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2/13/2019 11:08:00 AM \$16.00
Book - 10752 Pg - 5000-5002
RASHELLE HOBBS
Recorder, Salt Lake County, UT
NATIONAL TITLE AGCY OF UT INC
BY: eCASH, DEPUTY - EF 3 P.

RECORDING REQUESTED BY AND
AFTER RECORDING RETURN TO:

CR Timbergate Communities, LLC
c/o ColRich
444 West Beach Street, Suite 300
San Diego, California 92101

APN: 26-26-226-004-0000

(Space above for recorder's use only)

SPECIAL WARRANTY DEED

MILLER TIMBERGATE APARTMENTS, LLC, a Utah limited liability company ("Grantor"), of Salt Lake County, State of Utah, does hereby convey and warrant only as against all claiming by, through, or under it to **CR TIMBERGATE COMMUNITIES, LLC**, a Delaware limited liability company as to an undivided fifty two and 50/100th percent (52.5%) interest, and **TIMBERGATE LINDA VISTA, LLC**, a Delaware limited liability company as to an undivided forty seven and 50/100th percent (47.5%) interest (collectively, "Grantee"), for the sum of Ten Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, all of Grantor's right, title and interest in and to that certain parcel of land located in Salt Lake County, Utah, more particularly described in **Exhibit A** attached hereto (the "Real Property").

TOGETHER WITH all structures, improvements, rights of way, easements, tenements, and hereditaments on or appurtenances to the Real Property.

SUBJECT TO (i) all covenants, conditions, restrictions, and other matters of record in the office of the County Recorder of Salt Lake County, Utah, (ii) all unpaid taxes and assessments that are not yet due and payable, and (iii) all matters that would be reflected on an accurate ALTA survey of the Real Property and/or ascertained by an inspection of the Real Property.

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ALTA 18-321AWB

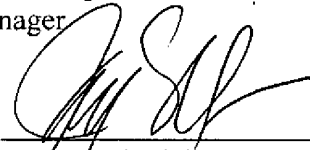
IN WITNESS WHEREOF, this Deed has been executed by Grantor to be effective as of February 13, 2019.

GRANTOR:

MILLER TIMBERGATE APARTMENTS, LLC,
a Utah limited liability company

By: Miller Development Company, Inc.,
a Utah corporation

Its: Manager



By: _____
Name: Jay Minnick
Title: Chief Executive Officer

STATE OF UTAH §
 §
COUNTY OF SALT LAKE §

On February 11, 2019, before me, the undersigned, a notary public in and for said State, personally appeared Jay Minnick, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that, by his/her/their signature(s) on the instrument, the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

, Notary Public

My Commission Expires:
March 24, 2022

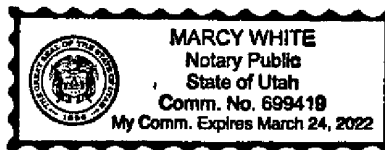


Exhibit A
to Special Warranty Deed

PARCEL 1:

Lot 102, 2 CREEK SUBDIVISION PLAT AMENDED AND EXTENDED, according to the official plat thereof recorded October 15, 2010 as Entry No. 11053661 in Book 2010P at Page 163 in the Salt Lake County Recorder's Office.

PARCEL 2:

Appurtenant Easements and the rights contained therein as granted by and through that certain STORM DRAIN EASEMENT dated December 18, 2008 and recorded December 19, 2008 as Entry No. 10582529 in Book 9666 at Page 5209 of Official Records, and being more particularly described as follows:

A non-exclusive easement for the discharge of storm waters through a storm water outfall line under the following real property:

Beginning at a point North 89°59'00" West 274.60 feet along the Section line and South 00°23'30" West 915.71 feet from the Northeast corner of Section 26, Township 3 South, Range 2 West, Salt Lake Base and Meridian; and running thence South 89°36'30" East 730.77 feet; thence South 00°23'30" West 20.00 feet; thence North 89°36'30" West 730.77 feet; thence North 00°23'30" East 20.00 feet to the point of beginning.

Also, beginning at a point South 89°53'31" East 331.48 feet along the Section line and South 939.17 feet from the Northeast corner of Section 26, Township 3 South, Range 2 West, Salt Lake Base and Meridian; and running thence South 89°36'30" East 30.00 feet; thence South 58.81 feet; thence North 78°21'35" West 30.63 feet; thence North 52.83 feet to the point of beginning.

Said property is also known by the street address of:
5537 West 11800 South, Herriman, Utah 84096