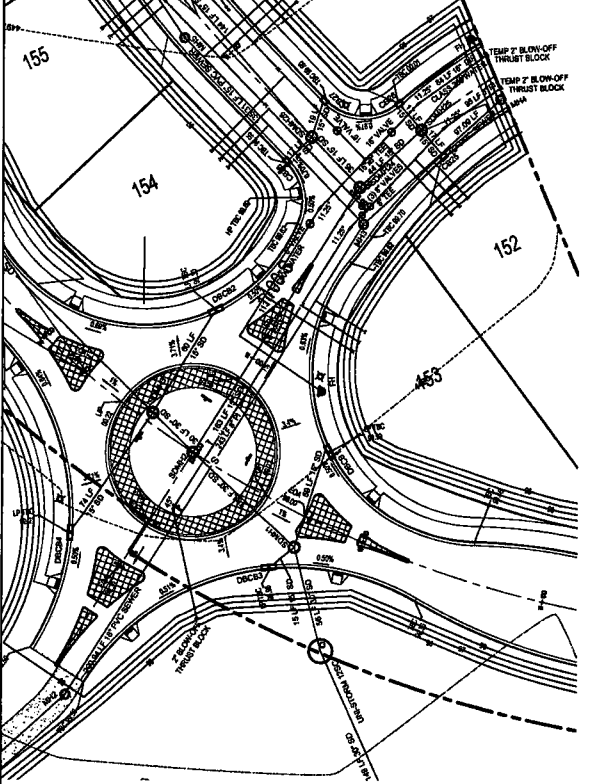
SCALE: 1" = 30'

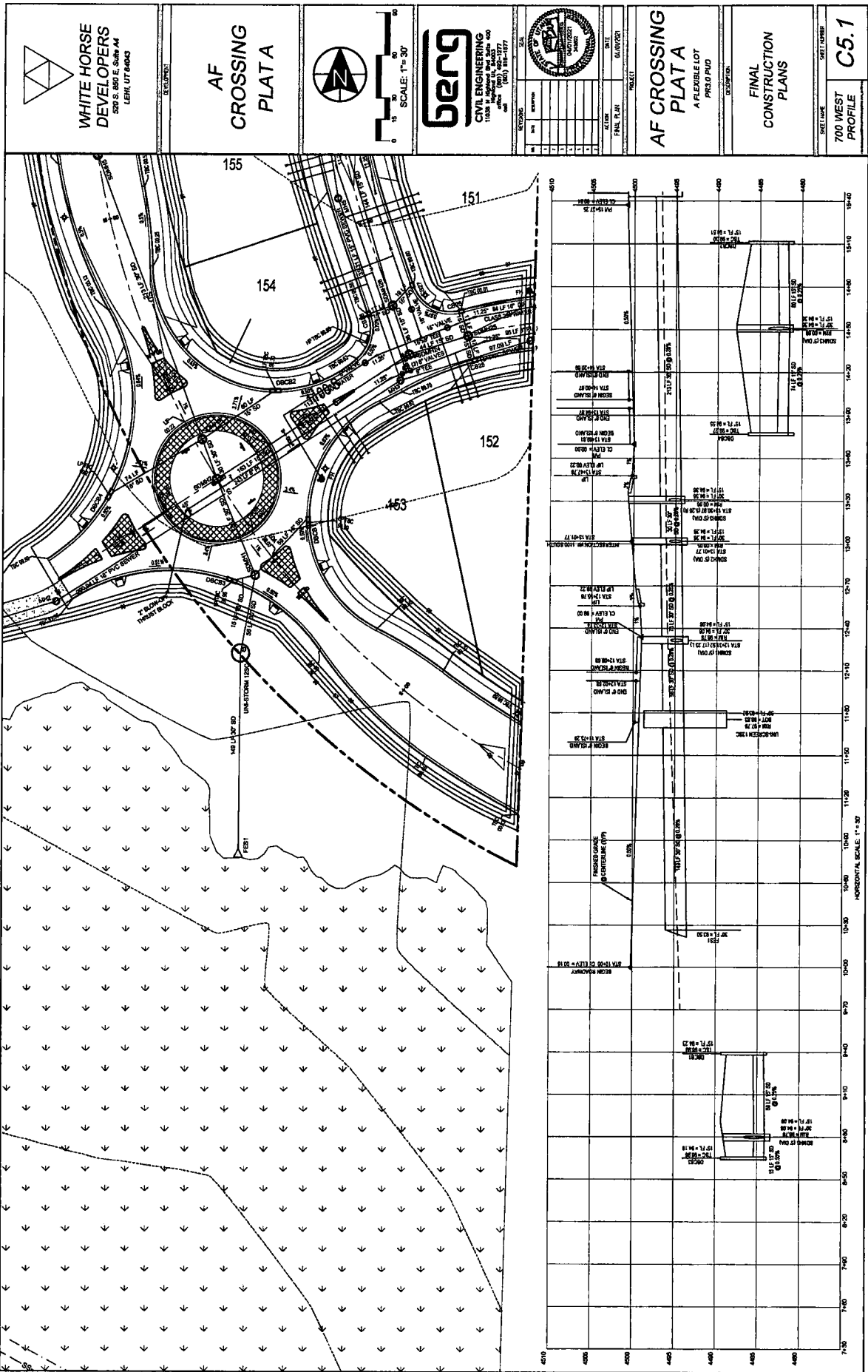
OFF SEWER

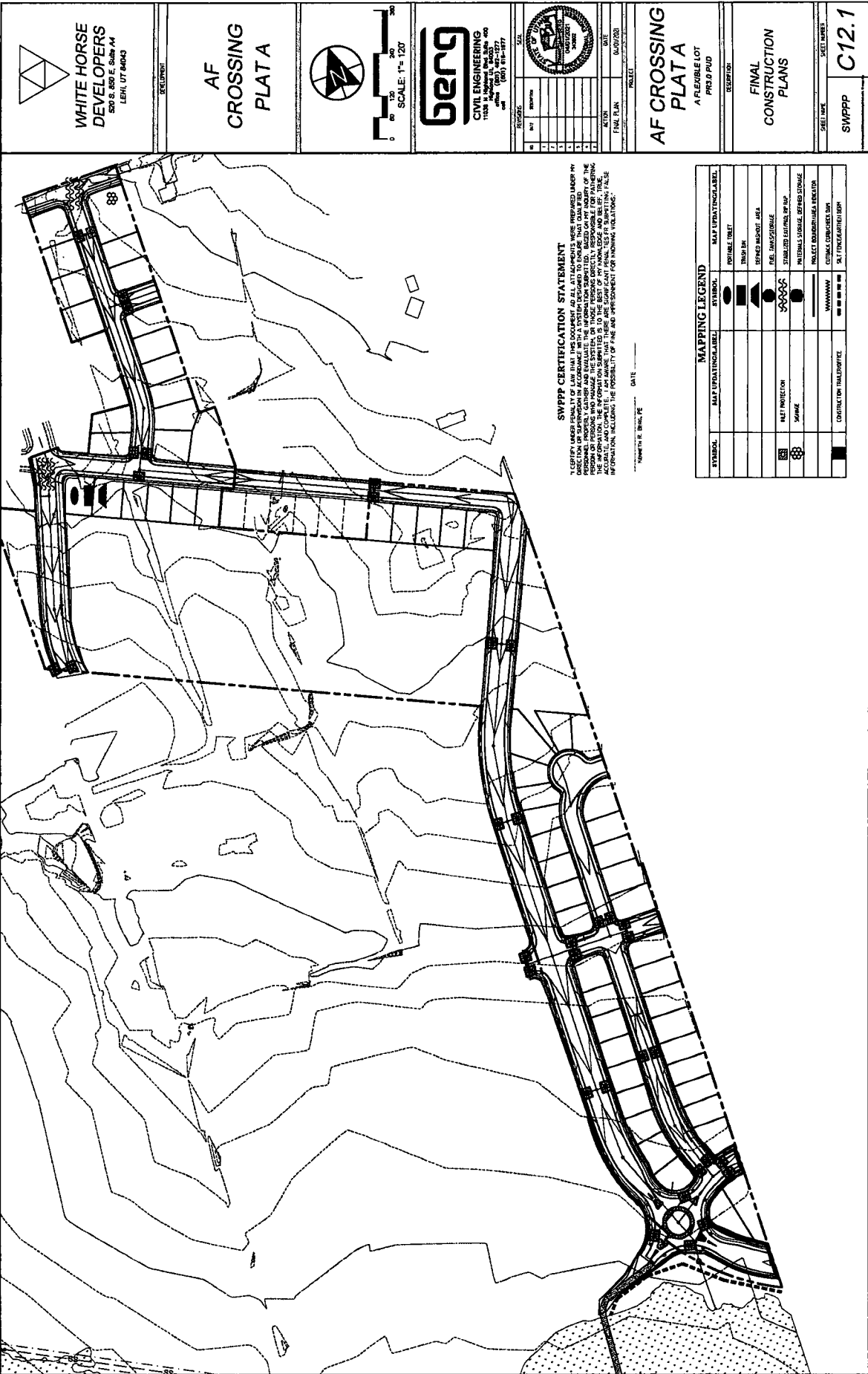
**C4.1**



 <p><b>WHITE HORSE DEVELOPERS</b> 520 S. 460<sup>th</sup> E., Suite #744 LEHI, UT 84043</p>	<p><b>AF CROSSING PLATA</b></p>	 <p>SCALE: 1" = 30'</p>	 <p><b>BERG CIVIL ENGINEERING</b> 11450 S. HAYWARD BL., SUITE 400 SANDY, UT 84070 PHONE: (801) 581-1177</p>	<p>DATE: 04/02/2021</p> <p>PROJECT: AF CROSSING PLATA</p>	<p><b>AF CROSSING PLATA</b></p> <p>A REVERSIBLE LOT PROPOSED PUD</p>	<p><b>FINAL CONSTRUCTION PLANS</b></p>	<p>1100 SOUTH PROFILE</p> <p>DATE: 04/02/2021</p> <p>DESCRIPTION: C4.2</p>
--	---------------------------------	--	--	---	--	--	--

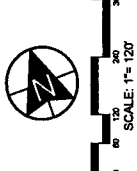






**WHITE HORSE DEVELOPERS**  
 520 S. 200 E. Suite 101  
 LEHI, UT 84043

**AF CROSSING PLAT A**



**benq**  
 CIVIL ENGINEERING  
 11500 N. Magnolia Ave. Suite 400  
 Salt Lake City, UT 84121  
 Phone (801) 487-1277  
 Fax (801) 487-1277

NO.	DESCRIPTION	DATE
1	PRELIMINARY	06/07/20
2		
3		
4		
5		






**AF CROSSING PLAT A**  
 A FLEXIBLE LOT  
 P183.0 PUD  
 RESC 100

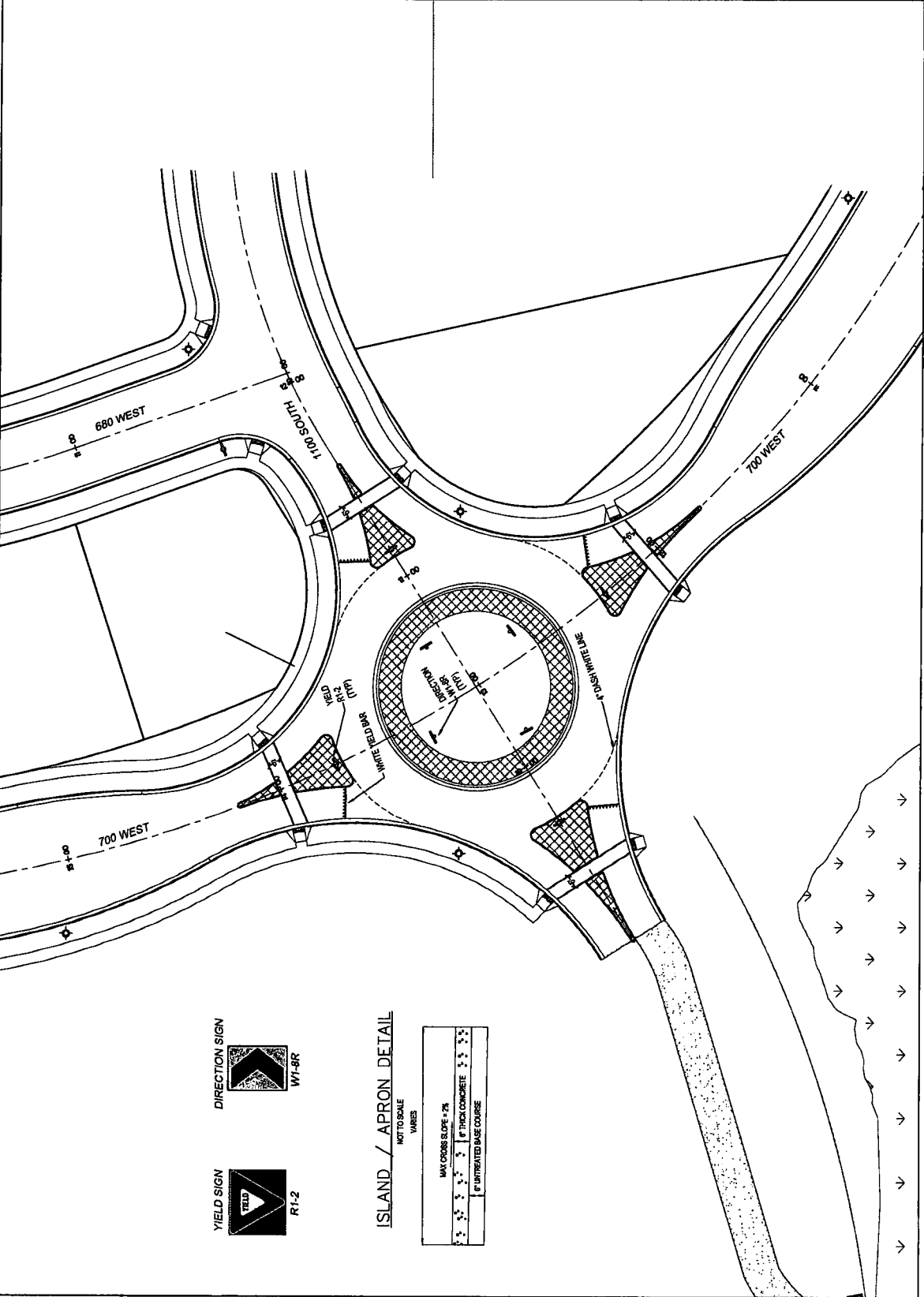
**FINAL CONSTRUCTION PLANS**

**SWPPP C12.1**





**SWPPP CERTIFICATION STATEMENT**  
 I CERTIFY UNDER PENALTY OF LAW THAT THE DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ENSURE THAT DATA AND INFORMATION REPORTED IN THIS DOCUMENT IS TRUE AND ACCURATE. I AM AWARE THAT THESE ARE SWPPP PLANETS FOR INFORMATIONAL PURPOSES ONLY AND DO NOT CONSTITUTE A CONTRACT. I AM AWARE THAT THESE ARE SWPPP PLANETS FOR INFORMATIONAL PURPOSES ONLY AND DO NOT CONSTITUTE A CONTRACT. I AM AWARE THAT THESE ARE SWPPP PLANETS FOR INFORMATIONAL PURPOSES ONLY AND DO NOT CONSTITUTE A CONTRACT.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	MAP UPDATES/CHANGE LABEL	[Symbol]	MAKE UPDATES/CHANGE LABEL
[Symbol]	EXPOSED DRAIN	[Symbol]	EXPOSED DRAIN
[Symbol]	PROTECT	[Symbol]	PROTECT
[Symbol]	PAVING	[Symbol]	PAVING
[Symbol]	CONSTRUCTION TAKEOFFS/STAKE	[Symbol]	CONSTRUCTION TAKEOFFS/STAKE

 <b>WHITE HORSE DEVELOPERS</b> 500 S. 650 E. Suite #4 LEHI, UT 84043	EQUIPMENT  <b>AF CROSSING PLAT A</b>	 SCALE: 1" = 20' 	 <b>BERG</b> CIVIL ENGINEERING 11000 S. 14000 E. Suite 400 Sandy, UT 84071 Phone: (801) 581-1577 Fax: (801) 581-1577	 DATE: 04/01/2021 PROJECT:	<b>AF CROSSING PLAT A</b> A FLEXIBLE LOT FIELD POND DESCRIPTION:	FINAL CONSTRUCTION PLANS	SHEET NUMBER <b>C13.1</b> STRIPING PLAN
--	--	---	---	--	---	--------------------------	---



**ISLAND / APRON DETAIL**  
 NOT TO SCALE  
 NOTES

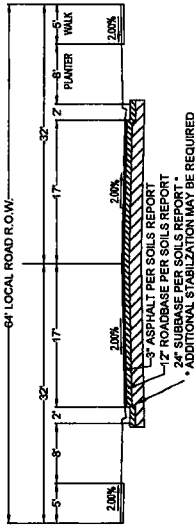
MAX CROSS SLOPE = 2% 	4" THICK CONCRETE 
	8" UNTREATED BASE COURSE 



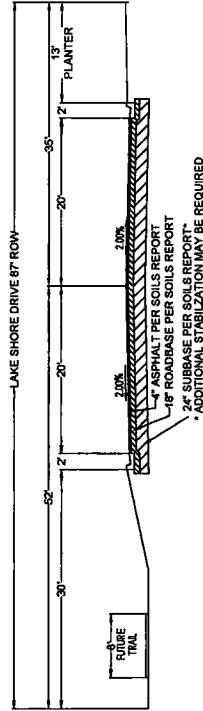
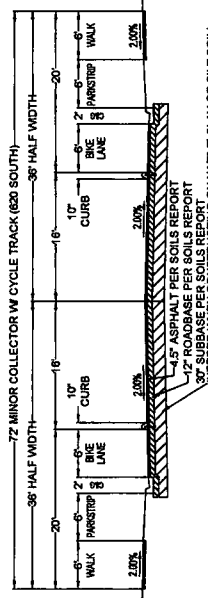
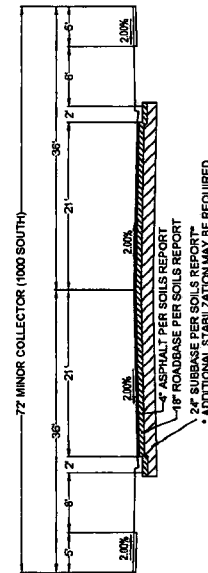
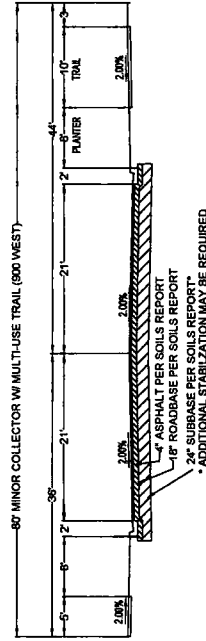
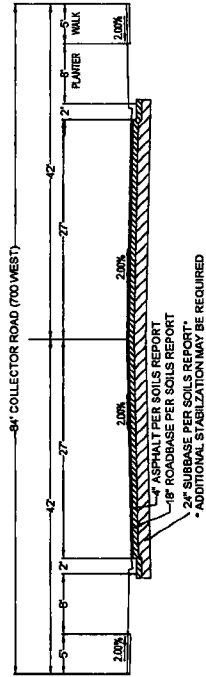


LAKE SHORE DRIVE APPROACH FLARES AND DRIVEWAY SCHEDULES TO A MINIMUM OF 6" OF CONCRETE.

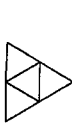
PAVEMENT AS PER GEOTECHNICAL REPORT  
DATED JUNE 7, 2019 #196307 BY EARTHTEC



CROSS SECTION NOTE:  
PREVIOUSLY APPROVED PLATS OF THE DIXIE FARMS SUBDIVISION USE THE CROSS SECTION SHOWN, TO KEEP CONSISTENCY IT HAS BEEN USED FOR THIS PLAT AS WELL. THE CURRENT CITY CROSS SECTION IS 62' ROW. NO REIMBURSEMENT IS ALLOWED FOR THE ADDITIONAL WIDTH.



NOTE:  
IF SOIL SETTLING / RUMPLING OCCURS DURING CONSTRUCTION CONTRACTOR TO NOTIFY CITY ENGINEER AND HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN MITIGATION RECOMMENDATIONS.



**WHITE HORSE DEVELOPERS**  
520 S. 850 E. Suite #4  
LEHI, UT 84043

**AF CROSSING PLAT A**



**BERG CIVIL ENGINEERING**  
1100 S. 1400 E. Suite 400  
LEHI, UT 84043  
PHONE (801) 948-1877  
FAX (801) 948-1877

NO.	DATE	DESCRIPTION	BY	CHECKED
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				

**AF CROSSING PLAT A**  
A FLEXIBLE LOT  
PFG.0 PUD

**FINAL CONSTRUCTION PLANS**

SHEET NAME	ROADWAY CROSS SECTIONS
SHEET NUMBER	D0



**WHITE HORSE DEVELOPERS**  
 200 S. 650 E., Suite 404  
 LEHI, UT 84040

REVISIONS

**AF CROSSING  
 PLAT A**



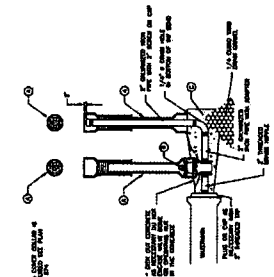
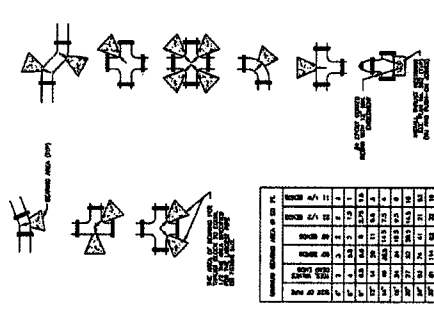
**BERG CIVIL ENGINEERING**  
 1100 S. 1000 W., Suite 400  
 LEHI, UT 84040  
 (801) 467-1277

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		

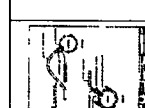
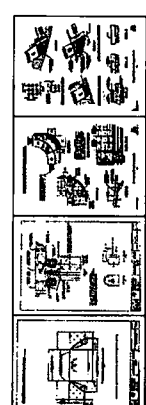
**AF CROSSING  
 PLAT A**  
 A REVISION LOT  
 PROJ. # P10

**FINAL  
 CONSTRUCTION  
 PLANS**

SHEET NO.	561
SHEET LAYER	D1
GENERAL DETAILS	



- F' Reinforcing notes**
1. **CONCRETE:** Class 4000 minimum per ASTM, Section 03 20 14. Four concrete segments with reinforcement.
  2. **TYPE:** Apply type temp to the exterior of all precasted pipe per ASTM A 925.
  3. **SPECIAL ORDER:** Manufacture 1" and larger with rebar inside rebar assembly design.
  4. **DETAILS:** After installation of rebar into assembly, verify the rebar ends are flush with the ground.
  5. **INSPECTION:** Prior to casting, inspect form blocks, ensure topography of rebar is correct.
  6. **MARKING:** Provide and place per ASTM Section 03 20. Comply per ASTM Section 03 20 to a minimum precision of 0.01 percent or greater. Marking in increments of 0.01 percent.



561

571

581

591

601



**WHITE HORSE DEVELOPERS**  
 520 S. 650 E. Suite 104  
 LEHI, UT 84043

**AF CROSSING PLAT A**



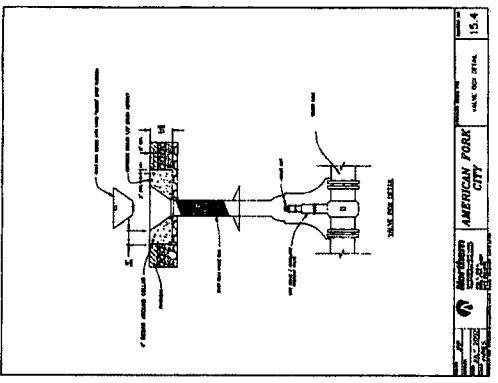
**BENG CIVIL ENGINEERING**  
 11028 N. Highway 400, Suite 400  
 Lehi, UT 84043  
 (801) 424-1277

NO.	REV.	DATE	BY	CHK.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

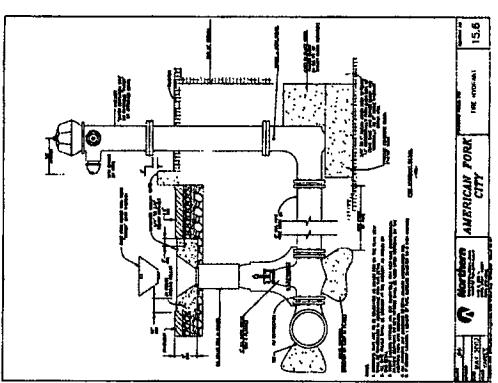
**AF CROSSING PLAT A**  
 A FLEXIBLE LOT PRELIMINARY PROPOSAL

**FINAL CONSTRUCTION PLANS**

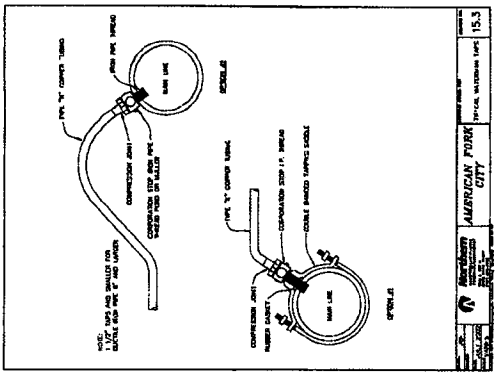
SHEET NUMBER: **D2**  
 WATER DETAILS



AMERICAN FORK CITY  
 15.4



AMERICAN FORK CITY  
 15.6



AMERICAN FORK CITY  
 15.3

**ENVIRONMENTAL UNSCREENED WATER QUALITY TREATMENT SYSTEM**

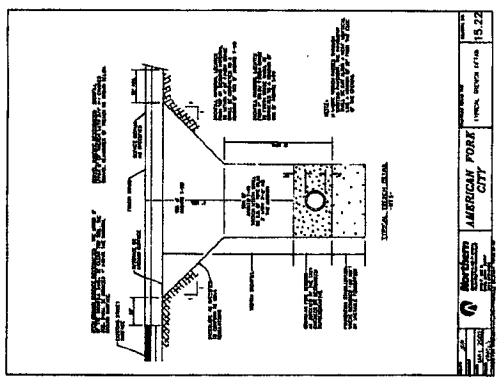
**NOTES:**

- 1) THIS UNIT IS DESIGNED FOR TREATMENT FLOW OF 100 GPM.
- 2) MAINLINE OPERATING LEVEL APPROXIMATELY 6.5 FT.
- 3) USE TO GREAT CARE AND GREAT PAIN.

**REGULATORY REQUIREMENTS:**

PERMITS:	
DESIGN:	
INSTALLATION:	
OPERATION:	
MAINTENANCE:	
DECOMMISSIONING:	

**CALL: 1-800-809-2801**



AMERICAN FORK CITY  
 15.22







WHITE HORSE DEVELOPERS 500 S. 860 E. Suite 401 LEHI, UT 84043

AF CROSSING PLATA



Table with columns: SHEET NO., SHEET TITLE, SHEET NUMBER, and other project details.

AF CROSSING PLATA A PLEASANT LOT

FINAL CONSTRUCTION PLANS

SHEET NUMBER D5

1.00 GENERAL NOTES: 1.1. All work shall be in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.01 FOUNDATION: 1.1. Foundations shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.02 WALLS: 1.1. Walls shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.03 ROOFING: 1.1. Roofing shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.04 FLOORING: 1.1. Flooring shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.05 INTERIORS: 1.1. Interiors shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.06 EXTERIORS: 1.1. Exteriors shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.07 UTILITIES: 1.1. Utilities shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.


1.08 FINISHES: 1.1. Finishes shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.09 MECHANICAL: 1.1. Mechanical systems shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.10 ELECTRICAL: 1.1. Electrical systems shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.

1.11 PLUMBING: 1.1. Plumbing systems shall be constructed in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.


1.12 GENERAL NOTES: 1.1. All work shall be in accordance with the Utah Building Code, ASCE 7-16, and the International Building Code, 2018 Edition.



**WHITE HORSE DEVELOPERS**  
SUITE 101, 75, Waterford  
LEICHTER, ONTARIO

REVISIONS

**AF CROSSING PLAT A**



**BENG CIVIL ENGINEERING**  
11000 KENNEDY ROAD, SUITE 100  
MARKHAM, ONTARIO L3R 9W7  
PHONE: (905) 479-1377

NO.	DATE	DESCRIPTION
1	04/01/2021	ISSUED FOR PERMIT
2	04/01/2021	ISSUED FOR PERMIT
3	04/01/2021	ISSUED FOR PERMIT
4	04/01/2021	ISSUED FOR PERMIT
5	04/01/2021	ISSUED FOR PERMIT
6	04/01/2021	ISSUED FOR PERMIT
7	04/01/2021	ISSUED FOR PERMIT
8	04/01/2021	ISSUED FOR PERMIT
9	04/01/2021	ISSUED FOR PERMIT
10	04/01/2021	ISSUED FOR PERMIT

PROJECT: AF CROSSING  
DATE: 04/01/2021  
SCALE: 1:1

**AF CROSSING PLAT A**

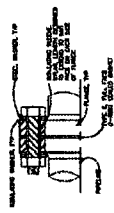
A FEASIBLE LOT PROSPECT

FINAL CONSTRUCTION PLANS

SCALE: 1:1

CATHODIC PROTECTION DETAILS

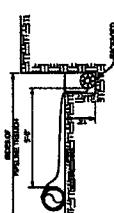
**D6**



**FIGURE 1 - INSULATING FLANGE (WHERE NECESSARY)**

**NOTES:**

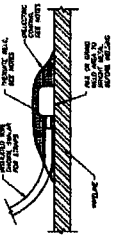
1. THE GASKET SHALL BE COMPATIBLE WITH THE PIPE AND THE INSULATING FLANGE.
2. THE GASKET SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. THE GASKET SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. THE GASKET SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. THE GASKET SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. THE GASKET SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.



**FIGURE 2 - ANODE INSTALLATION - TYPICAL**

**NOTES:**


1. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.



**FIGURE 3 - TERMITITE WELD CONNECTION**

**NOTES:**

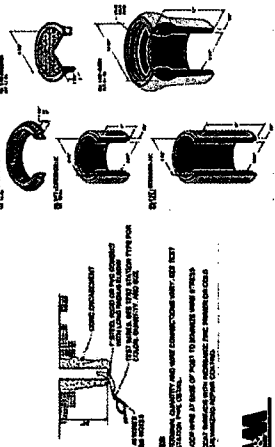
1. THE TERMITITE WELD SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. THE TERMITITE WELD SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. THE TERMITITE WELD SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. THE TERMITITE WELD SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. THE TERMITITE WELD SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. THE TERMITITE WELD SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.



**FIGURE 4 - ANODE GROUNDED CONNECTION**

**NOTES:**

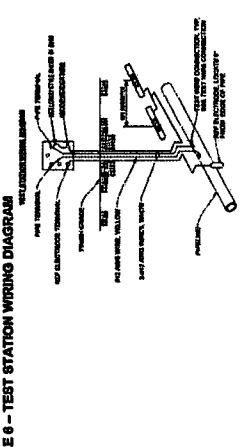
1. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. THE ANODE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.



**FIGURE 5 - TEST STATION FLUSH MOUNT**

**NOTES:**

1. THE TEST STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. THE TEST STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. THE TEST STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. THE TEST STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. THE TEST STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. THE TEST STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.




**FIGURE 6 - TEST STATION WIRING DIAGRAM**

**NOTES:**

1. THE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. THE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. THE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. THE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. THE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. THE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

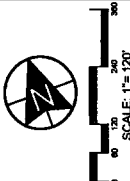







**WHITE HORSE DEVELOPERS**  
520 S. 650 E. Suite 44  
LEHI, UT 84043


**AF CROSSING PLAT B**



SCALE: 1" = 120'



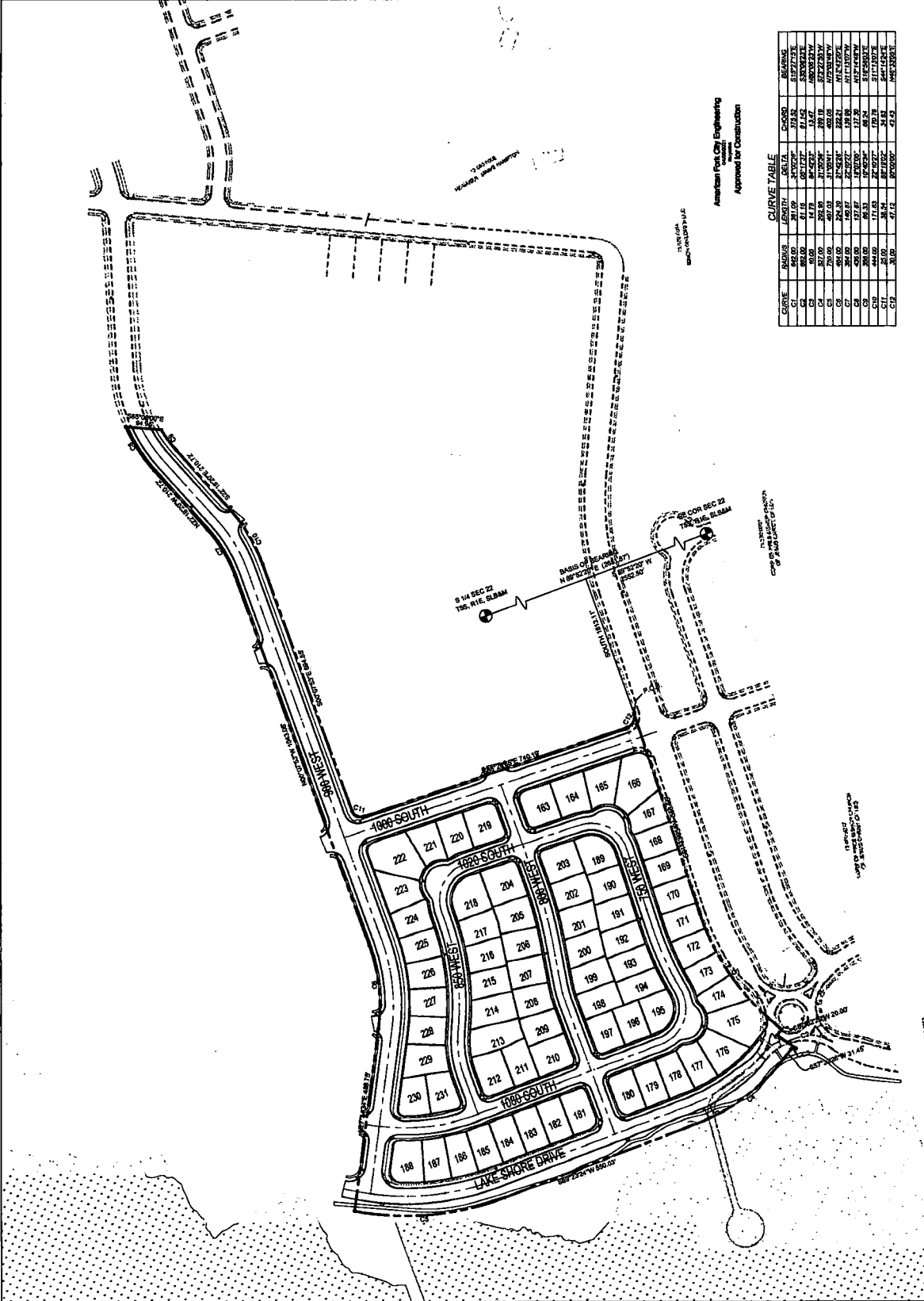
**BENG CIVIL ENGINEERING**  
11025 W. Magnolia Blvd. Suite 400  
TAYLOR, UT 84403  
PHONE (801) 464-1577  
FAX (801) 464-1577

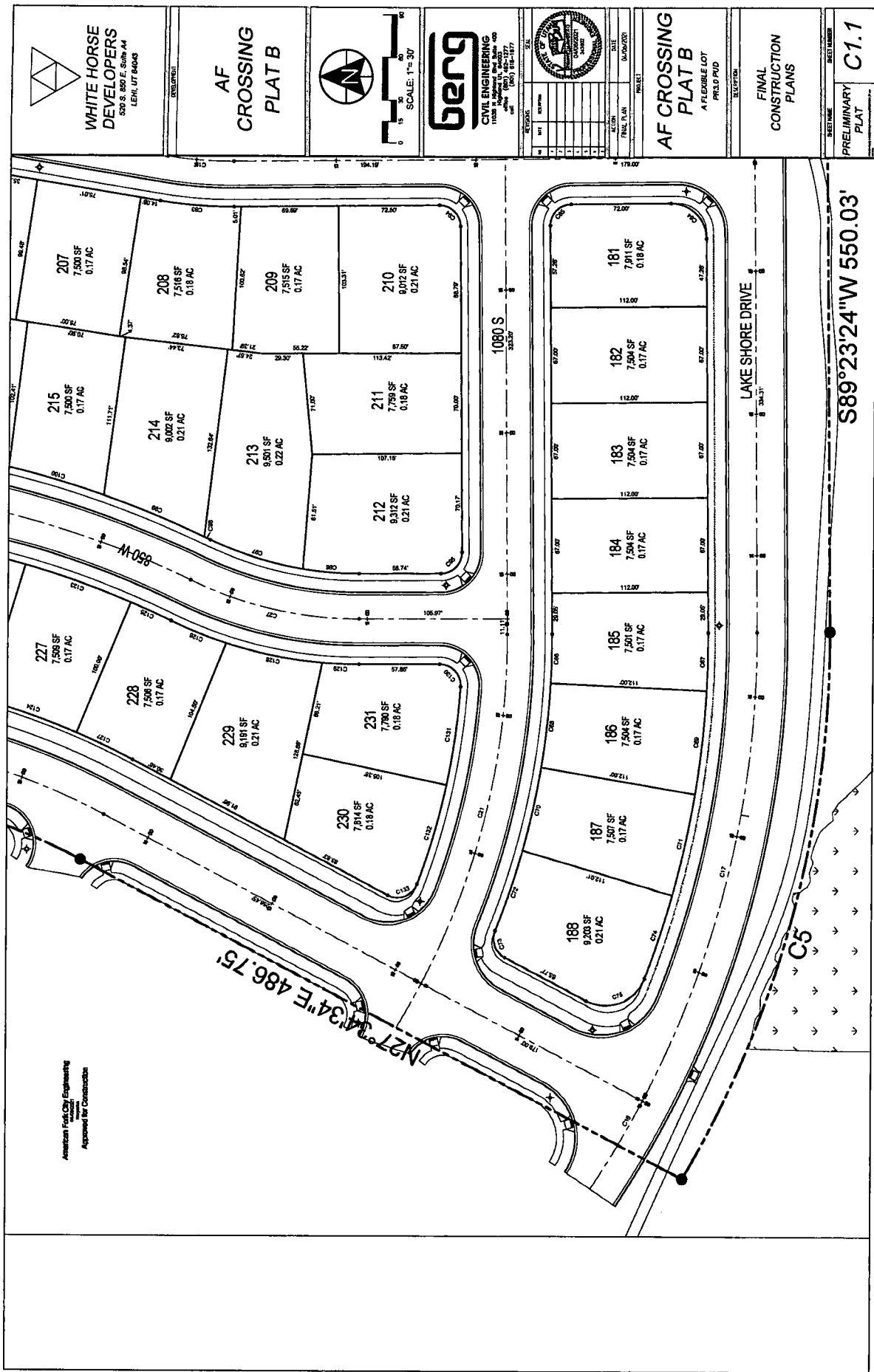


**AF CROSSING PLAT B**  
A FLEXIBLE LOT RESUBDIVISION

**FINAL CONSTRUCTION PLANS**

SHEET NUMBER  
**C1.0**  
PRELIMINARY PLAT





WHITE HORSE  
DEVELOPERS  
520 S. 480 E. Suite A4  
LEHI, UT 84043

AF  
CROSSING  
PLAT B



**beng**  
CIVIL ENGINEERING  
11025 S. Highway 124, Suite 400  
Lehi, UT 84043  
PHONE (801) 935-1577  
FAX (801) 935-1578

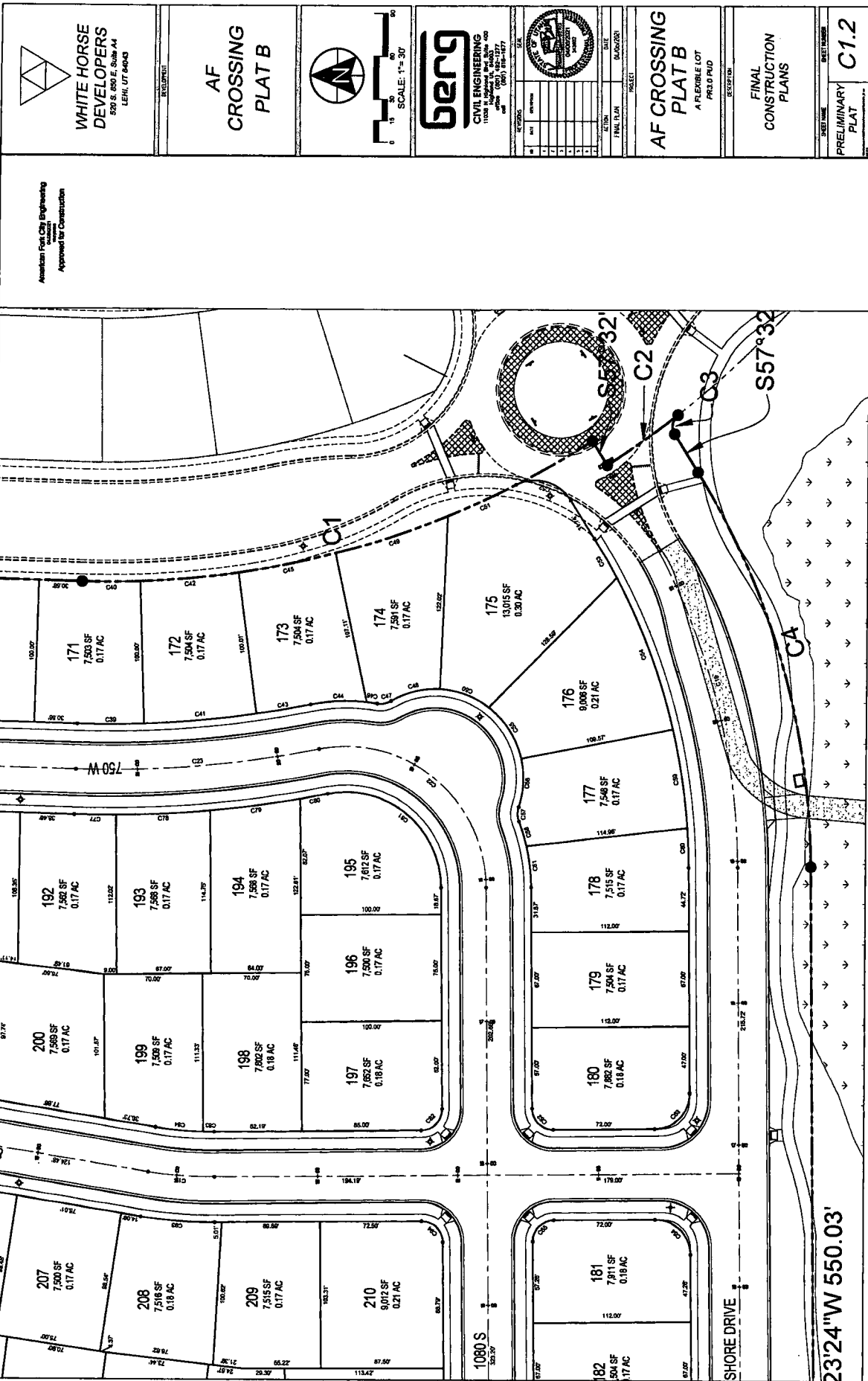
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04/09/2021
2	REVISIONS	
3		
4		
5		
6		
7		
8		
9		
10		

AF CROSSING  
PLAT B  
A FLEXIBLE LOT  
FIELD PUD

FINAL  
CONSTRUCTION  
PLANS

PRELIMINARY  
PLAT  
**C1.1**

American Fuel City Engineers  
Approval for Construction



**WHITE HORSE DEVELOPERS**  
520 S. 650 E. Suite A4  
LEHI, UT 84043

**AF CROSSING PLAT B**



SCALE: 1" = 30'

**benq**  
CIVIL ENGINEERING  
1155 N. UNIVERSITY BLVD. SUITE 400  
SALT LAKE CITY, UT 84103  
PHONE: (801) 954-1277  
FAX: (801) 954-1277

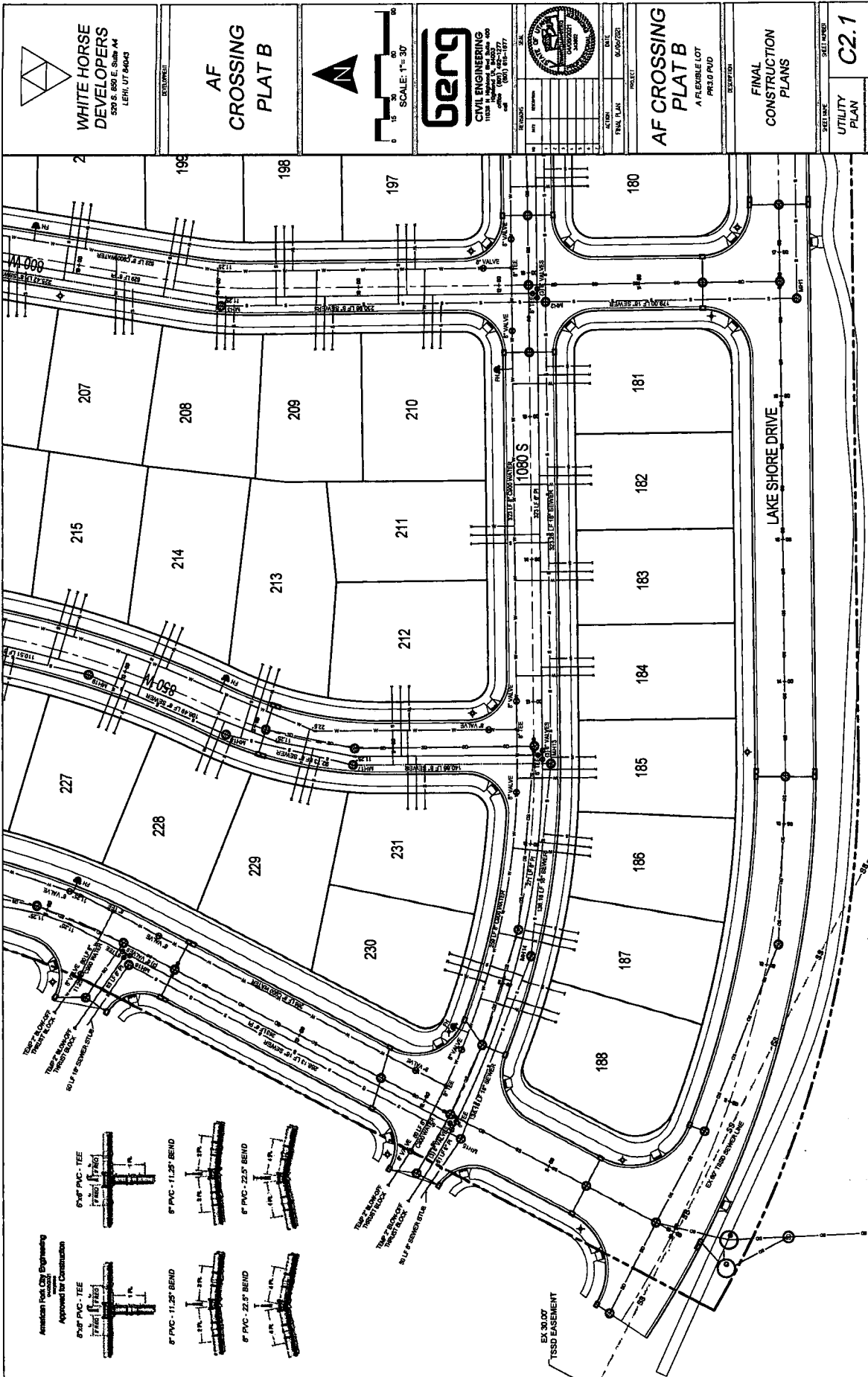
NO.	REVISION	DATE	SCALE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

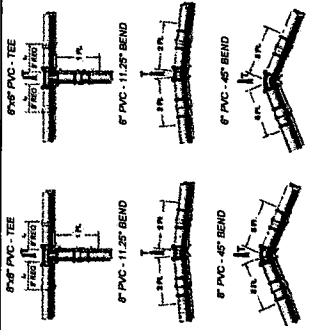
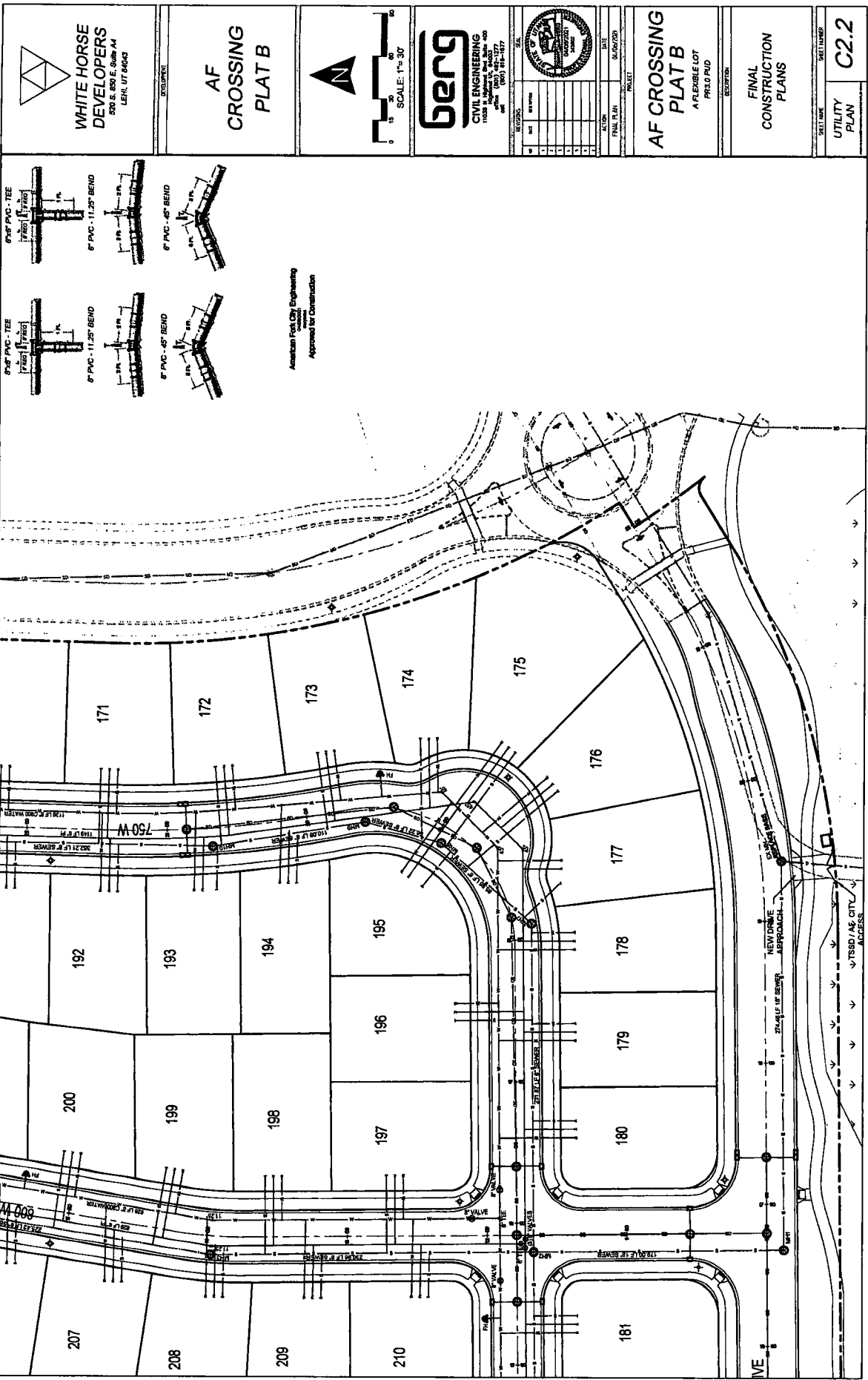
**AF CROSSING PLAT B**  
A FLEXIBLE LOT  
PROJECT NO. 23-03-01-01

**FINAL CONSTRUCTION PLANS**

**C1.2**  
PRELIMINARY PLAT

American First City Engineering  
Professional Engineer  
Approved for Construction

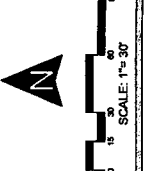




American Field City Engineering  
 1000 S. 10th St., Suite 100  
 Minneapolis, MN 55404  
 Approved for Construction

**WHITE HORSE DEVELOPERS**  
 500 S. 10th St., Suite 100  
 LEIN, UT 56042

**AF CROSSING PLAT B**







**berg**  
 CIVIL ENGINEERING  
 1100 S. 10th St., Suite 100  
 Minneapolis, MN 55404  
 Phone: (612) 338-1377  
 Fax: (612) 338-1377

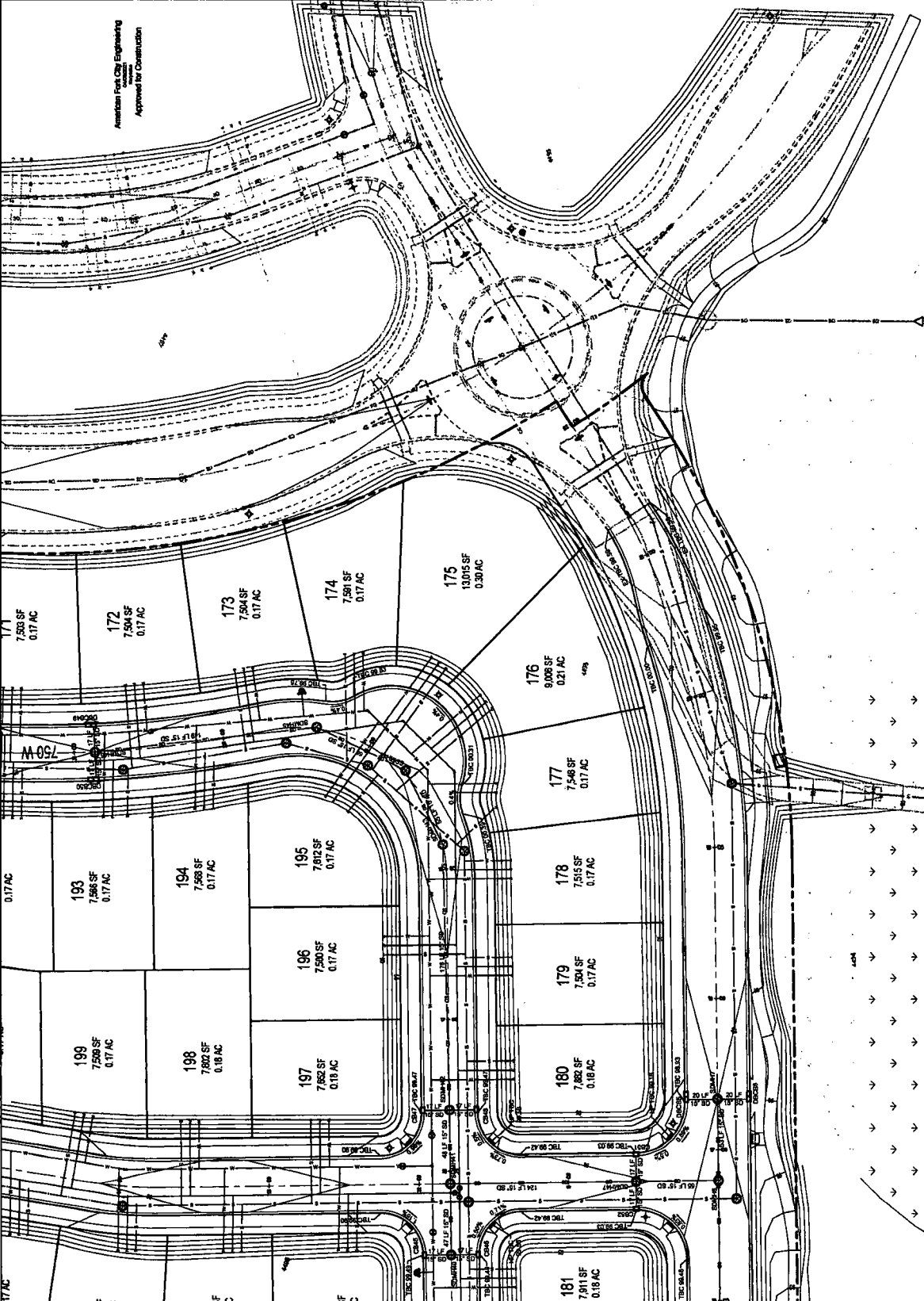
NO.	REVISION	DATE	BY	CHKD.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

**AF CROSSING PLAT B**  
 A RELEASABLE LOT  
 PRELIMINARY

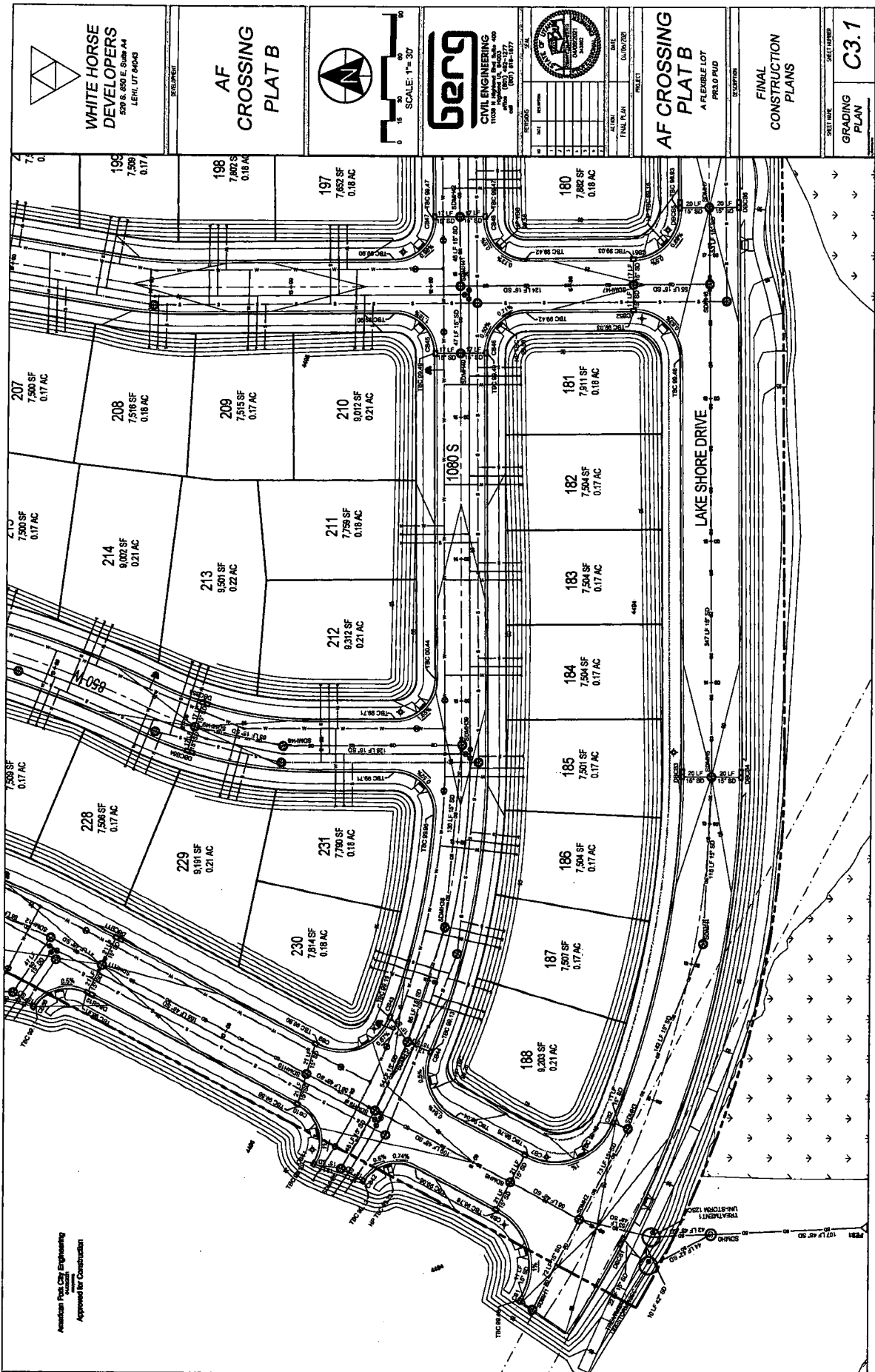
**FINAL CONSTRUCTION PLANS**

UTILITY PLAN  
 SHEET NUMBER  
**C2.2**

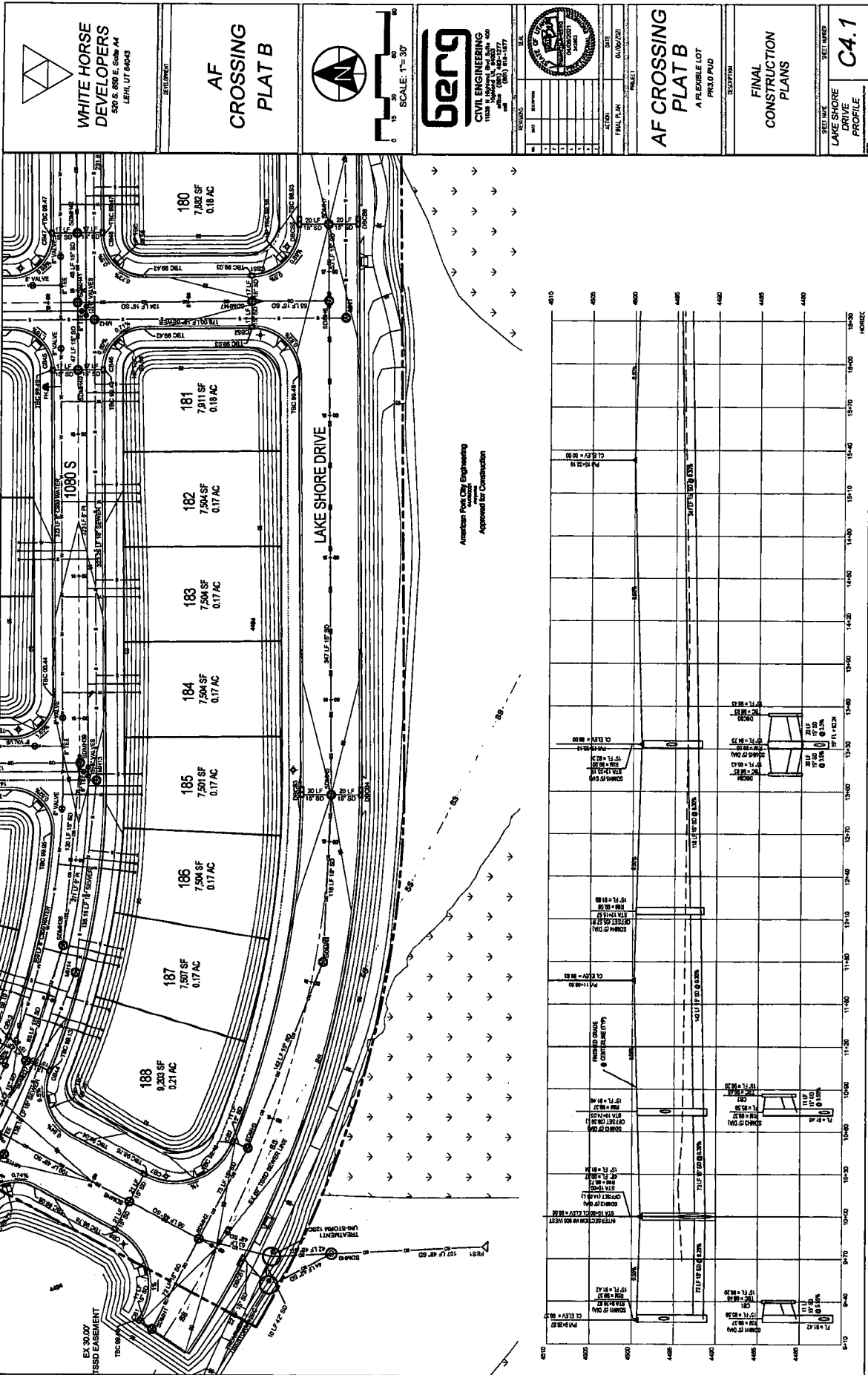
 <b>WHITE HORSE DEVELOPERS</b> 520 S. 850 E. Suite A4 LEHI, UT 84043	<b>AF CROSSING PLAT B</b>	 SCALE: 1" = 30'	 <b>CIVIL ENGINEERING</b> 1100 S. 1000 E. Suite 100 Lehi, UT 84043 Phone: (801) 424-1777 Fax: (801) 424-1778		<b>AF CROSSING PLAT B</b> A FLEXIBLE LOT RESUBDIVISION	<b>FINAL CONSTRUCTION PLANS</b>	SHEET NAME: SKETCH PLAN <b>C3.2</b>
--	---------------------------	--	--	--	---	---------------------------------	--

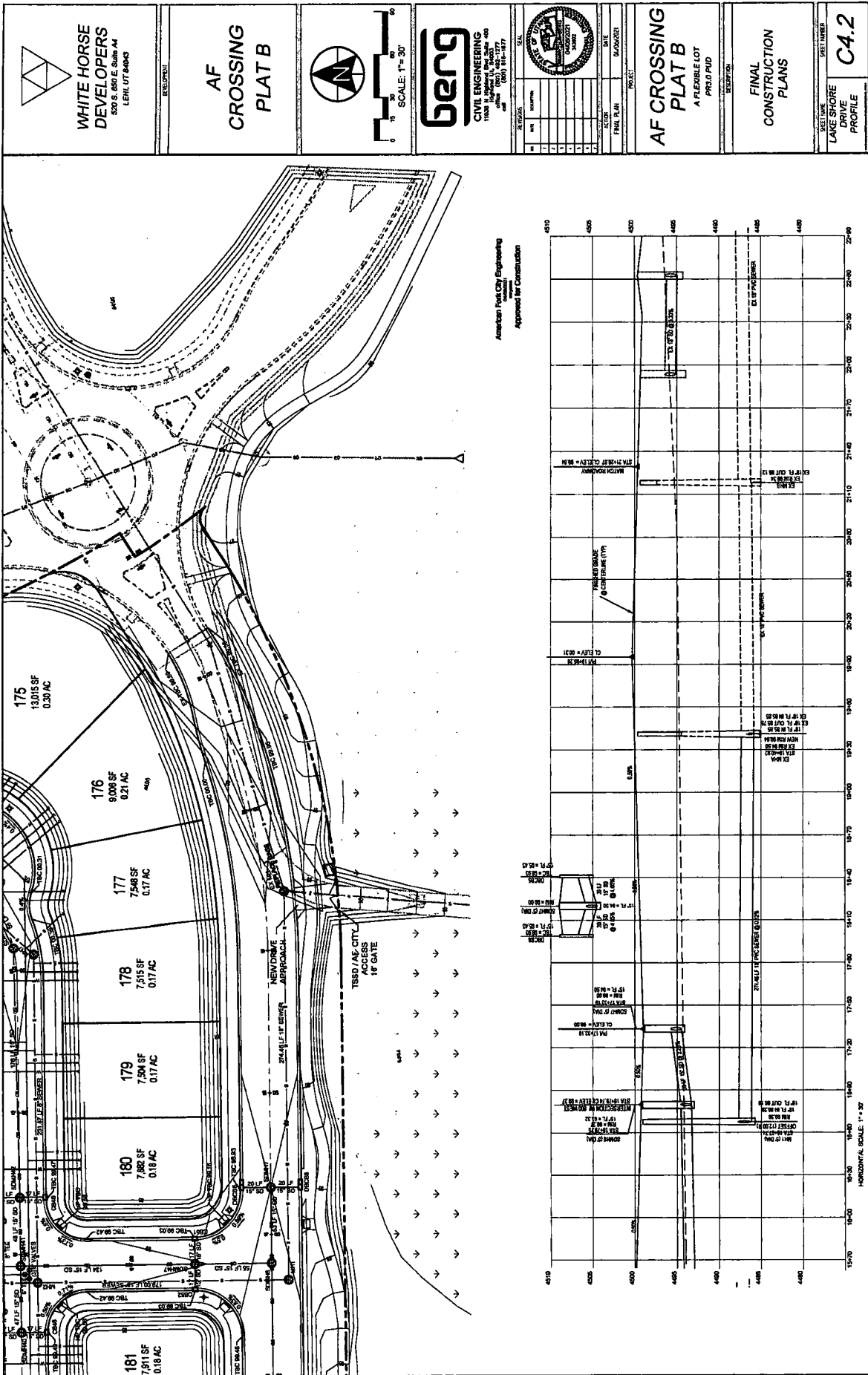


American Park, Inc. Engineering  
 Approved for Construction

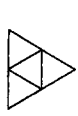












WHITE HORSE DEVELOPERS  
520 S. 800 E. Suite A4  
LEHI, UT 84043

AF CROSSING  
PLAT B



Table with columns: NO., DATE, DESCRIPTION, ACTION, DATE. Includes project name AF CROSSING PLAT B and final plan information.

AF CROSSING  
PLAT B  
A FLEXIBLE LOT  
PROJECT

FINAL  
CONSTRUCTION  
PLANS

GENERAL NOTES  
GN1

GENERAL NOTES

- 1. THE PROJECT IS LOCATED WITHIN THE SENSITIVE LANDS AREA OF THE CITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

TRAFFIC CONTROL

- 1. ALL TREES WITHIN THE CONSTRUCTION AREA MUST BE PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

USE OF FIRE HYDRANTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

UTILITIES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

STRIPING AND SIGNING

- 1. ALL STRIPING AND SIGNING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

EROSION AND SEDIMENT CONTROL

- 1. THE CONTRACTOR OF DEVELOPERS IS RESPONSIBLE FOR SUBMITTING A EROSION AND SEDIMENT CONTROL PLAN TO THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

MAIL DELIVERY

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

SECONDARY WATER

- 1. ALL SECONDARY WATER LINE MATERIALS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

WATER LINE

- 1. ALL WATER LINE MATERIALS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

STORM SEWER

- 1. ALL STORM SEWER MATERIALS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

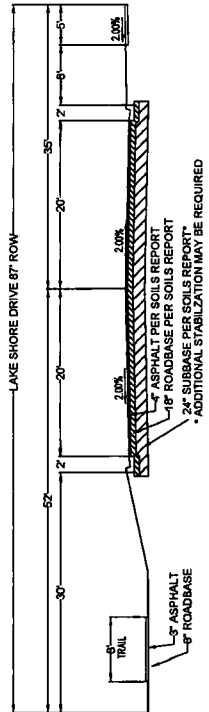
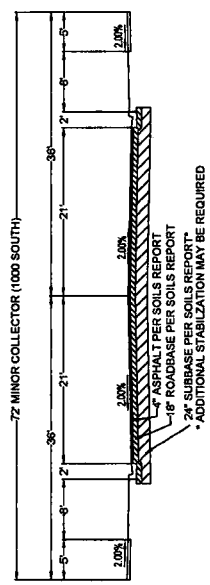
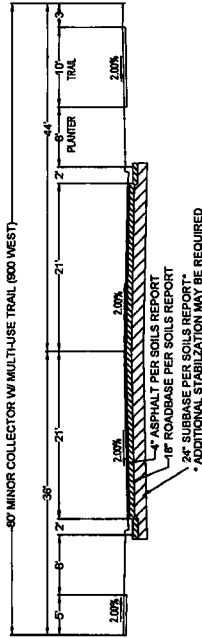
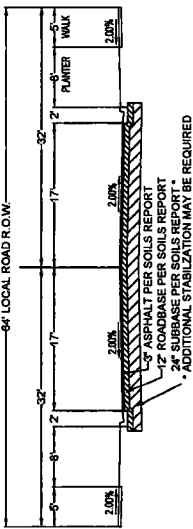
MAIL DELIVERY

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMERICAN FORK, UT.

American Fork City Engineering  
Approved for Construction

WINDSOR DRIVE APPROACH FLARES AND SIDEWALKS AT DRIVEWAYS TO A RICHMOND OF O OF CONCRETE

PAVEMENT AS PER GEOTECHNICAL REPORT  
DATED JUNE 7, 2019 #186337 BY EMR/HT/TEC



CROSS SECTION NOTE:  
PREVIOUSLY APPROVED PLATS OF THE DIXIE FARMS SUBDIVISION USE THE CROSS SECTION SHOWN, TO KEEP CONSISTENCY IT HAS BEEN USED FOR THIS PLAT AS WELL. THE CURRENT CITY CROSS SECTION IS 62' ROW. NO REIMBURSEMENT IS ALLOWED FOR THE ADDITIONAL WIDTH.

NOTE:  
IF RUTTING / PUMPING OCCURS DURING CONSTRUCTION, CONTRACTOR TO NOTIFY CITY ENGINEER AND HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN MITIGATION RECOMMENDATIONS.

American Peak City Engineering  
Professional Engineer  
Approved for Construction

**WHITE HORSE DEVELOPERS**  
570 S. 850 E. Suite A4  
LEHI, UT 84043

**AF CROSSING PLAT B**


**berg**  
CIVIL ENGINEERING  
1100 S. 1200 E. Suite 200  
Lehi, UT 84043  
Tel: (801) 918-1577

NO.	REV.	DESCRIPTION	DATE
1		ISSUED FOR PERMIT	04/10/2020
2		ISSUED FOR CONSTRUCTION	04/10/2020
3			
4			
5			
6			
7			
8			

**AF CROSSING PLAT B**  
A FLEXIBLE LOT  
PR3.0 PLD

**FINAL CONSTRUCTION PLANS**


ROADWAY CROSS SECTIONS  
**D0**




**WHITE HORSE DEVELOPERS**  
300 S.W. E. 58th Ave  
LEHI, UT 84043

REVISIONS

**AF CROSSING PLAT B**



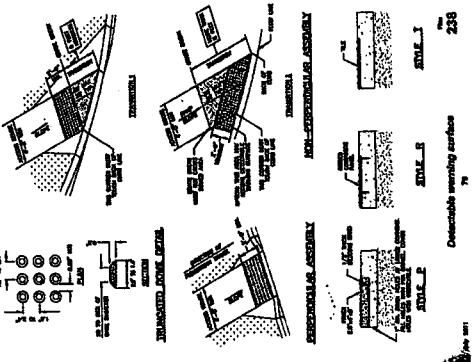
**BERG CIVIL ENGINEERING**  
11000 N. 1900 E., SUITE 400  
LEHI, UT 84043  
PHONE: (801) 963-1977



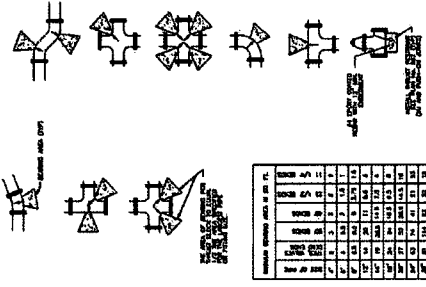
DATE: 02/20/2021  
PROJECT: AF CROSSING PLAT B  
PROJ. NO: 17010

**FINAL CONSTRUCTION PLANS**

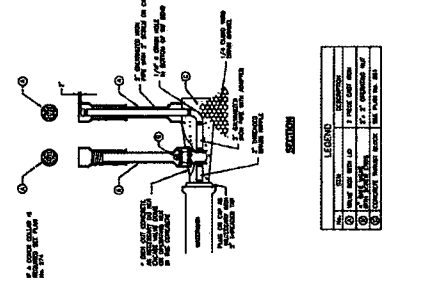
SHEET NUMBER: **D1**



238

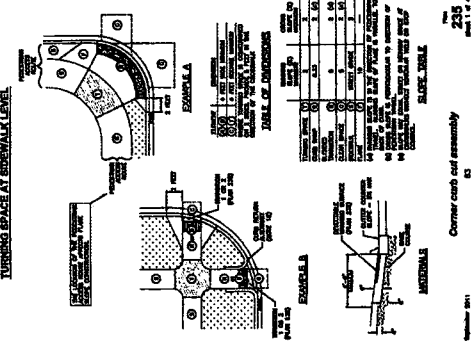


239



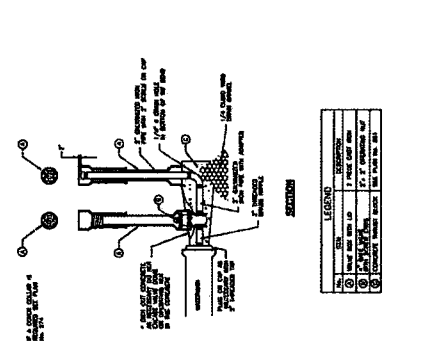
240

**TURNING SPACE AT SIDEWALK LEVEL**



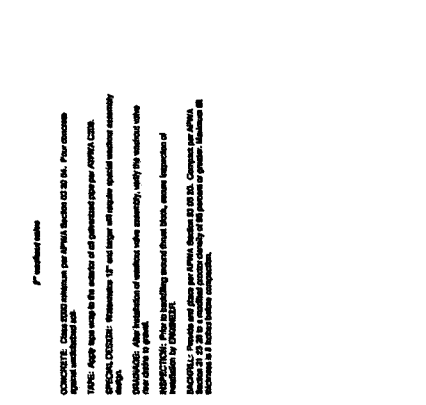
241

**Corner curb and assembly**



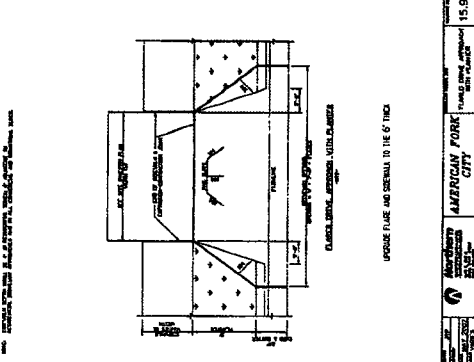
242

**Direct bearing street abut**




243

**UPSIDE FLARE AND SIDEWALK TO THE 6' THICK**



15.9

**CONCRETE CURB AND SIDEWALK WITH CURBS**



15.9

**1" rebar/cable**

- CONCRETE: Check concrete mix per AASHTO Section 603.30 (H). Four concrete rebar/cables per foot.
- TYPIC: Apply this note to the width of the sidewalk per per AASHTO Section 603.30 (H).
- REBAR/CABLES: Rebar/cables 1" and longer all require special rebar/cable assembly.
- CONCRETE: After installation of rebar/cable assembly, verify the rebar/cable rebar/cables to ground.
- INSPECTION: Prior to handling amount of rebar/cable, ensure inspection of rebar/cable.
- REBAR/CABLE: Rebar/cable shall be placed in concrete within 24 hours of placement of concrete.

American Fork City Engineering  
Approved for Construction



**WHITE HORSE DEVELOPERS**  
500 S. 450 E. Suite 44  
LEHI, UT 84043

DESCRIPTION

**AF CROSSING PLAT B**



**BERG CIVIL ENGINEERING**  
11020 N. 100th Ave., Suite 400  
Overland Park, KS 66214  
Phone: (913) 461-1177  
Fax: (913) 461-1177

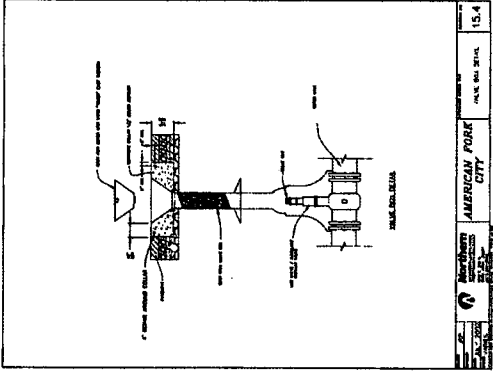
NO.	REVISIONS	DATE	BY	CHKD.
1				
2				
3				
4				
5				

PROJECT: AF CROSSING PLAT B  
SHEET NO.: A FLEWBLE LOT PREL.PUD

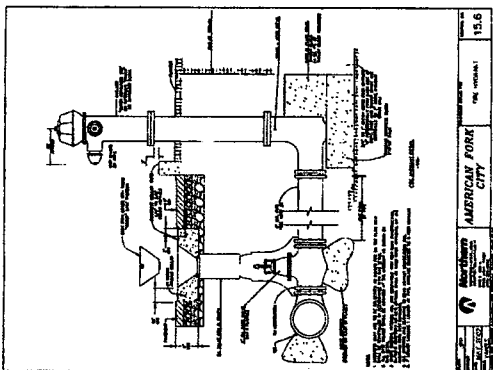
FINAL PLAN DATE: 04/04/2021

**FINAL CONSTRUCTION PLANS**

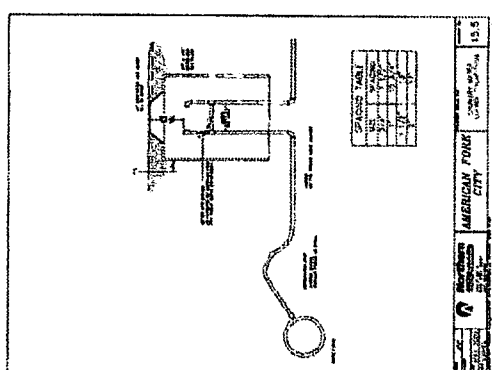
SHEET NAME: WATER DETAILS  
SHEET NUMBER: **D2**



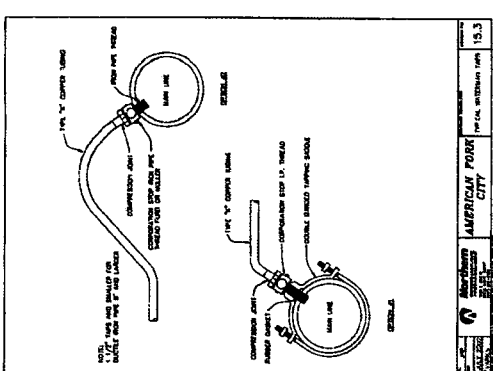
15.4 AMERICAN FORK CITY  
SCALE: 1/4" = 1'-0"



15.6 AMERICAN FORK CITY  
SCALE: 1/4" = 1'-0"



15.5 AMERICAN FORK CITY  
SCALE: 1/4" = 1'-0"



15.3 AMERICAN FORK CITY  
SCALE: 1/4" = 1'-0"

**ENVIRONMENTAL LINDSEY WATER QUALITY TREATMENT SYSTEM**

**NOTES:**

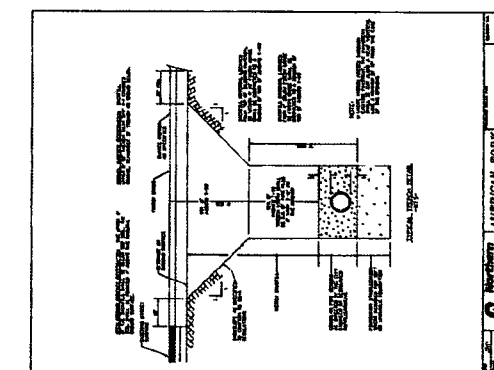
- 1) MANHOLE TO BE USED FOR TREATMENT FLOW
- 2) MANHOLE OPERATIONS LINES APPROXIMATELY 0.5 FT

**MANUFACTURING NOTES:**

- 1) ALL MANHOLE WALLS FINISHED TO LOCKED MANUFACTURING
- 2) LOCATION AND SIZE OF MANHOLE OPENINGS MAY BE ADJUSTED BY LOCKED
- 3) S.S. TO GROUND MUST BE USED TO GROUND



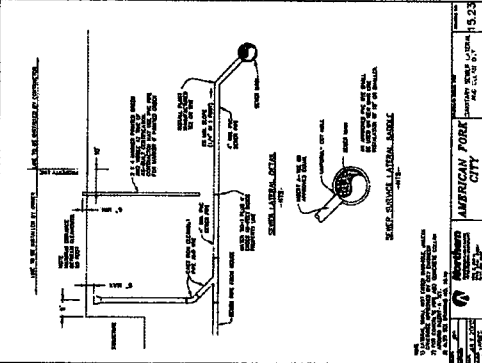
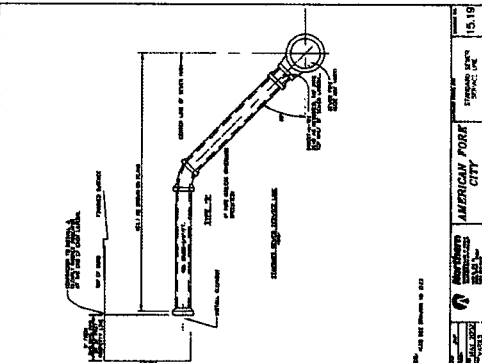
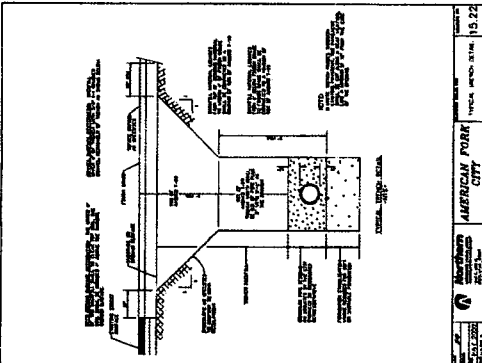
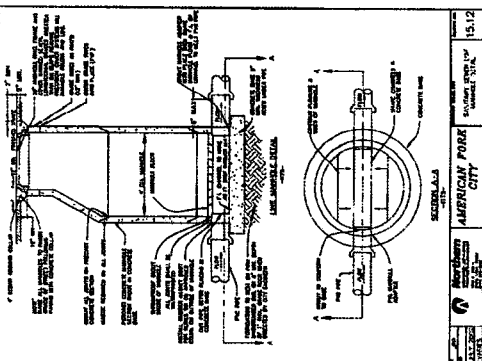
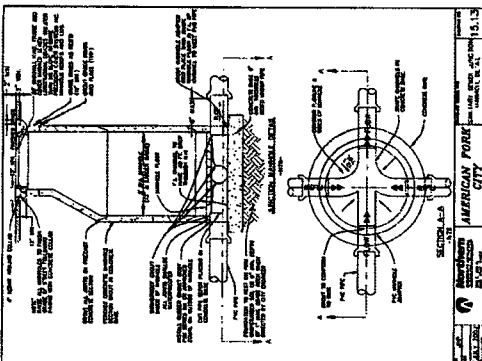
NO.	REVISIONS	DATE	BY	CHKD.
1				
2				
3				
4				
5				

CALL: 1-800-809-2801






15.22 AMERICAN FORK CITY  
SCALE: 1/4" = 1'-0"

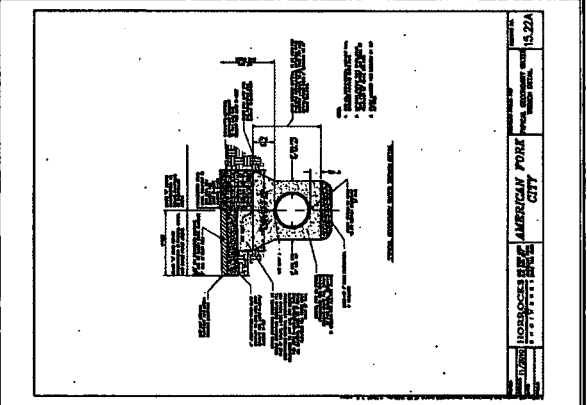
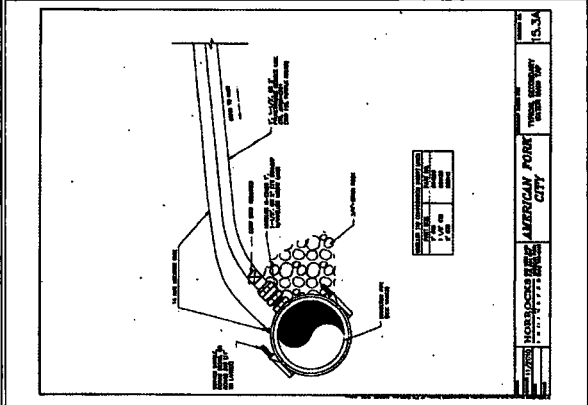
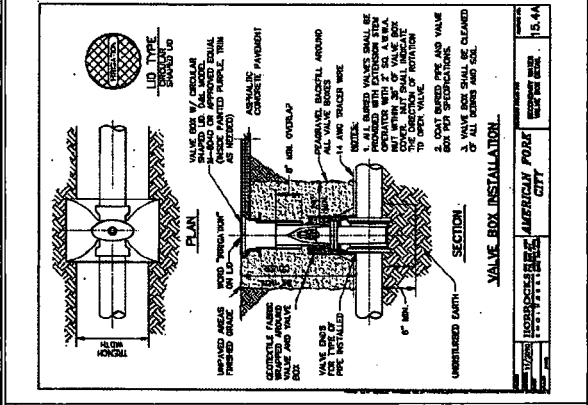
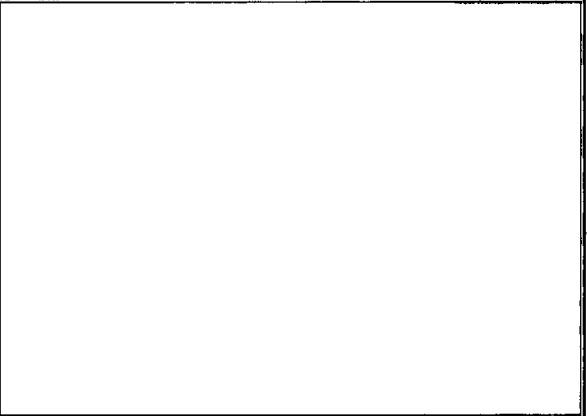
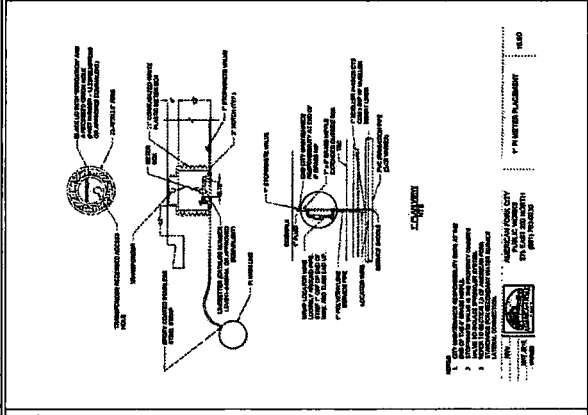
American Fork City Engineering  
Approved for Construction

 <p><b>WHITE HORSE DEVELOPERS</b> 520 S. 850 E. Suite A4 LEHI, UT 84043</p>	<p>GENERAL</p> <p><b>AF CROSSING PLAT B</b></p>	 <p><b>berg</b> CIVIL ENGINEERING 1100 ALPINE BLVD. SUITE 400 LEHI, UT 84043 PHONE (801) 935-3377</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>NO.</td> <td>REV.</td> <td>DATE</td> <td>BY</td> <td>CHKD.</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REV.	DATE	BY	CHKD.																																				<p>PROJECT: AF CROSSING PLAT B A FLEXIBLE LOT PROJ. D PUD</p>	<p>FINAL CONSTRUCTION PLANS</p>	<p>SHEET NO. <b>D3</b></p> <p>SEWER &amp; STORM DRAIN DETAILS</p>
NO.	REV.	DATE	BY	CHKD.																																										
<p>American Fork City Engineering Approved for Construction</p>						<p>SECTION 15.23 SEWER MANHOLE DETAIL</p>																																								
				<p>SECTION 15.19 SEWER MANHOLE DETAIL</p>		<p>SECTION 15.22 SEWER MANHOLE DETAIL</p>																																								
				<p>SECTION 15.12 SEWER MANHOLE DETAIL</p>		<p>SECTION 15.13 SEWER MANHOLE DETAIL</p>																																								



 <p><b>WHITE HORSE DEVELOPERS</b> 520 S. 860 E. Suite 104 LEHI, UT 84043</p>	<p>DESCRIPTION</p> <p><b>AF CROSSING PLAT B</b></p>	 <p><b>berg</b> CIVIL ENGINEERING 1100 S. 1000 E. SUITE 200 LEHI, UT 84043 PHONE (801) 963-1177 FAX (801) 963-1177</p>		<p>DATE: _____</p> <p>PROJECT: _____</p> <p>4.0000</p> <p>DATE: _____</p> <p>PROJECT: _____</p>	<p><b>AF CROSSING PLAT B</b></p> <p>A REVISION LOT PROJ.P/D</p>	<p>DESCRIPTION</p> <p><b>FINAL CONSTRUCTION PLANS</b></p>	<p>SHEET NUMBER</p> <p>SECONDARY WATER DETAILS</p> <p><b>D4</b></p>
---	---	---	--	---	---	---	---

American Fuel City Engineering  
Approved for Construction







**WHITE HORSE DEVELOPERS**  
520 S. 480 E. Suite 4A  
LEHI, UT 84043

**AF CROSSING PLAT B**




**berg CIVIL ENGINEERING**  
1150 S. 1400 E. Suite 400  
LEHI, UT 84043  
PHONE: (801) 781-1177  
FAX: (801) 781-1177

NO.	DATE	DESCRIPTION
1	11/11/20	ISSUED FOR PERMITS
2	11/11/20	ISSUED FOR PERMITS
3	11/11/20	ISSUED FOR PERMITS
4	11/11/20	ISSUED FOR PERMITS
5	11/11/20	ISSUED FOR PERMITS
6	11/11/20	ISSUED FOR PERMITS
7	11/11/20	ISSUED FOR PERMITS
8	11/11/20	ISSUED FOR PERMITS
9	11/11/20	ISSUED FOR PERMITS
10	11/11/20	ISSUED FOR PERMITS
11	11/11/20	ISSUED FOR PERMITS
12	11/11/20	ISSUED FOR PERMITS
13	11/11/20	ISSUED FOR PERMITS
14	11/11/20	ISSUED FOR PERMITS
15	11/11/20	ISSUED FOR PERMITS
16	11/11/20	ISSUED FOR PERMITS
17	11/11/20	ISSUED FOR PERMITS
18	11/11/20	ISSUED FOR PERMITS
19	11/11/20	ISSUED FOR PERMITS
20	11/11/20	ISSUED FOR PERMITS
21	11/11/20	ISSUED FOR PERMITS
22	11/11/20	ISSUED FOR PERMITS
23	11/11/20	ISSUED FOR PERMITS
24	11/11/20	ISSUED FOR PERMITS
25	11/11/20	ISSUED FOR PERMITS
26	11/11/20	ISSUED FOR PERMITS
27	11/11/20	ISSUED FOR PERMITS
28	11/11/20	ISSUED FOR PERMITS
29	11/11/20	ISSUED FOR PERMITS
30	11/11/20	ISSUED FOR PERMITS
31	11/11/20	ISSUED FOR PERMITS
32	11/11/20	ISSUED FOR PERMITS
33	11/11/20	ISSUED FOR PERMITS
34	11/11/20	ISSUED FOR PERMITS
35	11/11/20	ISSUED FOR PERMITS
36	11/11/20	ISSUED FOR PERMITS
37	11/11/20	ISSUED FOR PERMITS
38	11/11/20	ISSUED FOR PERMITS
39	11/11/20	ISSUED FOR PERMITS
40	11/11/20	ISSUED FOR PERMITS
41	11/11/20	ISSUED FOR PERMITS
42	11/11/20	ISSUED FOR PERMITS
43	11/11/20	ISSUED FOR PERMITS
44	11/11/20	ISSUED FOR PERMITS
45	11/11/20	ISSUED FOR PERMITS
46	11/11/20	ISSUED FOR PERMITS
47	11/11/20	ISSUED FOR PERMITS
48	11/11/20	ISSUED FOR PERMITS
49	11/11/20	ISSUED FOR PERMITS
50	11/11/20	ISSUED FOR PERMITS
51	11/11/20	ISSUED FOR PERMITS
52	11/11/20	ISSUED FOR PERMITS
53	11/11/20	ISSUED FOR PERMITS
54	11/11/20	ISSUED FOR PERMITS
55	11/11/20	ISSUED FOR PERMITS
56	11/11/20	ISSUED FOR PERMITS
57	11/11/20	ISSUED FOR PERMITS
58	11/11/20	ISSUED FOR PERMITS
59	11/11/20	ISSUED FOR PERMITS
60	11/11/20	ISSUED FOR PERMITS
61	11/11/20	ISSUED FOR PERMITS
62	11/11/20	ISSUED FOR PERMITS
63	11/11/20	ISSUED FOR PERMITS
64	11/11/20	ISSUED FOR PERMITS
65	11/11/20	ISSUED FOR PERMITS
66	11/11/20	ISSUED FOR PERMITS
67	11/11/20	ISSUED FOR PERMITS
68	11/11/20	ISSUED FOR PERMITS
69	11/11/20	ISSUED FOR PERMITS
70	11/11/20	ISSUED FOR PERMITS
71	11/11/20	ISSUED FOR PERMITS
72	11/11/20	ISSUED FOR PERMITS
73	11/11/20	ISSUED FOR PERMITS
74	11/11/20	ISSUED FOR PERMITS
75	11/11/20	ISSUED FOR PERMITS
76	11/11/20	ISSUED FOR PERMITS
77	11/11/20	ISSUED FOR PERMITS
78	11/11/20	ISSUED FOR PERMITS
79	11/11/20	ISSUED FOR PERMITS
80	11/11/20	ISSUED FOR PERMITS
81	11/11/20	ISSUED FOR PERMITS
82	11/11/20	ISSUED FOR PERMITS
83	11/11/20	ISSUED FOR PERMITS
84	11/11/20	ISSUED FOR PERMITS
85	11/11/20	ISSUED FOR PERMITS
86	11/11/20	ISSUED FOR PERMITS
87	11/11/20	ISSUED FOR PERMITS
88	11/11/20	ISSUED FOR PERMITS
89	11/11/20	ISSUED FOR PERMITS
90	11/11/20	ISSUED FOR PERMITS
91	11/11/20	ISSUED FOR PERMITS
92	11/11/20	ISSUED FOR PERMITS
93	11/11/20	ISSUED FOR PERMITS
94	11/11/20	ISSUED FOR PERMITS
95	11/11/20	ISSUED FOR PERMITS
96	11/11/20	ISSUED FOR PERMITS
97	11/11/20	ISSUED FOR PERMITS
98	11/11/20	ISSUED FOR PERMITS
99	11/11/20	ISSUED FOR PERMITS
100	11/11/20	ISSUED FOR PERMITS


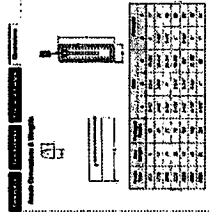

**AF CROSSING PLAT B**  
A FLEISHER LOT  
PROJ. 01010

SHEET NAME	SHEET NUMBER
CATHODIC PROTECTION DETAILS	D6



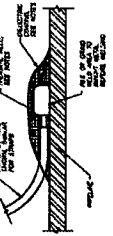
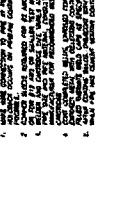

**AMA**  
Approved for Construction

Appendix 1: (Ultimate Successor Agent, Type 200 Specification Sheet)  
**Ultralight High Potential Magnesium Anodes for Cathodic Protection with Improved Core**  
Ultralight anodes made of corrosion laboratory materials

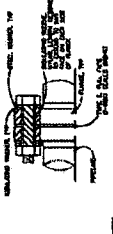

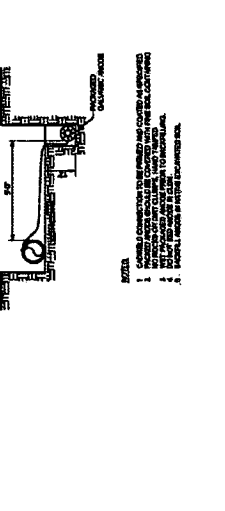
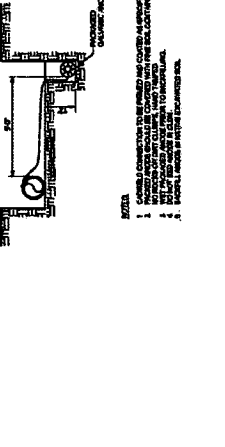
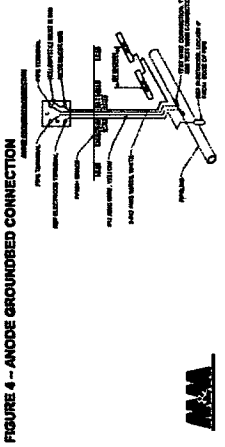
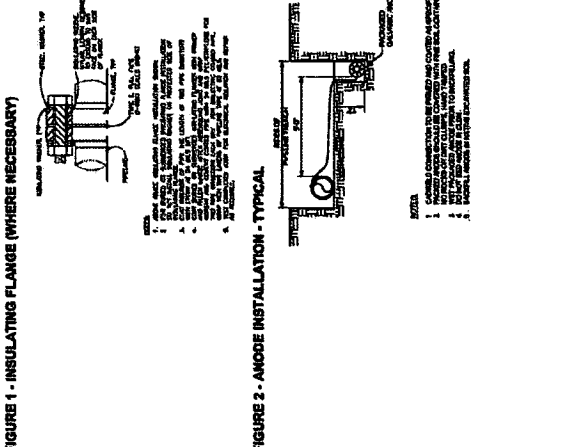
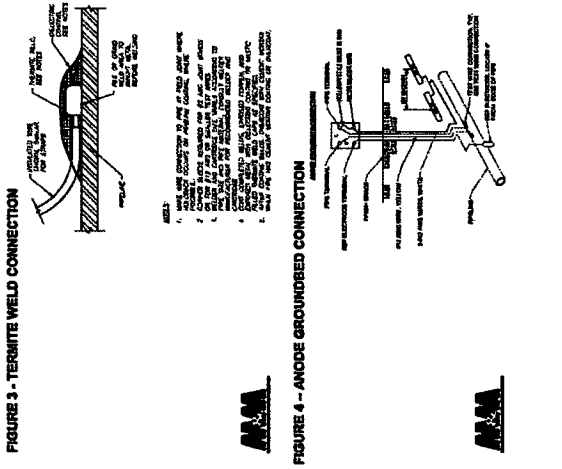
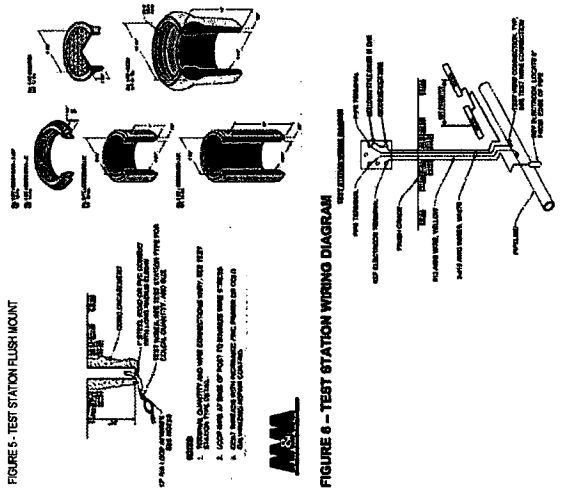
**AMA**  
Approved for Construction

Appendix 2: (Ultimate Successor Agent, Type 200 Specification Sheet)  
**Termitite Weld Connection**  
Termitite weld connections for cathodic protection systems


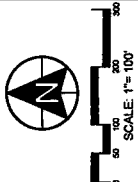






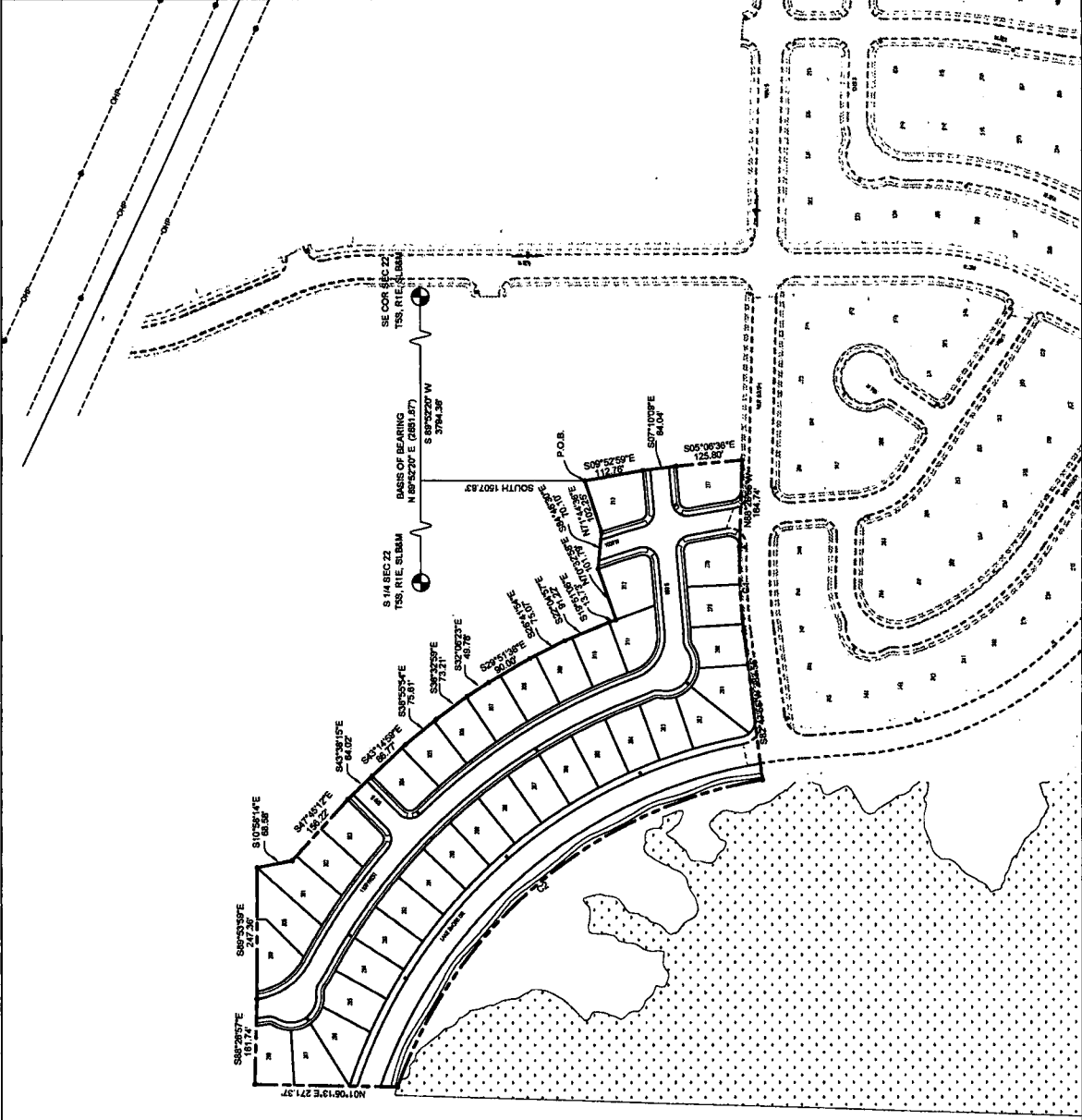
**AMA**  
Approved for Construction

Appendix 3: (Ultimate Successor Agent, Type 200 Specification Sheet)  
**Insulating Flange (Where Necessary)**  
Insulating flanges for cathodic protection systems

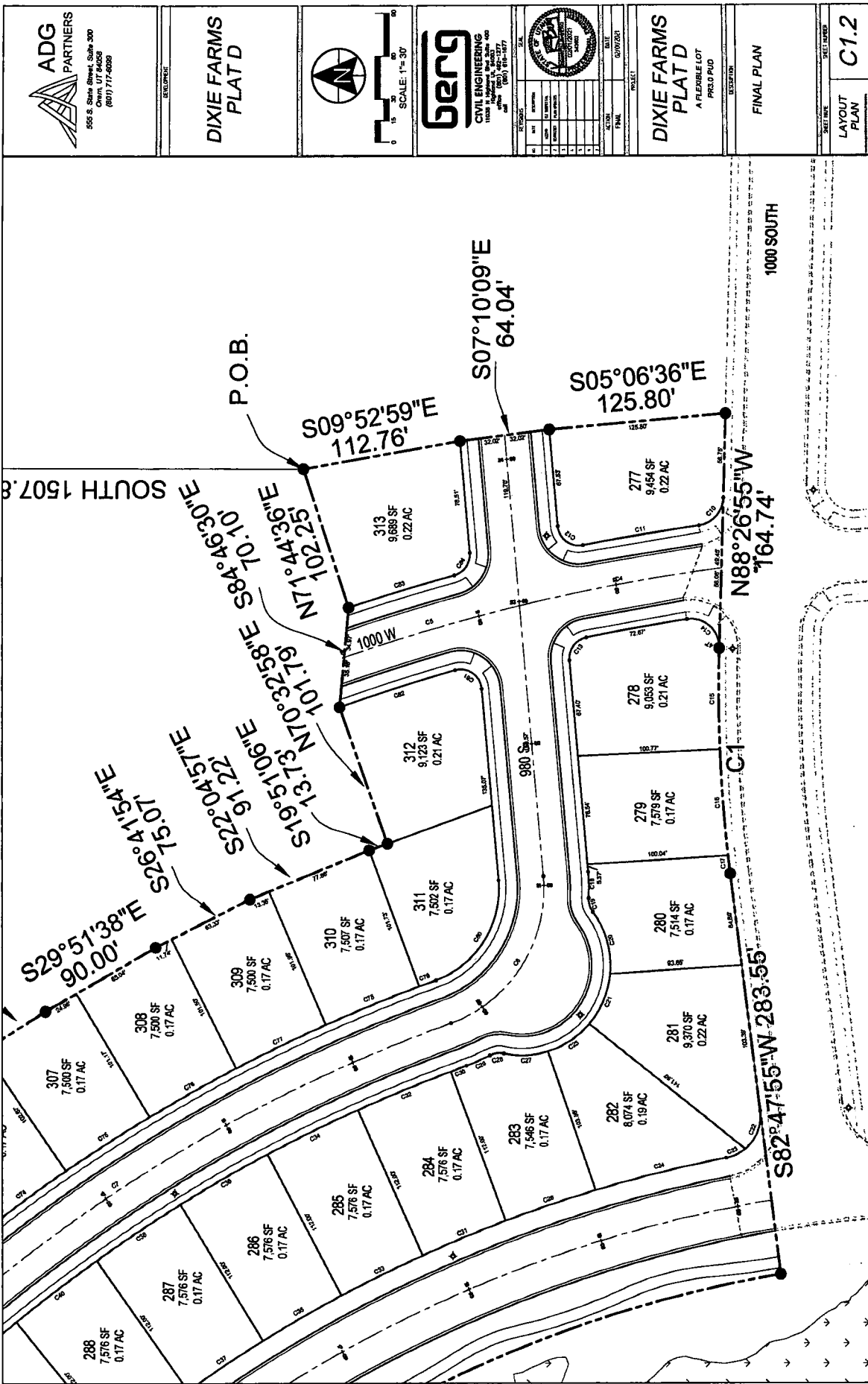


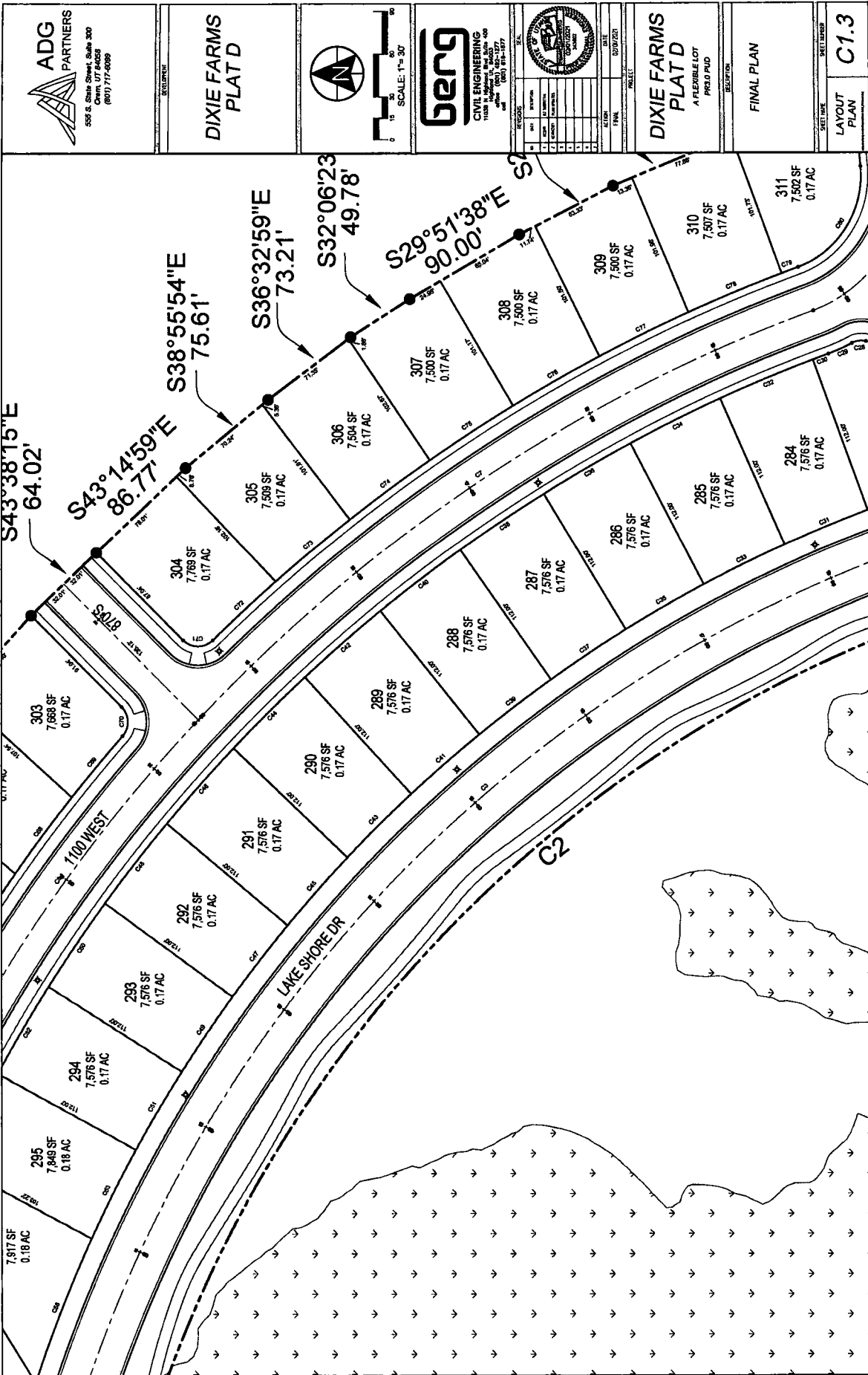
 <p><b>ADG PARTNERS</b> 555 S. State Street, Suite 300 Carm, UT 84009 (801) 717-4699</p>	<p><b>DIXIE FARMS PLAT D</b></p>	 <p>SCALE: 1" = 100'</p>	 <p><b>BENG</b> CIVIL ENGINEERING 11035 N. Mountain Road, Suite 400 Carm, UT 84009 (801) 717-1077 (801) 717-1177</p>		<p><b>DIXIE FARMS PLAT D</b> A FLEXIBLE LOT PUD PLD</p>	<p><b>FINAL PLAN</b></p>	<p>SHEET NO. <b>C1.1</b></p>
---	--------------------------------------	---	---	--	---	--------------------------	----------------------------------



**CURVE TABLE**

CURVE	BEARING	LENGTH	DELTA	CHORD	BEARING
C1	0° 56' 37"	158.57	158.57	158.57	87° 11' 10"
C2	85° 26' 11"	458.61	458.61	458.61	109° 23' 17"







DIXIE FARMS PLAT D



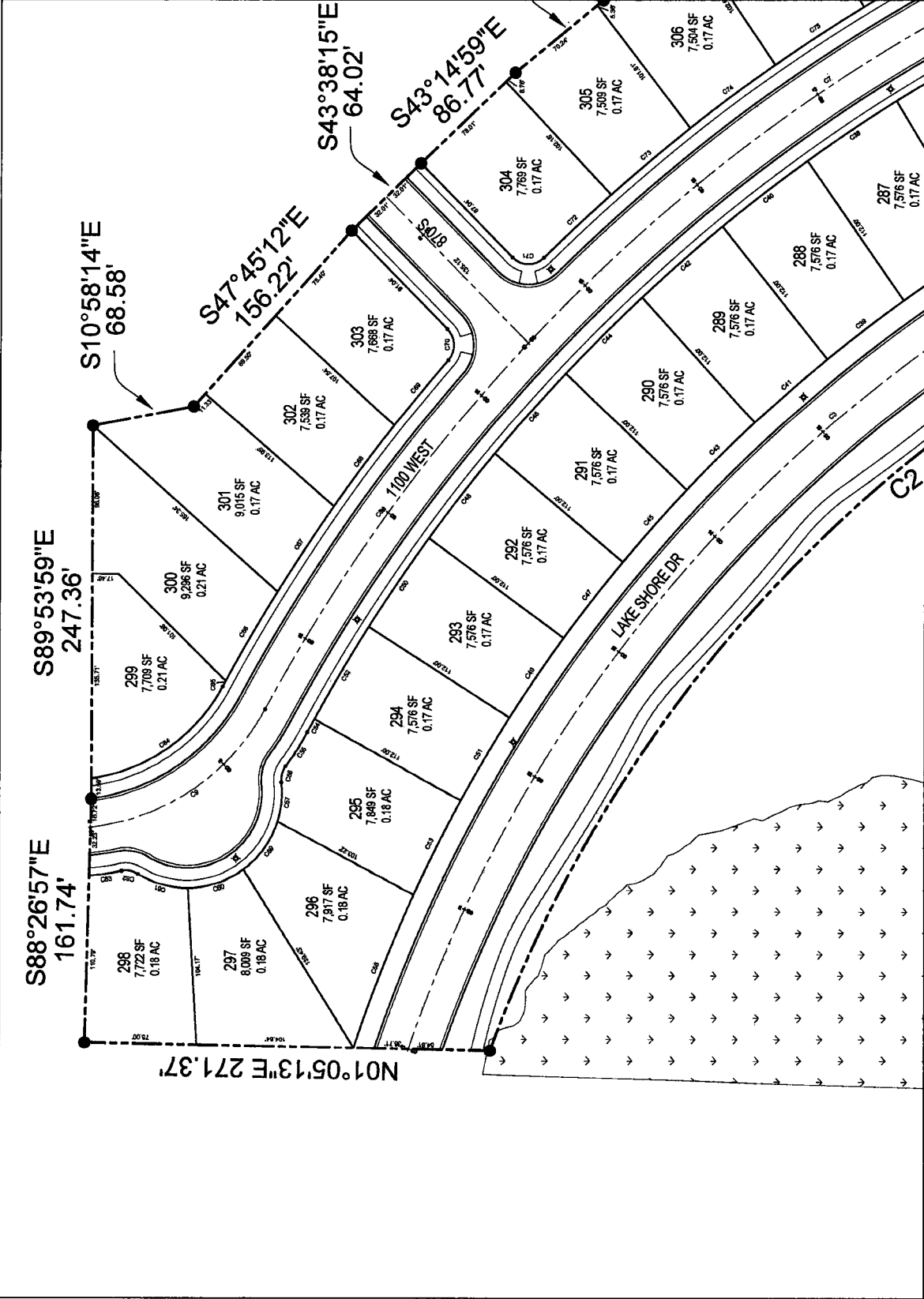
SCALE: 1" = 30'



DIXIE FARMS PLAT D  
A FLEXIBLE LOT  
PROJ. NO. PUD

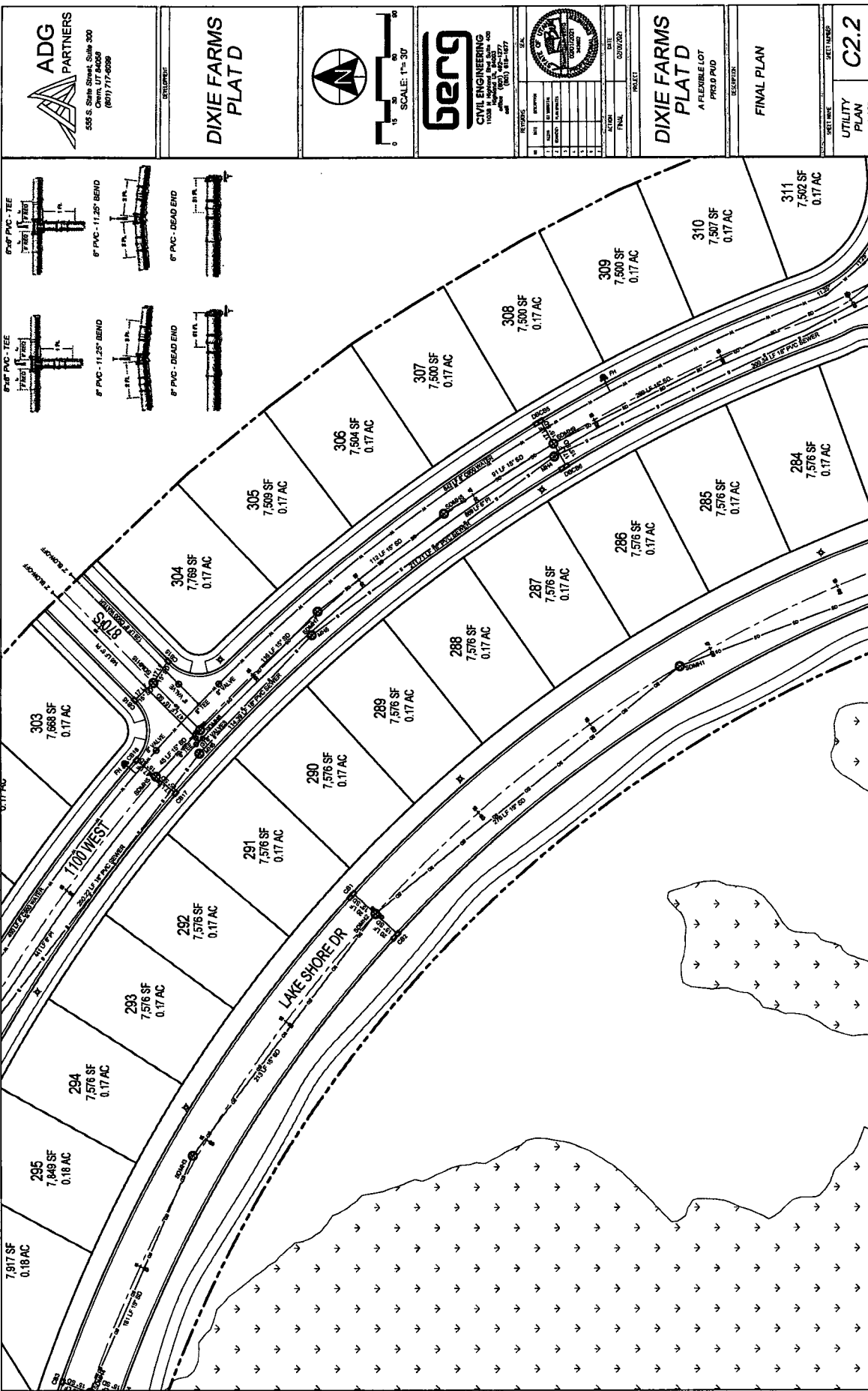
FINAL PLAN

LAYOUT PLAN C1.4









**ADG PARTNERS**  
 555 S. State Street, Suite 300  
 Chicago, IL 60605  
 (800) 717-8088

**DIXIE FARMS  
 PLAT D**



SCALE: 1" = 30'

**berg**  
 CIVIL ENGINEERING  
 11028 N. Milwaukee Ave., Suite 400  
 Chicago, IL 60631  
 (773) 499-1277

REVISIONS	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		

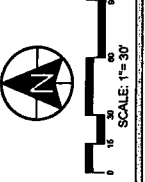
**DIXIE FARMS  
 PLAT D**  
 A FLEXIBLE LOT  
 PREPARED  
 DESCRIPTION

**FINAL PLAN**

SHEET NAME  
 UTILITY PLAN  
 SHEET NUMBER  
**C2.2**



**DIXIE FARMS  
PLAT D**

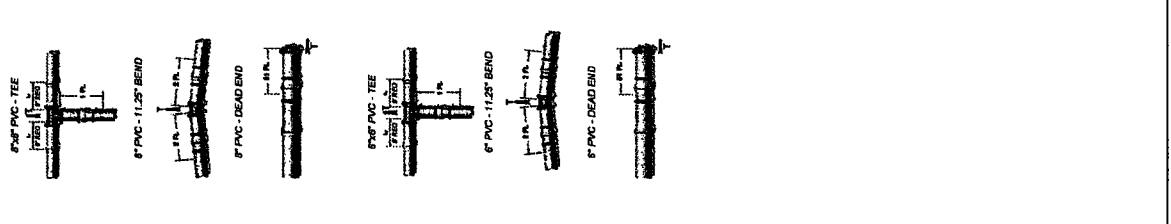
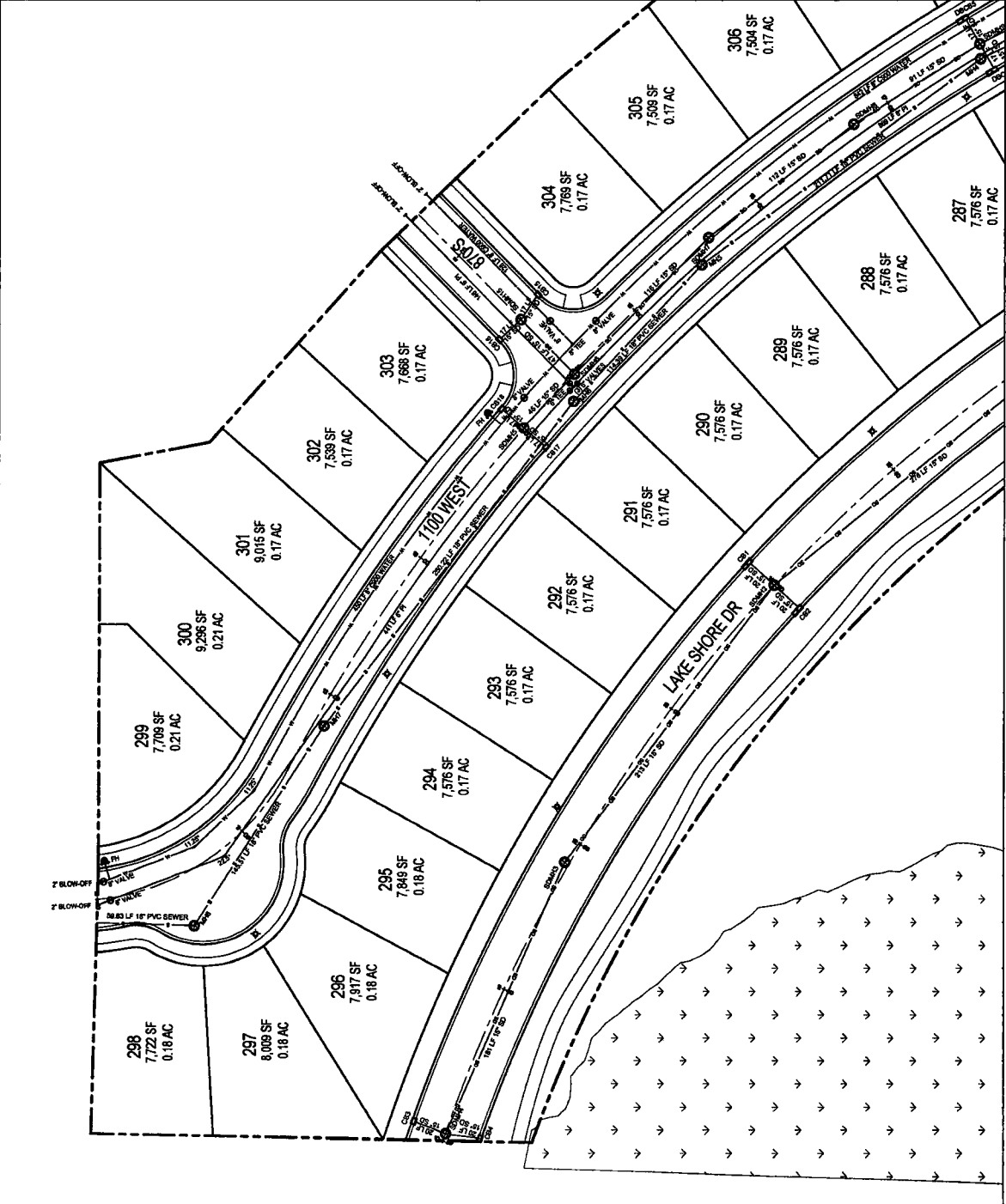



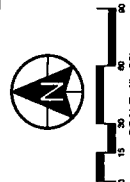


NO.	DATE	DESCRIPTION
1	11/11/21	PRELIMINARY
2	11/11/21	REVISED
3	11/11/21	REVISED
4	11/11/21	REVISED
5	11/11/21	REVISED
6	11/11/21	REVISED
7	11/11/21	REVISED
8	11/11/21	REVISED
9	11/11/21	REVISED
10	11/11/21	REVISED
11	11/11/21	REVISED
12	11/11/21	REVISED

**DIXIE FARMS  
PLAT D**  
A FEASIBLE LOT  
PDS 0 PUD

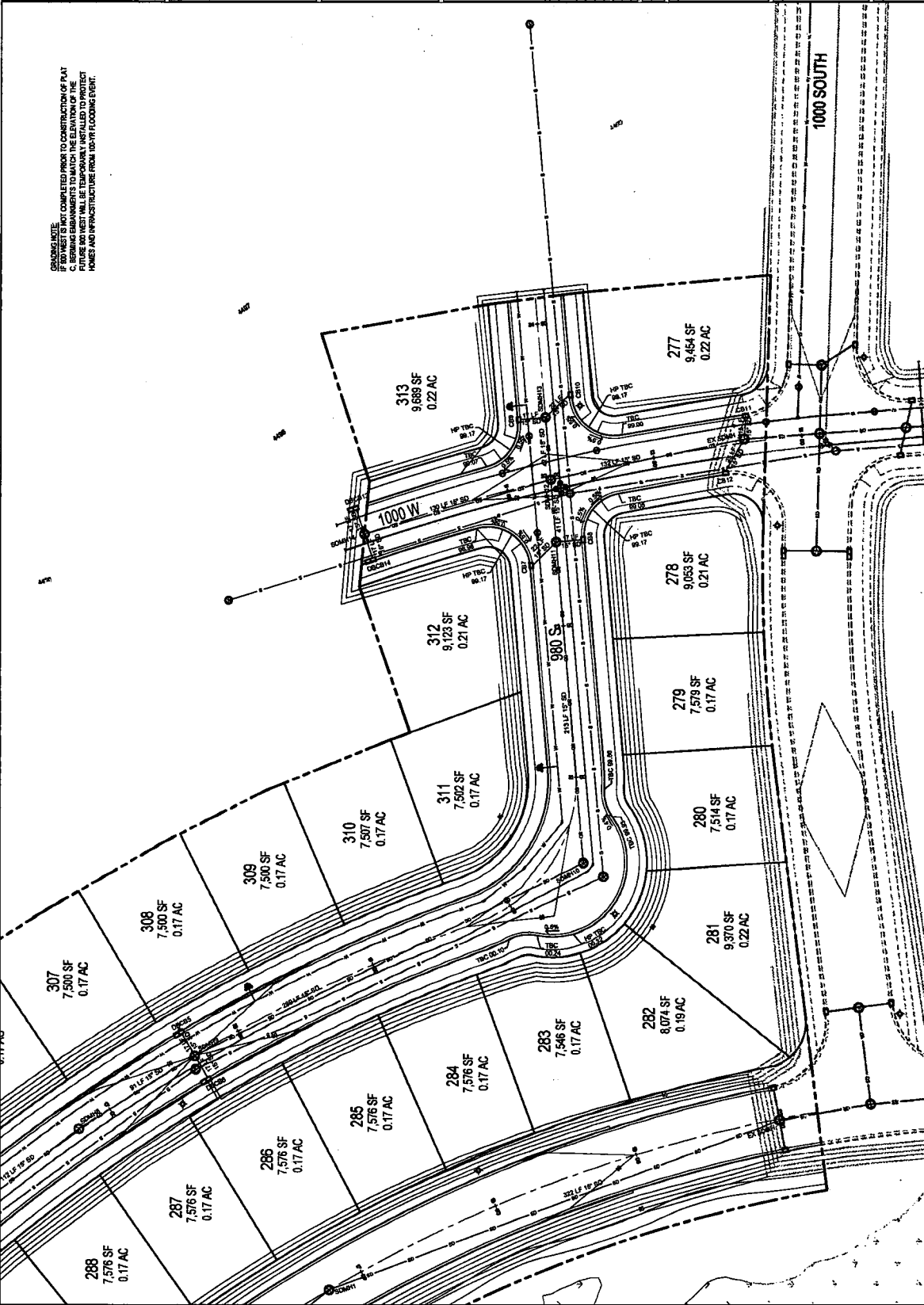
FINAL PLAN

UTILITY PLAN  
C2.3



 <b>ADG PARTNERS</b> 555 S. State Street, Suite 300 Orem, UT 84058 (801) 717-6059	<b>DIXIE FARMS PLAT D</b>		 <b>BENG</b> CIVIL ENGINEERING 1100 S. Main Street, Suite 100 Orem, UT 84058 (801) 225-1777	 DATE: 03/01/2021 PROJECT:	<b>DIXIE FARMS PLAT D</b> A FLEXIBLE LOT PDS.D PUD	FINAL PLAN	SHEET NO: <b>C3.1</b> GRADING PLAN
--	-------------------------------	---	---	--	--	------------	--

GRADING NOTE:  
 A. ALL GRADING SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF PLAT  
 B. FINISH ELEVATIONS SHALL BE TO MATCH THE ELEVATION OF THE  
 C. BERMING OR EMBANKMENTS TO MATCH THE ELEVATION OF THE  
 FUTURE ROAD. THESE SHALL BE TEMPORARILY INSTALLED TO PROTECT  
 HOMES AND INFRASTRUCTURE FROM ROAD-FLOODING EVENT.





# DIXIE FARMS PLAT D



NO.	DATE	REVISIONS	SCALE
1	08/29/2020	ISSUE FOR PERMITS	1" = 30'
2		REVISED PER COMMENTS	
3		REVISED PER COMMENTS	
4		REVISED PER COMMENTS	
5		REVISED PER COMMENTS	
6		REVISED PER COMMENTS	
7		REVISED PER COMMENTS	
8		REVISED PER COMMENTS	
9		REVISED PER COMMENTS	
10		REVISED PER COMMENTS	
11		REVISED PER COMMENTS	
12		REVISED PER COMMENTS	
13		REVISED PER COMMENTS	
14		REVISED PER COMMENTS	
15		REVISED PER COMMENTS	
16		REVISED PER COMMENTS	
17		REVISED PER COMMENTS	
18		REVISED PER COMMENTS	
19		REVISED PER COMMENTS	
20		REVISED PER COMMENTS	
21		REVISED PER COMMENTS	
22		REVISED PER COMMENTS	
23		REVISED PER COMMENTS	
24		REVISED PER COMMENTS	
25		REVISED PER COMMENTS	
26		REVISED PER COMMENTS	
27		REVISED PER COMMENTS	
28		REVISED PER COMMENTS	
29		REVISED PER COMMENTS	
30		REVISED PER COMMENTS	
31		REVISED PER COMMENTS	
32		REVISED PER COMMENTS	
33		REVISED PER COMMENTS	
34		REVISED PER COMMENTS	
35		REVISED PER COMMENTS	
36		REVISED PER COMMENTS	
37		REVISED PER COMMENTS	
38		REVISED PER COMMENTS	
39		REVISED PER COMMENTS	
40		REVISED PER COMMENTS	
41		REVISED PER COMMENTS	
42		REVISED PER COMMENTS	
43		REVISED PER COMMENTS	
44		REVISED PER COMMENTS	
45		REVISED PER COMMENTS	
46		REVISED PER COMMENTS	
47		REVISED PER COMMENTS	
48		REVISED PER COMMENTS	
49		REVISED PER COMMENTS	
50		REVISED PER COMMENTS	
51		REVISED PER COMMENTS	
52		REVISED PER COMMENTS	
53		REVISED PER COMMENTS	
54		REVISED PER COMMENTS	
55		REVISED PER COMMENTS	
56		REVISED PER COMMENTS	
57		REVISED PER COMMENTS	
58		REVISED PER COMMENTS	
59		REVISED PER COMMENTS	
60		REVISED PER COMMENTS	
61		REVISED PER COMMENTS	
62		REVISED PER COMMENTS	
63		REVISED PER COMMENTS	
64		REVISED PER COMMENTS	
65		REVISED PER COMMENTS	
66		REVISED PER COMMENTS	
67		REVISED PER COMMENTS	
68		REVISED PER COMMENTS	
69		REVISED PER COMMENTS	
70		REVISED PER COMMENTS	
71		REVISED PER COMMENTS	
72		REVISED PER COMMENTS	
73		REVISED PER COMMENTS	
74		REVISED PER COMMENTS	
75		REVISED PER COMMENTS	
76		REVISED PER COMMENTS	
77		REVISED PER COMMENTS	
78		REVISED PER COMMENTS	
79		REVISED PER COMMENTS	
80		REVISED PER COMMENTS	
81		REVISED PER COMMENTS	
82		REVISED PER COMMENTS	
83		REVISED PER COMMENTS	
84		REVISED PER COMMENTS	
85		REVISED PER COMMENTS	
86		REVISED PER COMMENTS	
87		REVISED PER COMMENTS	
88		REVISED PER COMMENTS	
89		REVISED PER COMMENTS	
90		REVISED PER COMMENTS	
91		REVISED PER COMMENTS	
92		REVISED PER COMMENTS	
93		REVISED PER COMMENTS	
94		REVISED PER COMMENTS	
95		REVISED PER COMMENTS	
96		REVISED PER COMMENTS	
97		REVISED PER COMMENTS	
98		REVISED PER COMMENTS	
99		REVISED PER COMMENTS	
100		REVISED PER COMMENTS	

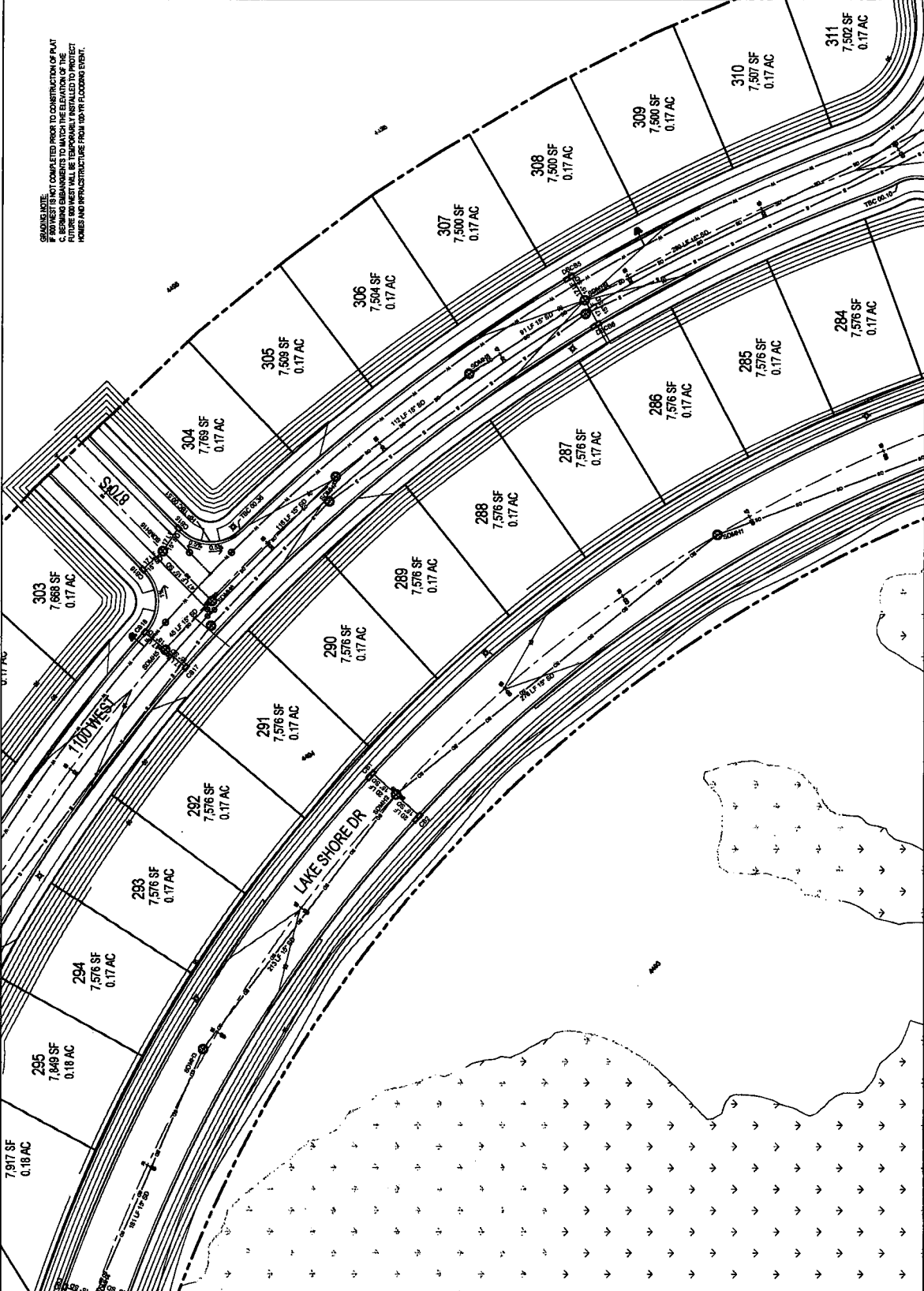
# DIXIE FARMS PLAT D

A FLEXIBLE LOT  
PH.D. OF P.U.D.  
DESCRIPTION

FINAL PLAN

GRADING PLAN  
SHEET NUMBER  
**C3.2**

**GRADING NOTE:**  
IF ANY TEST IS NOT COMPLETED PRIOR TO CONSTRUCTION OF PLAT C, BERING ENGINEERS TO MATCH THE ELEVATION OF THE EXISTING GRADE TO THE PROPOSED GRADE. ALL EXISTING UTILITIES SHALL BE RELOCATED TO PROTECT HOUSES AND INFRASTRUCTURE FROM FLOODING EVENT.





555 S. State Street, Suite 300  
Orem, UT 84058  
(801) 717-8999

# DIXIE FARMS PLAT D



SCALE: 1"=30'



1100 S. University Blvd., Suite 400  
Orem, UT 84058  
(801) 931-1577



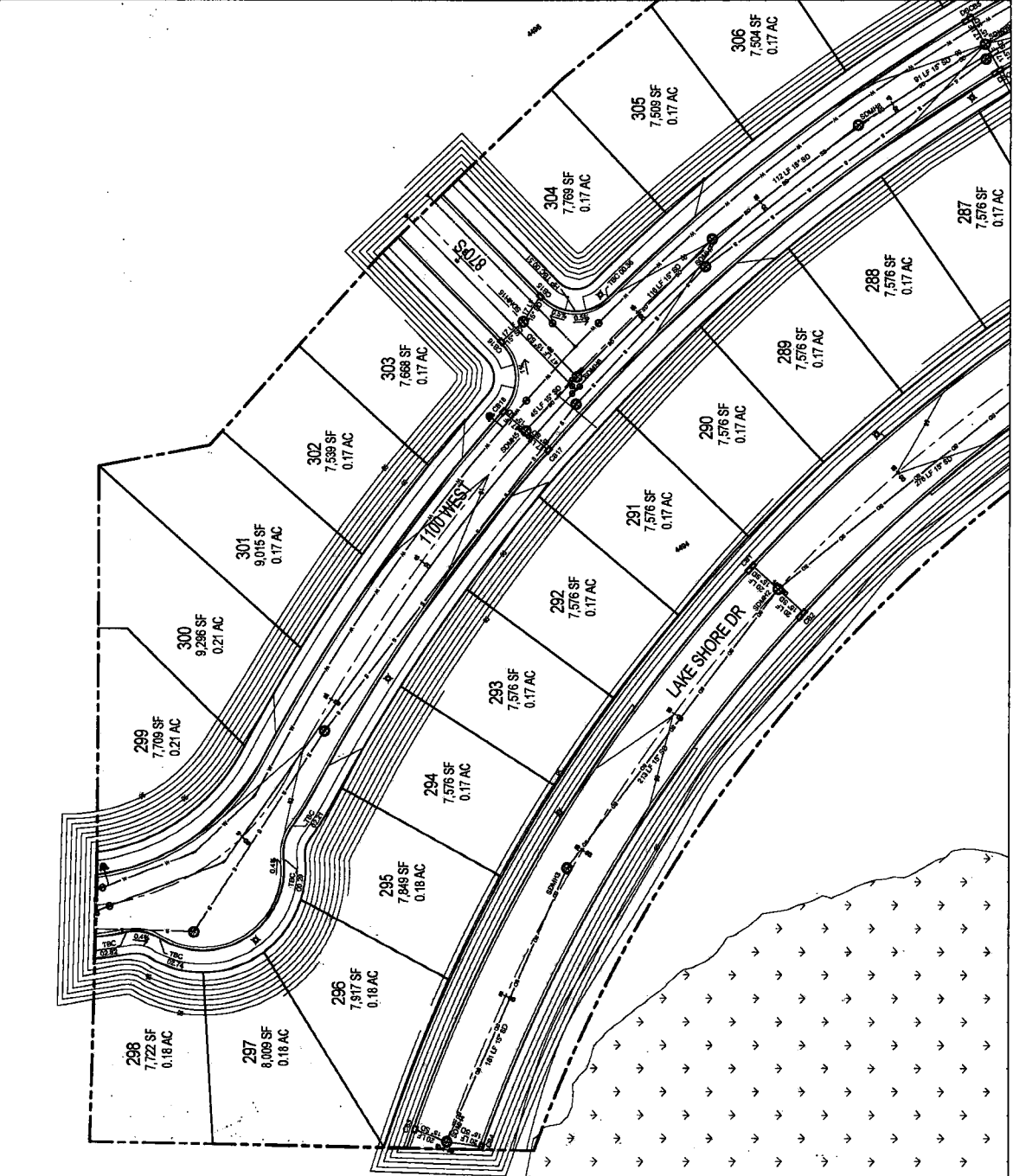
PROJECT: DIXIE FARMS PLAT D  
SHEET NO: C3.3

# DIXIE FARMS PLAT D


A FLEXIBLE LOT  
PRELIMINARY

FINAL PLAN

GRADING PLAN  
C3.3

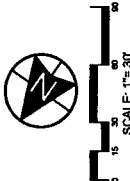


GRADING NOTE:  
IF SO HERE IS NOT COMPLETED PRIOR TO CONSTRUCTION OF PLAT  
C. BEARING DIMENSIONS TO MATCH THE ELEVATIONS OF THE  
EXISTING STRUCTURES AND INFRASTRUCTURE FROM 2017 FLOODING EVENT.




**ADG PARTNERS**  
505 S. State St., Suite 300  
Rochester, NY 14620  
(817) 717-8000

**DIXIE FARMS  
PLAT D**



SCALE: 1" = 30'



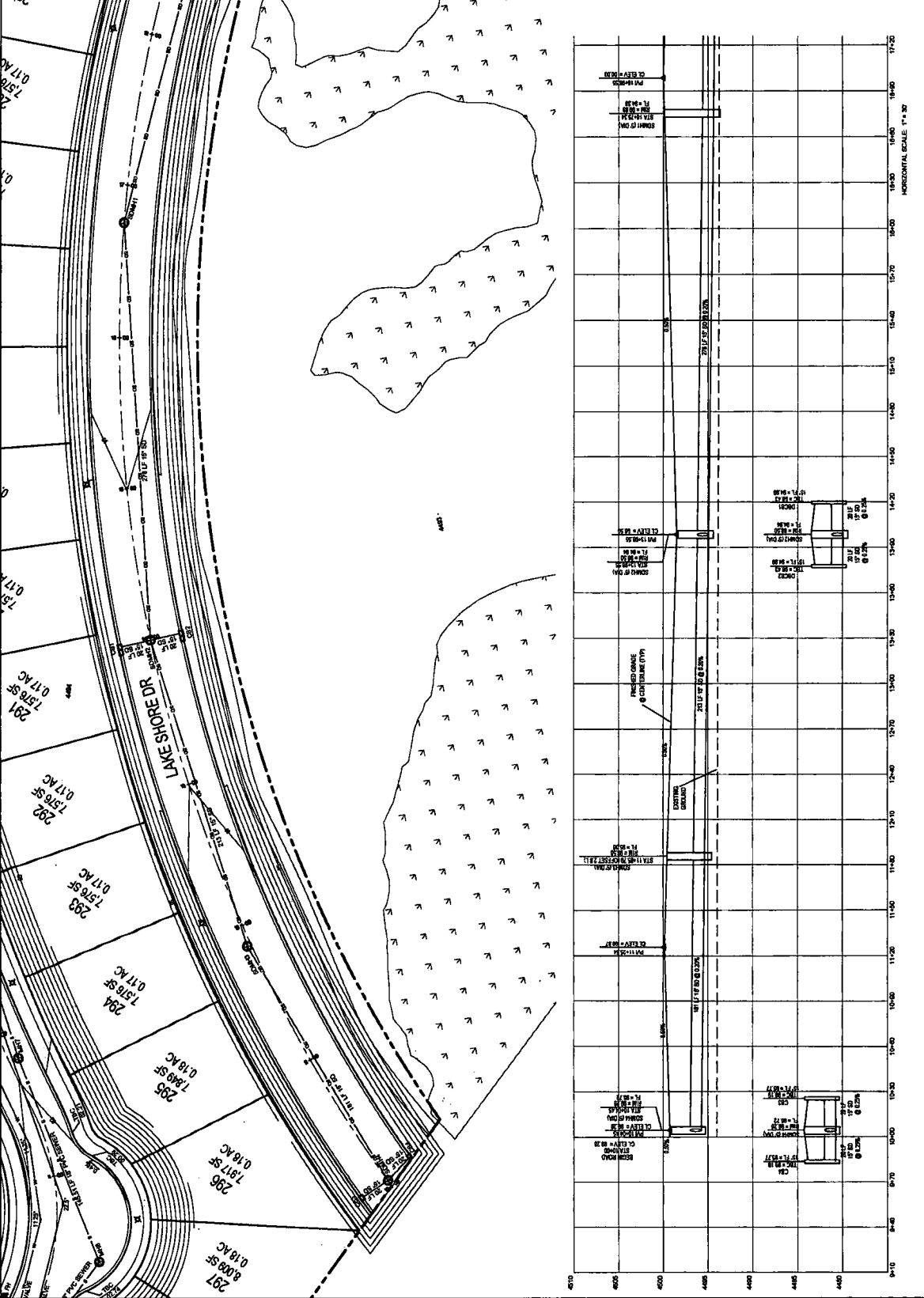
**BERG CIVIL ENGINEERING**  
1100A S. Industrial Blvd., Suite 400  
Rochester, NY 14620  
(585) 421-1177


NO.	REVISION	DATE
1	ISSUE FOR PERMITS	
2	FOR CONSTRUCTION	
3	FOR RECORD	
4		
5		

**DIXIE FARMS  
PLAT D**  
A FLEXIBLE LOT  
PROPOSED

**FINAL PLAN**

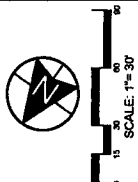
SHEET NUMBER  
**C4.1**






**ADG PARTNERS**  
535 S. State Street, Suite 300  
Orem, UT 84058  
(801) 717-8558

**DIXIE FARMS  
PLAT D**



SCALE: 1"=30'



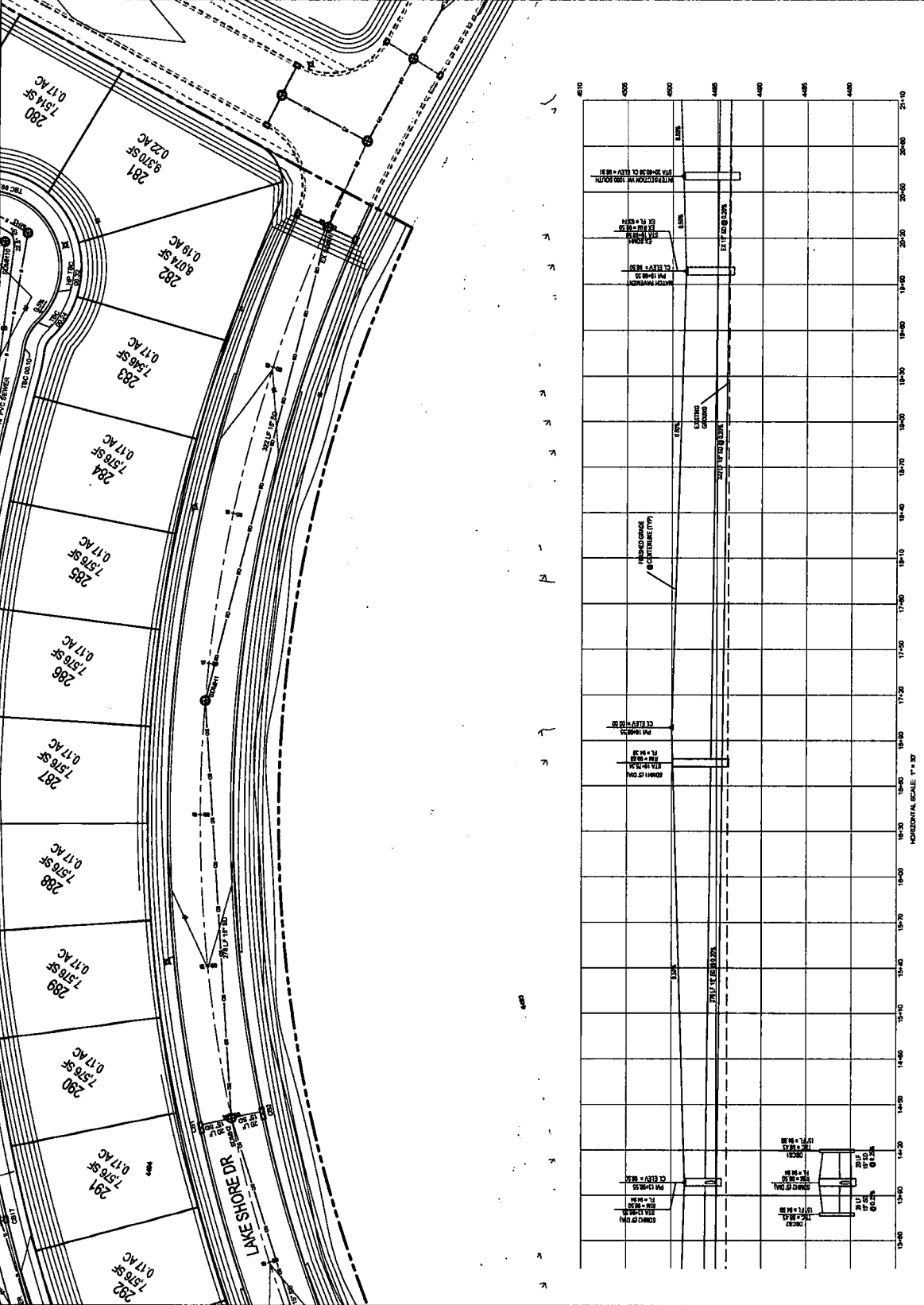
**berg**  
CIVIL ENGINEERING  
1100 S. 1000 E., SUITE 200  
OREM, UT 84058  
(801) 914-1377

NO.	DATE	BY	DESCRIPTION
1	11/11/20	JK	ISSUED FOR PERMITS
2	11/11/20	JK	ISSUED FOR PERMITS
3	11/11/20	JK	ISSUED FOR PERMITS
4	11/11/20	JK	ISSUED FOR PERMITS
5	11/11/20	JK	ISSUED FOR PERMITS
6	11/11/20	JK	ISSUED FOR PERMITS
7	11/11/20	JK	ISSUED FOR PERMITS
8	11/11/20	JK	ISSUED FOR PERMITS
9	11/11/20	JK	ISSUED FOR PERMITS
10	11/11/20	JK	ISSUED FOR PERMITS


**DIXIE FARMS  
PLAT D**  
A FLEXIBLE LOT  
PRECEDENT

**FINAL PLAN**

SHEET NO. **C4.2**  
LAKE SHORE DRIVE PROFILE

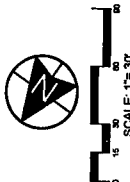







**ADG PARTNERS**  
555 S. State Street, Suite 300  
Carm, UT 84008  
(801) 717-6099

**DIXIE FARMS  
PLAT D**



SCALE 1"=30'



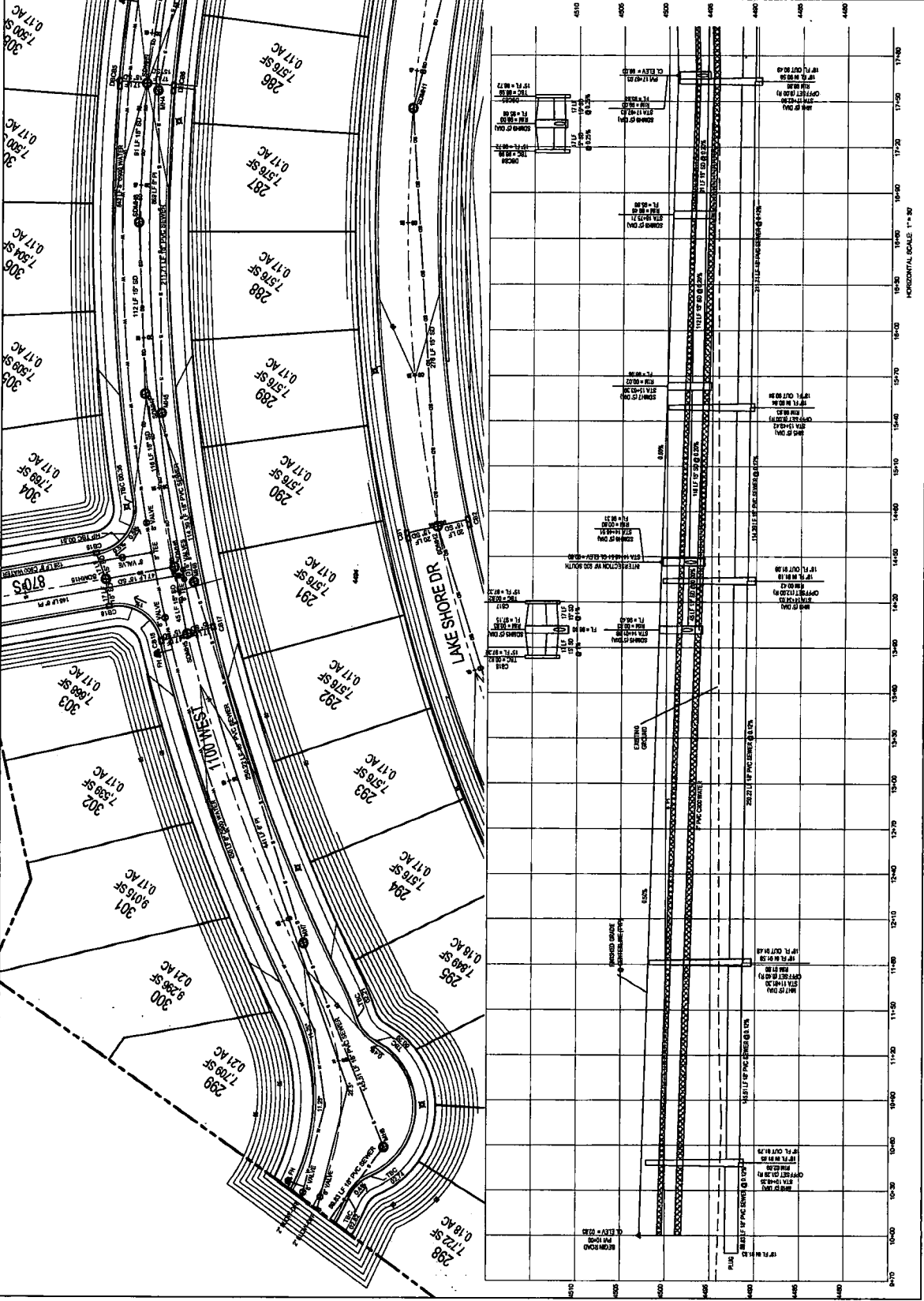
**berg**  
CIVIL ENGINEERING  
1100 W. 1000 N., Suite 400  
Carm, UT 84008  
(801) 916-1877

NO.	DATE	BY	DESCRIPTION
1			ISSUED FOR PERMITS
2			REVISED PER COMMENTS
3			REVISED PER COMMENTS
4			REVISED PER COMMENTS
5			REVISED PER COMMENTS
6			REVISED PER COMMENTS
7			REVISED PER COMMENTS
8			REVISED PER COMMENTS
9			REVISED PER COMMENTS
10			REVISED PER COMMENTS
11			REVISED PER COMMENTS
12			REVISED PER COMMENTS
13			REVISED PER COMMENTS
14			REVISED PER COMMENTS
15			REVISED PER COMMENTS
16			REVISED PER COMMENTS
17			REVISED PER COMMENTS
18			REVISED PER COMMENTS
19			REVISED PER COMMENTS
20			REVISED PER COMMENTS
21			REVISED PER COMMENTS
22			REVISED PER COMMENTS
23			REVISED PER COMMENTS
24			REVISED PER COMMENTS
25			REVISED PER COMMENTS
26			REVISED PER COMMENTS
27			REVISED PER COMMENTS
28			REVISED PER COMMENTS
29			REVISED PER COMMENTS
30			REVISED PER COMMENTS
31			REVISED PER COMMENTS
32			REVISED PER COMMENTS
33			REVISED PER COMMENTS
34			REVISED PER COMMENTS
35			REVISED PER COMMENTS
36			REVISED PER COMMENTS
37			REVISED PER COMMENTS
38			REVISED PER COMMENTS
39			REVISED PER COMMENTS
40			REVISED PER COMMENTS
41			REVISED PER COMMENTS
42			REVISED PER COMMENTS
43			REVISED PER COMMENTS
44			REVISED PER COMMENTS
45			REVISED PER COMMENTS
46			REVISED PER COMMENTS
47			REVISED PER COMMENTS
48			REVISED PER COMMENTS
49			REVISED PER COMMENTS
50			REVISED PER COMMENTS
51			REVISED PER COMMENTS
52			REVISED PER COMMENTS
53			REVISED PER COMMENTS
54			REVISED PER COMMENTS
55			REVISED PER COMMENTS
56			REVISED PER COMMENTS
57			REVISED PER COMMENTS
58			REVISED PER COMMENTS
59			REVISED PER COMMENTS
60			REVISED PER COMMENTS
61			REVISED PER COMMENTS
62			REVISED PER COMMENTS
63			REVISED PER COMMENTS
64			REVISED PER COMMENTS
65			REVISED PER COMMENTS
66			REVISED PER COMMENTS
67			REVISED PER COMMENTS
68			REVISED PER COMMENTS
69			REVISED PER COMMENTS
70			REVISED PER COMMENTS
71			REVISED PER COMMENTS
72			REVISED PER COMMENTS
73			REVISED PER COMMENTS
74			REVISED PER COMMENTS
75			REVISED PER COMMENTS
76			REVISED PER COMMENTS
77			REVISED PER COMMENTS
78			REVISED PER COMMENTS
79			REVISED PER COMMENTS
80			REVISED PER COMMENTS
81			REVISED PER COMMENTS
82			REVISED PER COMMENTS
83			REVISED PER COMMENTS
84			REVISED PER COMMENTS
85			REVISED PER COMMENTS
86			REVISED PER COMMENTS
87			REVISED PER COMMENTS
88			REVISED PER COMMENTS
89			REVISED PER COMMENTS
90			REVISED PER COMMENTS
91			REVISED PER COMMENTS
92			REVISED PER COMMENTS
93			REVISED PER COMMENTS
94			REVISED PER COMMENTS
95			REVISED PER COMMENTS
96			REVISED PER COMMENTS
97			REVISED PER COMMENTS
98			REVISED PER COMMENTS
99			REVISED PER COMMENTS
100			REVISED PER COMMENTS

**DIXIE FARMS  
PLAT D**  
A FLEXIBLE LOT  
PR3.0 PUD

**FINAL PLAN**

SHEET NAME: 1100 WEST PROFILE  
SHEET NUMBER: **C5.1**





DIXIE FARMS PLAT D



SCALE: 1"=30'

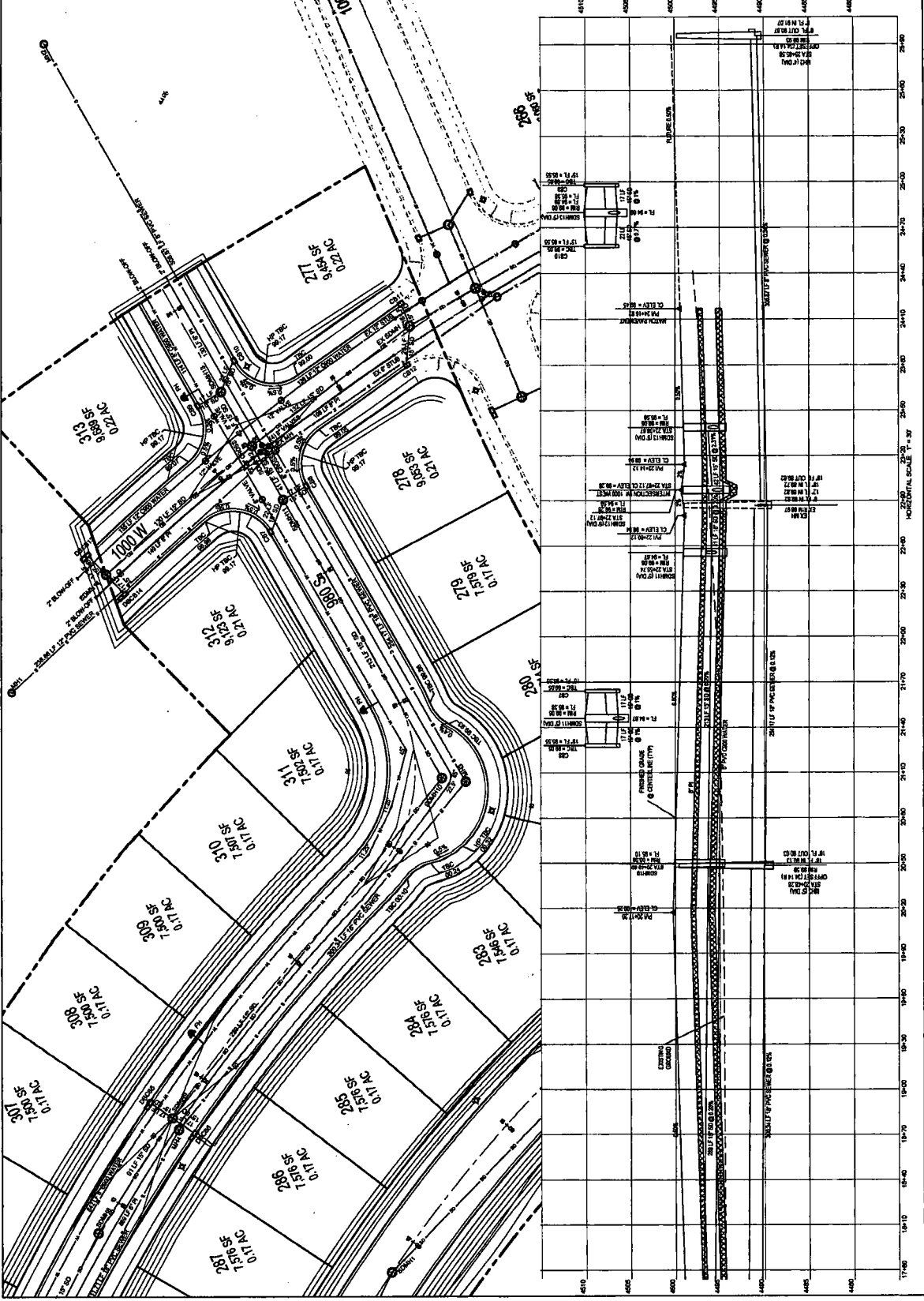


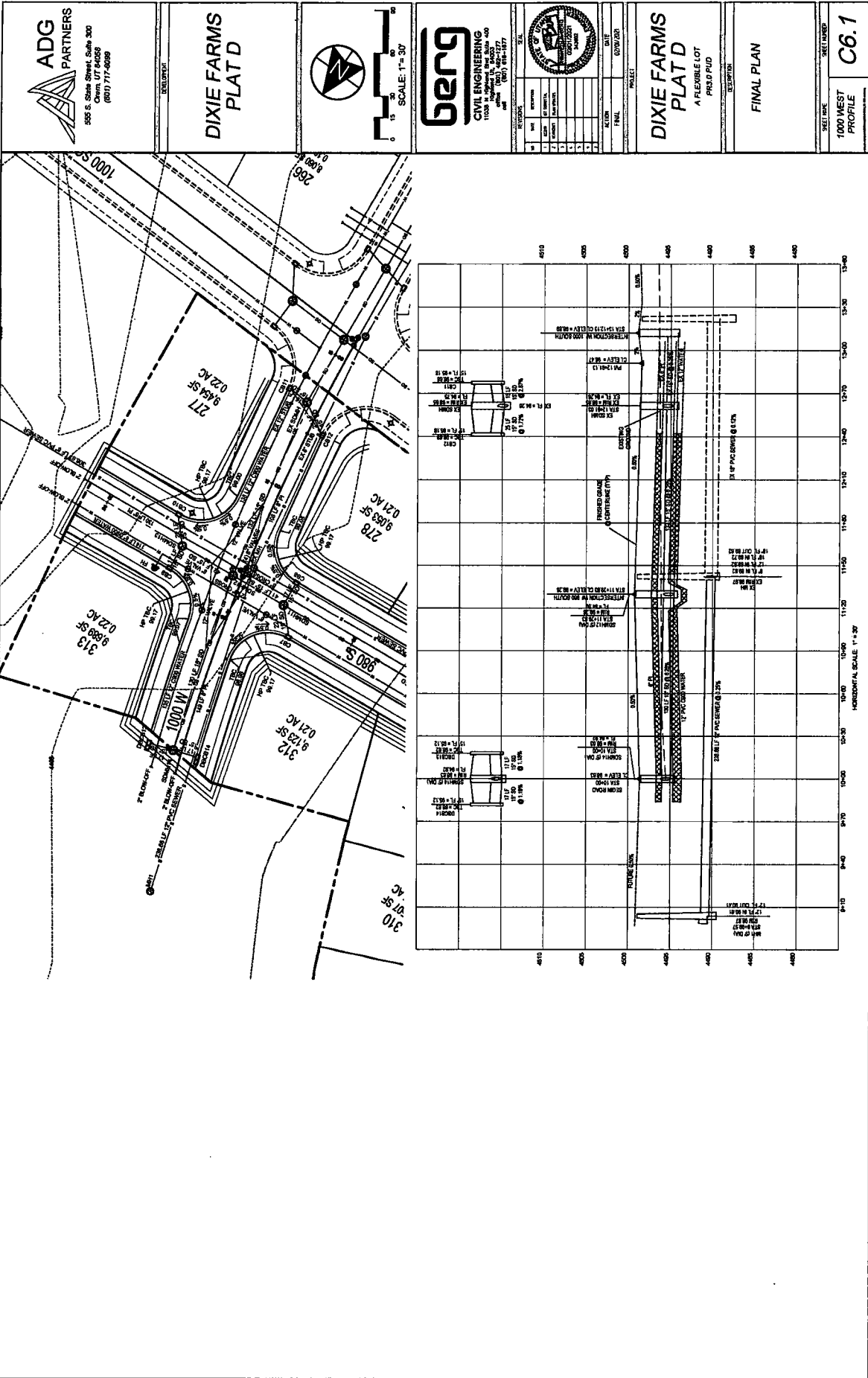
NO.	DATE	DESCRIPTION	BY	CHKD.
1	03/12/2021	PRELIMINARY	DLB	DLB
2	03/12/2021	REVISED	DLB	DLB
3	03/12/2021	REVISED	DLB	DLB
4	03/12/2021	REVISED	DLB	DLB
5	03/12/2021	REVISED	DLB	DLB
6	03/12/2021	REVISED	DLB	DLB
7	03/12/2021	REVISED	DLB	DLB
8	03/12/2021	REVISED	DLB	DLB
9	03/12/2021	REVISED	DLB	DLB
10	03/12/2021	REVISED	DLB	DLB
11	03/12/2021	REVISED	DLB	DLB
12	03/12/2021	REVISED	DLB	DLB
13	03/12/2021	REVISED	DLB	DLB
14	03/12/2021	REVISED	DLB	DLB
15	03/12/2021	REVISED	DLB	DLB
16	03/12/2021	REVISED	DLB	DLB
17	03/12/2021	REVISED	DLB	DLB
18	03/12/2021	REVISED	DLB	DLB
19	03/12/2021	REVISED	DLB	DLB
20	03/12/2021	REVISED	DLB	DLB
21	03/12/2021	REVISED	DLB	DLB
22	03/12/2021	REVISED	DLB	DLB
23	03/12/2021	REVISED	DLB	DLB
24	03/12/2021	REVISED	DLB	DLB
25	03/12/2021	REVISED	DLB	DLB
26	03/12/2021	REVISED	DLB	DLB
27	03/12/2021	REVISED	DLB	DLB
28	03/12/2021	REVISED	DLB	DLB
29	03/12/2021	REVISED	DLB	DLB
30	03/12/2021	REVISED	DLB	DLB
31	03/12/2021	REVISED	DLB	DLB
32	03/12/2021	REVISED	DLB	DLB
33	03/12/2021	REVISED	DLB	DLB
34	03/12/2021	REVISED	DLB	DLB
35	03/12/2021	REVISED	DLB	DLB
36	03/12/2021	REVISED	DLB	DLB
37	03/12/2021	REVISED	DLB	DLB
38	03/12/2021	REVISED	DLB	DLB
39	03/12/2021	REVISED	DLB	DLB
40	03/12/2021	REVISED	DLB	DLB
41	03/12/2021	REVISED	DLB	DLB
42	03/12/2021	REVISED	DLB	DLB
43	03/12/2021	REVISED	DLB	DLB
44	03/12/2021	REVISED	DLB	DLB
45	03/12/2021	REVISED	DLB	DLB
46	03/12/2021	REVISED	DLB	DLB
47	03/12/2021	REVISED	DLB	DLB
48	03/12/2021	REVISED	DLB	DLB
49	03/12/2021	REVISED	DLB	DLB
50	03/12/2021	REVISED	DLB	DLB
51	03/12/2021	REVISED	DLB	DLB
52	03/12/2021	REVISED	DLB	DLB
53	03/12/2021	REVISED	DLB	DLB
54	03/12/2021	REVISED	DLB	DLB
55	03/12/2021	REVISED	DLB	DLB
56	03/12/2021	REVISED	DLB	DLB
57	03/12/2021	REVISED	DLB	DLB
58	03/12/2021	REVISED	DLB	DLB
59	03/12/2021	REVISED	DLB	DLB
60	03/12/2021	REVISED	DLB	DLB
61	03/12/2021	REVISED	DLB	DLB
62	03/12/2021	REVISED	DLB	DLB
63	03/12/2021	REVISED	DLB	DLB
64	03/12/2021	REVISED	DLB	DLB
65	03/12/2021	REVISED	DLB	DLB
66	03/12/2021	REVISED	DLB	DLB
67	03/12/2021	REVISED	DLB	DLB
68	03/12/2021	REVISED	DLB	DLB
69	03/12/2021	REVISED	DLB	DLB
70	03/12/2021	REVISED	DLB	DLB
71	03/12/2021	REVISED	DLB	DLB
72	03/12/2021	REVISED	DLB	DLB
73	03/12/2021	REVISED	DLB	DLB
74	03/12/2021	REVISED	DLB	DLB
75	03/12/2021	REVISED	DLB	DLB
76	03/12/2021	REVISED	DLB	DLB
77	03/12/2021	REVISED	DLB	DLB
78	03/12/2021	REVISED	DLB	DLB
79	03/12/2021	REVISED	DLB	DLB
80	03/12/2021	REVISED	DLB	DLB
81	03/12/2021	REVISED	DLB	DLB
82	03/12/2021	REVISED	DLB	DLB
83	03/12/2021	REVISED	DLB	DLB
84	03/12/2021	REVISED	DLB	DLB
85	03/12/2021	REVISED	DLB	DLB
86	03/12/2021	REVISED	DLB	DLB
87	03/12/2021	REVISED	DLB	DLB
88	03/12/2021	REVISED	DLB	DLB
89	03/12/2021	REVISED	DLB	DLB
90	03/12/2021	REVISED	DLB	DLB
91	03/12/2021	REVISED	DLB	DLB
92	03/12/2021	REVISED	DLB	DLB
93	03/12/2021	REVISED	DLB	DLB
94	03/12/2021	REVISED	DLB	DLB
95	03/12/2021	REVISED	DLB	DLB
96	03/12/2021	REVISED	DLB	DLB
97	03/12/2021	REVISED	DLB	DLB
98	03/12/2021	REVISED	DLB	DLB
99	03/12/2021	REVISED	DLB	DLB
100	03/12/2021	REVISED	DLB	DLB

DIXIE FARMS PLAT D A FLEXIBLE LOT PRELIMINARY

FINAL PLAN

SHEET NAME: 1100 WEST PROFILE C5.2





**ADG PARTNERS**  
595 S. State Street, Suite 300  
Carmel, UT 84058  
(801) 717-8989

**DIXIE FARMS  
PLAT D**

SCALE: 1" = 30'

**berg**  
CIVIL ENGINEERING  
11628 N. Alpine Blvd. Suite 400  
Carmel, UT 84058  
(801) 717-1577  
www.bergec.com

REVISIONS		DATE	DESCRIPTION
1	ISSUED FOR PERMIT		
2	REVISIONS		
3	REVISIONS		

**DIXIE FARMS  
PLAT D**  
A FLEXIBLE LOT  
PROJ. NO. PD  
DESCRIPTION

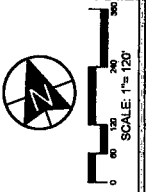
**FINAL PLAN**

1000 WEST PROFILE  
SHEET NO. C6.1





**DIXIE FARMS  
PLAT D**



NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY		
2	REVISED		
3	REVISED		
4	REVISED		
5	REVISED		
6	REVISED		

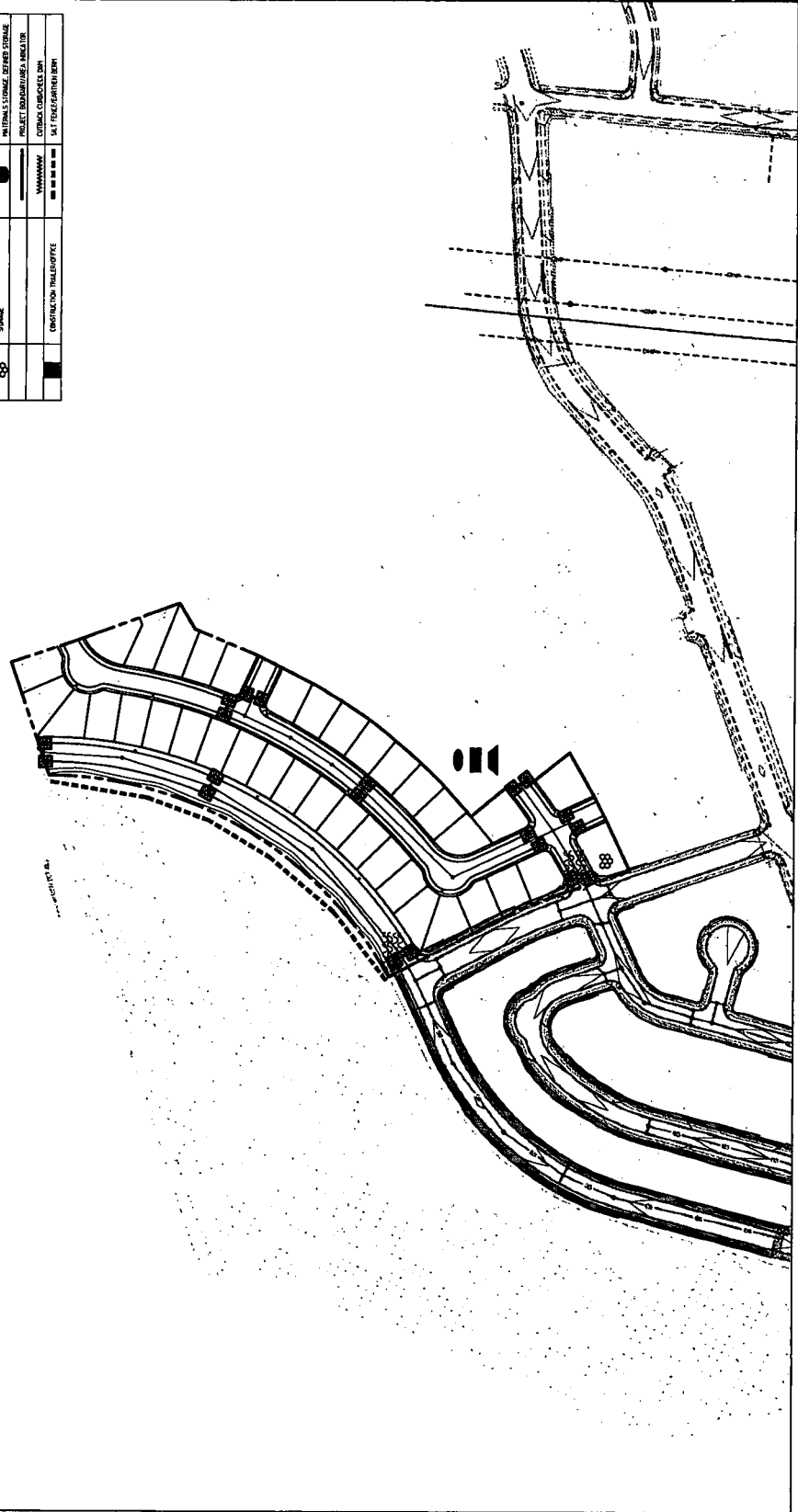
**DIXIE FARMS  
PLAT D**  
A FLEXIBLE LOT  
PUD 0.0 PUD

**FINAL PLAN**

SHEET NAME: SWPPP  
SHEET NUMBER: C8.1

**SWPPP CERTIFICATION STATEMENT**  
I, CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT IS A TRUE AND ACCURATE REPRESENTATION OF THE SWPPP AS PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ENSURE THAT QUALIFIED PERSONS WHO MAINTAIN, OPERATE, OR REPAIR THE SWPPP OR WHOSE PERSONS DIRECTLY RESPONSIBLE FOR MAINTAINING, OPERATING, OR REPAIRING THE SWPPP ARE TRAINED AND CERTIFIED TO PERFORM SUCH DUTIES. I AM AWARE THAT THESE ARE SUBJECT TO PERIODIC RE-EVALUATION, INCLUDING THE POSSIBILITY OF FINE AND IMPROVEMENT FOR HAZARDOUS VIOLATIONS.

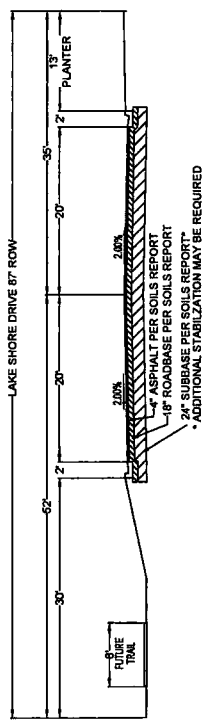
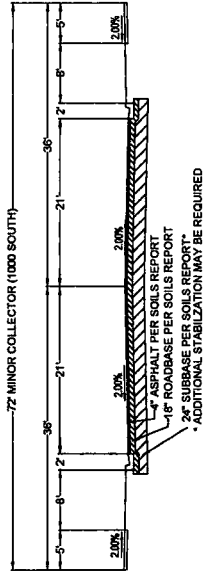
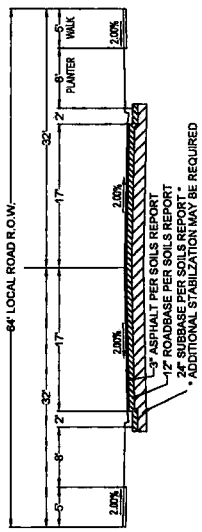
SYMBOL	MAP SYMBOL/LABEL	SYMBOL	MAP SYMBOL/LABEL
[Symbol]	PORTABLE TOILET	[Symbol]	STABILIZED STORAGE
[Symbol]	SEWER SERVICE AREA	[Symbol]	PROJECT ENCLOSURE/INLET/OUTLET
[Symbol]	FUEL TANK/STORAGE	[Symbol]	EXISTING CONCRETE DWP
[Symbol]	HAZARDOUS STORAGE	[Symbol]	NEW CONCRETE DWP
[Symbol]	HAZARDOUS WASTE	[Symbol]	NEW CONCRETE DWP
[Symbol]	HAZARDOUS WASTE	[Symbol]	NEW CONCRETE DWP





DELIVERY <b>ARIA RETIREMENT &amp; INVESTMENT SERVICES</b> 13734 SUNDIAL WHEELW RIVERCROFT, UT 84065		EQUIPMENT <b>DIXIE FARMS SUBDIVISION</b> 1000 W 1100 S		PROJECT <b>DIXIE FARMS SUBDIVISION</b>		DESCRIPTION <b>FINAL CONSTRUCTION PLANS</b>		SHEET NAME <b>ROADWAY CROSS SECTIONS</b>		SHEET NUMBER <b>D0</b>	
--	--	--	--	---	--	--	--	---	--	---------------------------	--

**CROSS SECTION NOTE:**  
 PREVIOUSLY APPROVED PLATS OF THE DIXIE FARMS SUBDIVISION USE THE CROSS SECTION SHOWN, TO KEEP CONSISTENCY IT HAS BEEN USED FOR THIS PLAT AS WELL. THE CURRENT CITY CROSS SECTION IS 62' ROW. NO REIMBURSEMENT IS ALLOWED FOR THE ADDITIONAL WIDTH.



UPGRADE DRIVE APPROACH FLARES AND SLOPE TO A MINIMUM OF 5% OF CONCRETE PAVEMENT AS PER GEOTECHNICAL REPORT DATED JUNE 7, 2019 #186327 BY EARTHTEC

NO.	DATE	DESCRIPTION	BY	CHECKED	SCALE
1					
2					
3					
4					
5					
6					

DATE: 04/20/2020  
 ACTION: FINAL  
 PROJECT: DIXIE FARMS SUBDIVISION

**CLIENT**  
ARIA RETIREMENT & INVESTMENT SERVICES  
13734 S UNDA MARLEIN  
RIVERTON, UT 84065

**DEVELOPER**  
**DIXIE FARMS SUBDIVISION**  
1000 W 1100 S

**DIXIE FARMS SUBDIVISION**

**FINAL CONSTRUCTION PLANS**

SHEET NUMBER: **D1**

---

**Manhole Assembly**  
Sheet 238

**Detachable manhole assembly**  
Sheet 79

**Base Detail**  
Sheet 239

**Manhole Detail**  
Sheet 239

**Manhole Detail**  
Sheet 239

**Manhole Detail**  
Sheet 239

---

**Turning brace at sidewalk level**  
Sheet 240

**Corner curb cut assembly**  
Sheet 241

**6" Manhole Detail**  
Sheet 242

---

**Curb Detail**  
Sheet 243

**6" manhole notes**

1. CONCRETE: Clean form and release per ASTM D309. Finish per ACI 308.2R.
2. FORM: Apply form oil to the exterior of all surfaces prior to pouring.
3. REINFORCEMENT: Use #4 rebar with lap splices per ACI 308.2R.
4. JOINTS: Use expansion joints at 12' maximum spacing.
5. FINISH: Use a broom finish.
6. CURB: Use #4 rebar with lap splices per ACI 308.2R.
7. MANHOLE: Use #4 rebar with lap splices per ACI 308.2R.
8. MANHOLE: Use #4 rebar with lap splices per ACI 308.2R.
9. MANHOLE: Use #4 rebar with lap splices per ACI 308.2R.
10. MANHOLE: Use #4 rebar with lap splices per ACI 308.2R.

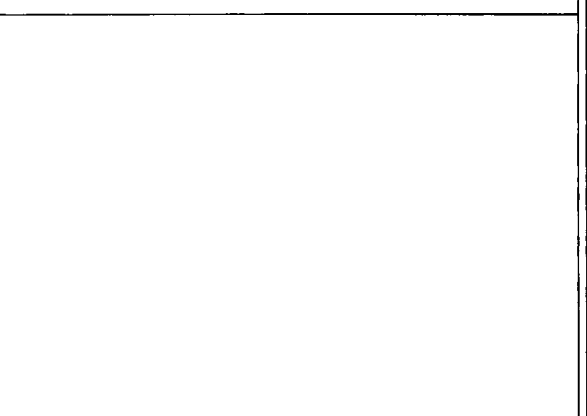
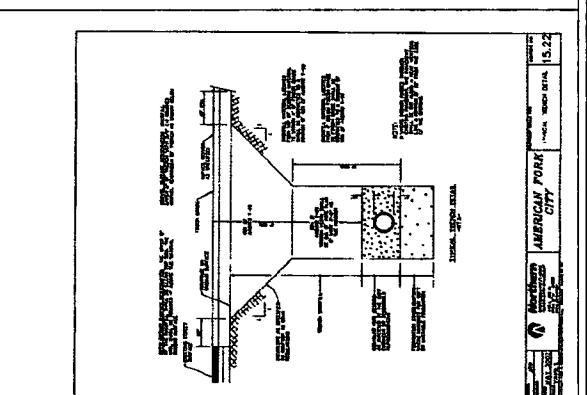
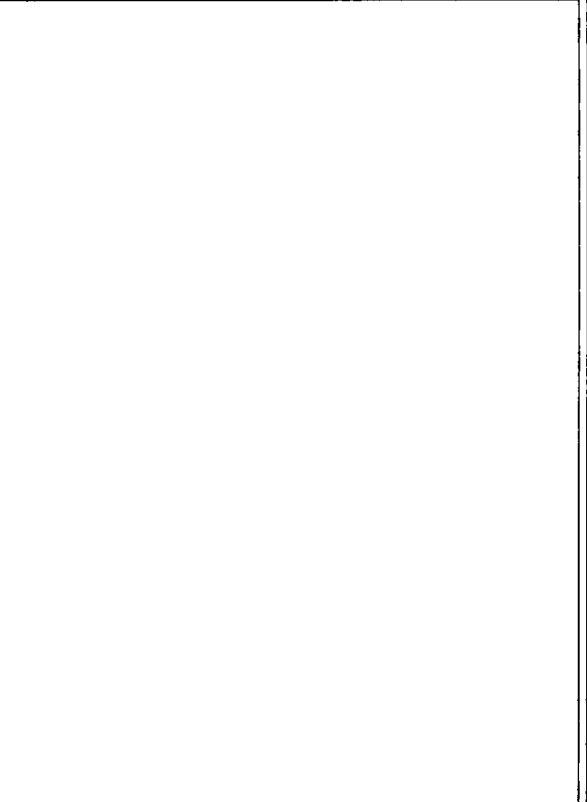
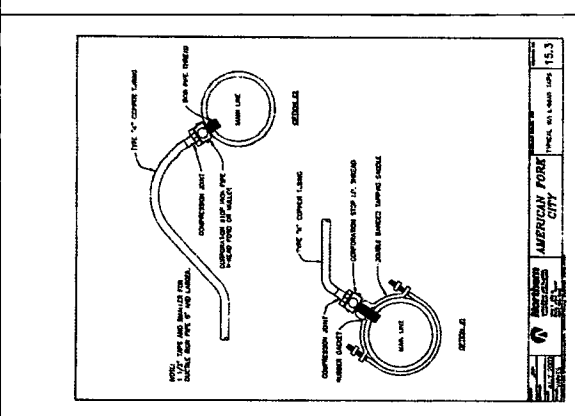
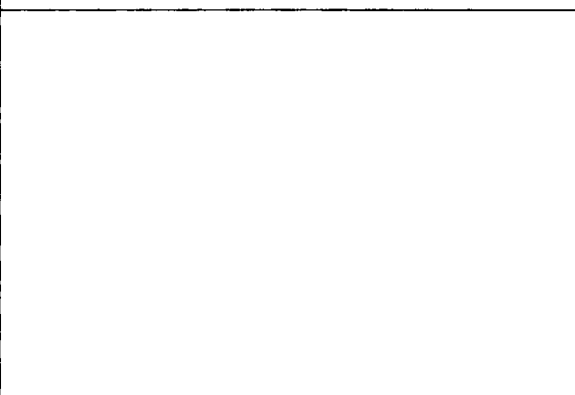
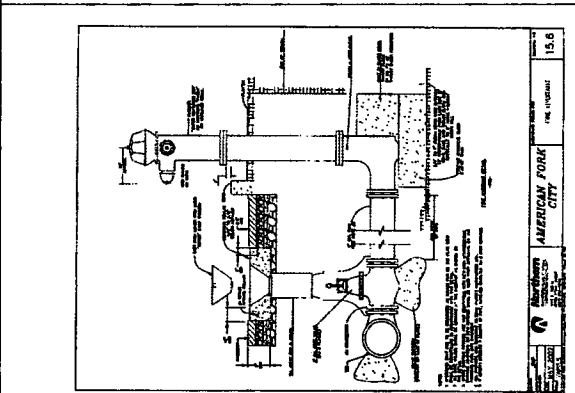
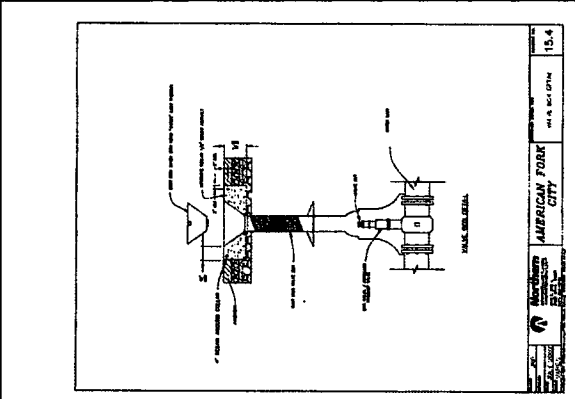
---


**Curb Detail**  
Sheet 244

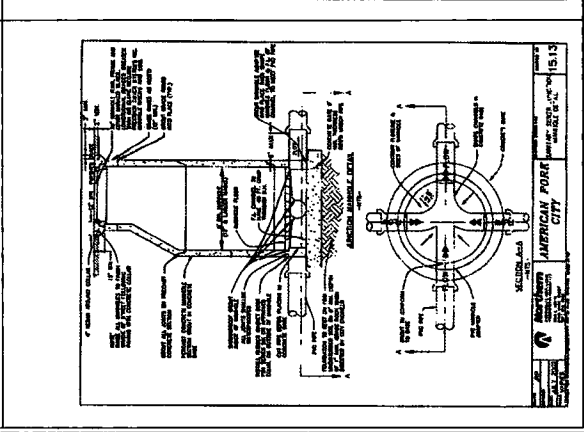
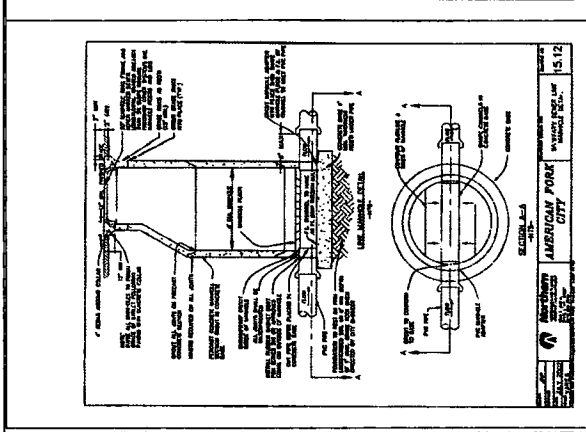
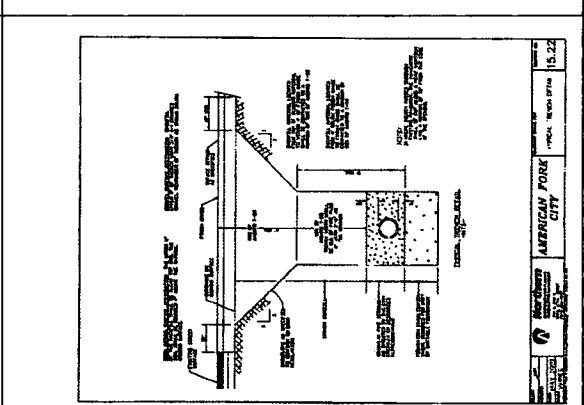
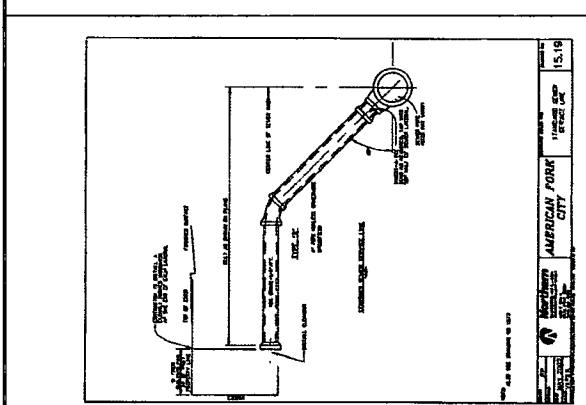
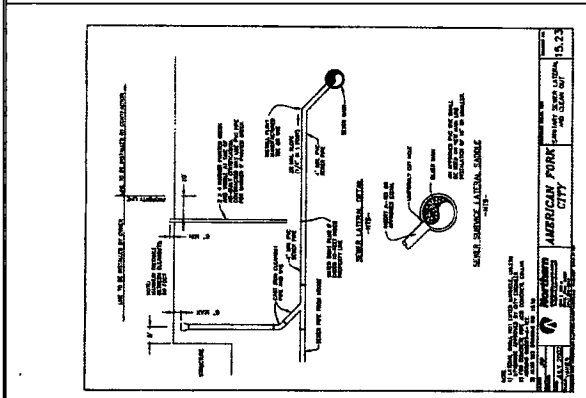
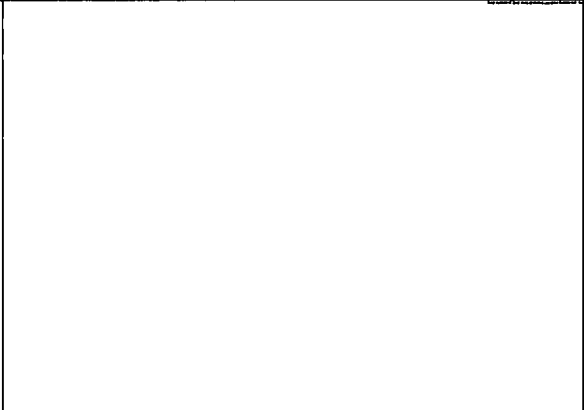
**6" Manhole Detail**  
Sheet 245



<p style="text-align: center;"><b>ARIA RETIREMENT &amp; INVESTMENT SERVICES</b> 1374 S UNION SQUARE IN RIMSTON, UT 84055</p>	<p><b>DIXIE FARMS SUBDIVISION</b> 1000 W 1100 S</p>		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>REVISIONS:</td> <td>SCALE:</td> </tr> <tr> <td>NO. DATE</td> <td>DATE</td> </tr> <tr> <td>1</td> <td>04/20/2020</td> </tr> <tr> <td>2</td> <td></td> </tr> <tr> <td>3</td> <td></td> </tr> <tr> <td>4</td> <td></td> </tr> <tr> <td>5</td> <td></td> </tr> <tr> <td>6</td> <td></td> </tr> <tr> <td>7</td> <td></td> </tr> <tr> <td>8</td> <td></td> </tr> <tr> <td>9</td> <td></td> </tr> <tr> <td>10</td> <td></td> </tr> <tr> <td colspan="2">ACTION:</td> </tr> <tr> <td>FINAL</td> <td>PROJECT:</td> </tr> <tr> <td colspan="2" style="text-align: center;"> <p><b>DIXIE FARMS SUBDIVISION</b></p> </td> </tr> <tr> <td colspan="2" style="text-align: center;"> <p>FINAL CONSTRUCTION PLANS</p> </td> </tr> <tr> <td colspan="2">SHEET NAME: WATER DETAILS</td> </tr> <tr> <td colspan="2">SHEET NUMBER: <b>D2</b></td> </tr> </table>	REVISIONS:	SCALE:	NO. DATE	DATE	1	04/20/2020	2		3		4		5		6		7		8		9		10		ACTION:		FINAL	PROJECT:	<p><b>DIXIE FARMS SUBDIVISION</b></p>		<p>FINAL CONSTRUCTION PLANS</p>		SHEET NAME: WATER DETAILS		SHEET NUMBER: <b>D2</b>	
REVISIONS:	SCALE:																																						
NO. DATE	DATE																																						
1	04/20/2020																																						
2																																							
3																																							
4																																							
5																																							
6																																							
7																																							
8																																							
9																																							
10																																							
ACTION:																																							
FINAL	PROJECT:																																						
<p><b>DIXIE FARMS SUBDIVISION</b></p>																																							
<p>FINAL CONSTRUCTION PLANS</p>																																							
SHEET NAME: WATER DETAILS																																							
SHEET NUMBER: <b>D2</b>																																							

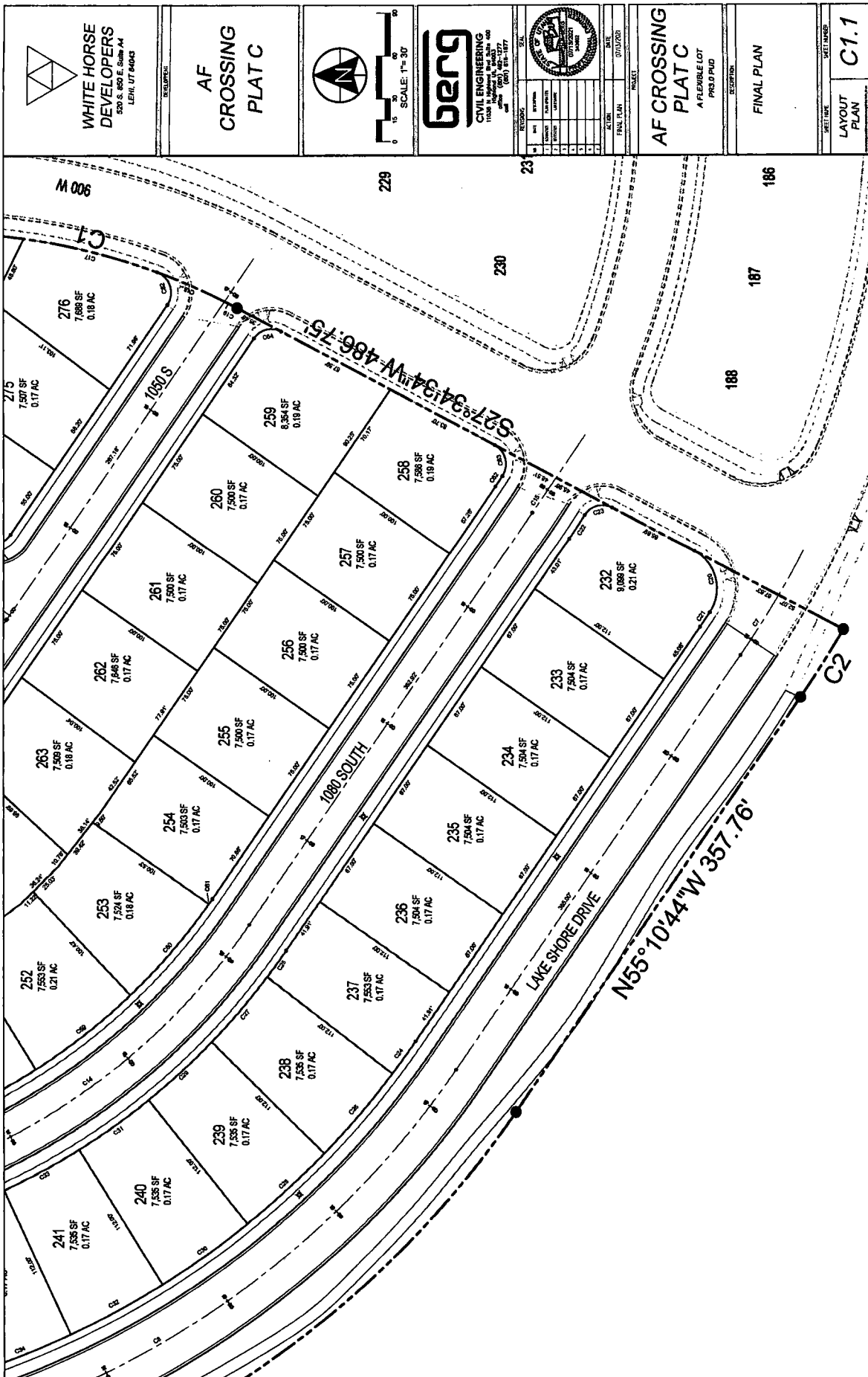


<p style="text-align: center;"><b>ARIA RETIREMENT &amp; INVESTMENT SERVICES</b> 1974 S LINDA MARIELA EVERTON, UT 84605</p>	<p style="text-align: center;"><b>DIXIE FARMS SUBDIVISION</b> 1000 W 1100 S</p>		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">SEAL</td> <td style="text-align: center;">DATE</td> <td style="text-align: center;">PROJECT</td> </tr> <tr> <td style="text-align: center;">[Stamp]</td> <td style="text-align: center;">04/20/2020</td> <td style="text-align: center;">DIXIE FARMS SUBDIVISION</td> </tr> </table>	SEAL	DATE	PROJECT	[Stamp]	04/20/2020	DIXIE FARMS SUBDIVISION
SEAL	DATE	PROJECT							
[Stamp]	04/20/2020	DIXIE FARMS SUBDIVISION							
FINAL CONSTRUCTION PLANS		SEWER & STORM DRAIN DETAILS							
		SHEET NUMBER <b>D3</b>							









**WHITE HORSE DEVELOPERS**  
 520 S. 650 E. Suite A4  
 LEHI, UT 84043

**AF CROSSING PLAT C**



SCALE: 1" = 30'

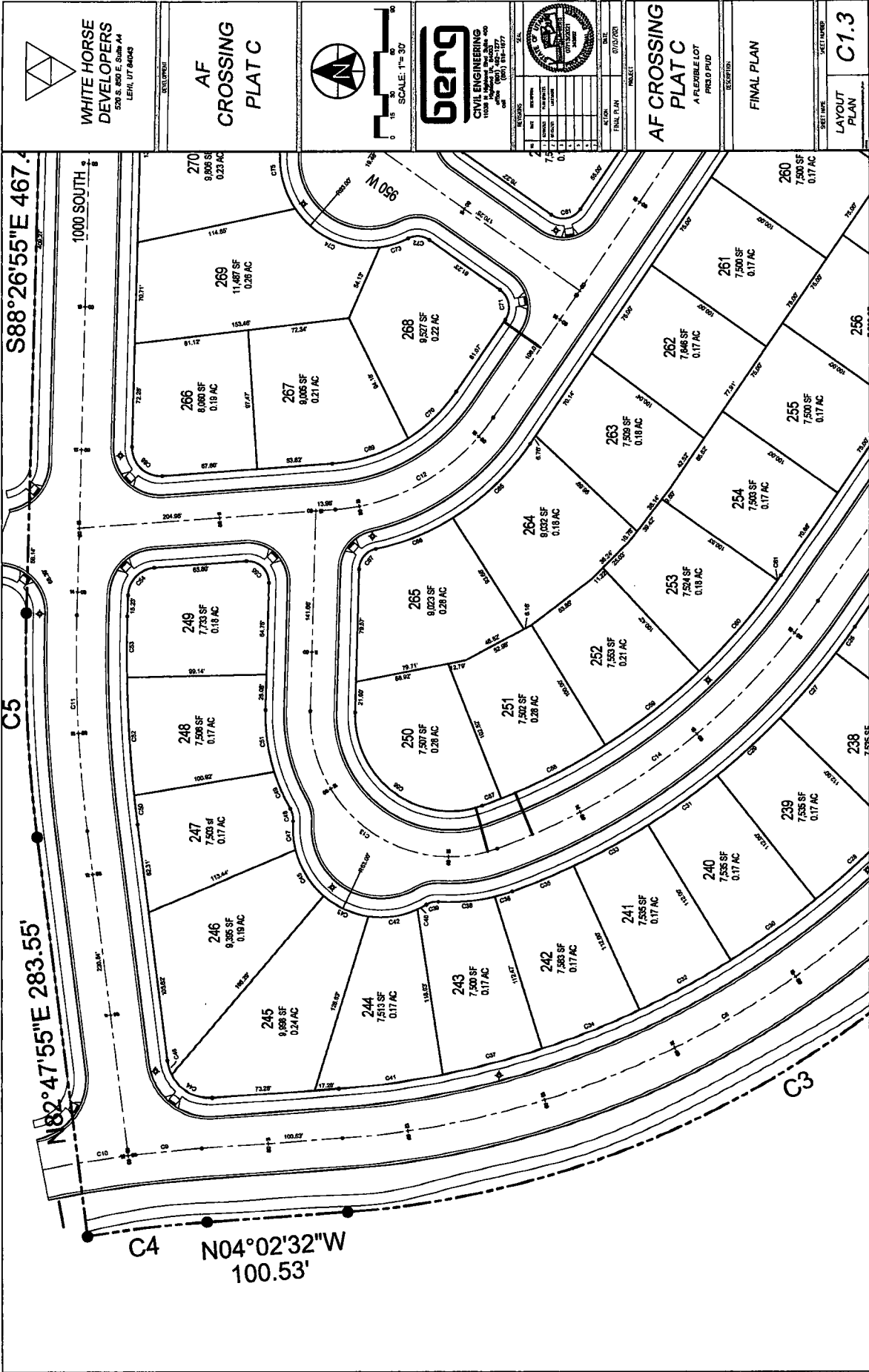
**BENG**  
**CIVIL ENGINEERING**  
 11528 N. Millcreek Blvd. Suite 400  
 SALT LAKE CITY, UT 84117  
 (801) 487-1777

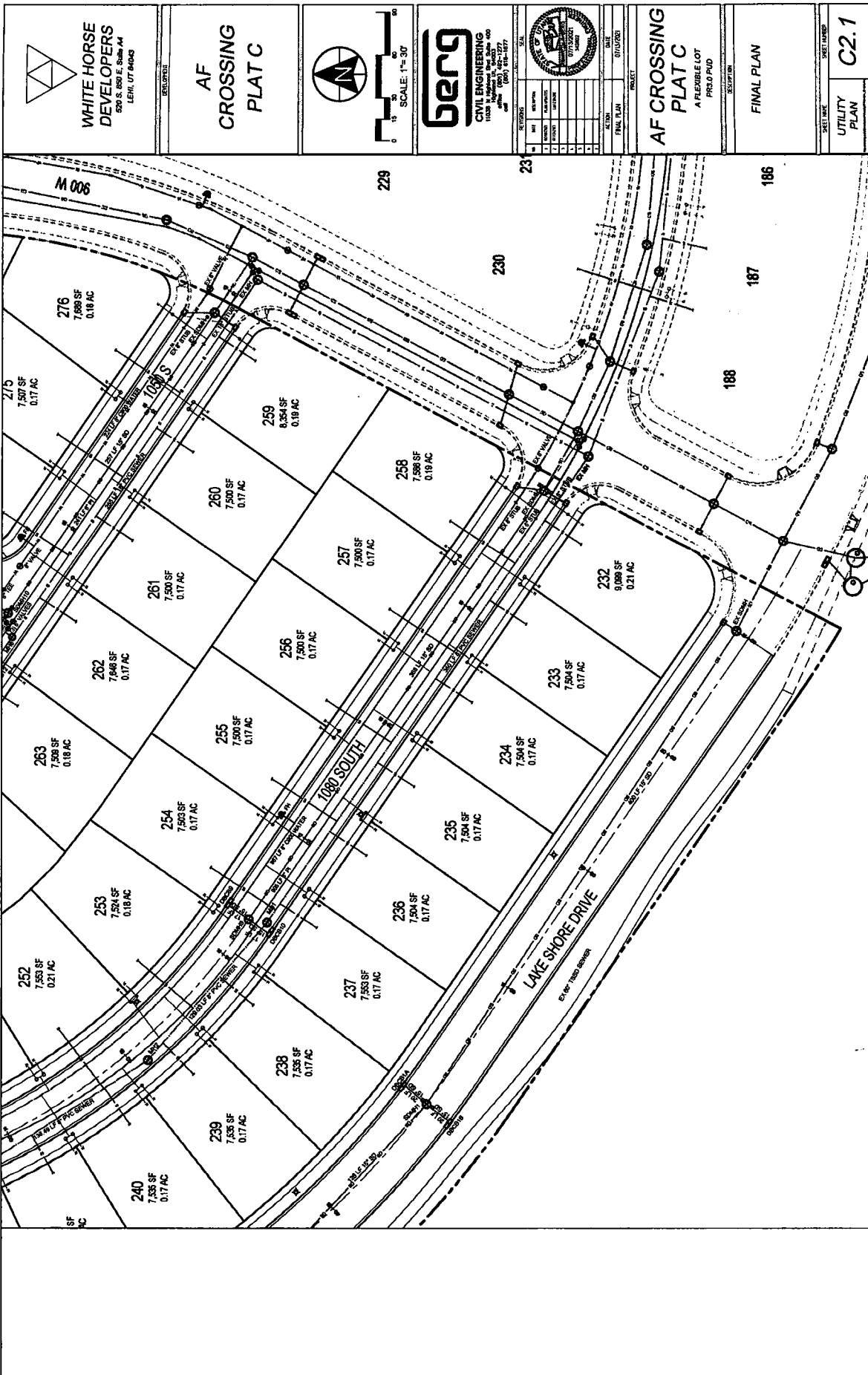
NO.	DATE	BY	DESCRIPTION
1	07/10/20		FINAL PLAN

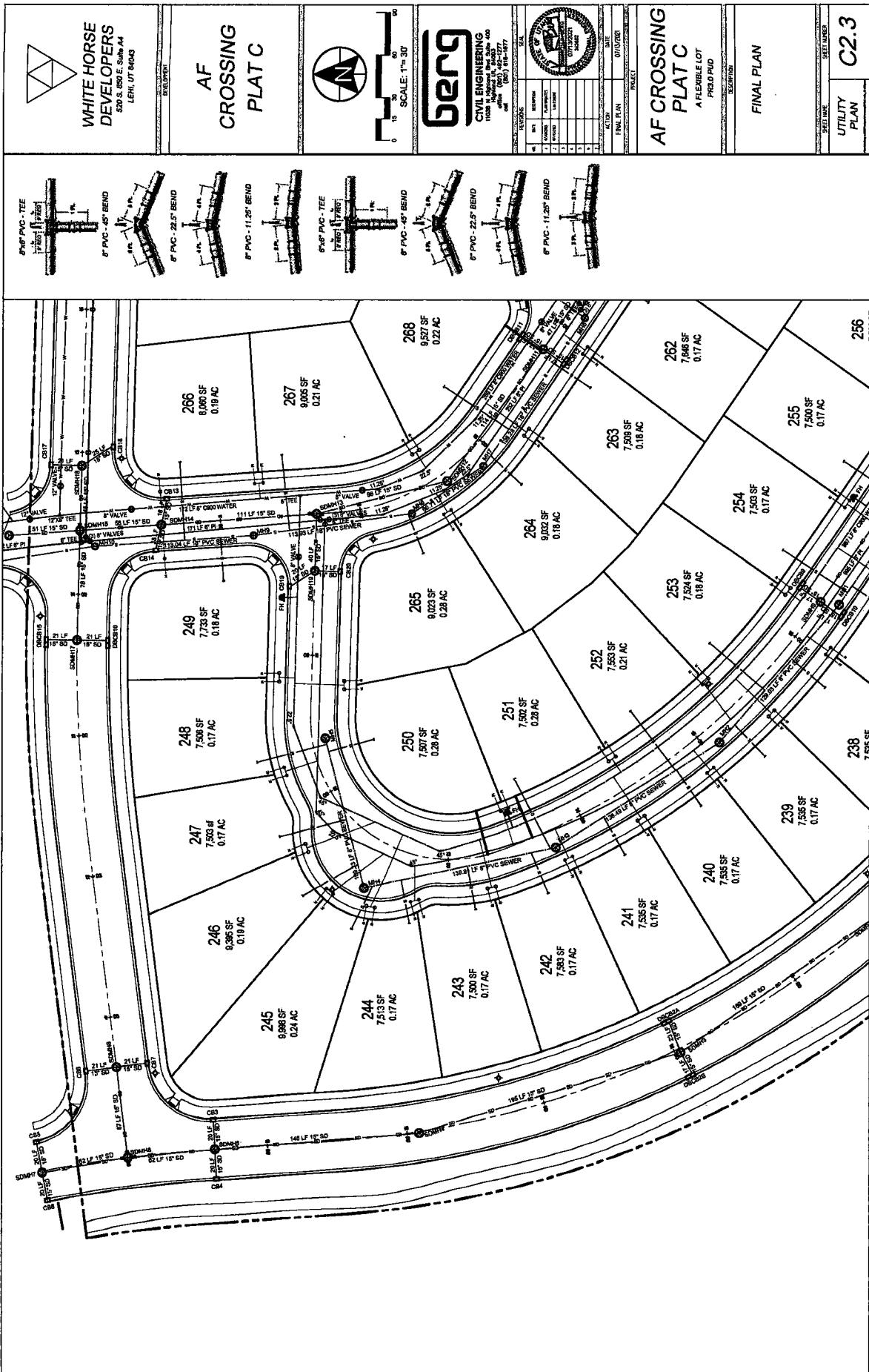
**AF CROSSING PLAT C**  
 A FLEXIBLE LOT PUD

**FINAL PLAN**

SHEET NUMBER  
**C1.1**







**WHITE HORSE DEVELOPERS**  
 520 S. 650 E. Suite A4  
 LEHI, UT 84043

**AF CROSSING PLAT C**



SCALE: 1" = 30'

**BENG**  
 CIVIL ENGINEERING  
 11000 N. 10000 E. Suite 400  
 SANDY, UT 84070  
 (801) 734-4777  
 www.beng-engineering.com

NO.	DATE	DESCRIPTION	BY	CHKD.
1	01/10/2021	FINAL PLAN		

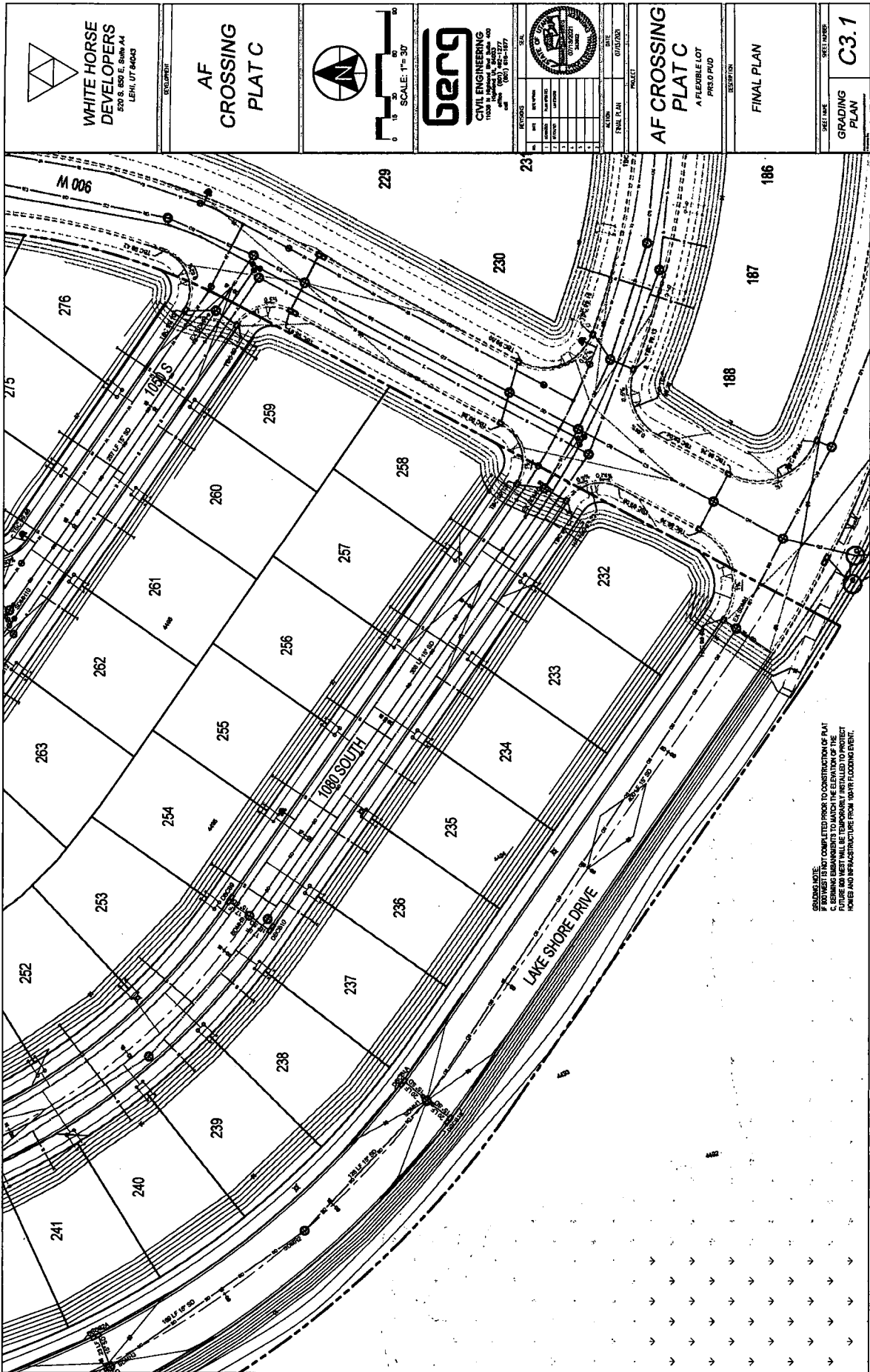
**AF CROSSING PLAT C**

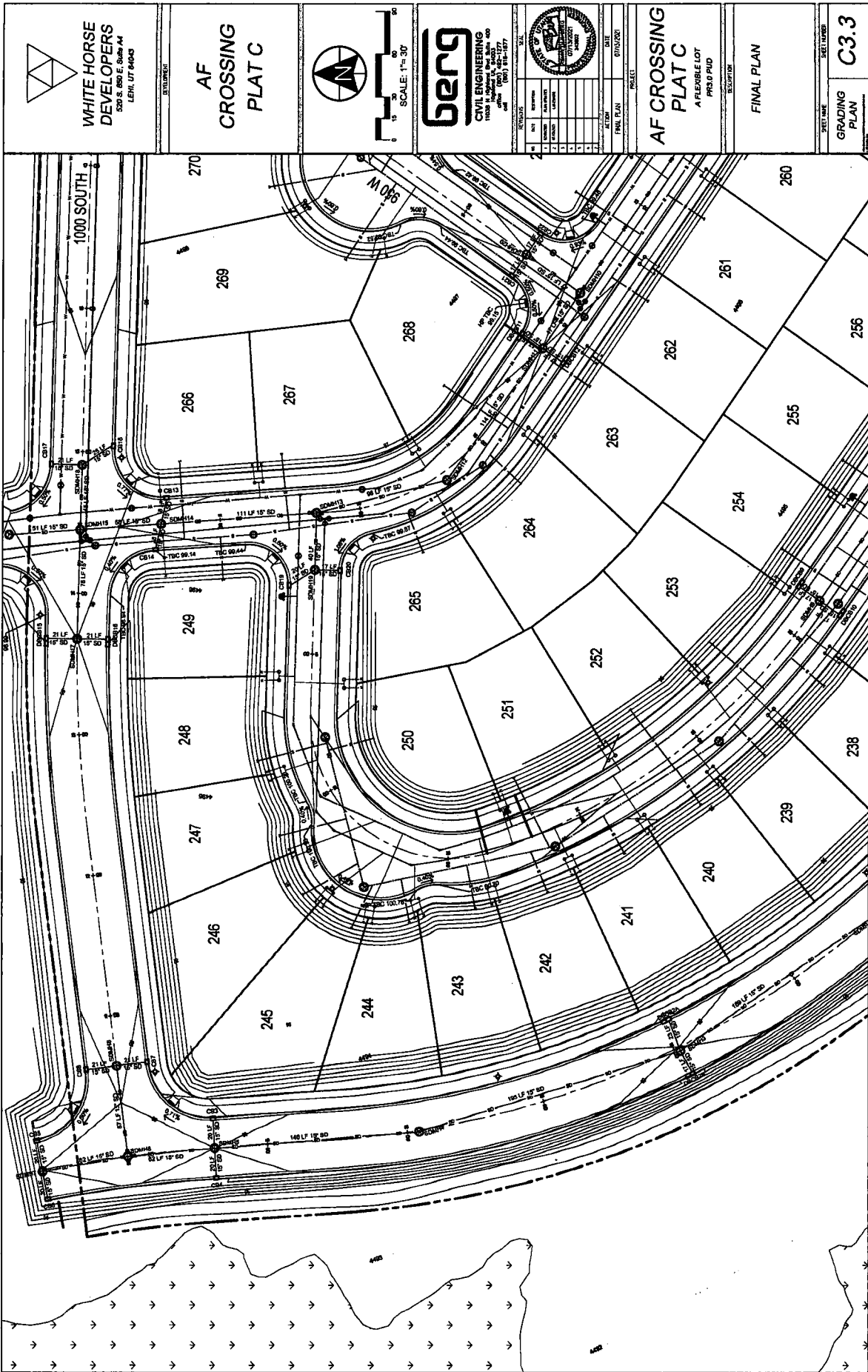
A FLEXIBLE LOT  
 PRELIMINARY

FINAL PLAN

UTILITY PLAN  
 C2.3








  
**WHITE HORSE DEVELOPERS**  
 520 S. 850 E. Suite A4  
 LEHI, UT 84043

**AF CROSSING PLAT C**



SCALE: 1" = 30'  
 0 15 30 45 60





**benq**  
**CIVIL ENGINEERING**  
 1100 S. 1000 E. Suite 400  
 LEHI, UT 84043  
 (801) 734-1177  
 www.benq.com

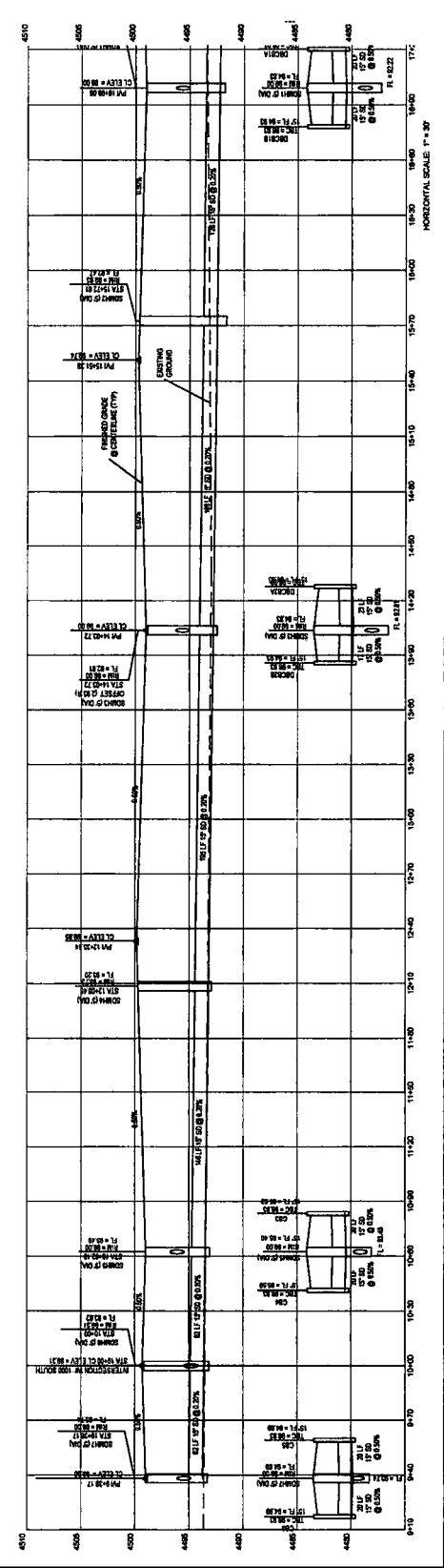
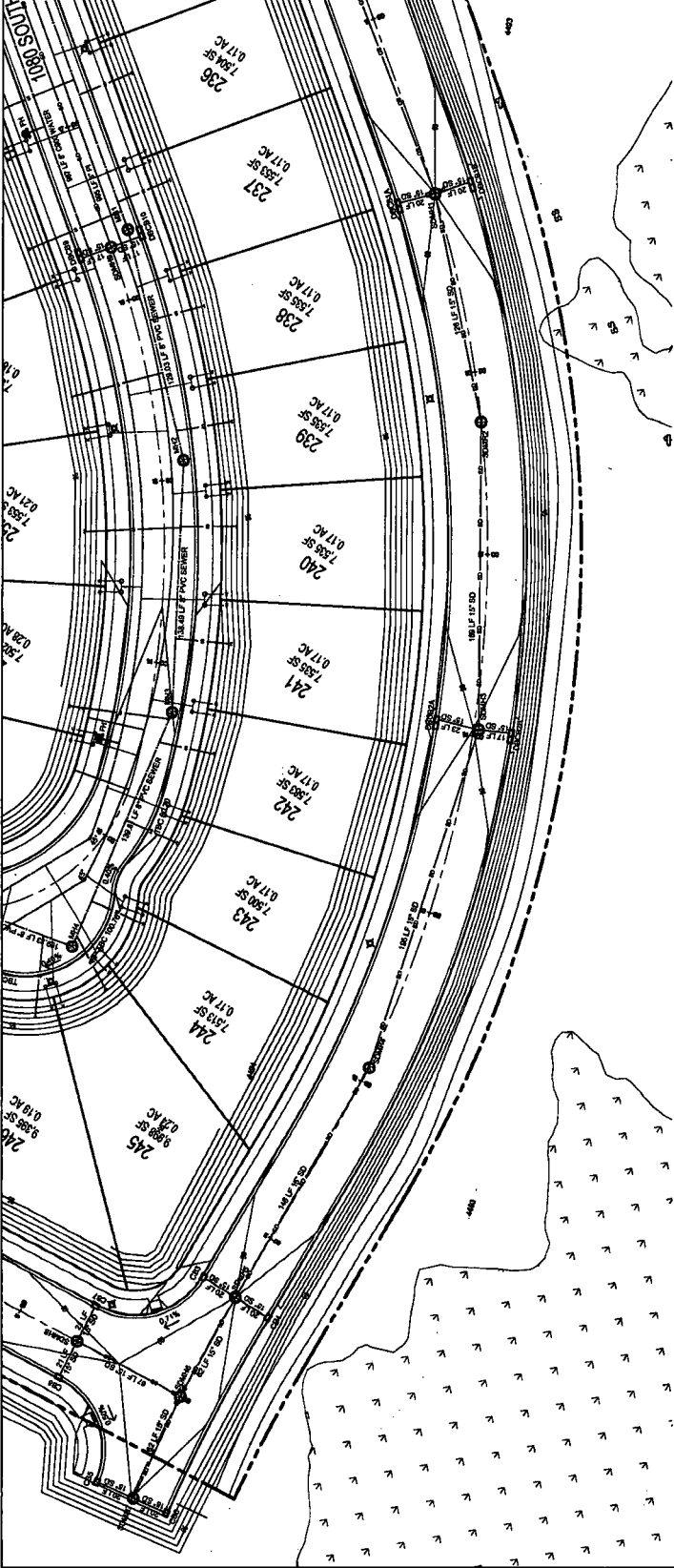
NO.	DATE	REVISIONS	SCALE
1		ISSUED FOR PERMITS	
2		FOR RECORD	
3		FOR RECORD	
4		FOR RECORD	
5		FOR RECORD	
6		FOR RECORD	
7		FOR RECORD	
8		FOR RECORD	
9		FOR RECORD	
10		FOR RECORD	

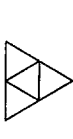
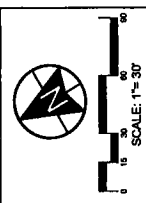

**AF CROSSING PLAT C**  
 A FLEXIBLE LOT  
 PHS/PUD  
 DESCRIPTION

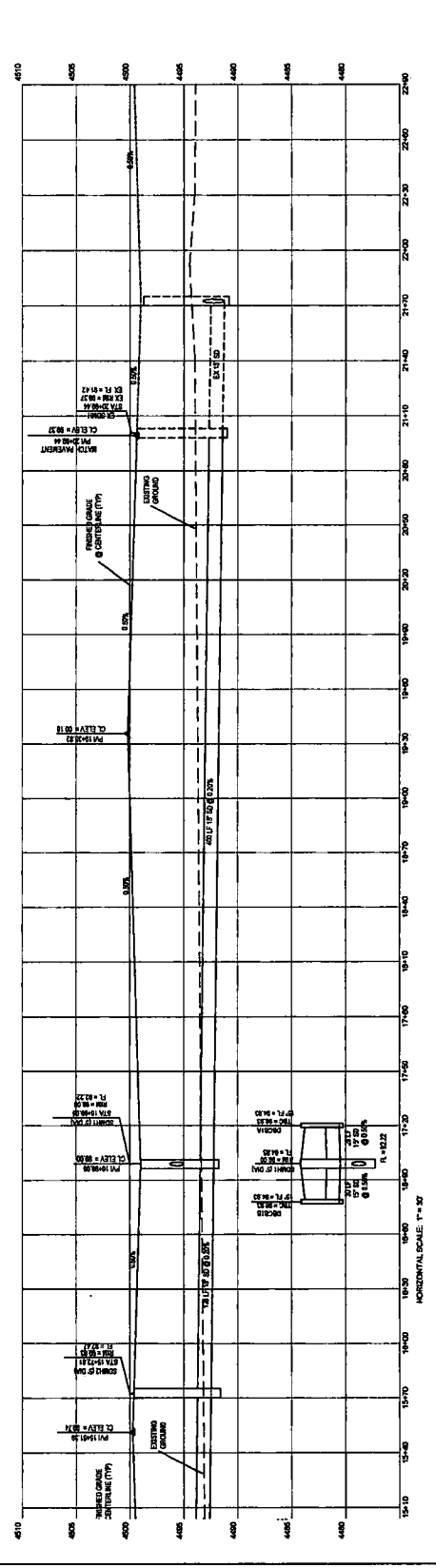
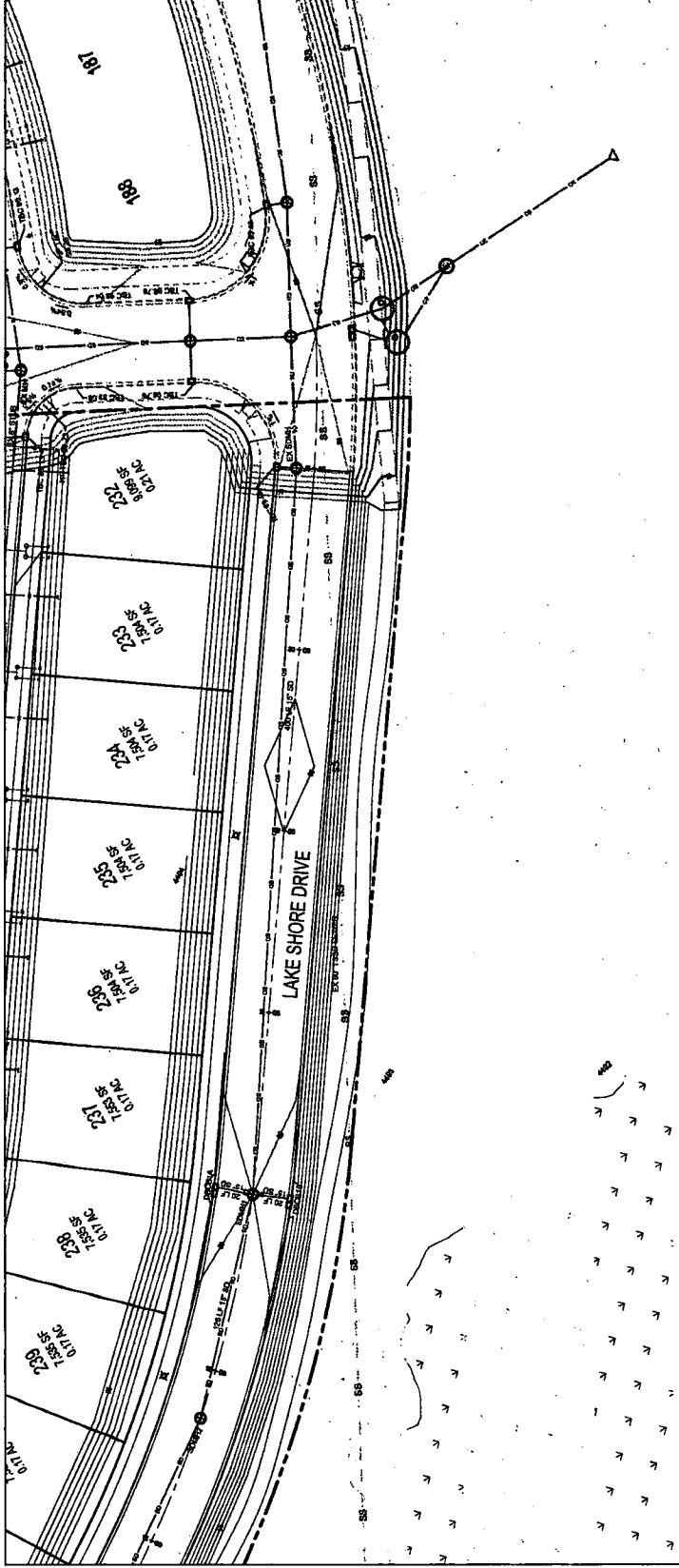
FINAL PLAN

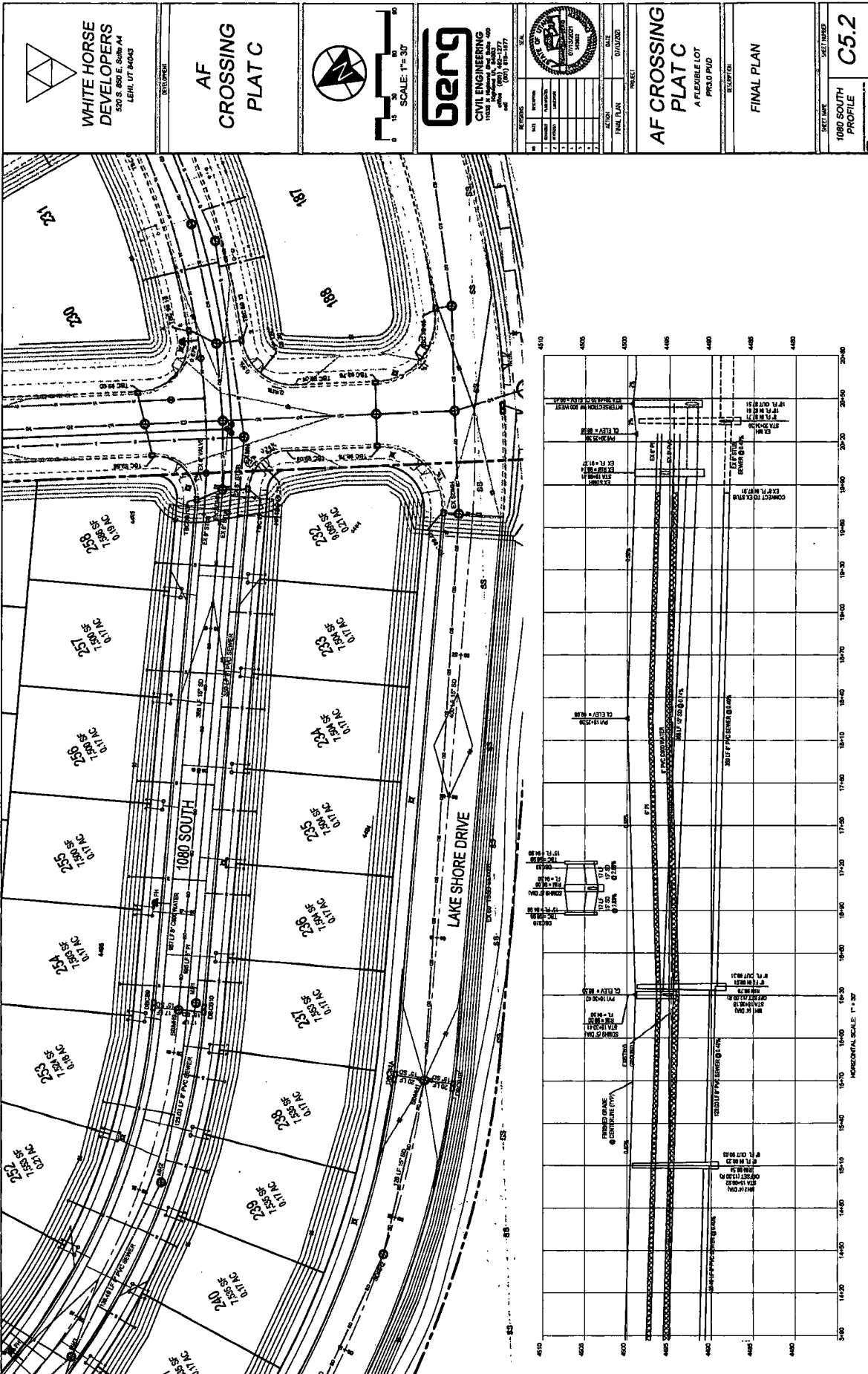
SHEET NAME: SKELTOWER  
 GRADING PLAN  
**C3.3**

 <b>WHITE HORSE DEVELOPERS</b> 527 S. 850 E. Suite A1 LERU, UT 84003	EXHIBIT <b>AF CROSSING PLAT C</b>	 SCALE: 1" = 30' 	 <b>CIVIL ENGINEERING</b> 11028 N. Highway 400, Suite 400 Provo, UT 84601 Phone: (801) 734-1177 Fax: (801) 734-1177	SEAL EXAMINER DATE PROJECT FILE #/AN DATE	<b>AF CROSSING PLAT C</b> A FEASIBLE LOT PROPOSED EXHIBITION FINAL PLAN	SHEET NO. SKETCHED <b>LAKE SHORE DRIVE PROFILE</b> <b>C4.1</b>
--	--------------------------------------	---	---	--	--	--



 <b>WHITE HORSE DEVELOPERS</b> 520 S. 800 E. S. 84-A4 LEHI, UT 84043	<b>AF CROSSING PLAT C</b>	 SCALE: 1" = 30'	 <b>benq</b> CIVIL ENGINEERING 11000 N. Magnesium Way, Suite 400 West Valley City, UT 84143 PH: (801) 451-1777 WWW.BENQ.COM	<table border="1"><tr><th>NO.</th><th>REVISION</th><th>DATE</th></tr><tr><td>1</td><td>ISSUED FOR PERMIT</td><td></td></tr><tr><td>2</td><td>REVISED</td><td></td></tr><tr><td>3</td><td>REVISED</td><td></td></tr><tr><td>4</td><td>REVISED</td><td></td></tr><tr><td>5</td><td>REVISED</td><td></td></tr><tr><td>6</td><td>REVISED</td><td></td></tr><tr><td>7</td><td>REVISED</td><td></td></tr></table>	NO.	REVISION	DATE	1	ISSUED FOR PERMIT		2	REVISED		3	REVISED		4	REVISED		5	REVISED		6	REVISED		7	REVISED		<b>AF CROSSING PLAT C</b> A FLEXIBLE LOT PHOTO PUD SECTION 70A	<b>FINAL PLAN</b>	SKETCH <b>LAKE SHORE DRIVE PROFILE</b> <b>C4.2</b>
NO.	REVISION	DATE																													
1	ISSUED FOR PERMIT																														
2	REVISED																														
3	REVISED																														
4	REVISED																														
5	REVISED																														
6	REVISED																														
7	REVISED																														





**WHITE HORSE DEVELOPERS**  
 520 S. 850 E. Suite A4  
 LEHI, UT 84043

**AF CROSSING PLAT C**



SCALE: 1" = 30'

**GENG**  
 CIVIL ENGINEERING  
 1100 S. 1000 E. Suite 400  
 LEHI, UT 84043  
 (801) 488-2277  
 (801) 488-2277



NO.	REVISION	DATE
1	ISSUED FOR PERMITS	01/14/2021
2	REVISED PER COMMENTS	01/14/2021
3	REVISED PER COMMENTS	01/14/2021
4	REVISED PER COMMENTS	01/14/2021
5	REVISED PER COMMENTS	01/14/2021
6	REVISED PER COMMENTS	01/14/2021
7	REVISED PER COMMENTS	01/14/2021
8	REVISED PER COMMENTS	01/14/2021
9	REVISED PER COMMENTS	01/14/2021
10	REVISED PER COMMENTS	01/14/2021

**AF CROSSING PLAT C**  
 A FLEXIBLE LOT  
 PROPOSED  
 SUBDIVISION

FINAL PLAN

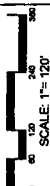
SHEET NUMBER  
**C5.2**  
 1080 SOUTH PROFILE



**WHITE HORSE DEVELOPERS**  
520 S. 650 E. Suite A4  
LEHI, UT 84043

REVISIONS

**AF CROSSING PLAT C**



**BERG CIVIL ENGINEERING**  
11620 N. Mountain View Blvd. Ste. 400  
SANDY, UT 84070  
(801) 488-1577  
www.bergce.com

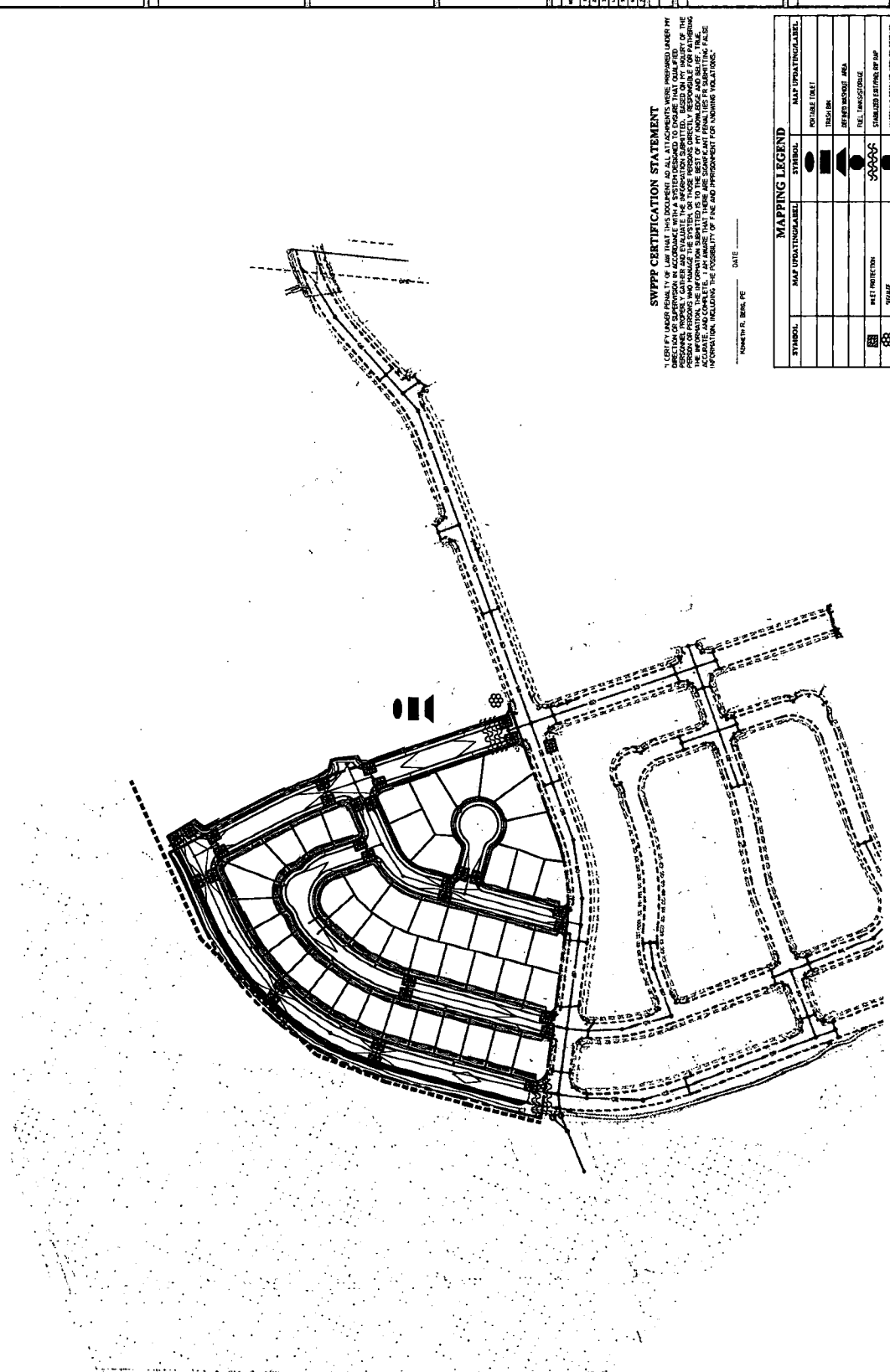
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	07/14/2021
2	FOR REVIEW	
3	FOR REVIEW	
4	FOR REVIEW	
5	FOR REVIEW	
6	FOR REVIEW	

ACTION	DATE

**AF CROSSING PLAT C**  
A FLEXIBLE LOT  
PRELIMINARY

**FINAL PLAN**

SWPPP  
C9.1



**SWPPP CERTIFICATION STATEMENT**  
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF UTAH. I HAVE REVIEWED THIS DOCUMENT AND ALL ATTACHMENTS AND I CERTIFY THAT THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION REGARDING THE ACCURACY OF THE DATA AND INFORMATION FOR ENGINEERING DESIGN.

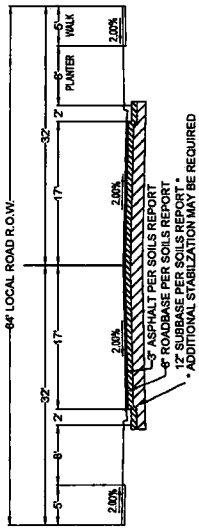
NAME: Mark H. Berg, PE DATE: \_\_\_\_\_

SYMBOL	MAP DESCRIPTION/LABEL	SYMBOL	MAP DESCRIPTION/LABEL
(Symbol)	POSSIBLE TRAIL	(Symbol)	TRAIL BR
(Symbol)	REFRESH MESSAGE AREA	(Symbol)	REF. MESSAGE AREA
(Symbol)	STABILIZED BUFFER OR RIP	(Symbol)	STABILIZED BUFFER OR RIP
(Symbol)	POSTHOLE STORAGE, STABLE STORAGE	(Symbol)	POSTHOLE STORAGE, STABLE STORAGE
(Symbol)	PROJECT EXHIBITION/AREA REVEAL	(Symbol)	PROJECT EXHIBITION/AREA REVEAL
(Symbol)	CONSTRUCTION TRAIL/ADJUTANT	(Symbol)	CONSTRUCTION TRAIL/ADJUTANT

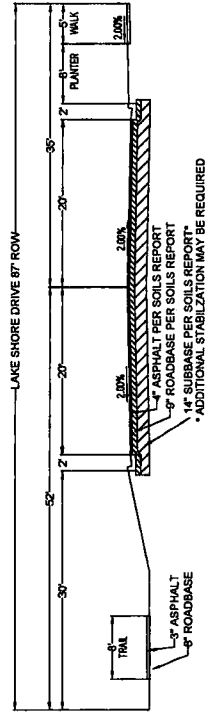
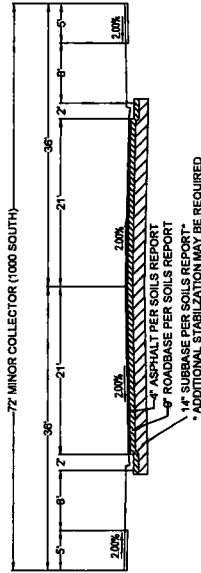


UPGRADE DRIVE APPROACH, FLANKS AND SIDEWALKS AT DRIVEWAYS TO A MINIMUM OF 6" CONCREE

PAVEMENT AS PER UPDATED GEOTECHNICAL REPORT  
 GEOTECHNICAL REPORT PREPARED BY CMT



CROSS SECTION NOTE:  
 PREVIOUSLY APPROVED PLATS OF THE DIXIE FARMS SUBDIVISION USE THE CROSS SECTION SHOWN, TO KEEP CONSISTENCY IT HAS BEEN USED FOR THIS PLAT AS WELL. THE CURRENT CITY CROSS SECTION IS 62' ROW. NO REIMBURSEMENT IS ALLOWED FOR THE ADDITIONAL WIDTH.



NOTE:  
 IF ROTTING / PUMPING OCCURS DURING CONSTRUCTION, CONTACT THE CITY ENGINEER AND HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN MITIGATION RECOMMENDATIONS.

**WHITE HORSE DEVELOPERS**  
 500 S. 860 E. Suite A4  
 ENH, UT 84003

**AF CROSSING PLAT C**

**berg**  
 CIVIL ENGINEERING  
 1100 S. 1000 E. Suite 200  
 Salt Lake City, UT 84143  
 Phone: (801) 961-1177  
 Fax: (801) 961-1177

NO.	DATE	DESCRIPTION
1	11/11/2021	ISSUED FOR PERMITS
2	11/11/2021	ISSUED FOR PERMITS
3	11/11/2021	ISSUED FOR PERMITS
4	11/11/2021	ISSUED FOR PERMITS

**AF CROSSING PLAT C**  
 A REURABLE LOT  
 PHS OF PCD

FINAL PLAN  
 DESCRIPTION

SHEET NUMBER  
 ROADWAY CROSS SECTIONS  
**D0**



**WHITE HORSE DEVELOPERS**  
520 S. 460 E. Suite A4  
LEHI, UT 84043

REVISIONS

**AF CROSSING PLAT C**

**berg CIVIL ENGINEERING**  
1100 S. 1500 E., Suite 400  
LEHI, UT 84043  
TEL: (801) 434-1377  
FAX: (801) 434-1377

NO.	DATE	REVISION	BY	CHKD.
1		ISSUED FOR PERMITS		
2		REVISED PER COMMENTS		
3		REVISED PER COMMENTS		
4		REVISED PER COMMENTS		
5		REVISED PER COMMENTS		

PROJECT: AF CROSSING PLAT C  
FLEXIBLE LOT PRELIM PLAN  
SHEET NUMBER: D1

**RECTANGULAR ASSEMBLY**

**CIRCULAR ASSEMBLY**

STAIR 1, STAIR 2, STAIR 3, STAIR 4

238

**TURNING SPACE AT SIDEWALK LEVEL**

235

Corner curb and assembly

**CURB AND GUTTER ASSEMBLY**

236

**CURB AND GUTTER ASSEMBLY**

UPSIDE FLARE AND SLOPES TO BE 5" HIGH

237

239

Direct bearing street about

**2" MESH CURB AND GUTTER**

243

**2" MESH CURB AND GUTTER**

244

- CONCRETE: Check notes and drawings per APCA Section 03 30 04. Pour concrete against formwork.
- FORMS: Apply tape wrap to the exterior of all panelwork per APCA 1205.
- REINFORCING: Reinforcement 1" and larger will require special treatment assembly per notes to permit.
- INSTALLATION: After installation of rebar, verify the rebar is set and is within 1/4" of the concrete.
- INSPECTION: Prior to backfilling around curb, access inspection of curb and gutter.
- REVISIONS: Provide and check per APCA Section 03 30 05. Contact per APCA Section 03 30 05 for any questions or updates. Revisions to drawings to be made by the contractor.

245

Direct bearing street about

NO.	DATE	REVISION	BY	CHKD.
1		ISSUED FOR PERMITS		
2		REVISED PER COMMENTS		
3		REVISED PER COMMENTS		
4		REVISED PER COMMENTS		
5		REVISED PER COMMENTS		



**WHITE HORSE  
DEVELOPERS**  
250 S. 180 E. Suite 104  
LEHI, UT 84043

DESCRIPTION

**AF  
CROSSING  
PLAT C**



**BENG**  
CIVIL ENGINEERING  
1100 N. 1000 E., Suite 200  
LEHI, UT 84043  
PHONE (801) 945-1577  
FAX (801) 945-1577

NO.	DATE	BY	REVISION
1			ISSUED FOR PERMITS
2			REVISED PER COMMENTS
3			REVISED PER COMMENTS
4			REVISED PER COMMENTS
5			REVISED PER COMMENTS
6			REVISED PER COMMENTS
7			REVISED PER COMMENTS
8			REVISED PER COMMENTS
9			REVISED PER COMMENTS
10			REVISED PER COMMENTS

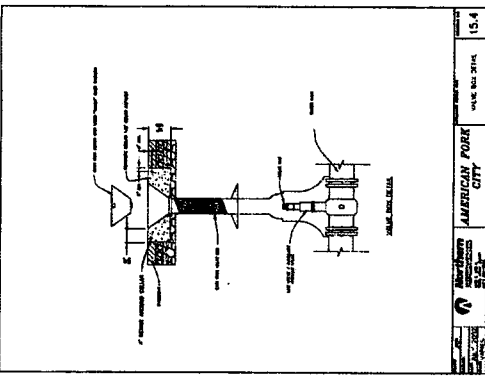
DATE: 07/10/2021  
PROJECT: AF CROSSING PLAT C  
SHEET NO.: 90 OF 92

**AF CROSSING  
PLAT C**  
A FLEXIBLE LOT  
PRELIMINARY

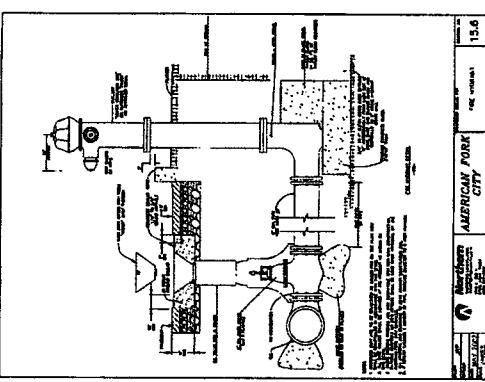
DESCRIPTION

**FINAL PLAN**

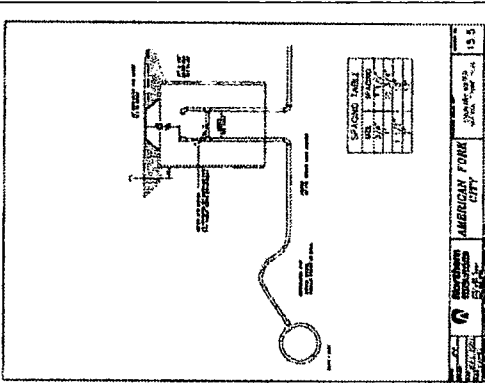
SHEET NUMBER: **D2**



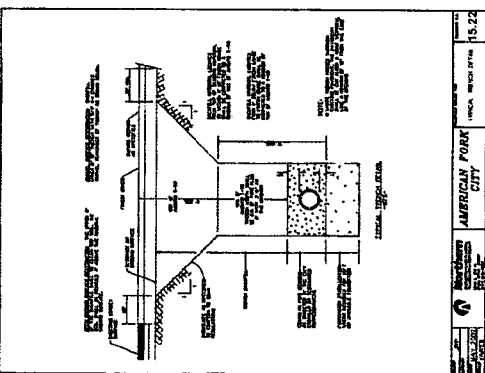
15.4  
AMERICAN FORK CITY  
UTAH, SECTION 2714



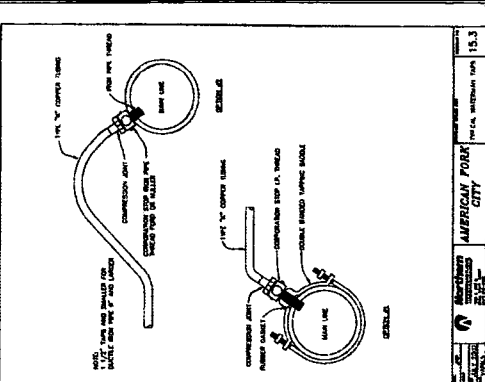
15.6  
AMERICAN FORK CITY  
UTAH, SECTION 2714





15.5  
AMERICAN FORK CITY  
UTAH, SECTION 2714

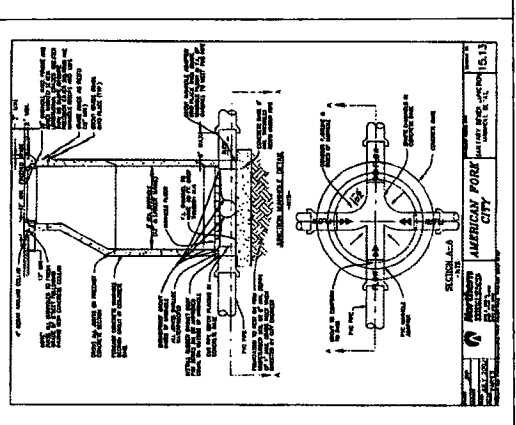
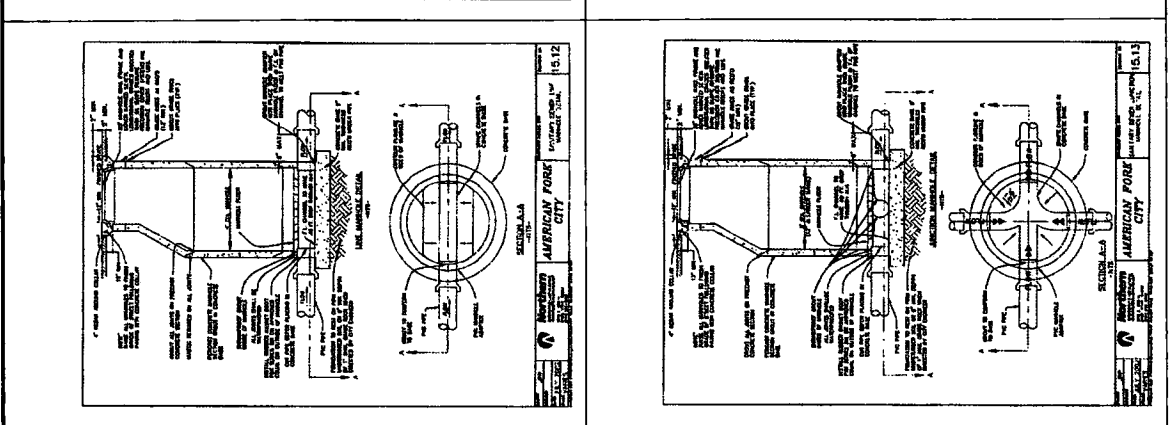
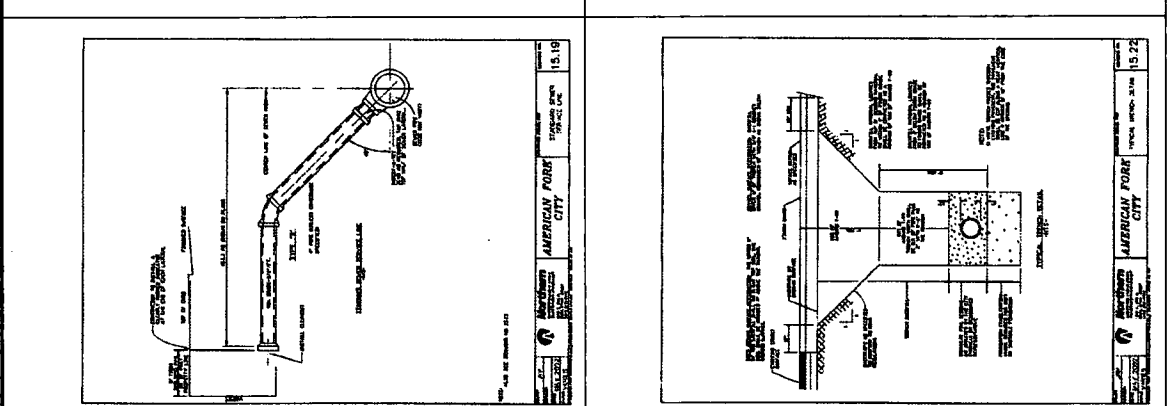
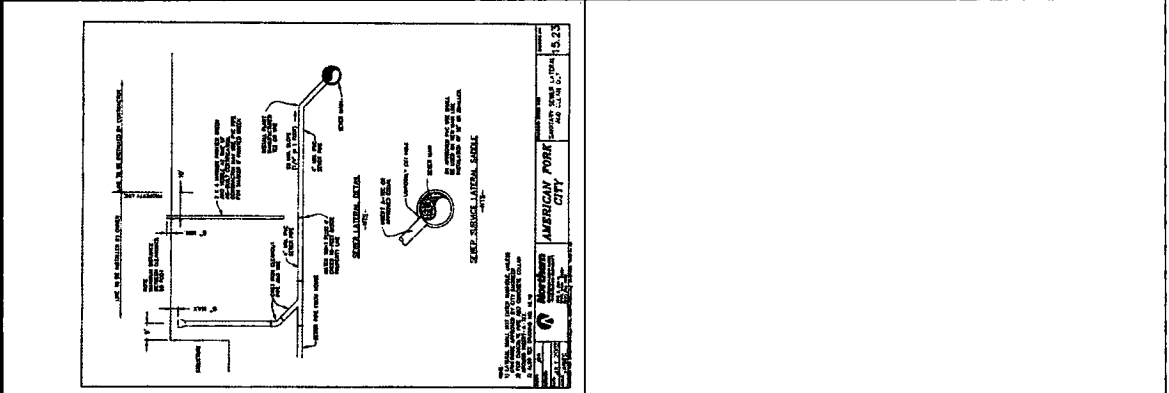
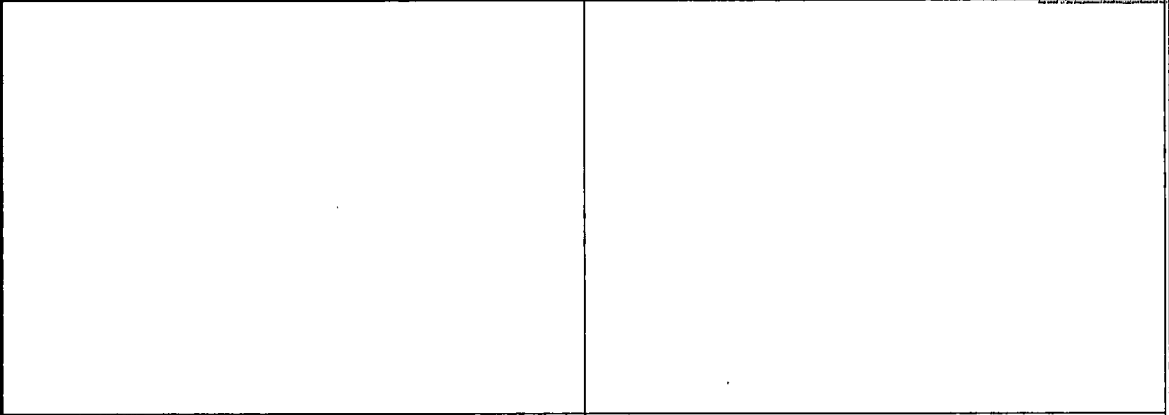


15.22  
AMERICAN FORK CITY  
UTAH, SECTION 2714



15.3  
AMERICAN FORK CITY  
UTAH, SECTION 2714

 <p><b>WHITE HORSE DEVELOPERS</b> 500 S. 650 E. Suite A4 LEHI, UT 84043</p>	<p><b>AF CROSSING PLAT C</b></p>	 <p><b>CIVIL ENGINEERING</b> 11500 N. 19000 E. Suite 100 SANDY, UT 84071 PHONE (801) 965-1577 FAX (801) 965-1577</p>	<p>DATE: 01/10/2021 PROJECT: AF CROSSING PLAT C SHEET NUMBER: D3</p>	<p>PROJECT: AF CROSSING PLAT C SUBJECT: A PEASBLE LOT SECTION: FINAL PLAN</p>	<p>PROJECT: AF CROSSING PLAT C SUBJECT: A PEASBLE LOT SECTION: FINAL PLAN</p>
--	----------------------------------	---	--	---	---





**WHITE HORSE  
DEVELOPERS**  
500 S. MOYLE, SUITE 104  
LEHI, UT 84043

**AF  
CROSSING  
PLAT C**



**BERG CIVIL ENGINEERING**  
11629 N. HARRIS, SUITE 200  
SALT LAKE CITY, UT 84123  
PHONE: (801) 487-1277  
FAX: (801) 487-1277

REVISIONS		DATE
1	ISSUED FOR PERMIT	07/14/2020
2	REVISED FOR COMMENTS	
3	REVISED FOR COMMENTS	
4	REVISED FOR COMMENTS	
5	REVISED FOR COMMENTS	
6	REVISED FOR COMMENTS	
7	REVISED FOR COMMENTS	
8	REVISED FOR COMMENTS	
9	REVISED FOR COMMENTS	
10	REVISED FOR COMMENTS	

**AF CROSSING  
PLAT C**  
A FLEXIBLE LOT  
PROJECT NO. P183.0 PUD

**FINAL PLAN**

DATE	BY	REVISION
		13.33
		13.33

