



W2702153

E# 2702153 PG 1 OF 157
ERNEST D ROWLEY, WEBER COUNTY RECORDER
11-SEP-14 2:14 PM FEE \$390.00 DEP TDY
REC FOR: OGDEN 20TH STREET INV LLC

WHEN RECORDED, RETURN TO:

MIXED USE ZONE
MASTER DEVELOPMENT AGREEMENT
FOR THE
OGDEN BEND MASTER PLANNED COMMUNITY

DATED:
September 9, 2014

TABLE OF CONTENTS

RECITALS 1

1. Incorporation of Recitals and Exhibits / Definitions 3

 1.1 Incorporation 3

 1.2 Definitions..... 3

2 Effect of this MUMDA 15

3 Development of the Project..... 15

4 Development of the Property in Compliance with the Master Plan 16

 4.1 Project Density 16

 4.2 Parcels Intended Uses and Densities 16

 4.3 Use of Density 16

 4.4 Accounting for Density for Parcels Developed by Master Developer..... 16

 4.5 Accounting for Density for Parcels Sold to Subdevelopers 17

 4.6 Parcel Sales 17

5 Zoning and Vested Rights..... 18

 5.1 Current Zoning 18

 5.2 Vested Rights Granted by Approval of this MUMDA 18

6. Approval Processes for Development Applications..... 20

 6.1. Phasing..... 20

 6.2. Processing Under City’s Existing Laws..... 21

 6.3. City’s Cooperation in Processing Development Applications 21

 6.4. Outsourcing of Certain Reviews 21

 6.5. Selection of City Consultants for Review of Certifications Required for Development Applications 22

 6.6. Non-City Agency Reviews 22

 6.7. Acceptance of Certifications Required for Development Applications 23

 6.8. Architectural Review 23

 6.9. Landscaping Review 24

 6.10. Independent Technical Analyses for Development Applications 25

 6.11. City Denial of a Development Application 25

 6.12. Meet and Confer regarding Development Application Denials..... 26

6.13.	[Intentionally Omitted]	26
6.14.	City Denials of Development Applications Based on Denials from Non-City Agencies	26
6.15.	Mediation of Development Application Denials.....	26
7.	Legislative Authority	27
8.	Application Under City's Future Laws	27
9.	Open Space and Trails Requirements	28
9.1.	Public Open Spaces	28
9.2.	Creation of Open Space, Local Parks and/or Trails	29
9.3.	Dedication of Open Space or Publicly Owned Trails	30
9.4.	Establishment of Local Parks or Privately Owned Trails.....	30
9.5.	Relationship Between Development and Construction of Open Space, Local Parks and Trails 30	
9.6.	Maintenance of Open Space, Local Parks and Trails	31
9.7.	Tax Benefits.....	31
10.	Public Improvements	32
10.1.	Utilities and On-Site Infrastructure	32
10.2.	Conveyance of Infrastructure to City	32
10.3.	Provisions Regarding Park Boulevard	33
10.4.	Construction Prior to Completion of Infrastructure	33
10.5.	General Requirement of Payment of Fees.....	34
10.6.	"Upsizing"	34
11.	Construction Standards and Requirements	35
11.1.	Separate Security for Landscaping.....	35
11.2.	Building Permits	35
11.3.	City and Other Governmental Agency Permits	36
12.	Provision of Municipal Services	36
13.	Periodic Review	36
14.	Default	37
14.1.	Notice.....	37
14.2.	Contents of the Notice of Default.....	37
14.3.	Meet and Confer, Mediation, Arbitration.....	37

14.4.	Remedies	38
14.5.	Public Meeting	38
14.6.	Emergency Defaults	38
14.7.	Extended Cure Period	39
14.8.	Cumulative Rights	39
15.	Notices	39
15.1.	Effectiveness of Notice	40
16.	Administrative Amendments	40
16.1.	Allowable Administrative Applications	40
16.2.	Application to Administrator	41
17.	Amendment	42
17.1.	Who may Submit Modification Applications	42
17.2.	Modification Application Contents	42
17.3.	City Cooperation in Processing Modification Applications	43
17.4.	Planning Commission Review of Modification Applications	43
17.5.	Mayor Review of Modification Application	43
17.6.	Mayor's Objections to Modification Applications	43
17.7.	Meet and Confer regarding Modification Applications	44
17.8.	Mediation of Mayor's Objections to Modification Applications	44
18.	Estoppel Certificate	44
19.	Entire Agreement	45
20.	Headings	45
21.	No Third Party Rights/No Joint Venture	45
22.	Assignability	45
22.1.	Certain Sales not an Assignment	45
22.2.	Related Party Transfer	46
22.3.	Notice	46
22.4.	Deemed Denied	46
22.5.	Partial Assignment	46
22.6.	Grounds for Denying Assignment	46

22.7.	Assignee Bound by this MUMDA.....	46
23.	<i>Binding Effect.....</i>	47
24.	<i>No Waiver.....</i>	47
25.	<i>Severability.....</i>	47
26.	<i>Force Majeure.....</i>	47
27.	<i>Time is of the Essence.....</i>	48
28.	<i>Appointment of Representatives.....</i>	48
29.	<i>Mutual Drafting.....</i>	48
30.	<i>Applicable Law.....</i>	48
31.	<i>Venue.....</i>	48
32.	<i>Recordation and Running with the Land.....</i>	48
33.	<i>Additional Property.....</i>	49
34.	<i>Authority.....</i>	49
	TABLE OF EXHIBITS.....	53

**MIXED USE ZONE MASTER DEVELOPMENT AGREEMENT
FOR THE
OGDEN BEND MASTER PLANNED COMMUNITY**

THIS MIXED USE ZONE MASTER DEVELOPMENT AGREEMENT is made and entered as of the 9th day of September, 2014, ~~2014~~ by and between Ogden City Corporation, a Utah municipal corporation, and Ogden 20th Street Investors, L.L.C., a Utah limited liability company, and the Ogden City Redevelopment Agency, formerly known as Ogden City Neighborhood Development.

RECITALS

- A. The capitalized terms used in these Recitals are defined in Section 1.2, below.
- B. The City has approved the 2011 Master Plan for the Project which establishes certain minimum development standards, such as neighborhood characteristics, architectural and design standards and areas of open space.
- C. Master Developer, City and Agency desire that the Property be developed in a unified and consistent fashion pursuant to the Master Plan and the Approved Building Use Plan.
- D. City, Master Developer and Agency agree and understand that development of the Property will include the Intended Uses specified in the Master Plan and the Approved Building Use Plan.
- E. Development of the Project as a master planned community pursuant to this MUMDA is acknowledged by the parties to be consistent with the Act, and the Zoning Ordinance and to operate to the benefit of the City, Master Developer, and the general public.
- F. The Agency Board has reviewed this MUMDA and determined that it is consistent with

{

the Act, the Zoning Ordinance and the Master Plan.

G. The parties acknowledge that development of the Property pursuant to this MUMDA will result in significant planning and economic benefits to the City and its residents by, among other things requiring orderly development of the Property as a master planned community and increasing sales tax and other revenues to the City based on improvements to be constructed on the Property.

H. Development of the Property pursuant to this MUMDA will also result in significant benefits to Master Developer by providing assurances to Master Developer that it will have the ability to develop the Property in accordance with this MUMDA.

I. Master Developer and the City have cooperated in the preparation of this MUMDA.

J. Agency owns certain parcels of ground within the Project which, by separate agreement, it intends to convey to Master Developer to be used in the Project and which it desires to be subject to the terms of this MUMDA.

K. The parties desire to enter into this MUMDA to specify the rights and responsibilities of the Master Developer to develop the Property as expressed in this MUMDA and the rights and responsibilities of the City to allow and regulate such development pursuant to the requirements of this MUMDA.

L. The parties understand and intend that this MUMDA is a "development agreement" within the meaning of, and entered into pursuant to the terms of Utah Code Ann. §10-9a-102 (West Supp. 2012).

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City, the Redevelopment Agency and Master Developer hereby agree to the following:

TERMS

1. Incorporation of Recitals and Exhibits / Definitions.

1.1 **Incorporation.** The foregoing Recitals and Exhibits “A” – “M” are hereby incorporated into this MUMDA.

1.2 **Definitions.** As used in this MUMDA, the words and phrases specified below shall have the following meanings:

1.2.1 **Act** means the Municipal Land Use, Development, and Management Act, Utah Code Ann. §§10-9a-101, et seq. (West Supp 2012).

1.2.2 **Administrative Action** means and includes any amendment to the Exhibits to this MUMDA or other action that may be approved by the Administrator as provided in Section 20.

1.2.3 **Administrator** means the person designated by the City as the Administrator of this MUMDA.

1.2.4 **Agency** means the Ogden City Redevelopment Agency.

1.2.5 **Applicant** means a person or entity submitting a Development Application, a Modification Application or a request for an Administrative Action.

1.2.6 **Approved Building Use Plan** means the specific plan for the location and type of building uses for each phase of the project. The Approved Building Use Plan will be adopted in sections as final approval for each phase is given and each section will include the specific building layout, density, and necessary drawings required to comply with the building design standards contained in the Master Plan, under the City's Vested Laws. A copy of the draft Approved Building Use Plan for phase 1 is attached as Exhibit "C-1". The final Approved Building Use Plan for phase 1 and each subsequent phase may be recorded against the land included in such phase as an addendum to this MUMDA.

1.2.7 **Assessment Area** means an area or areas to be created by the City pursuant to Utah Code Ann. § 11-42-101, et seq. (2008), or other applicable State Law, with the approval of Master Developer and other property owners, to fund the construction of some or all of the Backbone Improvements from assessments against the Property or portions of the Property located in such area or areas.

1.2.8 **Backbone Improvements** means those improvements which are, generally, Infrastructure improvements of a comprehensive scale that are a part of the overall development of the Project and not merely a part of the development of any particular Subdivision or Commercial Site Plan. Any necessary Backbone Improvements, even if considered to be in the nature of "System Improvements," will be paid for in their entirety by Developer in exchange for the density and design permitted by this MUMDA.

1.2.9 **Building Permit** means a permit issued by the City to allow construction, erection or structural alteration of any building, structure, private or public infrastructure, On-Site Infrastructure on any portion of the Project, or to construct any Off-Site Infrastructure.

1.2.10 **Buildout** means the completion of all of the development on all of the Project.

1.2.11 **CC&R's** means the Conditions, Covenants and Restrictions regarding certain aspects of design, construction and maintenance on the Property, or individual portions thereof, to be recorded in the chain of title on the land governed thereby.

1.2.12 **City** means Ogden City Corporation, a Utah municipal corporation.

1.2.13 **City Consultants** means those outside consultants employed by the City in various specialized disciplines such as traffic, hydrology or drainage for reviewing certain aspects of the development of the Project.

1.2.14 **City's Future Laws** means the ordinances, policies, standards, procedures and processing fee schedules of the City which may be in effect as of a particular time in the future when a Development Application is submitted for a part of the Project and which may or may not be applicable to the Development Application depending upon the provisions of this MUMDA.

1.2.15 **City's Vested Laws** means the ordinances, policies, standards and procedures of the City related to zoning, subdivisions, development, public improvements and other

similar or related matters that were *in effect* as of the date of this MUMDA, a digital copy of which is attached as Exhibit “D”.

1.2.16 **Commercial Site Plan** means those portions of the project submitted to the City for the approval of the development of a part of the Project which may include multiple buildings that are not intended to be on individual subdivision lots or used exclusively for residential purposes and includes mixed-use, retail/commercial, hotels or live-work units.

1.2.17 **Council** means the elected City Council of the City.

1.2.18 **Default** means a breach of this MUMDA regardless of whether the breach is deemed material or non-material.

1.2.19 **Denied** means a formal denial issued by the final decision-making body of the City for a particular type of Development Application but does not include review comments or “redlines” by City staff.

1.2.20 **Density** means the number of Residential Dwelling Units allowed per acre and which shall not be less than the number required to achieve the Minimum Residential Density for the Project or for the portion of the Land included in a Key Address.

1.2.21 **Development Application** means an application to the City for development of a portion of the Project including a Subdivision, a Commercial Site Plan, a Building Permit or any other permit, certificate or other authorization from the City required for development of the Project. A Development Application may need to include such things as how Master Developer intends to extend water and sanitary sewer services, provide

storm drainage and storm detention facilities, and extend public streets to and through the project and :

- 1.2.21.1 Identify the proposed location and size of all proposed sanitary sewers, water mains, storm sewers and storm detention basins, and their connection to existing facilities, including manholes, fire hydrants, and valves, and identifying the water pressure in existing water mains;
- 1.2.21.2 Identify proposed grades and widths of streets;
- 1.2.21.3 Provide sufficient information to show how proposed mains and lines will be fed by gravity;
- 1.2.21.4 Identify proposed variations from the standards for public improvements adopted under chapter 3 of the Subdivision Regulations; and
- 1.2.21.5 Identify all private streets and any or all portions of water, sanitary sewer, or storm sewer facilities within private streets, which the Master Developer is requesting to be owned and maintained by the City

1.2.22 **Development Report** means a report containing the information specified in Sections 4.4 and/or 4.5 submitted to the City by Master Developer for the development by Master Developer of any Parcel or for the sale of any Parcel to a Subdeveloper or the submittal of a Development Application by a Subdeveloper pursuant to an assignment from Master Developer.

1.2.23 **Final Plat** means the recordable map or other graphical representation of land prepared in accordance with Utah Code Ann. § 10-9a-603, and approved by the City, effectuating a Subdivision of any portion of the Project.

1.2.24 **Homeowner Association(s) (or "HOA(s)")** means one or more associations formed pursuant to Utah law to perform the functions of an association of property owners.

1.2.25 **Impact Fees** means those fees, assessments, exactions or payments of money imposed by the City or other entity or agency as a condition on development activity as specified in Utah Code Ann. §§ 11-36a-101, *et seq.*, (West Supp 2012).

1.2.26 **Infrastructure** means public or private improvements, including improvements intended to be owned, maintained and operated by the city after completion of construction and final inspection and acceptance of the city engineer, including, but not limited to, roadways, curb, gutter, and sidewalk; culinary water, sanitary sewer and storm drainage mains, lines and related facilities; and storm detention facilities.

1.2.27 **Intended Uses** means the use of all or portions of the Project for single-family and multi-family residential units, hotels, restaurants, public facilities, businesses, commercial areas, professional and other offices, services, open spaces, parks, trails and other uses as more fully specified in the Zoning Ordinance, Approved Building Use Plan, Technical Guidelines and as shown on the Master Plan.

1.2.28 **Key Address** means the neighborhood theme and area as specified in the Master Plan for different developed areas of the Project.

1.2.29 **Land Transfer Agreement** or **LTDA** means the agreement between the Agency and the Master Developer governing the terms on which the Agency will convey its land located within the Project to Master Developer and such other incentives and requirements as are agreed to by the Agency and the Master Developer.

1.2.30 **Local Park** means a park that is planned and designed as an amenity to serve and is necessary for the use and convenience of a particular Subdivision or Commercial Site Plan (or a group of related Subdivisions or Commercial Site Plans), is privately maintained and publicly accessible and which is not a System Improvement.

1.2.31 **Major Change** means a major change as defined in the City's Zoning Ordinance applicable to the Mixed Use Zone. Major changes are those changes which would:

1.2.31.1 Relocate or remove a street, but not including relocation of parking areas, alleyways or paved surfaces designed for access to individual units or buildings;

1.2.31.2 Relocate, reduce or remove areas of open space, including improved open space or natural open space, designated in the open space element of the master plan as public open space or as publicly accessible green space that is privately maintained;

1.2.31.3 Relocate, reduce or remove any public building or public facility;

1.2.31.4 Result in a change of use for more than ten percent (10%) of the buildings as designated in the master plan for the phase or development area;

1.2.31.5 Result in an increase or decrease of more than ten percent (10%) of the total number of buildings as designated in the master plan for the phase or development area;

1.2.31.6 Result in a decrease in the density of residential units of more than ten percent (10%) as designated in the master plan for the phase or development area;

1.2.31.7 Result in an increase or decrease in the square footage of nonresidential uses of more than ten percent (10%) as designated in the master plan for the phase or development area; or

1.2.31.8 Result in any one land use type violating the percentage restrictions contained in section 15-39-3 of the Ogden City Municipal Code.

1.2.32 **Master Developer** means Ogden 20th Street Investors, L.L.C., a Utah limited liability company and its respective assignees or transferees as permitted by this MUMDA.

1.2.33 **Master Plan** means the Ogden Bend Redevelopment Master Plan & Design Guidelines, dated May 2011, including any amendments or modifications thereto contained in Exhibit "B".

1.2.34 **Mayor** means the elected mayor of City.

1.2.35 **Minimum Residential Units** means the development on the Property of at least three hundred fifteen (315) Residential Dwelling Units as further divided by Key Address in the Master Plan.

1.2.36 **MUMDA** means this Development Agreement including all of its Exhibits.

1.2.37 **Modification Application** means an application to amend this MUMDA, but does not include those changes which may be made by Administrative Action or which specifically identified in this MUMDA as being approved in the future as addenda.

1.2.38 **Non-City Agency** means a governmental or quasi-governmental entity, other than those of the City, which has jurisdiction over the approval of any aspect of the Project.

1.2.39 **Notice** means any notice to or from any party to this MUMDA that is either required or permitted to be given to another party.

1.2.40 **Off-Site Infrastructure** means those items of public or private Infrastructure identified as a condition of approval for development of the Property such as roads and utilities that are not on the site of any portion of the Property that is the subject of a Development Application.

1.2.41 **On-Site Infrastructure** means those items of public or private Infrastructure identified as a condition of the approval of a Development Application that are necessary for development of the Property such as roads or utilities and that are located on that portion of the Property which is subject to a Development Application.

1.2.42 **Open Space** means those areas: without any buildings or other physical improvements except those customary and/or necessary to the provision of recreation; any natural space that provides appropriate breaks from building masses or which conserves or preserves natural, historic or other amenities with social or cultural values or which maintains the natural water table level or preserves wetlands; or, any other quasi-public area which the City determines to be considered as Open Space as a part of the approval of a Development Application. Open Space includes, but is not limited to,

those areas identified as Open Space in the Master Plan, and/or the Approved Building Use Plan.

1.2.43 **Outsourc[e][ing]** means the process of the City contracting with City Consultants or paying overtime to City employees to provide technical support in the review and approval of the various aspects of a Development Application as is more fully set out in this MUMDA.

1.2.44 **Parcel** means an area identified on the Master Plan for development of a particular type of Intended Use that is not an individually developable lot.

1.2.45 **Park Avenue** means a transportation corridor shown in the Master Plan that bisects the Property in a general north/south axis.

1.2.46 **Phase** means the development of a portion of the Project at a point in a logical sequence as determined by Master Developer.

1.2.47 **Planning Commission** means the City's Planning and Zoning Commission established by the Ordinance.

1.2.48 **Project** means all of the approximately 17 acres owned by the Ogden Redevelopment Agency, Developer and various third-parties within the Ogden River Redevelopment Project Area all of which is more particularly shown on the project map attached hereto as Exhibit E located in . Ogden, Utah ("Land"), the development of which is intended to be governed by this MUMDA with the associated public and private

facilities, Intended Uses, Densities, Phases and all of the other aspects approved as part of this MUMDA including its Exhibits.

1.2.49 **Property** means the land that is subject to the terms of this MUMDA and which is more fully described in Exhibit A. Certain parcels of land are shown on the project map and are anticipated to be included in the Project, but have not yet been acquired by Agency or Master Developer. These additional parcels may be added to the Property by the recordation of an addendum describing the parcel and the intent of the owner of such parcel to make it subject to the terms of this MUMDA.

1.2.50 **Public Open Space** means a park or other Open Space identified in the Master Plan, Infrastructure Plan, Approved Building Use Plan or Master Plan and that is intended to provide services to the community at large such that it would be considered to be a System Improvement and which is planned to be owned by City or dedicated to City.

1.2.51 **Redevelopment Plan** means a plan approved by the City on April 3, 2008, that sets forth general guidelines for the proposed future development of the Project.

1.2.52 **Residential Dwelling Unit** means, for purposes of calculating Density, a unit intended to be occupied for residential living purposes for at least a monthly period, such as one single-family residential dwelling and each separate unit in a multi-family dwelling, apartment building, condominium, live-work unit, or townhome, equals one Residential Dwelling Unit.

1.2.53 **Site Plan** means the plan submitted to the City for the first stage of the approval of a Subdivision or Commercial Development.

1.2.54 **Subdeveloper** means an entity not “related” (as defined by Internal Revenue Service regulations) to Master Developer which purchases a Parcel for development.

1.2.55 **Subdivision** means the division of any portion of the Project into a subdivision pursuant to State Law and/or the Zoning Ordinance.

1.2.56 **Subdivision Application** means an application to create a Subdivision.

1.2.57 **Subdivision Site Plan** means the plan submitted with a Subdivision Application.

1.2.58 **Substantial Completion** means a point in the progress of a construction project where the work has reached the point that it is sufficiently complete such that any remaining work will not interfere with the intended use or occupancy of the project. Substantial Completion of any infrastructure to be owned by City occurs when the infrastructure is accepted by City. For work to be substantially complete, it is not required that the work be 100% complete but it shall be a part of a complete system.

1.2.59 **System Improvement** means those elements of infrastructure that are existing or future public facilities intended to provide services to the public at large.

1.2.60 **Technical Guidelines** means those guidelines approved in the Master Plan and in the City’s Vested Laws controlling certain aspects of the design and construction of the development of the Property including setbacks, building sizes, open space, height

limitations, parking and signage; and, the design and construction standards for buildings, roadways and infrastructure.

1.2.61 **Trail** means a linear path that is open to the public and allows pedestrian or bicycle access between distinct areas of Public Open Space, public streets, or non-residential uses.

1.2.62 **Zoning Ordinance** means the City's Subdivision and Zoning Ordinance adopted pursuant to the Act that was in effect as of the date of this MUMDA as a part of the City's Vested Laws.

2 **Effect of this MUMDA.** This MUMDA shall be the sole agreement between the parties related to the City's approval of the development of the Property. If there is any express or implied conflict between the terms of this MUMDA and the terms of the Land Transfer Agreement between the Master Developer and the Agency, the terms of the Land Transfer Agreement shall take precedence.

3 **Development of the Project.** Development of the Project shall be in accordance with the City's Vested Laws, the City's Future Laws (unless they are inapplicable as otherwise specified in this MUMDA), the Approved Building Use Plan, this MUMDA and its Exhibits. The City acknowledges that the Master Plan satisfies any requirements under the Zoning Ordinance for a concept plan for the development of the Property and the Project. The Approved Building Use Plan, including future additions thereto, shall be valid and binding upon the parties throughout the term of this MUMDA. As Developer acquires an interest in additional parcels shown on the

project map, but not described in Exhibit A, Developer shall prepare an addendum to make such parcels subject to this MUMDA. Developer covenants that neither it, nor any affiliated entity, will attempt to develop such parcels without complying with the terms of this MUMDA.

4 Development of the Property in Compliance with the Master Plan.

4.1 Project Density. At Buildout of the Project, Master Developer shall have developed no fewer than the Minimum Residential Units and shall have developed the other Intended Uses on the Property as specified in the Master Plan and the Approved Building Use Plan for each phase.

4.2 Parcels Intended Uses and Densities. The Project is located in four Key Addresses within the Master Plan, including: the Cannery District, Child's Walk, Becker Square and Kiesel Court. Intended Uses and Densities for each Parcel are shown on the Master Plan and the Approved Building Use Plan.

4.3 Use of Density. Master Developer may use any of the Minimum Residential Units in the development of any Subdivision (or any approved Commercial Site Plan allowing for residential uses) so long as the density requested in the proposed Development Application does not constitute a Major Change to the Project or to a Key Address.

4.4 Accounting for Density for Parcels Developed by Master Developer. At the time of filing a Development Application or upon recordation of a Final Plat, Commercial Site Plan allowing for residential uses or other approved and recorded instrument for any Parcel(s) developed by Master Developer, Master Developer shall provide the City a Development

Report showing any Density used with the Parcel(s), broken down by Key Address, and the Density remaining with Master Developer and for the remaining Project and Key Address.

4.5 Accounting for Density for Parcels Sold to Subdevelopers. Any Parcel sold by Master Developer to a Subdeveloper shall include the transfer of a specified portion of the Minimum Residential Units as contained in the Master Plan and, for any non-residential use, shall specify the amount and type of any such other use sold with the Parcel. At the recordation of a Final Plat or other document of conveyance for any Parcel sold to a Subdeveloper, Master Developer shall provide the City a Sub-Development Report showing the ownership of the Parcel(s) sold, the portion of the Minimum Residential Units and/or other type of use transferred with the Parcel(s) by Key Address, the amount of the Minimum Residential Units remaining with Master Developer and any material effects of the sale on the Master Plan.

4.6 Parcel Sales. The City acknowledges that the precise location and details of the public improvements, lot layout and design and any other similar item regarding the development of a particular Parcel may not be known at the time of the sale of a Parcel. The City acknowledges that Master Developer may seek and obtain approval for the subdivision of a portion of the Project into a Parcel without providing such detailed development information subject to the specific "Parcel Sales" and subject to any requirements imposed by City to anticipate the integration of the subdivided Parcel with adjacent land and in conformity with

the Master Plan. The sale of a parcel does not remove it from the standards and requirements of this MUMDA.

5 **Zoning and Vested Rights.**

5.1 **Current Zoning.** The Project is currently zoned as Mixed Use as specified in City's Existing Laws.

5.2 **Vested Rights Granted by Approval of this MUMDA.** To the maximum extent permissible under the laws of Utah and the United States and at equity, the City and Master Developer intend that this MUMDA grants Master Developer all rights to develop the Project in fulfillment of this MUMDA, the Master Plan and the Approved Building Use Plan without modification or interference by City's Future Laws except as specifically provided herein. The Parties intend that the rights granted to Master Developer under this MUMDA, the Master Plan and the Approved Building Use Plan are contractual and also those rights that exist under statute, common law and at equity. The parties specifically intend that this MUMDA and the Approved Building Use Plan grants to Master Developer "vested rights" as that term is construed in Utah's common law and pursuant to Utah Code Ann. §10-9a-509 (West Supp. 2012).

5.2.1 **Invalidity.** Developer covenants not to bring suit to have any of the City's Vested Laws declared to be unlawful, unconstitutional or otherwise unenforceable. If any of the City's Vested Laws are declared to be unlawful, unconstitutional or otherwise unenforceable then Developer will, nonetheless comply with the terms of this MUMDA.

Developer shall also in that event cooperate with the City in adopting and agreeing to comply with a new enactment by the City which is materially similar to any such stricken provisions and which implements the intent of the parties in that regard as manifested by this MUMDA.

5.2.2 Exceptions. The restrictions on the applicability of the City's Future Laws to the Project as specified in Section 5.2 are subject to only the following exceptions:

5.2.2.1 *Master Developer Agreement.* City's Future Laws that Master Developer agrees in writing to the application thereof to the Project;

5.2.2.2 *Compliance with State and Federal Laws.* City's Future Laws which are generally applicable to all properties in the City and which are required to comply with State and Federal laws and regulations affecting the Project;

5.2.2.3 *Safety Code Updates.* City's Future Laws that are updates or amendments to existing building, plumbing, mechanical, electrical, dangerous buildings, drainage, or similar construction or safety related codes, such as the International Building Code, the APWA Specifications, AAHSTO Standards, the Manual of Uniform Traffic Control Devices or similar standards that are generated by a nationally or statewide recognized construction/safety organization, or by the City or State or Federal governments and are required to meet legitimate concerns related to public health, safety or welfare; or,

5.2.2.4 *Engineering Standards.* Changes in the City's Engineering standards which

are adopted and applicable throughout the city.

5.2.2.5 *Taxes.* Taxes, or modifications thereto, so long as such taxes are lawfully imposed and charged uniformly by the City to all properties, applications, persons and entities similarly situated.

5.2.2.6 *Fees.* Changes to the amounts of fees (but not changes to the times provided in the City's Vested Laws for the imposition or collection of such fees) for the processing of Development Applications that are generally applicable to all development within the City (or a portion of the City as specified in the lawfully adopted fee schedule) and which are adopted pursuant to State law.

5.2.2.7 *Countervailing, Compelling Public Interest.* Laws, rules or regulations that the City's land use authority finds, on the record, are necessary to avoid jeopardizing a compelling, countervailing public interest pursuant to Utah Code Ann. §10-9a-509(1)(a)(i) (2008).

5.2.2.8 *Impact Fees.* Impact Fees or modifications thereto which are lawfully adopted, imposed and collected.

5.3 **Term of Agreement.** The term of this MUMDA shall be until December 31, 2027.

This MUMDA shall also terminate automatically at Buildout.

6. **Approval Processes for Development Applications.**

6.1. **Phasing.** The City acknowledges that Master Developer, assignees of Master Developer, and/or Subdevelopers who have purchased Parcels of Property may submit

multiple applications from time-to-time to develop and/or construct portions of the Project in phases. In order to be approved, a phase shall comply with the Master Plan and the terms of this MUMDA.

6.2. Processing Under City's Existing Laws. Approval processes for Development Applications shall be as provided in the City's Existing Laws except as otherwise provided in this MUMDA. Development Applications shall be approved by the City if they comply with the City's Existing Laws and conform to this MUMDA and the Approved Building Use Plan.

6.3. City's Cooperation in Processing Development Applications. The City shall cooperate reasonably in promptly and fairly processing Development Applications. City is not required to process any Development Application or other land use application if Master Developer has been notified in writing that it is in default under any term of this Agreement, the Land Transfer Agreement, or any other agreement Master Developer has with Agency and regardless of whether such default is a material breach or default.

6.4. Outsourcing of Certain Reviews. City customarily and routinely Outsources certain reviews, such as geotechnical and structural evaluations, for which it does not have the skill or experience to review internally. Master Developer or Subdeveloper shall pay all costs associated with these customary Outsource reviews. City shall promptly estimate the reasonably anticipated differential cost of Outsourcing in the manner selected by the City in good faith consultation with the Master Developer. Based on the City's estimate of costs, the Master Developer or Subdeveloper shall deposit in advance with the City the estimated cost

and the City shall then promptly proceed with the Outsourced work. Upon completion of the Outsourcing services and the provision by the City of an invoice (with such reasonable supporting documentation as may be requested by *Master Developer*) for the actual cost of Outsourcing, *Master Developer* or the *Subdeveloper* shall, within ten (10) business days pay or receive credit (as the case may be) for any difference between the estimated cost deposited for the Outsourcing and the actual cost.

6.5. Selection of City Consultants for Review of Certifications Required for Development Applications. The City Consultant undertaking any review for the City required or permitted by this MUMDA or the Ordinance shall be selected by City from a list generated by the City for each such City review pursuant to a “request for proposal” process, a preapproved consultant pool, or as otherwise allowed by City ordinances or regulations. Applicant may, in its sole discretion, strike from the list of qualified proposers any of such proposed consultants so long as at least three (3) qualified proposers remain for selection by City. The anticipated cost and timeliness of such review may be a factor in choosing the expert.

6.6. Non-City Agency Reviews. If any aspect or a portion of a Development Application is governed exclusively by a Non-City Agency an approval for these aspects does not need to be submitted by Applicant for review by any body or agency of the City. The Applicant shall timely notify the City of any such submittals and promptly provide the City with a copy of the requested submissions. The City may only grant final approval for any Development

Application subject to compliance by Applicant with any conditions required for such Non-City Agency's approval.

6.7. Acceptance of Certifications Required for Development Applications. Any Development Application requiring the signature, endorsement, or certification and/or stamping by a person holding a license or professional certification required by the State of Utah in a particular discipline shall be so signed, endorsed, certified or stamped signifying that the contents of the Development Application complies with the applicable regulatory standards of the City. Acceptance of such material for review includes the normal process of the City's "redlining", commenting on or suggesting alternatives to the proposed designs or specifications in the Development Application. Generally, the City will endeavor to make all of its redlines, comments or suggestions at the time of the first review of the Development Application unless any changes to the Development Application raise new issues that need to be addressed.

6.8. Architectural Review. Each Development Application that includes a building shall include the exterior design of all units to be built under that application. The design shall be consistent with the guidelines contained in the Master Plan. The final exterior elevation and the color and materials palette for each unit shall be reviewed and approved by the City's Planning Commission or, if delegated by the Planning Commission, by the Planning Department prior to the issuance of a building permit to determine compliance with the Master Plan design guidelines. Buildings will incorporate variations based on the Master

Plan design guidelines and buildings will not utilize a repetitive exterior elevation. It is the Applicant's duty to maintain the exterior of completed structures, including any entry porches or stairs, until all units are sold and exterior maintenance is assumed by an individual property owner (if the unit is not part of a Homeowner's association), or by a Homeowner's association. All final architectural approvals shall be incorporated into the Building Use Plan for the approved phase.

6.9. Landscaping Review. Landscaping shall be installed in all areas not occupied by buildings, parking, storage, future phased plan areas or access ways prior to occupancy of any unit in the phase, except that the Planning Department may allow, in writing, landscaped areas within fifteen feet of a building in the phase that has not yet been built to be deferred until the building is constructed. Landscaping within the Project and within each Development Application shall comply with the Master Plan design guidelines. The Planning Commission shall review and approve proposed landscaping for each subdivision. The Planning Department shall review and approve the final landscaping of each building or other Development Application. All final landscaping review approvals shall be into the Building Use Plan for the approved phase. The Applicant shall address all aspects of landscaping, including:

- 6.9.1.1. screening details for exposed alleyways;
- 6.9.1.2. placement of mailboxes;
- 6.9.1.3. placement of trash service, including recycling and green waste and

including means designed to shield trash collection from public view;

6.9.1.4. landscaping within the public right of way;

6.9.1.5. landscaping within the area covered by the Development Application, including street trees with at least 2-inch caliper or, for an evergreen tree, a minimum of eight feet in height, and at least five 5-gallon shrubs;

6.9.1.6. the location, design and materials for any signs fencing or walls;

6.9.1.7. the location and design of all exterior lighting; and

6.9.1.8. the location and design of all parking areas.

6.10. **Independent Technical Analyses for Development Applications.** If the City needs technical expertise beyond the City's internal resources to determine impacts of a Development Application such as for structures, bridges, water tanks, "threatened and endangered species" and other similar matters which are not required by the City's Vested Laws to be certified by such experts as part of a Development Application, the City may engage such experts as City Consultants under the processes specified in Section 6.4 with the *actual and reasonable costs being the responsibility of Applicant*. If the City needs any other technical expertise other than as specified above, under extraordinary circumstances specified in writing by the City, the City may engage such experts as City Consultants under the processes in Section 6.4 with the actual and reasonable costs being the responsibility of Applicant.

6.11. **City Denial of a Development Application.** If the City denies a Development

Application the City shall provide a written determination advising the Applicant of the reasons for denial including specifying the reasons the City believes that the Development Application is not consistent with this MUMDA, the Approved Building Use Plan and/or the City's Vested Laws (or, if applicable, the City's Future Laws).

6.12. **Meet and Confer regarding Development Application Denials.** The City and Applicant shall meet within fifteen (15) business days of any Denial to address methods of resolving the issues specified in the Denial of a Development Application.

6.13. **[Intentionally Omitted]**

6.14. **City Denials of Development Applications Based on Denials from Non-City Agencies.** If the City's denial of a Development Application is based on the denial of the Development Application by a Non-City Agency, *Master Developer shall appeal any such denial through the appropriate procedures for such a decision and not through the processes specified below.*

6.15. **Mediation of Development Application Denials.**

6.15.1. Issues Subject to Mediation. Issues resulting from the City's Denial of a Development Application or declaration of default (material or non-material) that have not been resolved by the meet and confer process shall be mediated.

6.15.2. Mediation Process. If the City and Applicant are unable to resolve a disagreement subject to mediation, the parties shall attempt within ten (10) business days to appoint a mutually acceptable mediator with knowledge of the issue in dispute. If the

parties are unable to agree on a single acceptable mediator they shall each, within ten (10) business days, appoint their own representative. These two representatives shall, between them, choose the single mediator. Applicant and City shall pay, in equal proportions, the fees of the chosen mediator. The chosen mediator shall within fifteen (15) business days, review the positions of the parties regarding the mediation issue and promptly attempt to mediate the issue between the parties. If the parties are unable to reach agreement, the mediator shall notify the parties in writing of the resolution that the mediator deems appropriate. The mediator's opinion shall not be binding on the parties.

6.15.3.

7. **Legislative Authority.** No provision of this MUMDA shall limit the future exercise of the police power of the city in enacting generally applicable land use laws after the date of this MUMDA or to apply such land use laws to modify the vested rights established herein; provided that the policies, facts and circumstances applicable to the new land use laws applicable to the Property meet the compelling, countervailing public interest exception to the vested rights doctrine in the state of Utah.

8. **Application Under City's Future Laws.** Without waiving any rights granted by this MUMDA, Master Developer may at any time, choose to submit a Development Application for some or all of the Project under the City's Future Laws in effect at the time of the Development Application. Any Development Application filed for consideration under the City's Future Laws shall be governed by all portions of the City's Future Laws related to the Development Application.

The election by Master Developer at any time to submit a Development Application under the City's Future Laws shall not be construed to prevent Master Developer from relying for other Development Applications on the City's Vested Laws.

9. **Open Space and Trails Requirements.** The Development Application approval for each separate Parcel shall include provisions to construct and dedicate land identified as Open Space and/or Trails as provided in the Master Plan. All final open space approvals shall be incorporated into the Building Use Plan for the approved phase. The Applicant shall include adequate assurances to the City that the land so designated can and will be used for the dedication and/or construction of the planned Open Space and/or Trails. The classification of a Parcel or a portion of a Subdivision or Commercial Site Plan as Open Space shall be irrespective of whether the land is owned by a private entity or by a Homeowners Association or dedicated to City. The Open Space, Local Parks and/or Trails may be required to be privately owned and publicly accessible and may be owned by a Homeowners Association or may be dedicated to the City or a third-party as specified in the Master Plan and/or the Approved Building Use Plan for that phase.

9.1. **Public Open Spaces.** City and Master Developer agree that Public Open Spaces will need to be constructed on portions of the Project. Master Developer shall pay for the construction of all Local Parks and Trails as well as adjacent areas of Open Space shown on the Master Plan and located within the boundaries of the Land. Master Developer is not required to pay for construction of the Open Space on the north side of the Ogden River between Lincoln Avenue and Grant Avenue.

9.2. Creation of Open Space, Local Parks and/or Trails. Open Space, Local Parks and/or Trails shall generally be created and/or dedicated by means of a Subdivision or a Commercial Site Plan to which the Open Space, Local Parks and/or Trails are either internal or contiguous. The parties intend that the creation of Open Space, Local Parks and/or Trails will follow the Master Plan. Thus, Master Developer may be expected to provide more Open Space in one Development Application than in another in order to achieve the total acreage designated for Open Space, Local Parks and/or Trails as established in the Approved Building Use Plan and Master Plan. Each Development Application approval shall provide for the designation for dedication and/or construction of Open Space, Local Parks and/or Trails in such amounts as are determined to be appropriate considering the factors specified below. In order to ensure that Open Space is developed appropriately, City may exercise its discretion to require a Development Application to include development of adjacent Open Space areas shown on the Master Plan and the Approved Building Use Plan for that phase utilizing the following factors:

9.2.1. Amounts and Types Previously Developed. The amounts and types of Open Space, Local Parks and/or Trails provided on the portions of the Project previously developed compared with the total amount of development allowed under this MUMDA;

9.2.2. Amounts and Types Remaining to be Developed. The amounts and types of Open Space, Local Parks and/or Trails remaining to be designated and/or constructed

pursuant to the Master Plan, and the Approved Building Use Plan compared with the total amount of development allowed under this MUMDA;

9.2.3. Connections. Logical connections where adjacent Open Space is isolated or is not likely to be a natural part of a future Development Application; and

9.2.4. Nature of Proposed Uses. The amount and nature of the land and the types land uses proposed by the Development Application.

9.3. Dedication of Open Space or Publicly Owned Trails. Any required Dedication of the Open Space and/or publicly owned Trails to the City shall be by plat recordation or by warranty deed from Master Developer or a Subdeveloper which shall be without any financial encumbrance or other encumbrance (including easements) which unreasonably interferes with the use of the property for Open Space and/or Trails.

9.4. Establishment of Local Parks or Privately Owned Trails. Establishment of Local Parks and/or privately owned Trails shall be by plat recordation or by warranty deed to the Homeowner's Association from Master Developer or a Subdeveloper which shall be without any financial encumbrance or other encumbrance (including easements) which unreasonably interferes with the use of the property for Local Parks and/or Trails.

9.5. Relationship Between Development and Construction of Open Space, Local Parks and Trails. Unless otherwise agreed to in writing, construction of any Open Space, Local Park or Trail that is to be constructed as part of an approved Development Application shall be substantially completed prior to issuance of one-half of the Building Permits for the

Subdivision or completion of one-half of the improvements for the Commercial Site. This requirement for substantial completion shall not apply to any elements of the Local Park and/or Trails the completion of which are weather dependent (e.g., landscaping that cannot be installed in winter). These weather dependent items shall be installed and substantially completed as soon as practicable in the next appropriate season. If they are not so completed then no further building permits shall be issued until they are substantially completed.

9.6. Maintenance of Open Space, Local Parks and Trails. Upon dedication and acceptance by the City of the proffered Open Space and/or Trails and after formal possession, the City shall be responsible for maintaining the Open Space and/or Trails after final inspection and acceptance of the improvements to the Open Space and/or Trails, if any. The dedication or conveyance of Local Parks and/or Trails, including privately owned publicly accessible open space, to an entity other than the City shall provide for the maintenance of the Local Parks and/or Trails in a manner to be reasonably acceptable to the City.

9.7. Tax Benefits. The City acknowledges that Master Developer may seek and qualify for certain tax benefits by reason of conveying, dedicating, gifting, granting or transferring Open Space and/or Trails to the City or to a charitable organization. Master Developer shall have the sole responsibility to claim and qualify for any tax benefits sought by Master Developer by reason of the foregoing. The City shall reasonably cooperate with Master Developer to allow Master Developer to take advantage of any such tax benefits. By engaging in such cooperation, City does not guarantee that a tax benefit will be recognized by a taxing entity

nor does City assume any liability if Master Developer does not receive the anticipated benefit. In no event shall such action by Master Developer result in City acquiring maintenance or repair obligations for privately-maintained publicly-accessible open space as shown in the Master Plan.

10. **Public Improvements.**

10.1. **Utilities and On-Site Infrastructure.** Master Developer shall have the right and the obligation to construct or cause to be constructed and installed all portions of the On-Site Infrastructure and all Off-Site Infrastructure which are required as a condition of approval of the Development Application. When any On-Site Infrastructure or Off-Site Infrastructure required as a condition of approval of the Development Application is constructed, Master Developer shall comply with the statutory processes for such work including obtaining any required permits.

10.2. **Conveyance of Infrastructure to City.** Any On-Site Infrastructure or Off-Site Infrastructure which will be operated, maintained or repaired by City shall be dedicated and conveyed to City by Master Developer or any Subdeveloper at such time as a functionally complete portion of such infrastructure is inspected and placed into service. Such conveyance shall include, as appropriate, easements and land dedications necessary for access to and maintenance and operation of said infrastructure.

10.2.1. **Errors in Infrastructure Plans or Variations caused by Master Developer or Subdeveloper.** If any variation in the level of required Backbone Infrastructure is

necessitated by an erroneous sizing by Master Developer due to subsequent demand resulting from the intensity of a proposed Development Application then the differences shall be paid for in their entirety by the Master Developer or Subdeveloper.

10.3. Provisions Regarding Park Boulevard.

10.3.1. General Statement. The Master Plan contemplates the construction of a road known as Park Boulevard running between Grant Avenue. The intent of the parties is that but for the development allowed by this MUMDA, this road would not need to be constructed or improved.

10.3.2. Road Dedication Plat. Master Developer shall dedicate the right-of-way needed for Park Boulevard to City on the earlier of the two following events: either at the time construction of the road is completed or when platting of the land, or any portion thereof, on which the road is located occurs.

10.3.3. Cooperation on Financing. The City will not adopt or collect an Impact Fee to provide for the construction of any road or other infrastructure within the Project. Upon request, the City will promptly consider creating a Special Assessment Area or Areas to finance the construction of Park Boulevard and soils remediation within the Project for land dedicated to public use.

10.4. Construction Prior to Completion of Infrastructure. Anything in the Zoning Ordinance notwithstanding, Master Developer may obtain building permits and/or temporary Certificates of Occupancy for model homes, homes shows, sales offices, construction trailers

or similar temporary uses prior to the installation of all On-Site Infrastructure or Off-Site Infrastructure required to be eventually completed so long as such installation is secured pursuant to the City's Vested Laws, a subdivision plat has been recorded, and sales are conducted in compliance with the Utah Uniform Land Sales Practices Act.

10.4.1. Restrictions on Certificates of Occupancy. No permanent Certificate of Occupancy shall be issued by the City and no residential occupancy shall be permitted unless all On-Site Infrastructure and Off-Site Infrastructure (except for landscaping which shall be considered pursuant to Section 6.9 and 11.1) required pursuant to an approved Development Application are installed and Substantially Complete.

10.5. **General Requirement of Payment of Fees.** At the time of a Development Application, Master Developer and/or a Subdeveloper shall pay to City all then required fees in amounts adopted in City's Current or Future Laws, such as subdivision fees, connection fees, and permit fees, together with any required fees assessed by third parties (including but not limited to impact fees adopted by the Central Weber Sewer District).

10.6. **"Upsizing".** The City may require Master Developer or a Subdeveloper to "upsized" any required public improvements, including the Backbone Infrastructure (i.e., to construct the improvements to a size larger than required to service the Project) based on City's projections of future demand which need to utilize such infrastructure. Compensation to Master Developer for any "upsizing" of public improvements shall be based on the difference in material costs between the materials necessary for the Project and the upsized

materials required by the City. All other costs of installation or construction of the upsized improvements shall be borne by Master Developer or Subdeveloper.

11. Construction Standards and Requirements.

11.1. **Separate Security for Landscaping.** Landscape Escrows will be collected by City at the time of site plan approval or at the time of subdivision recordation or issuance of a building permit. Security for the completion of those items of landscaping that are weather dependent may be, at the option of Master Developer, by a security instrument acceptable to the City separate from the security instrument used for the other portions of the public improvements.

11.2. **Building Permits.** No buildings or other structures shall be constructed within the Project without Master Developer and/or a Subdeveloper first obtaining building permits. Master Developer and/or a Subdeveloper may apply for and obtain a grading permit following conceptual approval by the Planning Commission of a Commercial Site Plan or a Subdivision Site Plan if Master Developer and/or a Subdeveloper has submitted and received approval of a site grading plan from the City Engineer. Any grading performed by Master Developer and/or a Subdeveloper pursuant to only a grading permit prior to the establishment of finished grades by a final approval shall be at the risk of Master Developer or the Subdeveloper meaning that if there are any changes between the grade elevations created by the grading permit activities and the final, approved elevations then such changes must be made at the sole cost and expense of Master Developer or the Subdeveloper that created the

discrepancy.

11.3. **City and Other Governmental Agency Permits.** Before commencement of construction or development of any buildings, structures or other work or improvements upon any portion of the Project, Master Developer or a Subdeveloper shall, at its expense, secure, or cause to be secured, any and all permits which may be required by the City or any other governmental entity having jurisdiction over the work. The City shall reasonably cooperate with the Master Developer or a Subdeveloper in seeking to secure such permits from other governmental entities.

12. **Provision of Municipal Services.** The City shall provide all City services to the Project that it provides from time-to-time to other residents and properties within the City including, but not limited to, culinary water, police, fire and other emergency services. Such services shall be provided to the Project at the same levels of services, on the same terms and at the same rates as provided to other residents and properties in the City.

13. **Periodic Review.** The Project shall be subject to semi-annual reviews to ascertain compliance with the requirements of this Agreement. The purpose of such review is to provide an opportunity for City and Master Developer to resolve any issues relating to the Project and identify any changes to future construction or development which may be necessary to improve the Project. Developer agrees to provide any information or personnel deemed reasonably necessary by City to complete such review. The review process may include physical inspections of the Property, improvements to the Property, or unoccupied structures located on the property. This review is in

addition to any inspections or reviews associated with building or other permits issued by City and in addition to those required as part of any code enforcement or other regulatory activity conducted by City.

14. **Default.**

14.1. **Notice.** If Master Developer or a Subdeveloper or the City fails to perform their respective obligations hereunder or to comply with the terms hereof, the party believing that a Default has occurred shall provide Notice to the other party. If the City believes that the Default has been committed by a Subdeveloper then the City shall also provide a courtesy copy of the Notice to Master Developer.

14.2. **Contents of the Notice of Default.** The Notice of Default shall:

14.2.1. **Claim of Default.** Specify the claimed event of Default;

14.2.2. **Identification of Provisions.** Identify with particularity the provisions of any applicable law, rule, regulation or provision of this MUMDA that is claimed to be in Default;

14.2.3. **Specify Materiality.** Identify whether the Default is claimed to be material; and

14.2.4. **Optional Proposed Cure.** If the City chooses, in its discretion, propose a method and time for curing the Default which shall be of no less than sixty (60) days duration.

14.3. **Meet and Confer, Mediation, Arbitration.** Upon the issuance of a Notice of Default the parties shall engage in the “Meet and Confer” and “Mediation” processes specified in Sections 6.12 and 6.15.

14.4. **Remedies.** If the parties are not able to resolve the Default by "Meet and Confer" or by Mediation then the parties may have the following remedies:

14.4.1. Legal Remedies. All rights and remedies available at law and in equity, including, but not limited to, injunctive relief, specific performance and/or damages.

14.4.2. Enforcement of Security. The right to draw on any security posted or provided in connection with the Project and relating to remedying of the particular Default.

14.4.3. Withholding Further Development Approvals. The right to withhold all further reviews, approvals, licenses, building permits and/or other permits for development of the Project in the case of a material default by Master Developer, or in the case of a material default by a Subdeveloper, development of those Parcels owned by the Subdeveloper until the Default has been cured.

14.5. **Public Meeting.** Before any remedy in Section 14.4.3 may be imposed by the City the party allegedly in Default shall be afforded the right to attend a public meeting before the Mayor and address the Mayor regarding the claimed Default.

14.6. **Emergency Defaults.** Anything in this MUMDA notwithstanding, if the Mayor finds on the record that a default materially impairs a compelling, countervailing interest of the City and that any delays in imposing such a default would also impair a compelling, countervailing interest of the City then the City may impose the remedies of Section 14.4.3 without the requirements of Sections 14.3. The City shall give Notice to the Developer and/or any applicable Subdeveloper of any public meeting at which an emergency default is

to be considered and the Developer and/or any applicable Subdeveloper shall be allowed to address the Mayor at that meeting regarding the claimed emergency Default

14.7. Extended Cure Period. If any non-material Default cannot be reasonably cured within sixty (60) days then such cure period shall be extended so long as the defaulting party is pursuing a cure with reasonable diligence.

14.8. Cumulative Rights. The rights and remedies set forth herein shall be cumulative.

15. Notices. All notices required or permitted under this Amended Development Agreement shall, in addition to any other means of transmission, be given in writing by certified mail and regular mail to the following address:

To the Master Developer:
Ogden 20th Street Investors, LLC.
Att'n: Cameron Gunter
3521 N. University Avenue, #200
Provo, Utah 84604

With a copy to:
Ogden Riverwalk LLC
att'n: Mori Leshem
21004 Nordhoff Street
Chatsworth, CA 91311

To the City:
Ogden City Community and Economic Development
Attn: Tom Christopoulos
2549 Washington Boulevard, Suite 480
Ogden, Utah 84401

With a copy to:
Gary R. Williams
City Attorney
2549 Washington Boulevard, Suite 840
Ogden, Utah 84101

15.1. **Effectiveness of Notice.** Except as otherwise provided in this MUMDA, each Notice shall be effective and shall be deemed delivered on the earlier of:

15.1.1. Physical Delivery. Its actual receipt, if delivered personally, by courier service, or by facsimile provided that a copy of the facsimile Notice is mailed or personally delivered as set forth herein on the same day and the sending party has confirmation of transmission receipt of the Notice).

15.1.2. Mail Delivery. On the day the Notice is postmarked for mailing, postage prepaid, by First Class or Certified United States Mail and actually deposited in or delivered to the United States Mail.

15.1.3. Any party may change its address for Notice under this MUMDA by giving written Notice to the other party in accordance with the provisions of this Section.

16. **Administrative Amendments.**

16.1. **Allowable Administrative Applications.** The following modifications to this MUMDA may be considered and approved by the Administrator.

16.1.1. Infrastructure. Modification of the location and/or sizing of the infrastructure for the Project that does not materially change the functionality of the infrastructure and as approved by the City Engineer.

16.1.2. Technical Guidelines. Modifications of the Technical Guidelines not related to infrastructure as permitted by the Approved Building Use Plan.

16.2. **Application to Administrator.** Applications for Administrative Amendments shall be filed with the Administrator

16.2.1. Referral by Administrator. If the Administrator determines for any reason that it would be inappropriate for the Administrator to determine any the Administrative Amendment the Administrator may require the Administrative Amendment to be processed as a Modification Application.

16.2.2. Administrator's Review of Administrative Amendment. The Administrator shall consider and decide upon the Administrative Amendment within a reasonable time.

16.2.3. Notification Regarding Administrator's Approval. If the Administrator approves any Administrative Amendment the Administrator shall notify the Mayor in writing of the proposed approval. Unless the Administrator receives a notice pursuant to Section 16.2.4 requiring that the proposed Administrative Amendment be considered as a Modification Application then approval of the Administrative Amendment by the Administrator shall be conclusively deemed binding on the City.

16.2.4. Mayoral Requirement of Modification Application Processing. The Mayor may, within ten (10) business days after notification by the Administrator, notify the Administrator that the Administrative Amendment must be processed as a Modification Application.

16.2.5. Appeal of Administrator's Denial of Administrative Amendment. If the Administrator denies any proposed Administrative Amendment the Applicant may seek to process the proposed Administrative Amendment as a Modification Application.

17. Amendment. Except for Administrative Amendments, any future amendments to this MUMDA shall be considered as Modification Applications subject to the following processes.

17.1. **Who may Submit Modification Applications.** Only the City and Master Developer or an assignee that succeeds to all of the rights and obligations of Master Developer under this MUMDA (and not including a Subdeveloper) may submit a Modification Application.

17.2. **Modification Application Contents.** Modification Applications shall:

17.2.1. Identification of Property. Identify the property or properties affected by the Modification Application.

17.2.2. Description of Effect. Describe the effect of the Modification Application on the affected portions of the Project.

17.2.3. Identification of Non-City Agencies. Identify any Non-City agencies potentially having jurisdiction over the Modification Application.

17.2.4. Map. Provide a map of any affected property and all property within three hundred feet (300') showing the present or Intended Use and Density of all such properties.

17.2.5. Fee. Modification Applications shall be accompanied by a fee in an amount reasonably estimated by the City to cover the costs of processing the Modification Application.

17.3. City Cooperation in Processing Modification Applications. The City shall cooperate reasonably in promptly and fairly processing Modification Applications.

17.4. Planning Commission Review of Modification Applications.

17.4.1. Review. All aspects of a Modification Application required by law to be reviewed by the Planning Commission shall be considered by the Planning Commission as soon as reasonably possible in light of the nature and/or complexity of the Modification Application.

17.4.2. Recommendation. The Planning Commission's vote on the Modification Application shall be only a recommendation and shall not have any binding or evidentiary effect on the consideration of the Modification Application by the Mayor.

17.5. Mayor Review of Modification Application. After the Planning Commission, if required by law, has made or been deemed to have made its recommendation of the Modification Application the Mayor shall consider the Modification Application.

17.6. Mayor's Objections to Modification Applications. If the Mayor objects to the Modification Application, the Mayor shall provide a written determination advising the Applicant of the reasons for denial including specifying the reasons that the Modification

Application is not consistent with the intent of this MUMDA, the Approved Building Use Plan and/or the City's Vested Laws (or, if applicable, the City's Future Laws).

17.7. **Meet and Confer regarding Modification Applications.** The Mayor or the Mayor's designee and Master Developer shall meet within fourteen (14) calendar days of any objection to resolve the issues presented by the Modification Application and any of the Mayor's objections.

17.8. **Mediation of Mayor's Objections to Modification Applications.** If the Mayor and Master Developer are unable to resolve a dispute regarding a Modification Application, the parties shall attempt within seven (7) days to appoint a mutually acceptable expert in land planning or such other discipline as may be appropriate. If the parties are unable to agree on a single acceptable mediator they shall each, within seven (7) days, appoint their own individual appropriate expert. These two experts shall, between them, choose the single mediator. Master Developer shall pay the fees of the chosen mediator. The chosen mediator shall within fourteen (14) days, review the positions of the parties regarding the mediation issue and promptly attempt to mediate the issue between the parties. If the parties are unable to reach agreement, the mediator shall notify the parties in writing of the resolution that the mediator deems appropriate. The mediator's opinion shall not be binding on the parties.

18. **Estoppel Certificate.** Upon twenty (20) days prior written request by Master Developer or a Subdeveloper, the City will execute an estoppel certificate to any third party certifying that Master Developer or a Subdeveloper, as the case may be, at that time is not in default of the terms of this

Agreement.

19. **Entire Agreement.** This MUMDA, and all Exhibits thereto, is the entire agreement between the Parties pertaining to the submission and treatment of Development Applications for the Project and may not be amended or modified except either as provided herein or by a subsequent written amendment signed by all parties.

20. **Headings.** The captions used in this MUMDA are for convenience only and are not intended to be substantive provisions or evidences of intent.

21. **No Third Party Rights/No Joint Venture.** This MUMDA does not create a joint venture relationship, partnership or agency relationship between the City and Master Developer. Further, the parties do not intend this MUMDA to create any third-party beneficiary rights. The parties acknowledge that this MUMDA refers to a private development and that the City has no interest in, responsibility for or duty to any third parties concerning any improvements to the Property unless the City has accepted the dedication of such improvements at which time all rights and responsibilities for the dedicated public improvement shall be the City's.

22. **Assignability.** The rights and responsibilities of Master Developer under this MUMDA may only be assigned by Master Developer with the written consent of the City as provided in the LTDA.

22.1. **Certain Sales not an Assignment.** For purposes of this MUMDA, Master Developer's selling or conveying lots in any approved Subdivision or conveying a Parcel to a Subdeveloper shall not be deemed to be an "assignment" subject to the above-referenced

approval by the City.

22.2. **Related Party Transfer.** Master Developer's transfer of all or any part of the Property as allowed by the LTDA or Master Developer's pledging of part or all of the Project as security for financing are not subject to the above-referenced approval by the City

22.3. **Notice.** Master Developer shall give Notice to the City of any proposed assignment and provide such information regarding the proposed assignee that the City may reasonably request in making the evaluation permitted under this Section. Such Notice shall include providing the City with all necessary contact information for the proposed assignee.

22.4. **Deemed Denied.** Unless the City approves the assignment in writing within twenty (20) business days the City shall be deemed to have denied the assignment.

22.5. **Partial Assignment.** If any proposed assignment is for less than all of Master Developer's rights and responsibilities then the assignee shall be responsible for the performance of each of the obligations contained in this MUMDA to which the assignee succeeds. Upon any such approved partial assignment, Master Developer shall be released from any future obligations as to those obligations which are assigned but shall remain responsible for the performance of any obligations that were not assigned.

22.6. **Grounds for Denying Assignment.** The LTDA shall govern the terms upon which RDA does, or does not, deny a proposed assignment.

22.7. **Assignee Bound by this MUMDA.** Any assignee shall consent in writing to be bound by the assigned terms and conditions of this MUMDA as a condition precedent to the

effectiveness of the assignment.

23. **Binding Effect.** If Master Developer sells or conveys Parcels of lands to Subdevelopers or related parties, the lands so sold and conveyed shall bear the same rights, privileges, Intended Uses, configurations, and Density as applicable to such Parcel and be subject to the same limitations and rights of the City when owned by Master Developer and as set forth in this MUMDA without any required approval, review, or consent by the City except as otherwise provided herein.

24. **No Waiver.** Failure of any party hereto to exercise any right hereunder shall not be deemed a waiver of any such right and shall not affect the right of such party to exercise at some future date any such right or any other right it may have.

25. **Severability.** If any provision of this MUMDA is held by a court of competent jurisdiction to be invalid for any reason, the parties consider and intend that this MUMDA shall be deemed amended to the extent necessary to make it consistent with such decision and the balance of this MUMDA shall remain in full force and affect.

26. **Force Majeure.** Any prevention, delay or stoppage of the performance of any obligation under this Agreement which is due to strikes, labor disputes, inability to obtain labor, materials, equipment or reasonable substitutes therefor; acts of nature, governmental restrictions, regulations or controls, judicial orders, enemy or hostile government actions, wars, civil commotions, fires or other casualties or other causes beyond the reasonable control of the party obligated to perform hereunder shall excuse performance of the obligation by that party for a period equal to the duration of that prevention, delay or stoppage.

27. **Time is of the Essence.** Time is of the essence to this MUMDA and every right or responsibility shall be performed within the times specified.

28. **Appointment of Representatives.** To further the commitment of the parties to cooperate in the implementation of this MUMDA, the City and Master Developer each shall designate and appoint a representative to act as a liaison between the City and its various departments and the Master Developer. The initial representative for the City shall be Greg Montgomery (Planning Manager) and the initial representative for Master Developer shall be Cameron Gunter. The parties may change their designated representatives by Notice. The representatives shall be available at all reasonable times to discuss and review the performance of the parties to this MUMDA and the development of the Project.

29. **Mutual Drafting.** Each party has participated in negotiating and drafting this MUMDA and therefore no provision of this MUMDA shall be construed for or against either party based on which party drafted any particular portion of this MUMDA.

30. **Applicable Law.** This MUMDA is entered into in the City in the State of Utah and shall be construed in accordance with the laws of the State of Utah irrespective of Utah's choice of law rules.

31. **Venue.** Any action to enforce this MUMDA shall be brought only in the Second District Court for the State of Utah, Ogden Department, Weber County.

32. **Recordation and Running with the Land.** This MUMDA shall be recorded in the chain of title for the Project. This MUMDA shall be deemed to run with the land. The data disk of the City's Vested Laws, Exhibit "D", shall not be recorded in the chain of title. A secure copy of Exhibit

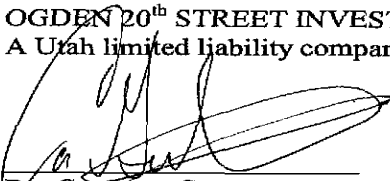
“D” shall be filed with the City Recorder and each party shall also have an identical copy.

33. **Additional Property.** At any time, upon written agreement between City, Master Developer and the owner of adjacent real property that is included in the MU Zone, such additional property may be included as Property within the Project as if the adjacent real property had been described in this agreement and shall be subject to the terms, benefits and restrictions of this MUMDA. Any such written agreement shall be recorded with the office of the Weber County Recorder and shall include such exhibits as the parties deem necessary to guide development of the additional included property.

34. **Authority.** The parties to this MUMDA each warrant that they have all of the necessary authority to execute this MUMDA. Specifically, on behalf of the City, the signature of the Mayor of the City is affixed to this MUMDA lawfully binding the City. This MUMDA is approved as to form and is further certified as having been lawfully adopted by the City by the signature of the City Attorney.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement by and through their respective, duly authorized representatives as of the day and year first herein above written.

MASTER DEVELOPER
OGDEN 20th STREET INVESTORS, L.L.C.
A Utah limited liability company



By: Cameron Gunter
Its: Manager

CITY
Ogden City corporation

[Handwritten Signature]
By: Michael P. Caldwell
Its: Mayor

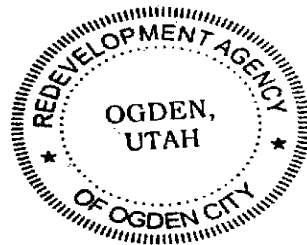
Attest:
[Handwritten Signature]
City Recorder



Approved as to form and legality:
[Handwritten Signature]
City Attorney

AGENCY
Ogden City Redevelopment Agency

[Handwritten Signature]
By: Michael P. Caldwell
Its: Executive Director



Attest:
[Handwritten Signature]
City Recorder

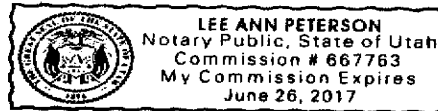
Approved as to form and legality:
[Handwritten Signature]
Agency Attorney

CITY ACKNOWLEDGMENT

STATE OF UTAH)
 :ss.
COUNTY OF WEBER)

On the 9th day of September, 2014, personally appeared before me Michael P. Caldwell who being by me duly sworn, did say that he is the Mayor of Ogden City Corporation, a Utah municipal corporation, and that said instrument was signed in behalf of the City and said Mayor acknowledged to me that the City executed the same.

Lee Ann Peterson
NOTARY PUBLIC



My Commission Expires:

Residing at:

06-26-2017

Weber County, Utah

DEVELOPER ACKNOWLEDGMENT

STATE OF UTAH)
 :ss.
COUNTY OF Utah ~~WEBER~~)

On the 8 day of January, 2014, personally appeared before me Cameron Gunter, who being by me duly sworn, did say that he is the manager of Ogden 20th Street Investors, L.L.C., a Utah limited liability company, and that the foregoing instrument was duly authorized by the company at a lawful meeting held by authority of its operating agreement and signed in behalf of said company.

Lindsay Talbot
NOTARY PUBLIC

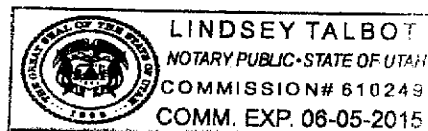


EXHIBIT LIST

EXHIBIT A	Property Description
EXHIBIT B	Master Plan
EXHIBIT C-1	Approved Building Use Plan - Phase 1
EXHIBIT D	City's Vested Laws
EXHIBIT E	Project Map

EXHIBIT A
PROPERTY DESCRIPTION

Parcels Owned by Master Developer

Parcel 1: Land Serial No. 03-035-0032 ✓ NP

ALL OF LOTS 46 AND 47, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 2: Land Serial No. 03-035-0031 ✓ NP

ALL OF LOTS 44 AND 45, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 3: Land Serial No. 03-035-0028 ✓ NP

ALL OF LOTS 37, 38 AND 39, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 4: Land Serial No. 03-035-0027 ✓ NP

ALL OF LOTS 34, 35 AND 36, IN BLOCK 2 OF RIVERSIDE PARK ADDITION TO OGDEN CITY, UTAH.

Parcel 5: Land Serial No. 03-035-0026 ✓ NP

ALL OF LOTS 32 AND 33, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 6: Land Serial No. 03-035-0025 ✓ NP

ALL OF LOTS 30 AND 31, BLOCK 2, RIVERSIDE PARK ADDITION TO OGDEN CITY, WEBER COUNTY, STATE OF UTAH.

Parcel 7: Land Serial No. 03-035-0024 ✓ NP

ALL OF LOTS 28 AND 29, BLOCK 2, RIVERSIDE PARK ADDITION, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WEBER COUNTY RECORDER'S OFFICE.

Parcel 8: Land Serial No. 03-035-0021

ALL OF LOTS 22 AND 23, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 9: Land Serial No. 03-037-0032 ✓ *MP*

ALL OF LOTS 16 AND 17, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE WEST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

Parcel 10: Land Serial No. 03-037-0031 ✓ *MP*

ALL OF LOTS 14 AND 15, BLOCK 2, RIVERSIDE PARK ADDITION TO OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE WEST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

Parcel 11: Land Serial No. 03-037-0028 ✓ *MP*

ALL OF LOTS 69, 70 AND 71, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE EAST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

Parcel 12: Land Serial No. 03-037-0027 ✓ *MP*

ALL OF LOTS 66, 67 AND 68, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE EAST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

Parcel 13: Land Serial No. 03-037-0026 ✓ *MP*

ALL OF LOTS 64 AND 65, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH EAST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

Parcel 14: Land Serial No. 03-035-0014 ✓ *MP*

ALL OF LOTS 50 AND 51, AND THE SOUTH 12 FEET OF LOT 49, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 15: Land Serial No. 03-035-0035 ✓ NP
ALL OF LOTS 47, 48 AND THE NORTHERLY 13 FEET OF LOT 49, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 16: Land Serial No. 03-035-0012 ✓ NP
THE SOUTH 1/2 OF LOT 44, ALL OF LOT 45, AND 46, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 17: Land Serial No. 03-035-0011 ✓ NP
ALL OF LOT 43, AND THE NORTH 1/2 OF LOT 44, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 18: Land Serial No. 03-035-0009 ✓ NP
ALL OF LOT 39, 40, 41 AND 42, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 19: Land Serial No. 03-035-0008 ✓ NP
ALL OF LOTS 36, 37 AND 38, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 20: Land Serial No. 03-035-0005 ✓ NP
ALL OF LOTS 29 AND 30, TOGETHER WITH THE SOUTH 20 FEET OF LOT 31, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 21: Land Serial No. 03-035-0004 ✓ NP
ALL OF LOTS 27 AND 28, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 22: Land Serial No. 03-035-0003 ✓ NP
ALL OF LOT 26, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 23: Land Serial No. 03-035-0001 ✓ NP

ALL OF LOTS 22 AND 23, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 24: Land Serial No. 03-037-0010 ✓ NP

THE NORTH 14 FEET OF LOT 19, AND ALL OF LOTS 20 AND 21, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 25: Land Serial No. 03-037-0008 ✓ NP

THE NORTH 16.66 FEET OF LOT 16, AND THE SOUTH 16.66 FEET OF LOT 17, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 26: Land Serial No. 03-037-0007 ✓ NP

ALL OF LOT 15, AND THE SOUTH 8 1/3 FEET OF LOT 16, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 27: Land Serial No. 03-037-0006 ✓ NP

ALL OF LOT 14, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 28: Land Serial No. 03-037-0005 ✓ NP

ALL OF LOTS 12 AND 13, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 29: Land Serial No. 03-018-0029 ✓ NP

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT WHICH IS 12.8 FEET WEST AND 160 FEET SOUTH 0D58' EAST OF THE SOUTHEAST CORNER OF LOT 20, BLOCK 7, OGDEN FIVE ACRE PLAT A; THENCE SOUTH 89D02' EAST 157.25 FEET, SOUTH 0D58' EAST TO THE SOUTH BANK OF THE OGDEN RIVER; THENCE SOUTHWESTERLY ALONG RIVER BANK TO THE EAST LINE OF GRANT AVENUE; THENCE NORTH 0D58' WEST ALONG SAID EAST LINE TO THE PLACE OF BEGINNING.

Parcel 30: Land Serial No. 03-18-0031
018 ✓ NP

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT NORTH 89D02' WEST 672.8 FEET AND SOUTH 0D58' WEST 1024.2 FEET FROM THE NORTHEAST CORNER OF SAID LOT 19; RUNNING THENCE SOUTH 0D58' WEST ALONG THE EAST LINE OF GRANT AVENUE 35 FEET; THENCE SOUTH 89D02' EAST 157.25 FEET; THENCE NORTH 0D58' EAST 35 FEET; THENCE NORTH 89D02' WEST 157.25 FEET TO THE PLACE OF BEGINNING.

Parcel 31: Land Serial No. 03-018-0032 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT NORTH 89D02' WEST 672.8 FEET AND SOUTH 0D58' WEST 986.7 FEET FROM THE NORTHEAST CORNER OF SAID LOT 19; RUNNING THENCE SOUTH 0D58' WEST ALONG THE EAST LINE OF GRANT AVENUE 37.5 FEET THENCE SOUTH 89D02' EAST 157.25 FEET; THENCE NORTH 0D58' EAST 37.5 FEET; THENCE NORTH 89D02' WEST 157.25 FEET TO THE PLACE OF BEGINNING.

Parcel 32: Land Serial No. 03-018-0034 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT NORTH 89D02' WEST 672.8 FEET AND SOUTH 0D58' WEST 899.02 FEET FROM THE NORTHEAST CORNER OF SAID LOT 19; THENCE SOUTH 89D02' EAST 157.25 FEET; THENCE SOUTH 0D58' WEST 50 FEET; THENCE NORTH 89D02' WEST 157.25 FEET; THENCE NORTH 0D58' EAST 50 FEET TO THE PLACE OF BEGINNING.

Parcel 33: Land Serial No. 03-018-0021 ✓ *MP*

PART OF LOTS 19 AND 20 IN BLOCK 7, OGDEN FIVE ACRE PLAT "A" OGDEN CITY, WEBER COUNTY, UTAH. BEGINNING AT A POINT ON THE EAST LINE OF GRANT AVENUE 174.5 FEET SOUTH OF THE SOUTH LINE OF 18TH STREET (SAID SOUTH LINE OF 18TH STREET BEING 26 RODS AND 1 FOOT NORTH OF THE SOUTHEAST CORNER OF SAID LOT 19) AND RUNNING THENCE SOUTH 40 FEET, ALONG THE EAST LINE OF GRANT AVENUE, THENCE EAST 132 FEET; THENCE NORTH 40 FEET; THENCE WEST 132 FEET TO THE PLACE OF BEGINNING.

Parcel 34: Land Serial No. 03-018-0019 ✓ *MP*

PART OF LOTS 19 AND 20, BLOCK 7, FIVE ACRE PLAT A, OGDEN CITY SURVEY, WEBER COUNTY, UTAH: BEGINNING AT A POINT ON THE SOUTH LINE OF 18TH STREET, 627.8 FEET WEST OF THE WEST LINE OF WASHINGTON AVENUE, AND RUNNING THENCE SOUTH 131.5 FEET, THENCE WEST 45 FEET TO THE EAST LINE OF GRANT AVENUE, THENCE NORTH 131.5 FEET, THENCE EAST 45 FEET TO THE PLACE OF BEGINNING.

Parcel 35: Land Serial No. 03-018-0018 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT THAT IS NORTH 0D58'EAST 430.00 FEET AND NORTH 89D02' WEST 591.00 (SHOULD READ 589.00) FEET FROM THE SOUTHEAST CORNER OF SAID LOT 19; RUNNING THENCE SOUTH 0D58' WEST 131.5 FEET; THENCE NORTH 89D02' WEST 36.8 FEET; THENCE NORTH 0D58' EAST 131.5 FEET; THENCE SOUTH 89D02' EAST 36.8 FEET TO THE PLACE OF BEGINNING. TOGETHER WITH A RIGHT-OF-WAY ALONG WITH OTHERS OVER THE FOLLOWING DESCRIBED PROPERTY, TO-WIT: PART OF LOTS 19 AND 20, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT ON THE EAST LINE OF GRANT AVENUE AS NOW LOCATED 131.5 FEET SOUTH FROM THE SOUTH LINE OF 18TH STREET; RUNNING THENCE SOUTH 89D02' EAST 154.3 FEET; THENCE SOUTH 8 FEET; THENCE NORTH 89D02' WEST 154.3 FEET; THENCE NORTH 8 FEET TO THE POINT OF BEGINNING.

Parcel 36: Land Serial No. 03-018-0017 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT ON THE SOUTH LINE OF 18TH STREET 81.8 FEET EAST OF THE EAST LINE OF GRANT AVENUE; THENCE EAST ALONG SAID SOUTH LINE OF 18TH STREET 35 FEET; THENCE SOUTH PARALLEL TO GRANT AVENUE 131.5 FEET; THENCE WEST PARALLEL TO 18TH STREET 35 FEET; THENCE NORTH 131.5 FEET TO THE PLACE OF BEGINNING. TOGETHER WITH RIGHT-OF-WAY 8 FEET IN WIDTH ADJOINING SAID LAND ON THE SOUTH AND RUNNING WEST TO GRANT AVENUE.

Parcel 37: Land Serial No. 03-018-0016 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT ON THE SOUTH SIDE OF 18TH STREET 154.3 FEET EAST OF THE EAST LINE OF GRANT AVENUE; RUNNING

THENCE WEST 37.5 FEET; THENCE SOUTH 131.5 FEET TO THE NORTH SIDE OF AN ALLEY; THENCE EAST 37.5 FEET; THENCE NORTH 131.5 FEET TO THE PLACE OF BEGINNING. TOGETHER WITH A RIGHT OF WAY FOR GENERAL PURPOSES OF INGRESS AND EGRESS OVER AND UPON A CERTAIN ALLEY AS NOW USED, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PART OF LOTS 19 & 20 IN BLOCK 7, OGDEN FIVE ACRE PLAT "A" OF OGDEN CITY SURVEY; BEGINNING AT A POINT ON THE EAST LINE OF GRANT AVENUE IN OGDEN CITY, UTAH WHICH POINT IS 131.5 FEET SOUTH OF THE SOUTH LINE OF EIGHTEENTH STREET IN SAID OGDEN CITY, AND RUNNING THENCE EAST PARALLEL TO THE LINE OF EIGHTEENTH STREET A DISTANCE OF 154.3 FEET; THENCE SOUTH 8 FEET; THENCE WEST PARALLEL TO THE SOUTH LINE OF 18TH STREET 154.3 FEET TO THE EAST LINE OF GRANT AVENUE; THENCE NORTH 8 FEET TO THE POINT OF BEGINNING.

Parcel 38: Land Serial No. 03-018-0015 ✓ NP

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT 430 FEET NORTH AND 476.5 FEET WEST FROM THE SOUTHEAST CORNER OF SAID LOT 19; RUNNING THENCE WEST 40 FEET; THENCE SOUTH 148.5 FEET; THENCE EAST 40 FEET; THENCE NORTH 148.5 FEET TO THE PLACE OF BEGINNING.

Parcel 39: Land Serial No. 03-018-0014 ✓ NP

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT ON THE SOUTH LINE OF 18TH STREET 430 FEET NORTH AND 415 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 19; RUNNING THENCE WEST 61.5 FEET; THENCE SOUTH 115 FEET; THENCE EAST 30.5 FEET; THENCE NORTH 18 FEET; THENCE EAST 31 FEET; THENCE NORTH 97 FEET TO THE PLACE OF BEGINNING.

Parcel 40: Land Serial No. 03-018-0013 ✓ NP

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY SURVEY, WEBER COUNTY, UTAH. BEGINNING AT A POINT NORTH 0D58' EAST 273.6 FEET AND NORTH 89D02' WEST 363 FEET AND NORTH 0D58' EAST 28.7 FEET FROM THE SOUTHEAST CORNER OF SAID LOT 19, SAID POINT ALSO BEING SOUTH 0D58' WEST 123.1 FEET FROM THE SOUTHWEST CORNER OF 18TH STREET AND KIESEL AVENUE AND RUNNING THENCE NORTH 89D02' WEST 113.5 FEET, THENCE NORTH 0D58' EAST 8.1 FEET,

THENCE SOUTH 89D02' EAST 30.5 FEET, THENCE NORTH 0D58' EAST 18 FEET, THENCE SOUTH 89D02' EAST 31 FEET, THENCE NORTH 0D58' EAST 97 FEET, THENCE SOUTH 89D02' EAST 52 FEET, THENCE SOUTH 0D58' WEST 123.1 FEET TO THE POINT OF BEGINNING. TOGETHER WITH AND SUBJECT TO A RIGHT OF WAY AS SHOWN ON THE PLAT.

Parcel 41: Land Serial No. 03-018-0011 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT 18 RODS 13 FEET NORTH AND 252 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 19; RUNNING THENCE WEST 78 FEET; THENCE NORTH 120 FEET; THENCE EAST 78 FEET; THENCE SOUTH 120 FEET TO THE PLACE OF BEGINNING.

Parcel 42: Land Serial No. 03-018-0010 ✓ *MP*

BEGINNING AT A POINT 18 RODS 13 FEET NORTH AND 12 RODS 14 FEET WEST FROM THE SOUTHEAST CORNER OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH; RUNNING THENCE WEST 40 FEET; THENCE NORTH 120 FEET; THENCE EAST 40 FEET; THENCE SOUTH 120 FEET TO THE POINT OF BEGINNING. TOGETHER WITH A RIGHT-OF-WAY, SO FAR AS THE SAME IS APPURTENANT TO AND AFFECTS THE ABOVE DESCRIBED LAND OVER THE FOLLOWING: BEGINNING AT A POINT 18 RODS 1 FOOT NORTH AND 8 RODS WEST FROM THE SOUTHEAST CORNER OF SAID LOT 19; RUNNING THENCE WEST 12 RODS; THENCE NORTH 12 FEET; THENCE EAST 12 RODS; THENCE SOUTH 12 FEET TO THE POINT OF BEGINNING.

Parcel 43: Land Serial No. 03-018-0009 ✓ *MP*

PART OF LOT 19, BLOCK 7, FIVE ACRE PLAT A: BEGINNING 172 FEET WEST OF THE INTERSECTION OF THE WEST LINE OF WASHINGTON AVENUE AND THE SOUTH LINE OF 18TH STREET, OGDEN CITY, WEBER COUNTY, UTAH, RUNNING THENCE WEST 40 FEET, THENCE SOUTH 120 FEET, THENCE EAST 40 FEET, THENCE NORTH 120 FEET TO THE PLACE OF BEGINNING.

Parcel 44: Land Serial No. 03-018-0022

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT NORTH 0D58' EAST 273.6 FEET AND NORTH 89D02' WEST 363.0 FEET FROM THE SOUTHEAST CORNER OF SAID

LOT; RUNNING THENCE NORTH 87D15' WEST 113.56 FEET; THENCE NORTH 0D58' EAST 25.17 FEET; THENCE SOUTH 89D02' EAST 113.5 FEET; THENCE SOUTH 0D58' WEST 28.7 FEET TO BEGINNING.

Parcel 45: Land Serial No. 03-018-0023 ✓ *MP*

PART OF LOTS 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT 430 FEET NORTH 363 FEET WEST AND 151.8 FEET SOUTH FROM THE SOUTHEAST CORNER OF SAID LOT 19; SAID POINT BEING ON THE WEST LINE OF RIGHT-OF-WAY AND 151.8 FEET SOUTH OF THE SOUTH LINE OF 18TH STREET; THENCE SOUTH 92.7 FEET; THENCE WEST 153 FEET; THENCE NORTH 30.3 FEET; THENCE WEST 23 FEET, MORE OR LESS; THENCE NORTH 75 FEET; THENCE EAST 22.3 FEET; THENCE SOUTH 9 FEET; THENCE EAST 40 FEET; THENCE SOUTH 87D15' EAST 113.56 FEET TO THE PLACE OF BEGINNING. WITH A RIGHT-OF-WAY TO GRANT AVENUE FROM REAR PIECE (125-88 & 254-601).

Parcel 46: Land Serial No. 03-018-0024 ✓ *MP*

PART OF LOT 19, BLOCK 7, FIVE ACRE PLAT A, OGDEN CITY SURVEY, WEBER COUNTY, UTAH: BEGINNING AT A POINT 430 FEET NORTH, 363 FEET WEST AND 244.5 FEET SOUTH OF SAID SOUTHEAST CORNER OF SAID LOT 19, AND RUNNING THENCE SOUTH 70 FEET, THENCE WEST 153 FEET, THENCE NORTH 70 FEET, THENCE EAST 153 FEET TO BEGINNING.

Parcel 47: Land Serial No. 03-018-0025 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT 430 FEET NORTH AND 363 FEET WEST, 314.5 FEET SOUTH FROM THE SOUTHEAST CORNER OF SAID LOT 19; RUNNING THENCE SOUTH 25 FEET; THENCE WEST 153 FEET; THENCE NORTH 25 FEET; THENCE EAST 153 FEET TO THE PLACE OF BEGINNING. SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

Parcel 48: Land Serial No. 03-018-0028 ✓ *MP*

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY, WEBER COUNTY, UTAH: BEGINNING AT A POINT WHICH IS 160 FEET SOUTH 0D58' WEST AND 144.45 FEET SOUTH 89D02' EAST FROM THE SOUTHEAST CORNER OF LOT 20, BLOCK 7; RUNNING THENCE SOUTH 89D02' EAST 153 FEET TO THE WEST LINE OF KIESEL AVENUE; THENCE SOUTH 0D58' WEST TO THE

SOUTH BANK OF OGDEN RIVER; THENCE SOUTHWESTERLY ALONG THE SOUTH BANK OF SAID RIVER TO A POINT SOUTH 0D58' WEST FROM BEGINNING; THENCE NORTH 0D58' EAST TO THE PLACE OF BEGINNING.

Parcel 49: Land Serial No. 03-037-0024

ALL OF LOTS 11 AND 11-1/2, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE EAST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

Parcels Owned by Ogden City

Parcel 1: Land Serial Number 03-035-0007

ALL OF LOTS 32, 33, 34 AND 35, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 2: Land Serial No. 03-018-0026


PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY SURVEY, WEBER COUNTY, UTAH: BEGINNING AT A POINT 430 FEET NORTH AND 363 FEET WEST AND 389.0 FEET SOUTH FROM THE SOUTHEAST CORNER OF SAID LOT 19, AND RUNNING THENCE SOUTH 0.5 FEET; THENCE WEST 153 FEET; THENCE NORTH 0.50 FEET; THENCE EAST 153 FEET TO THE PLACE OF BEGINNING. TOGETHER WITH A RIGHT-OF-WAY OVER THE FOLLOWING DESCRIBED LAND: BEGINNING AT A POINT 430 FEET NORTH AND 330 FEET WEST FROM THE SOUTHEAST CORNER OF SAID LOT 19, AND RUNNING THENCE SOUTH 389.5 FEET; THENCE WEST 33 FEET; THENCE NORTH 389.5 FEET TO THE SOUTH LINE OF 18TH STREET; THENCE EAST 33 FEET TO THE PLACE OF BEGINNING.

Parcels Owned by Redevelopment Agency


Parcel 1: Land Serial No. 03-018-0039

PART OF LOT 19, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY SURVEY, WEBER COUNTY, UTAH: BEGINNING AT A POINT 430 FEET NORTH AND 363 FEET WEST AND 339.5 FEET SOUTH FROM THE SOUTHEAST CORNER OF SAID LOT 19, AND RUNNING THENCE SOUTH 49.5 FEET;

THENCE WEST 153 FEET; THENCE NORTH 49.5 FEET; THENCE EAST 153 FEET TO THE PLACE OF BEGINNING. TOGETHER WITH A RIGHT-OF-WAY OVER THE FOLLOWING DESCRIBED LAND: BEGINNING AT A POINT 430 FEET NORTH AND 330 FEET WEST FROM THE SOUTHEAST CORNER OF SAID LOT 19, AND RUNNING THENCE SOUTH 389.5 FEET; THENCE WEST 33 FEET; THENCE NORTH 389.5 FEET TO THE SOUTH LINE OF 18TH STREET; THENCE EAST 33 FEET TO THE PLACE OF BEGINNING.

Parcel 2: Land Serial No. 03-018-0020 

PART OF LOTS 19 AND 20, BLOCK 7, OGDEN FIVE ACRE PLAT A, OGDEN CITY SURVEY, WEBER COUNTY, UTAH: BEGINNING AT A POINT ON THE EAST LINE OF GRANT AVENUE 174.5 FEET SOUTH OF THE SOUTH LINE OF 18TH STREET; RUNNING THENCE NORTH ALONG THE EAST LINE OF GRANT AVENUE 35 FEET; THENCE EAST 132 FEET; THENCE SOUTH 35 FEET; THENCE WEST 132 FEET TO THE PLACE OF BEGINNING. TOGETHER WITH A PERPETUAL RIGHT-OF-WAY FOR ALL PURPOSES OF INGRESS AND EGRESS OF THE FOLLOWING DESCRIBED TRACT OF LAND. A PART OF SAID LOTS 19 AND 20: BEGINNING AT A POINT ON THE EAST LINE OF GRANT AVENUE 131.5 FEET SOUTH OF THE SOUTH LINE OF 18TH STREET; RUNNING THENCE SOUTH ALONG THE EAST LINE OF GRANT AVENUE 8 FEET; THENCE EAST 132 FEET; THENCE NORTH 8 FEET; THENCE WEST 132 FEET TO THE PLACE OF BEGINNING.

Parcel 3: Land Serial No. 03-018-0033 

PART OF LOT 19, BLOCK 7, OGDEN 5 ACRE PLAT A, OGDEN CITY SURVEY: BEGINNING AT A POINT NORTH 89D02' WEST 672.8 FEET AND SOUTH 0D58' WEST 949.2 FEET FROM THE NORTHEAST CORNER OF SAID LOT 19, AND RUNNING THENCE SOUTH 0D58' WEST ALONG EAST LINE OF GRANT AVENUE 37 1/2 FEET; THENCE SOUTH 89D02' EAST 157.25 FEET; THENCE NORTH 0D58' EAST 37 1/2 FEET; THENCE NORTH 89D02' WEST 157.25 FEET TO PLACE OF BEGINNING.

Parcel 4: Land Serial No. 03-035-0006 

LOT 31, EXCEPTING THE SOUTH 20 FEET THEREOF, BLOCK 1, RIVERSIDE PARK ADDITION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WEBER COUNTY RECORDERS OFFICE.

Parcel 5: Land Serial No. 03-035-0002 

ALL OF LOTS 24 AND 25, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 6: Land Serial No. 03-037-0009 ✓ *RB*

THE NORTH 8 1/3 FEET OF LOT 17 AND ALL OF LOT 18, AND THE SOUTH 11 FEET OF LOT 19, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 7: Land Serial No. 03-037-0001 ✓ *RB*

ALL OF LOTS 1 TO 6, INCLUSIVE, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 8: Land Serial No. 03-037-0002 ✓ *RB*

ALL OF LOTS 7 AND 8, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 9: Land Serial No. 03-037-0003 ✓ *RB*

ALL OF LOTS 9 AND 10, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 10: Land Serial No. 03-037-0025 ✓ *RB*

ALL OF LOTS 62 AND 63, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE EAST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013).

Parcel 11: Land Serial No. 03-035-0036 ✓ *RB*

THE SOUTH 10 FEET OF LOT 57 AND ALL OF LOTS 58 TO 61, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE EASTERLY 4.1 FEET OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

Parcel 12: Land Serial No. 03-035-0018 ✓ *RB*

ALL OF LOTS 54 THRU 56 AND THE NORTH 15 FEET OF LOT 57, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 13: Land Serial No. 03-035-0017 ✓ *RB*

ALL OF LOTS 52 AND 53, BLOCK 1, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 14: Land Serial No. 03-035-0030 ✓ *EB*

ALL OF LOTS 42 AND 43, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 15: Land Serial No. 03-035-0029 ✓ *EB*

ALL OF LOTS 40 AND 41, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH: BEING PART OF LOT 14, BLOCK 7, OGDEN FIVE ACRE PLAT A, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WEBER COUNTY RECORDERS OFFICE.

Parcel 16: Land Serial No. 03-035-0023 ✓ *EB*

ALL OF LOTS 24, 25, 26 AND 27, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH.

Parcel 17: Land Serial No. 03-037-0034 ✓ *EB*

ALL OF LOTS 20 AND 21, IN BLOCK 2, RIVERSIDE PARK ADDITION OF OGDEN CITY, UTAH. TOGETHER WITH THE WEST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

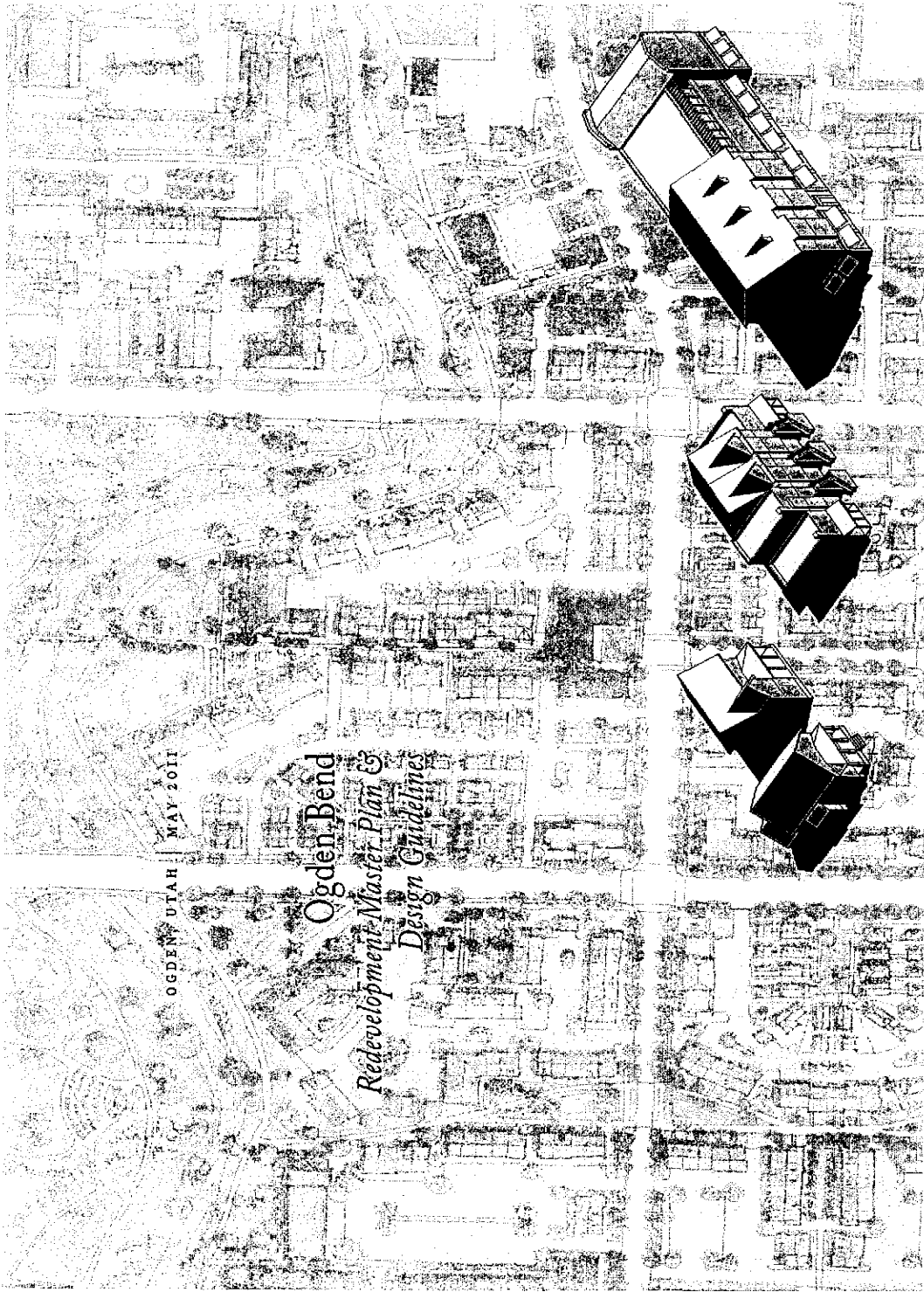
Parcel 18: Land Serial No. 03-037-0033 ✓ *EB*

ALL OF LOTS 18 AND 19, BLOCK 2, RIVERSIDE PARK ADDITION, OGDEN CITY, WEBER COUNTY, UTAH. TOGETHER WITH THE WEST HALF OF THE VACATED PORTION OF CHILDS AVENUE ABUTTING THEREON. (E# 2665693 25-NOV-2013)

EXHIBIT B

MASTER PLAN

Ogden Bend Redevelopment Master Plan and Design Guidelines, dated May 2011



OGDEN, UTAH | MAY 2011

Ogden Bend
 Redevelopment Master Plan &
 Design Guidelines

URBAN DESIGN ASSOCIATES



Ogden Bend
 Redevelopment Master Plan &
 Design Guidelines

PREPARED FOR
 Ogden City

PREPARED BY
 Urban Design Associates

ACKNOWLEDGEMENTS

OGDEN BEND: REDEVELOPMENT MASTER PLAN & DESIGN GUIDELINES | OGDEN, UTAH | MAY 2011 | URBAN DESIGN ASSOCIATES

Table of Contents

Volume 1 | Redevelopment Master Plan

OVERVIEW	1
Analysis	2
The Planning Process	3
Design Principles	4
Connections	5
MASTER PLAN	6
Illustrative Master Plan	7
Alternative Illustrative Master Plan	8
Open Space Plan	9
Plan Frameworks	10
Building Types Plan	11
Building Use Plan	12
Phasing Plan	13
Perspective Views	14
Model Views	19

Volume 2 | Design Guidelines

INTRODUCTION	1
The Design Guidelines Principles	2
How To Apply The Design Guidelines	3
COMMUNITY PATTERNS	4
Key Addresses	5
Landmark Locations	8
ARCHITECTURAL PATTERNS	9
Building Typologies	10
Architectural Styles	12
Victorian	23
Arts & Crafts	27
Transitional Modern	31
Loft/Mercantile	35
LANDSCAPE PATTERNS	37
Neighborhood Landscape Character	38
Open Space Elements	39

Appendix



Volume I | Redevelopment Master Plan

Overview

THE OGDEN BEND NEIGHBORHOOD is a key target area in the re-invention of Ogden at the northern end of Downtown, a roughly 60 acre area lying north of 20th Street. The unique physical feature of the neighborhood is the Ogden River, which runs east to west through the area and makes a unique bend in its path. Recently, the river has been substantially improved for active and passive recreation. In a major restoration effort, the banks have been pulled back to allow greater river capacity and the natural physical features of the river and its banks have been restored to bring back the vegetation and habitats. A wide bike trail alongside the river connects to the regional trail system of the lower Ogden Valley.

Other important anchors of the site are the new and rehabilitated buildings which signal reinvestment in the area. These sites include the Da Vinci Academy, which has been recognized as a successful Charter school, in the restored American Can buildings to south of the site boundary. On the corner of the Ogden River and 18th street, a successful commercial building has opened with retail that addresses the river. Future transportation plans include a downtown circularator (bus or trolley route) that will provide transit opportunities for those who work in downtown, or use the existing commuter rail station.

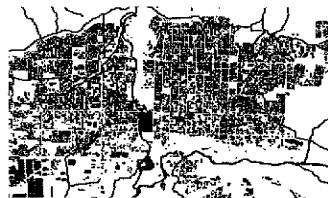
Ogden City established this area as a redevelopment district, known as the Ogden River Redevelopment Project Area in 2002. The intent of the Redevelopment area is to create an attractive urban environment as a setting for high density urban residential and mixed-use neighborhood that will be a benefit to the downtown revitalization. To do this, new development will offer high density housing choices in walking distance of services and transit stops, and at the same time, respect the relationship with the Ogden River Parkway.

- 1 Ogden City Cemetery
- 2 Liberty Park
- 3 Lindquist Field
- 4 LDS Temple
- 5 Union Station
- 6 Ogden City Public Safety Building
- 7 The Junction
- 8 Municipal Gardens
- 9 Municipal Building
- 10 Lester Park
- 11 James Madison Elementary School



Analysis

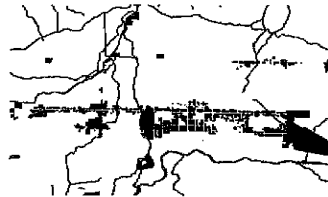
To better understand the general patterns of natural features and man-made systems in the city and surrounding areas, the design team performed an analysis exercise prior to arriving in Ogden. The result was the series of UDA X-Ray® diagrams seen to the right. Each x-ray illustrates a single network or physical feature, allowing patterns as well as gaps or missing links in a network to be studied. A solid knowledge of the broader regional context was very important for the design team, especially since the project site commands such a prominent location along a main natural feature at the core of the region and links into the larger open space, trails, and transportation networks.



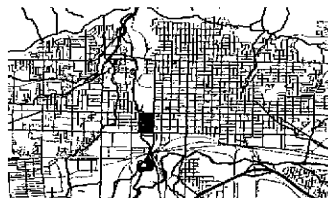
BUILDINGS X-RAY The texture of development makes the city's grid clearly visible, and the scale of buildings clearly increases downtown and in industrial areas along the rail tracks.



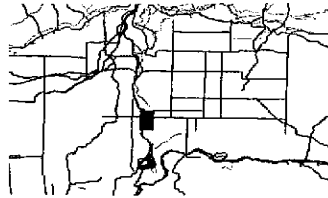
RESIDENTIAL LAND X-RAY Residential development is heavily concentrated on the "benches" to the north, east, and south of downtown.



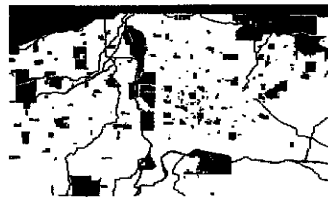
COMMERCIAL LAND X-RAY Commercial activity is organized along several main corridors and in large clusters of shopping centers.



STREETS X-RAY Highways are shown in red, and main arterials in yellow. The streets in older parts of the city maintain a tight grid, while newer development has occurred in a less-organized pattern.



TRAILS AND BIKEWAYS X-RAY Ogden is blessed with an excellent system of pedestrian and bike trails, though some gaps still exist.



OPEN SPACE X-RAY The city boasts numerous recreation and neighborhood parks, as well as a national forest in the mountains to the east.

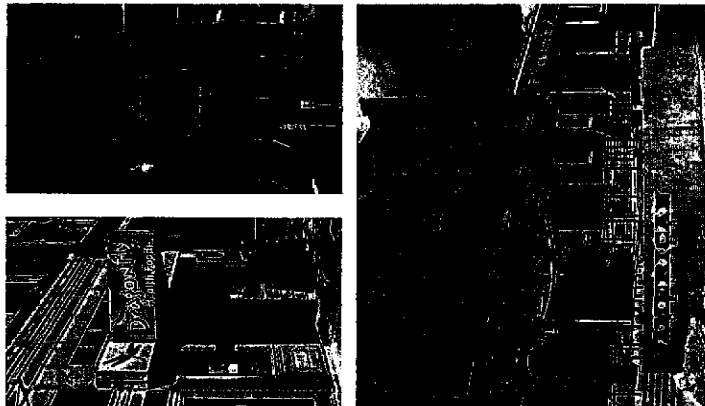
The Planning Process

During the course of the workshop, the planning team, which consisted of urban designers and architects, conducted a three phase process including: Data Collection and Analysis; Alternative Strategies and Development of the Preferred Plan.

The process included focus group meetings with landowners, businesses, local developers, local builders, the Ogden Arts Committee, City Staff and Elected Officials. The process was led by the Community Development Department, and a Committee of city representatives who guided the team through plan development. The Committee provided insight into available resources, collaboration potential and strategic advice.

The open, interactive process created a consensus approach for improving the neighborhood and creating opportunities to grow as part of a larger city. The approach involved working between the quantitative requirements and the development potential, and the qualitative goals of what the place 'should feel like'. In this manner the design team was able to simultaneously check the design against those requiring development data and those interested in the look and feel of the new neighborhood.

This document presents the consensus Master Plan and a development framework for the Ogden Bend neighborhood. Principles for Sustainable design set goals that will yield an environmental responsible neighborhood. Guidelines for Architecture and Landscape document the vision for the site and will serve as a starting point for the City when engaging developers and designers.



Architecture of the city served as an influential starting point for the design

THEMES DEVELOPED THROUGH COMMITTEE & STAKEHOLDER INPUT

SENSE OF COMMUNITY

- Sense of Place: Feels like an Ogden Neighborhood
- Connected to History: Acknowledge the past and look to the future
- Safe: Secure Public: Create a place that feels safe, yet public for the neighborhood

HEALTH & WELLNESS

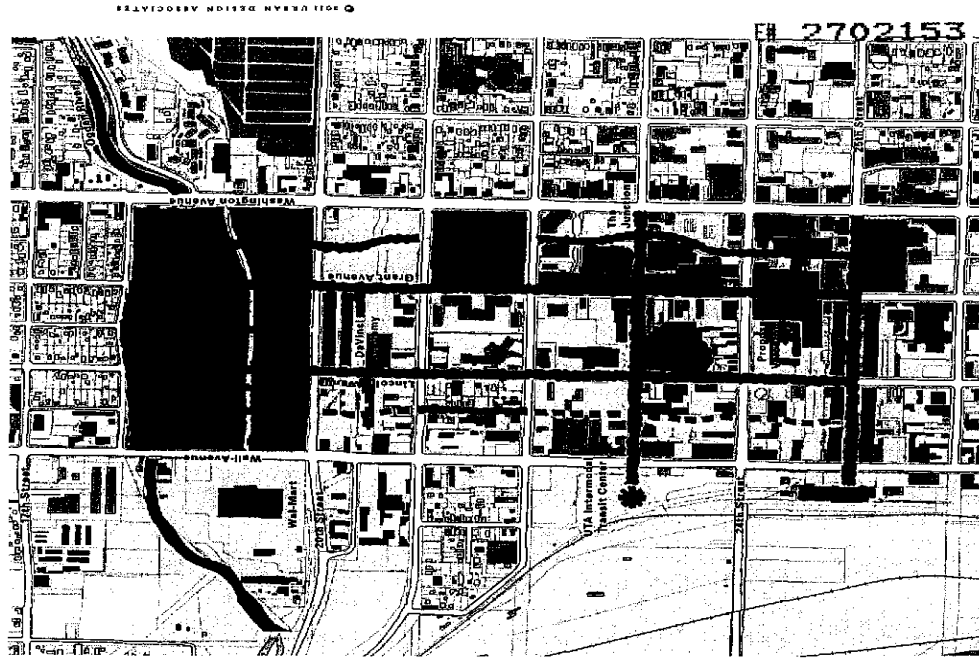
- Healthy Living: Express connected to the outdoors
- Healthy Planning: Architecture, Community Gardens, sustainable construction, reuse of materials
- Learning: Schools, arts, nature

REVITALIZATION

- Connect to Existing Resources: River trails, old town, etc.
- Sustainability: Make use of resources, climate oriented, green infrastructure and energy efficiency

Connections

Linking the Ogden Bend neighborhood to nearby cultural, recreational, civic, and transportation resources was cited as a major design goal early in the planning process. Just as importantly, the site provides the closest and most immediate access to the river from downtown, so any proposed development should not restrict that access, but maintain and enhance it. Currently, the main access points to the restored river and trail occur at Washington Boulevard and Wall, Lincoln, and Grant Avenues. However, to best improve the general connectivity of downtown and the site, additional pedestrian and bike connections should be included in the site plan and extended south to link to downtown's main attractions and activity generators. The diagram to the right was developed to illustrate the envisioned connections and to establish a framework to guide proposed development at Ogden Bend.



Master Plan

THE MASTER PLAN OFFERS A rich array of housing types and sizes to house the growing Ogden population in downtown neighborhood. A hotel, restaurants and retail shops will serve the neighborhood and create a destination within the city.

The vision for the river front is to become a parallel but distinctly different destination from 25th Street. Though these two areas are approximately a 10-minute walk apart, the two can grow together with a targeted strategy. The connections diagram (on page 5) shows where efforts should be made to increase downtown connectivity. Lincoln and Grant Avenues will have pedestrian and bike trails. Additionally, future transit routes (i.e. the Circulator) should enhance connections. Within the project boundaries, efforts have been made to increase north-south connections to the neighboring civic stronghold, the LDS Church and Da Vinci Academy of Science of Arts, and the river to the north with park spaces and trails. The experience of the river will be felt deep within the site through view corridors and by careful landscape design.

A new river park has been planned on the north side of the river between Grant and Wall Avenues. This will become an 'adventure recreation park' with play equipment for children. Additional public access to river through trails, gathering spaces and performance lawn will make this a destination within itself. Public parking along 18th Street is incorporated for those traveling by car.

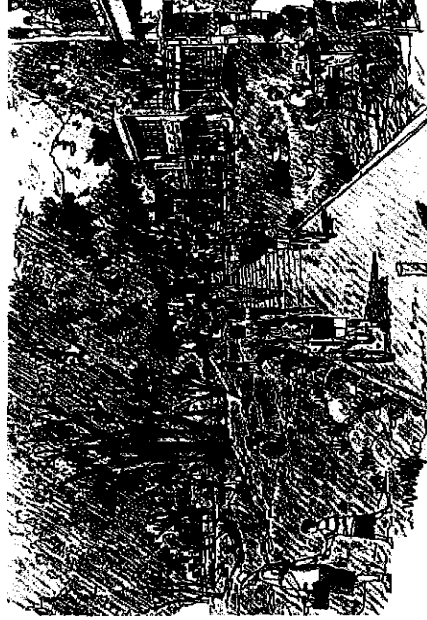
New housing includes single-family homes, townhouses and apartments in a series of unique addresses. Some face streets, some face small parks, all emphasize living in the public realm and de-emphasize the car by parking in rear garages or lots.



Stakeholder groups provided the design team with valuable input throughout the week.



The design team worked concurrently to stakeholder sessions, developing the master plan, constructing a digital site model, and creating rendered perspective views.



A view of the riverfront trail and new mixed-use development spurring additional activity along it.

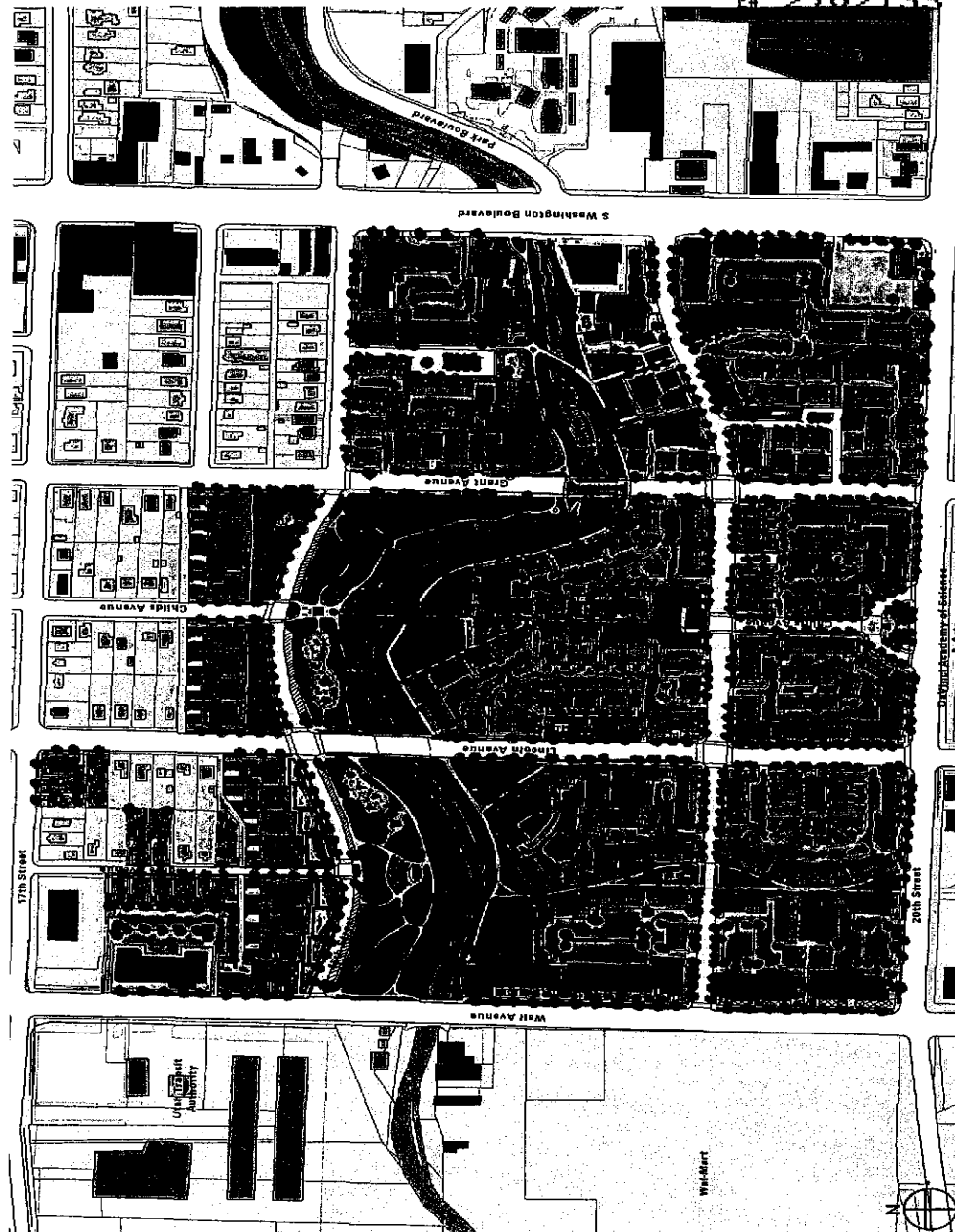
Illustrative Master Plan

OGDEN RIVER REDEVELOPMENT
 The Master Plan offers a rich array of housing types and sets in a neighborhood setting. The river experience is enhanced with parks and trail systems that make north-south connections with the river. Commercial uses on the eastern side of the plan are thought to be more neighborhood serving and small destination tenants. A new local anchor is the north-west corner of the plan. Commercial uses along Will Avenue is compatible with the new retail being constructed along this corridor.

BUILDING USE KEY	
[Symbol]	SINGLE-FAMILY RESIDENTIAL
[Symbol]	MULTI-FAMILY RESIDENTIAL
[Symbol]	MIXED-USE
[Symbol]	COMMERCIAL/RETAIL



Alternative Illustrative Master Plan



BUILDING USE KEY	
[Pattern]	SINGLE-FAMILY RESIDENTIAL
[Pattern]	MULTI-FAMILY RESIDENTIAL
[Pattern]	MIXED-USE
[Pattern]	COMMERCIAL/RETAIL

Open Space Plan

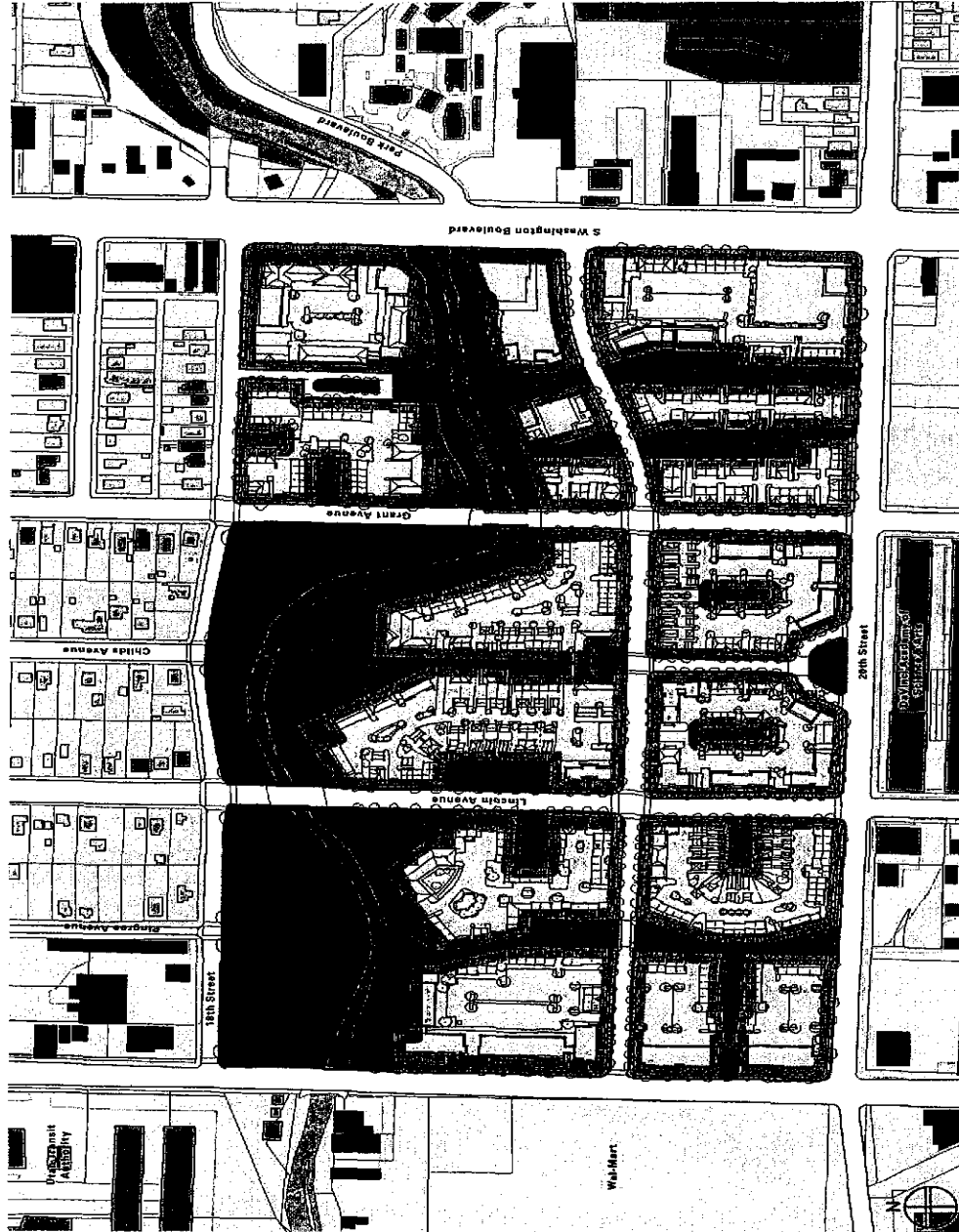
THE RIVER, PARKS AND TRAILS
 The Ogden River is the spine of a new system of interconnected trails, parks and open spaces that make this neighborhood truly unique. Most green spaces will also act as water filtration areas to collect and drain stormwater in a sustainable way. In addition to the Inverhout Hill and river access, the large Inverhout park can accommodate an imaginative program of recreational and civic elements. Some features discussed or suggested during the workshop include playground and "adventure" equipment, public art, an amphitheater, an outdoor classroom, memorial spaces, historic artifact displays, and a zip line.



Plan Frameworks

STREETS & GREENS
 The framework of streets and greens will organize the placement and orientation of future development on the site. Encouraging maximum building coverage along streets and parks helps to define the public space, generate activity, and maintain a safe environment. Parking areas are located in the interior of blocks and screened by buildings and landscaping.

	PUBLIC OPEN SPACE
	PRIORITY MAINTAINED GREEN SPACE
	PUBLIC ACCESSWAY
	ACCESS LANE
	EMPLOYMENT ZONE



Building Types Plan



BUILDING USE KEY	
[Symbol]	COTTAGES
[Symbol]	TOWNHOUSES
[Symbol]	APARTMENTS
[Symbol]	MIXED USE
[Symbol]	LIVE/WORK
[Symbol]	CARSHARE HOUSES
[Symbol]	HOTEL
[Symbol]	COMMERCIAL/RETAIL

Building Use Plan



DEVELOPMENT SUMMARY	
Carriage Houses	26
Cottages	24
Townhouses	383
Apartments	263
Live-work	23
Retail	82,225 SF
Hotel	80-100 Keys
TOTAL UNITS	721
OPEN SPACE	18.3 AC

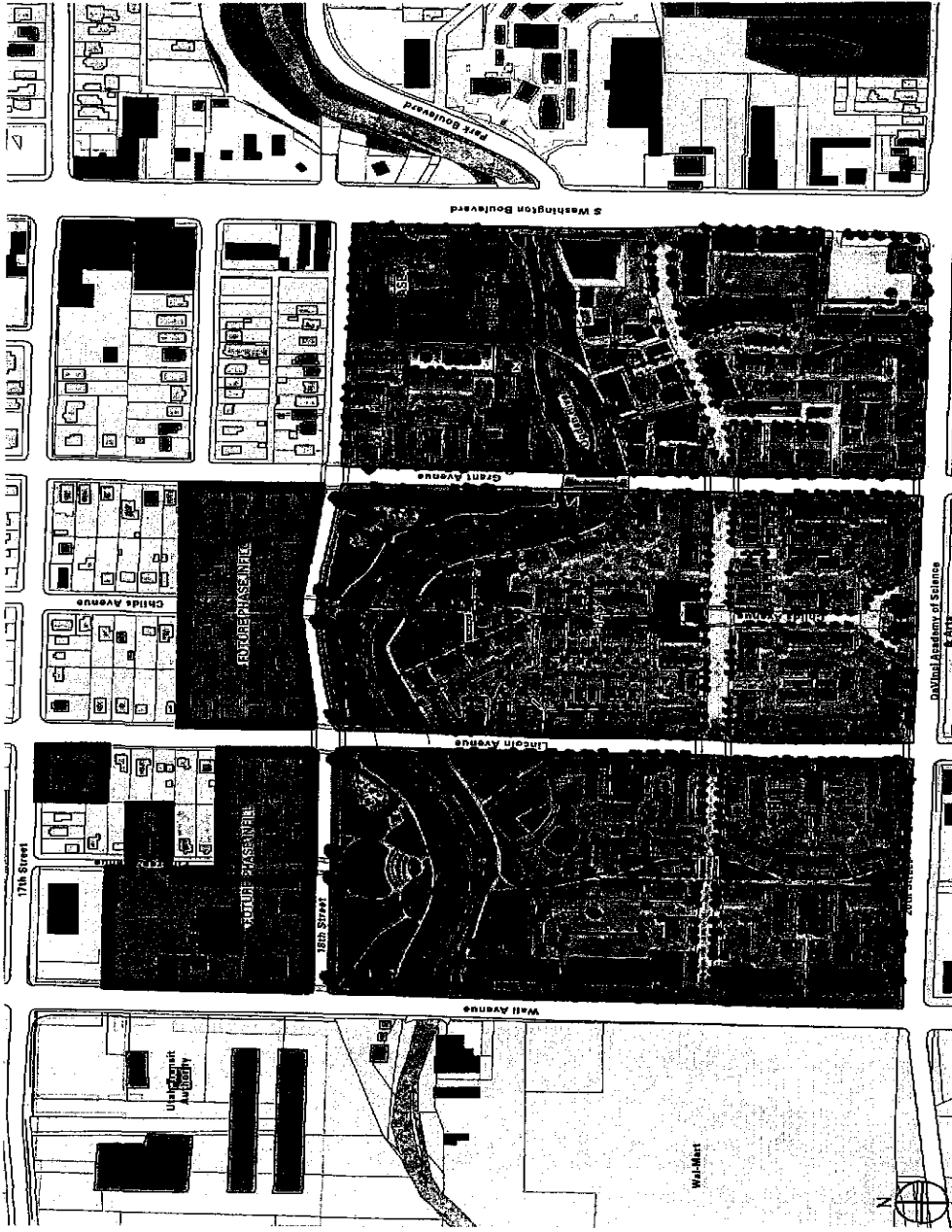
Note: Development numbers are based on this plan. Revisions to the plan or program may alter the totals, however the total square footage must remain as a minimum threshold.

BUILDING USE KEY	
[Symbol]	RESIDENTIAL
[Symbol]	MIXED-USE
[Symbol]	RETAIL/COMMERCIAL
[Symbol]	HOTEL

© 2011 URBAN DESIGN ASSOCIATES

Phasing Plan

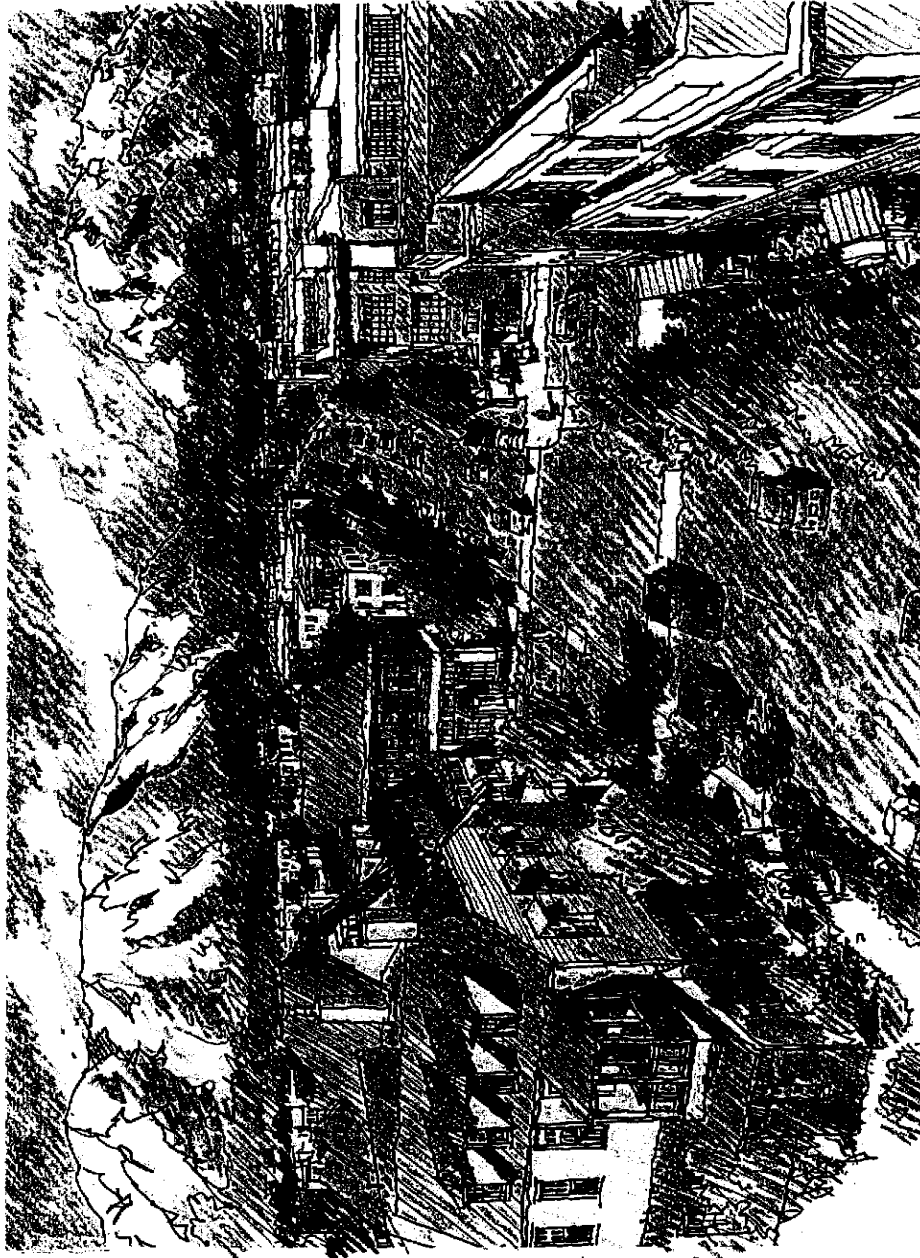
INCREMENTAL DEVELOPMENT
 This large urban site will take years to fully complete, but the plan was designed as a series of complete phases that would be successful and attractive even before the entire neighborhood is finished. The Phasing Plan serves as a guide to achieve this. The sequence has been selected based on a number of influences, and each phase can be complete as a series of smaller sub-phases.



© 2011 URBAN DESIGN ASSOCIATES

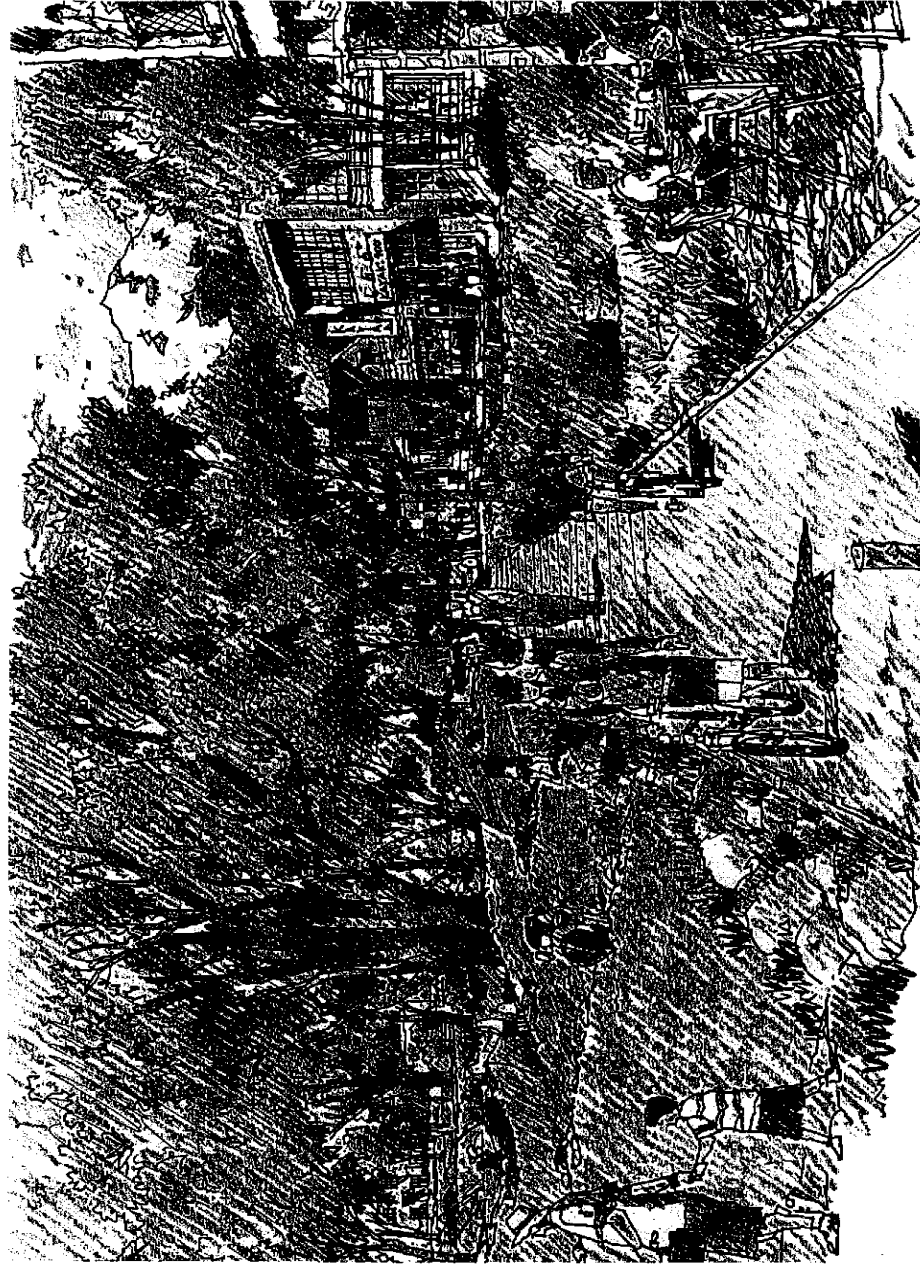
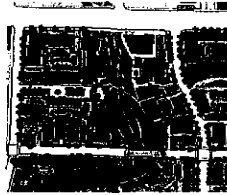
Perspective Views

A SENSE OF PLACE
 Once the Ogden Bend plan is realized, it will become a true Ogden neighborhood—walkable, connected to history and nature, and entirely unique. A comfortable building scale, combined with architectural styles that acknowledge the past while looking to the future, will ensure that the new neighborhood endures (both to current and future Ogden residents) and endures as an integral part of the city well into the future.



Perspective Views, continued

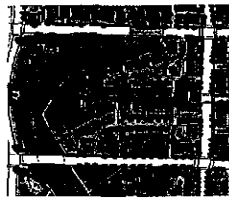
ACTION AT THE BEND
Ogden is already home to very enthusiastic active people, and the recently restored stretch of river and trail is attracting them to the Bend. New development, sensitive to the river and trail, will complement riverfront activities and generate additional energy here.



© 2011 URBAN DESIGN ASSOCIATES

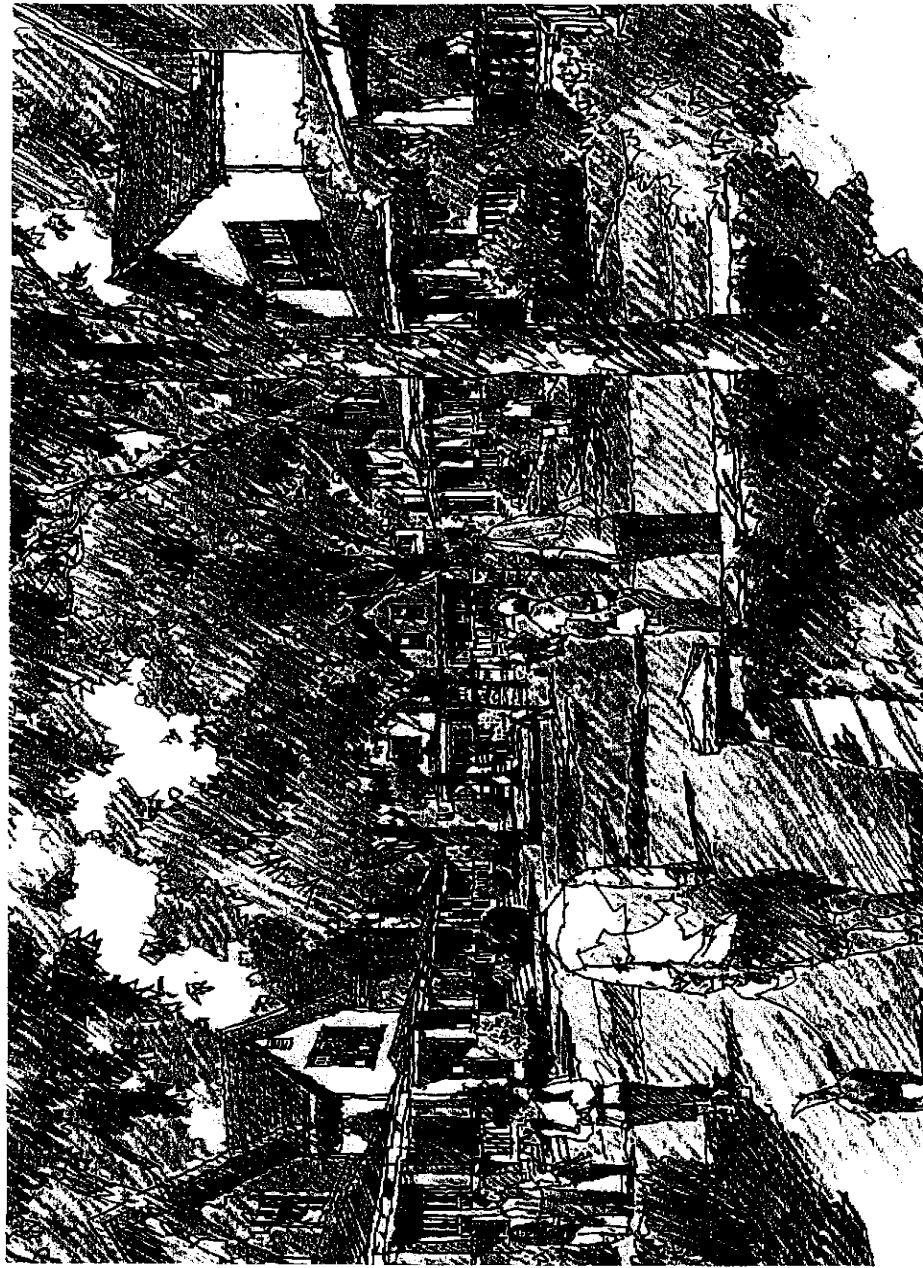
Perspective Views, continued

SAFETY AND HEALTH
Open Bend will add a substantial amount of park and green spaces to the city's open space network. To make all these parks and green spaces feel safe, each is fronted by buildings and programmed to generate activity. Illustrated here is an area of community gardens that will provide a form of social recreation, foster a sense of responsibility for the local environment, and encourage a healthy lifestyle.



REVISED BY NDIKZO NYENI 1106 ©

Perspective Views, continued



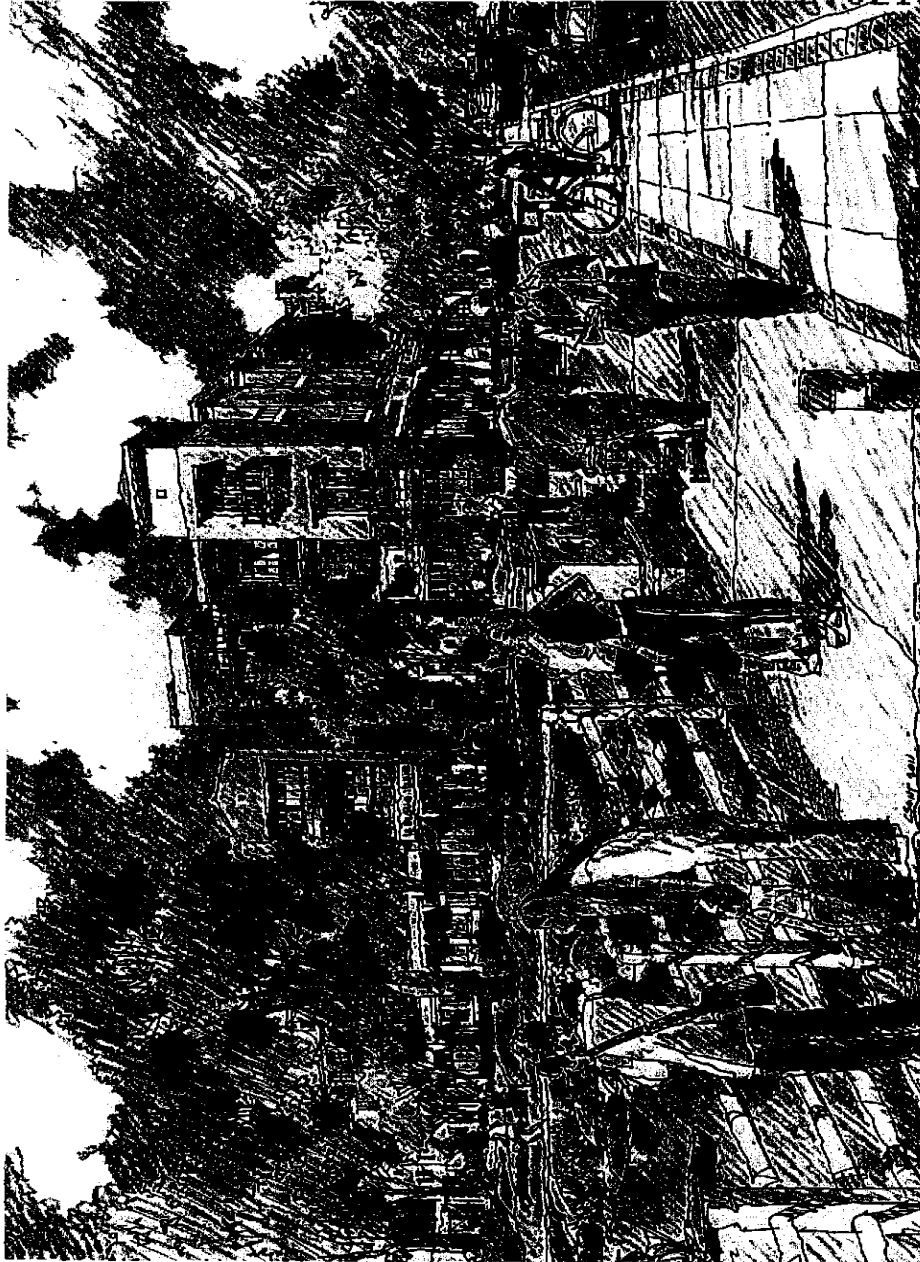
SMALL GREENS & COURTYARDS
The new neighborhood will have a complete range of green spaces, from the large frontyards to small, intimate courtyards lined by cottages. Small green spaces like this one are perfect for small playgrounds, informal gatherings, short strolls, and other passive recreation.



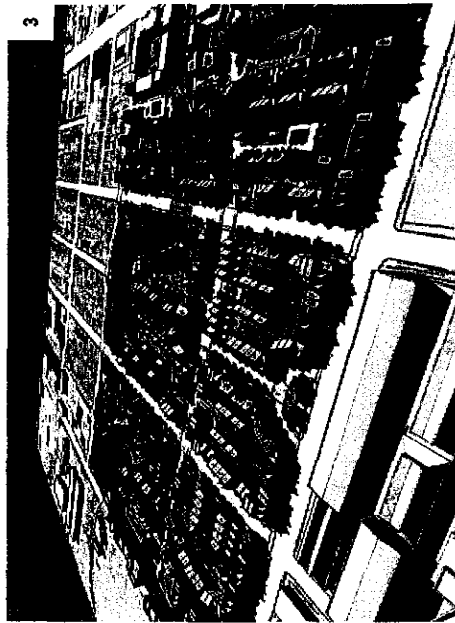
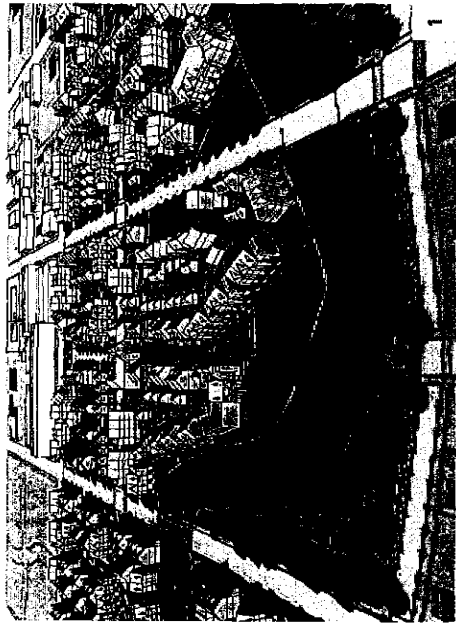
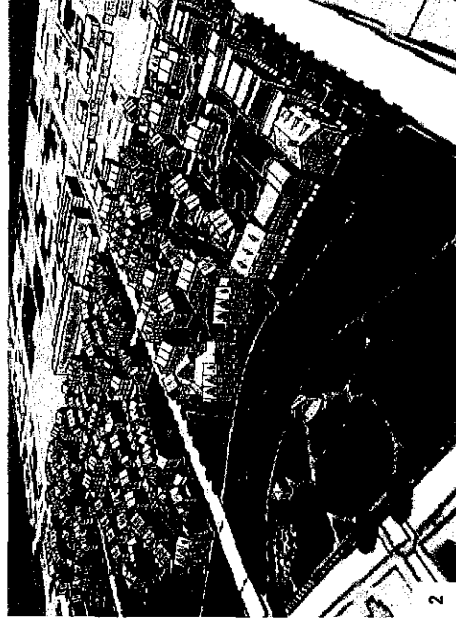
© 2011 URBAN DESIGN ASSOCIATES

Perspective Views, continued

A HEALTHY PLACE
The relationship of the Ogden River to the new neighborhood will be a harmonious one. New development will respect the natural setting, while the river will drive many of the daily recreational and commercial activities that occur here.



Model Views



DIGITAL MODELING
 During the workshop, the design team used a 3-D modeling tool to help envision the quality of new spaces and the appearance of new places. These views illustrate the general scale of total new development, as well as the form of the overall master plan from different viewpoints.



Volume 2 - Design Guidelines

Introduction

The Design Guidelines are considered part of the Redevelopment Master Plan and have been crafted to help realize the vision set forth by the redevelopment plan process. While the overall intent and general principles have been determined by the plan, the Design Guidelines make further efforts to ensure that intent continues in the implementation stage. These Design Guidelines have been organized through a series of drawings, recommendations and instructions to guide the users through:

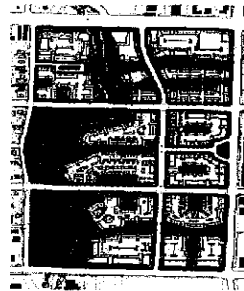
1. Establishing landmark buildings and unique addresses;
2. Determining building placement, scale and form; and,
3. Applying regionally appropriate and architecturally correct style.

By following these steps, any builder or developer can both visualize the goal and build a neighborhood that Ogden can be proud to have as part of the Downtown.



COMMUNITY PATTERNS

Establishing landmark buildings and unique addresses



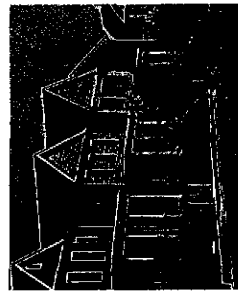
BUILDING TYPOLOGIES

Determining building placement, scale and form



ARCHITECTURAL STYLES

Applying regionally appropriate and architecturally correct style



The Design Guidelines Principles

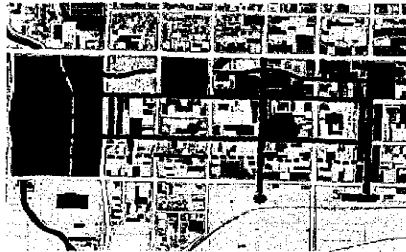
The Design Guidelines Principles build on the Design Principles established during the Planning Process (Volume I, P1.4) by further articulating and applying them to Community Patterns and Architectural Patterns. By striving to achieve all these principles collectively, Ogden Bend will become an authentic Ogden neighborhood.

COMMUNITY PATTERNS



CONNECTIVITY AND WASHABILITY

- Establish strong north-south connections to 25th Street with both vehicular and pedestrian routes
- Build an inter-connected network of sidewalks, trails and bike routes



- Promote walkability through providing a healthy mix of uses



OPEN SPACE AND RECREATIONAL OPPORTUNITIES

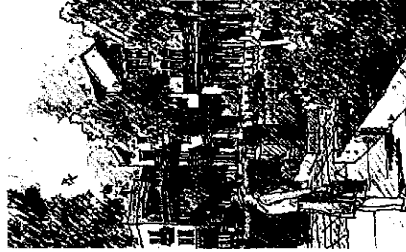
- Maximize the benefit of the Ogden River through access points, water-based activities and open vistas
- Create trail connections, recreation areas and passive open spaces that are inter-connected

ARCHITECTURAL PATTERNS



BUILDINGS ORIENT TO AND MAKE PUBLIC SPACES

- Buildings should front onto streets and park spaces
- Porches, balconies and terraces should be located to create outdoor living spaces in a semi-public manner

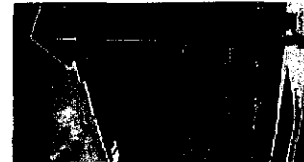


- Buildings and their front doors should be scaled relative to the size of the street or park they are fronting to shape public parks and spaces.



DIVERSE MIX OF ARCHITECTURE

- A rich diversity of building types and styles should be employed throughout the neighborhood
- Architectural styles should be composed carefully to varied patterns and juxtapositions.



DIVERSE MIX OF ARCHITECTURE

- Buildings should include qualities and details of the region

How To Apply The Design Guidelines

This book is intended to give the builder and developer a context within which to build new construction in the vision of the Ogden Bend neighborhood. The neighborhood context, site characteristics, and development objectives influence a series of decisions related to siting of the building, building types, architectural styles and parking strategies. These Design Guidelines are intended as a tool to visually articulate the standards of development expected by the city that can't be easily understood with words only.

STEP 1 | LOCATION

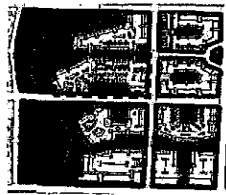
- » Locate your lot within the Key Addresses Plan and review neighborhood plans, opportunities, and appropriate characteristics for new construction.
- » Develop an understanding of your address within the context of Ogden Bend neighborhood and surrounding neighborhoods and open space resources.
- » Understand the significance of your property and develop a vision for the future.

STEP 2 | BUILDING TYPOLOGIES

- » Review the site plan requirements including building massing, setbacks, facade zone requirements, encroachments, parking and other special provisions. (from Building Placement, pages 2.10 and 2.11).
- » Research the desired building type and massing recommendations as found in the typology and composition, pages 2.13 through 2.20.

STEP 1:

Identify your neighborhood and review restrictions and standards for site, building, and landscape design.



STEP 2:

Review the requirements and guidelines for your building type.



STEP 3 | ARCHITECTURAL DESIGN

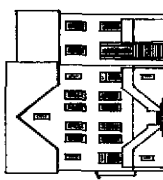
- » In Community Patterns, review the Addresses for guidance to the type and feel of the space, and the appropriate mix of architectural styles.
- » Choose from applicable architectural styles as presented in the Architectural Patterns and refer to design guidelines for that style (pages 2.21 through 2.35).
- » Based on the appropriate style, develop an understanding of the essential characteristics of that style. Each style has been carefully formulated to be region specific and to be distinguished from the others.
- » Follow the composition, detail and material recommendations for your style.

STEP 4 | LANDSCAPE

- » Review the landscape patterns for neighborhood-wide goals and recommendations to maintain the spirit of the Redevelopment Master Plan.

STEP 3:

Consult with Architectural Patterns for guidance on your architectural style.



If your site is Mixed-Use, additional ground floor guidelines may apply.



STEP 4:

Consult with the Landscape Patterns section for guidance on appropriate landscape elements.

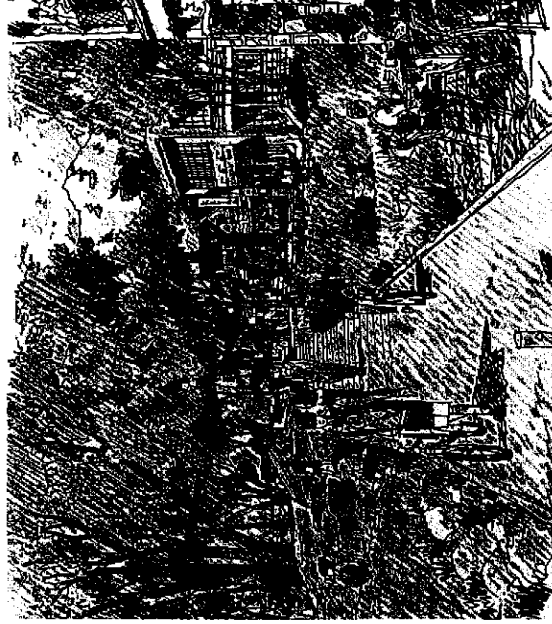


Community Patterns

THE COMMUNITY PATTERNS section describes character and provides recommendations for the Ogden Bend neighborhood. This content is meant to build on what was provided within the Redevelopment Master Plan, and users are encouraged to refer back to that information. The Community Patterns section contains the following information:

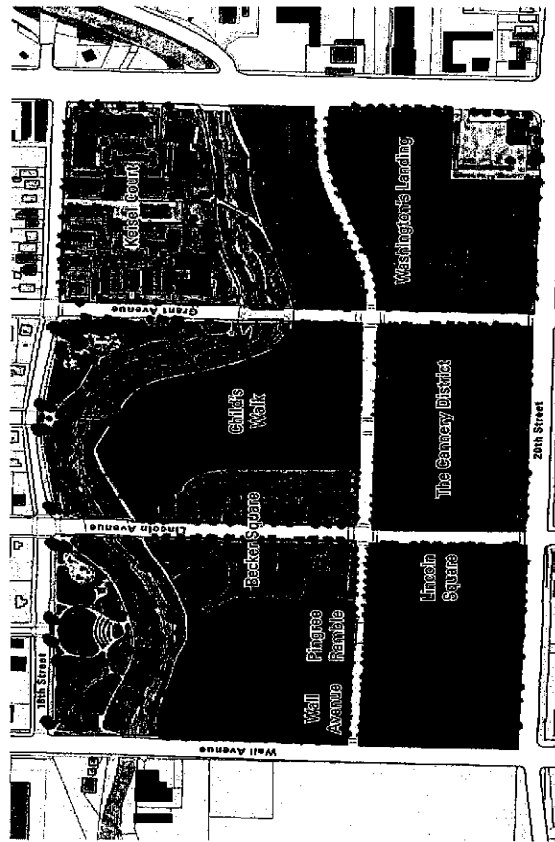
KEY ADDRESSES Describes each of the eight addresses in the plan, including their distinct characteristics and differences in architecture, building types and scale, character of open space, and the activities that occur there.

LANDMARK LOCATIONS Describes the significance and provides locations of foreground buildings which are essential to creating memorable places within the Ogden Bend neighborhood.



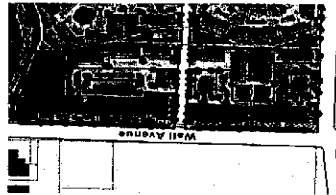
Key Addresses

The master plan was conceived as a collection of unique and special addresses. Each of these addresses has distinct characteristics that distinguish it from the rest of the new neighborhood: differences in architecture, building types and scale, character of open space, and the activities that occur there. Ogden Bend will be composed of eight key addresses, which are briefly summarized below and described in greater detail on the following pages. Addresses have been derived by the primary urban qualities which make each area unique, rather than by limiting the character traits to project or parcels boundaries. This approach is essential to establishing a whole neighborhood that is greater than its parts.



Well Avenue Loft-style buildings with a mix of uses create the western edge of the neighborhood.	Becker Square Becker Brewery reborn as a residential address organized around three distinct green spaces.	Child's Walk The north-south pedestrian link, Child's Walk, forms the spine of this central Ogden Bend neighborhood.	Keisel Court This address draws on its proximity to the river to form intimate, inviting courts.
Pinyon Ramble Organic, winding park address that connects 20th Street to the river.	Lincoln Square Intimate, neighborhood green ringed by small cottages and colorful cottage gardens.	The Cannery District As a main gateway into the neighborhood, this address is centered on a formal entry green at the D'Alvini Academy.	Washington's Landing Unique neighborhood retail and residential fronting the Ogden River, complemented by a mix of commercial uses along Washington Avenue.

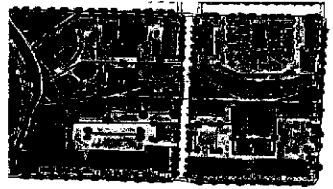
WALL AVENUE



Loft-style buildings line the western edge of the neighborhood, serving as buffer to large parcels to the west. The tree selections along Wall Avenue, along with architectural devices, should provide a shade canopy that promotes a comfortable pedestrian environment.

ARCHITECTURAL STYLES
Arts & Crafts : 10%
Loft/Mercantile : 40%
Transitional Modern : 50%

PINGREE RAMBLE



The Pingree Ramble is characterized by its organic, winding park space that connects 20th Street to the river. Townhouses have front doors on this park space, lending a feel of garden living to this informal yet inviting address.

ARCHITECTURAL STYLES
Arts & Crafts : 40%
Victorian : 50%
Transitional Modern : 10%

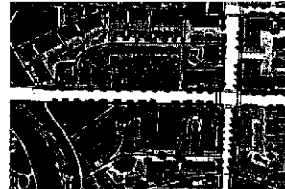
LINCOLN SQUARE



The intimate neighborhood green on Lincoln Avenue gives this address its namesake. Ringed by cottages, this space provides a place for active and passive recreation. The cottages are distinguished by simple forms, and historic styles with deep, full-width porches. The landscape installations should include colorful plant types to complement the lawn.

ARCHITECTURAL STYLES
Arts & Crafts : 25%
Victorian : 75%

BECKER SQUARE

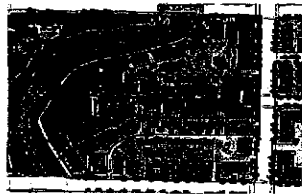


Named for the old Becker Brewery, this address has a series of park spaces, each fronted by a different residential housing type. Open spaces may celebrate the past with glass (historic) art, history plaques and edible landscape types of the historic neighborhood that surrounded the Brewery.

ARCHITECTURAL STYLES
Arts & Crafts : 25%
Victorian : 50%
Loft/Mercantile : 25%

REDEVELOPMENT MASTER PLAN & DESIGN GUIDELINES

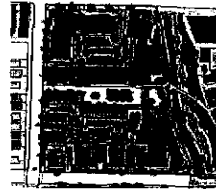
CHILD'S WALK



The north-south pedestrian link, Child's Walk, forms the spine of this central Ogden Bend neighborhood. The river edge features a combination of active and passive uses, including community gardens.

ARCHITECTURAL STYLES
 Arts & Crafts : 50%
 Victorian : 25%
 Transitional Modern : 25%

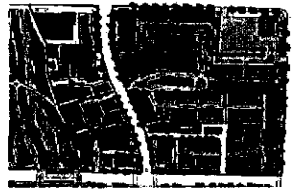
KEISEL COURT



This address features a variety of housing types and hotels that draw on their proximity to the river to form intimate, inviting courts. Existing trees should be retained to maintain a sense of maturity.

ARCHITECTURAL STYLES
 Arts & Crafts : 75%
 Victorian : 25%

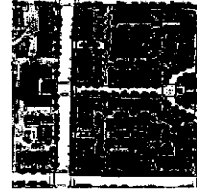
WASHINGTON'S LANDING



This riverside neighborhood is focused around creating a rich, mixed-use neighborhood of commercial and retail activity along the river and Washington Boulevard. The residential units are designed to form intimate neighborhood pods that are linked to the river.

ARCHITECTURAL STYLES
 Arts & Crafts : 50%
 Victorian : 25%
 Transitional Modern : 25%

THE CANNERY DISTRICT



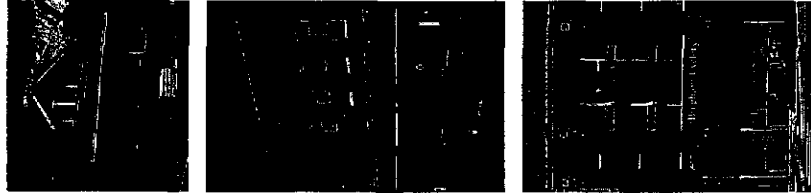
As a main gateway into the neighborhood, this address is centered on a formal entry green and a pedestrian-friendly street of a diverse unit types. Landmark buildings should serve as companions to the historic American Cannery Building, and landscape should have a more urban feel.

ARCHITECTURAL STYLES
 Arts & Crafts : 25%
 Victorian : 25%
 Loft/Mercantile : 40%
 Transitional Modern : 10%

Landmark Locations

Cities are made up of Background Architecture and Foreground Architecture. Background Architecture composes most of the city and has attributes such as: well designed facade compositions of simple (often repetitious) patterns and good quality materials and finishes. Foreground Architecture include buildings that warrant a high level of design because of their location and importance within the city. These buildings are typically at key gateway locations or terminate vistas. Key attributes include: facades of more complex compositions and unique elements and high quality materials and finishes.

BACKGROUND BUILDINGS



FOREGROUND BUILDINGS



The diagram below indicates the locations of Landmark, or Foreground, buildings which should receive extra care in design therefore creating memorable places in the neighborhood. The perspective at left indicates the Landmark Building terminating Chavis Avenue.

LANDMARK BUILDINGS THAT SERVE AS KEY GATEWAY LOCATIONS AND CREATE SPECIAL PUBLIC SPACES



Architectural Patterns

THE ARCHITECTURAL PATTERNS SECTION illustrates the key elements and design strategies employed in the region's most enduring neighborhoods. The documentation within this section is to be used as a design tool in the creation of a new neighborhood with distinctive regional character and quality of place. The goal is the creation of a neighborhood composed of a variety of architectural styles with a consistent quality of character and detail.

This section identifies the palette of building types that are appropriate for these neighborhoods, and provides guidelines for how individual buildings should be articulated. The pages that follow provide guidance about the following elements:

- » BUILDING TYPOLOGIES which identifies a range of building types, their proper placement on a lot, and how they may be expressed in various styles.
- » BUILDING ARTICULATION which provides key elements to consider when designing each building type
- » ARCHITECTURAL STYLES which identifies the key elements of the four styles: Victorian, Arts & Crafts, Transitional Modern and Loft/Mercantile, and includes the following components of each style:
 - › Facade Composition, Windows, and Doors
 - › Eave Details, Porches and Materials
 - › Specific Guidelines for Large Buildings

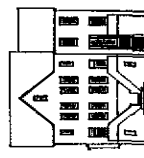
BUILDING TYPOLOGIES

Understanding Building Types



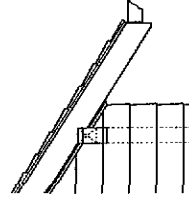
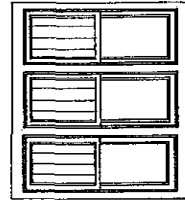
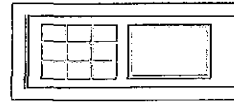
BUILDING ARTICULATION

Composition of building elements



ARCHITECTURAL STYLES

Applying Style-Based Elements, Details and Materials



Building Typologies

The location, articulation and design of building typology is critical to the design of new neighborhoods. The chart on the following page, details the appropriate articulation of buildings in the design process.

BUILDING PLACEMENT

Great neighborhoods require appropriate building placement to create a physical environment for success. The overall building placement diagram, shown on this page, identifies general locations for building frontages that include streets and public spaces. This section provides prototypical setbacks and building placement standards by building type. In addition, these standards include side setbacks, which identifies relationship between buildings.

In the design of addresses of multiple units, consider the location and assignment of new property lines and setbacks to coordinate with architectural criteria identified in the chart of the following page.

BUILDING CONFIGURATION

The requirements on the following page identify key quantitative components of building design including glazing and building height requirements. For transparency, this is the measure of the primary facade of each story in transparent windows. For windows to be considered transparent, the window glass must transmit at least 50% of visible daylight. Side Elevations facing public spaces and public ways, must be in the same spirit of the front facade design requirements.

Building Height is typically driven by use, availability of parking, context of location, demand and even code requirements. Other key determinants are the building type and massing, and uses on each floor. The chart on the following page identifies recommended floor-

to-floor heights by building type. Story heights are measured from the floor to the bottom of the lowest structural member that supports the story above.

APPROVED ARCHITECTURAL STYLES

The architecture of Ogden Bend is envisioned to blend with the existing character of Ogden while providing new options for housing and commercial needs. In order to help fulfill the vision of the plan, nine Building Types have been identified as a 'kit of parts'. Each can be designed in a selection of Architectural Styles that, when combined along streets and parks, creates variety and interest for the neighborhood. The chart on the following page can be used to determine the appropriate, approved architectural styles should be applied to each building type.

* FRONT YARD SETBACK

The area between the Front Yard Setback Line and the front property line. Stairs, porches, balconies and bay windows can project into the Front Yard.

* FRONT FACADE ZONE

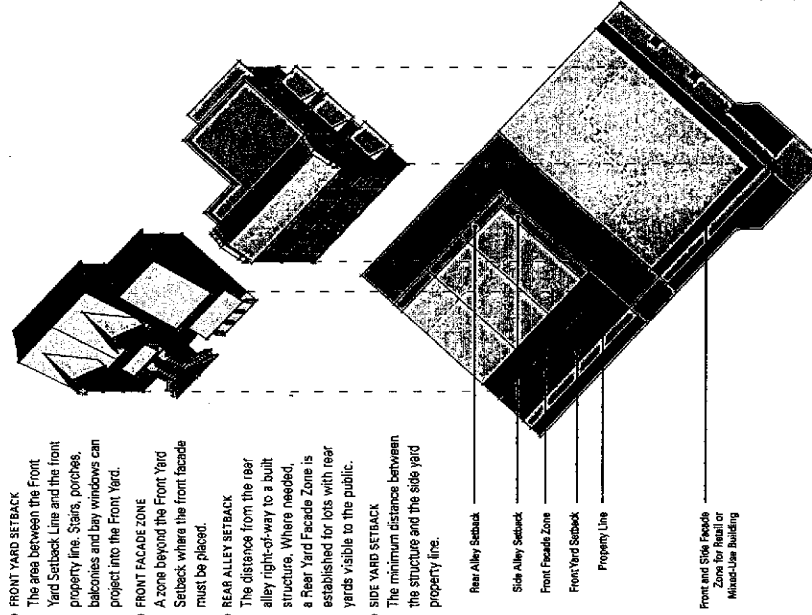
A zone beyond the Front Yard Setback where the front facade must be placed.

* REAR ALLEY SETBACK

The distance from the rear alley right-of-way to a built structure. Where needed, a Rear Yard Facade Zone is established for lots with rear yards visible to the public.

* SIDE YARD SETBACK

The minimum distance between the structure and the side yard property line.



Rear Alley Setback








Side Alley Setback

Front Facade Zone

Front Yard Setback

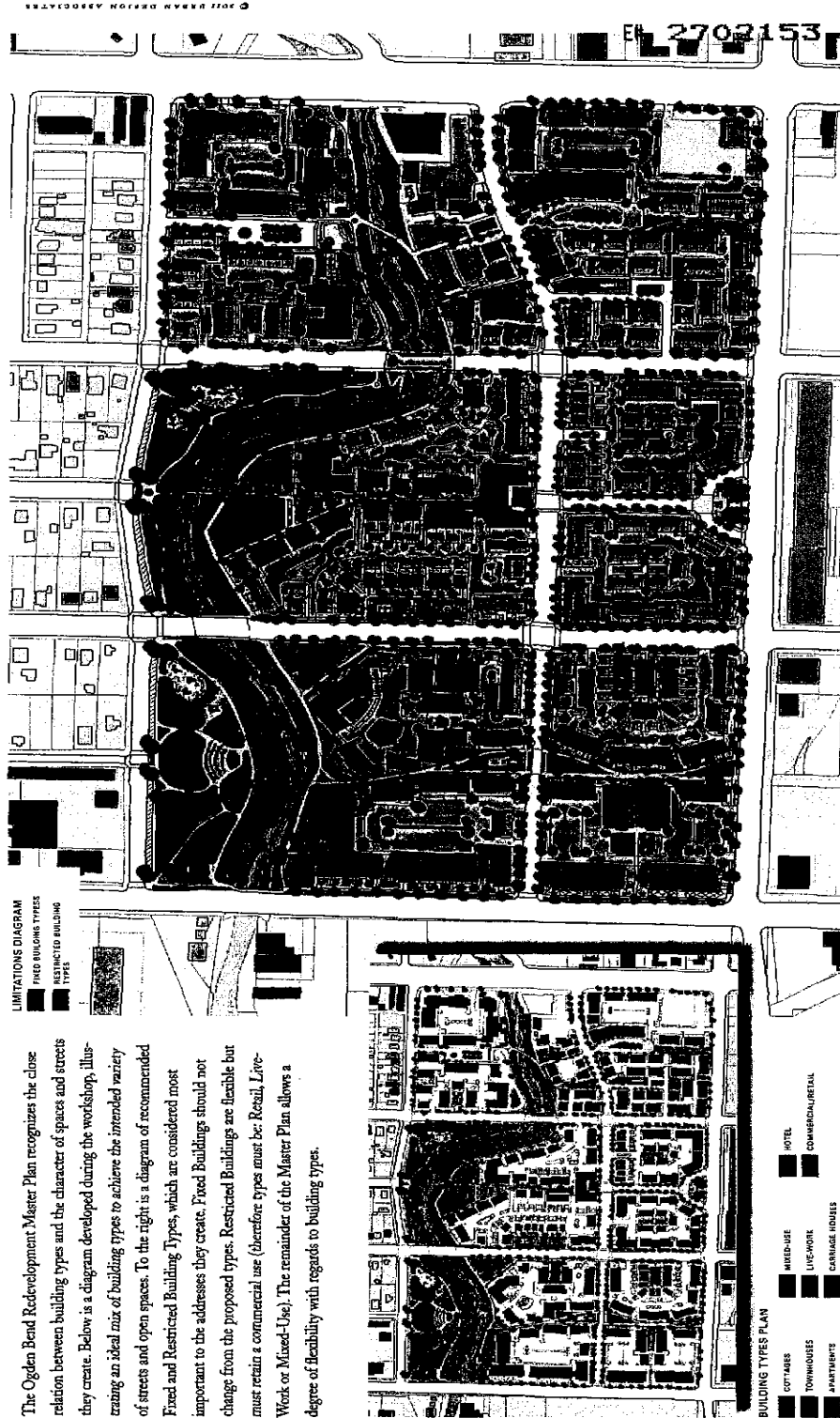
Property Line

Front and Side Facade Zone for Multi or Mixed-Use Building

BUILDING TYPOLOGIES		BUILDING PLACEMENT				BUILDING CONFIGURATION				APPROVED ARCHITECTURAL STYLES					
Image	Description	Front Setback	Side Setback	Depth	Front Yard	Side Yard	Front Setback	Side Setback	Depth	Front Setback	Side Setback	Depth	Front Setback	Side Setback	Depth
	A compact single-family house of one, one-and-a-half or two stories. An attached or semi-detached garage is accessed by a rear alley.	12'	10'	5'	3'	—	30%	10'	9'	9'	✓	✓	✓	✓	✓
	A stand-alone unit having two-car garage on ground level and a residential unit above. Several units can be grouped around shared outdoor space.	N/A	N/A	As req.	3'	—	N/A	As req.	9'	9'	✓	✓	✓	✓	✓
	A unit with compact footprint, typically having two or three living floors, sometimes over a garage space. Often found in rows of three, four, five or six units, each with its own entrance and yard.	10'	15'	5'	0'	—	30%	10'	9'	9'	✓	✓	✓	✓	✓
	A unit that is similar to a townhouse but has the ability of having a ground floor office or commercial use. The commercial space and residential unit share entrances.	5'	20'	5'	0'	—	50%	14'	10'	9'	✓	✓	✓	✓	✓
	A large building of multiple floors of apartment units with circulation cores and hallways. Typically, front doors face public streets or parks. Parking may be in rear lots or under a portion of the building.	10'	15'	As req.	5'	—	40%	14'	10'	10'	✓	✓	✓	✓	✓
	A large building of multiple floors with a mix of office, commercial and residential uses. Parking may be in rear lots or under a portion of the building.	0'	5'	As req.	0'	—	50%	18'	10'	10'	✓	✓	✓	✓	✓
	A one- or two-story commercial building typically in a stand-alone condition with a rear parking lot.	0'	5'	As req.	0'	—	60%	16'	12'	N/A	✓	✓	✓	✓	✓

Building Typologies, continued

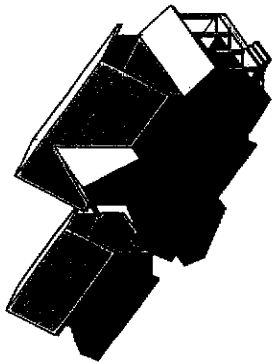
The Ogden Bend Redevelopment Master Plan recognizes the close relation between building types and the character of spaces and streets they create. Below is a diagram developed during the workshop, illustrating an ideal mix of building types to achieve the intended variety of streets and open spaces. To the right is a diagram of recommended Fixed and Restricted Building Types, which are considered most important to the addresses they create. Fixed Buildings should not change from the proposed types. Restricted Buildings are flexible but must retain a commercial use (hereinafter types must be Retail, Live-Work or Mixed-Use). The remainder of the Master Plan allows a degree of flexibility with regards to building types.



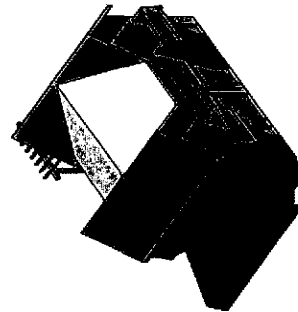
Building Typologies, continued

COTTAGE & CARRIAGE HOUSE

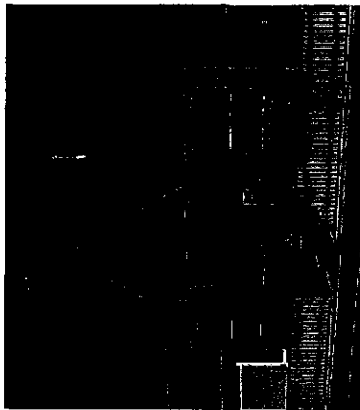
This page illustrates examples of new construction of cottages in new and existing neighborhoods. In all examples, note the simple roof forms, simple detailing, bright colors and large windows.



Cottage



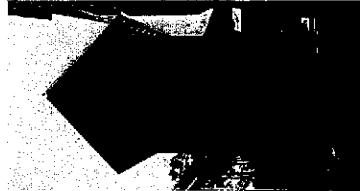
Carriage House



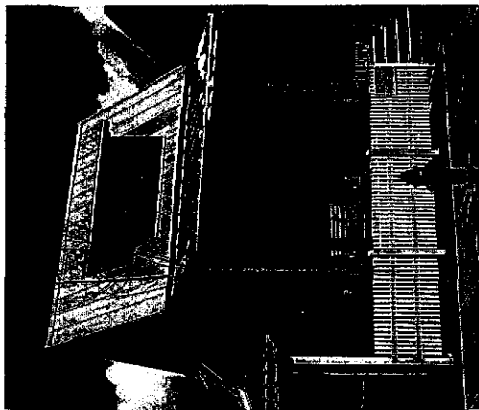
Cottage - New Construction, Daybreak, UT



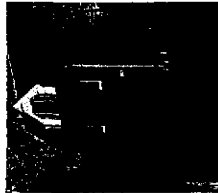
Cottage - New Construction, Prospect New Town, CO



Carriage House - New Construction, Watercock, FL



Cottage - New Construction, Daybreak, UT



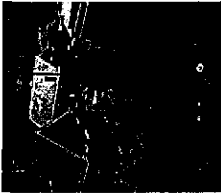
Carriage House - Historic Precedent, Alexandria, VA



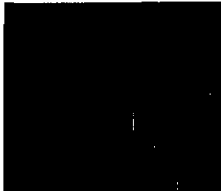
Carriage House - New Construction, Charlotte, NC



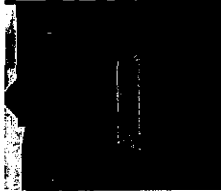
Carriage House - New Construction, Charlotte, NC



Carriage House - Historic Precedent, Richmond, VA



Cottage - Historic Precedent, Stoughton, MA



Cottage - New Construction, Prospect New Town, CO

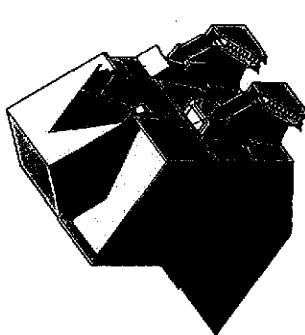
© 2011 URBAN DESIGN ASSOCIATES

2702153 PG

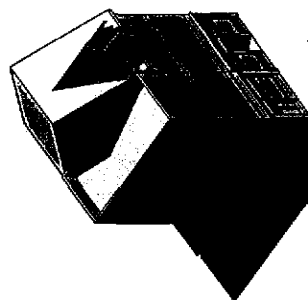
Building Typologies, continued

TOWNHOUSE & LIVE-WORK

This page illustrates examples of new construction in new and existing neighborhoods. In all examples, note a consistent use of elements that suggest house-like characteristics, detailing and scale to create neighborhoods that feel residential.



Townhouses



Live-Work



Live-work - New Construction, Southlake, TX



Townhouse - New Construction, Daybreak, UT



Live-Work - New Construction, Charlotte, NC



Townhouse - New Construction, Buxton, NC



Townhouse - New Construction, Portsmouth, VA



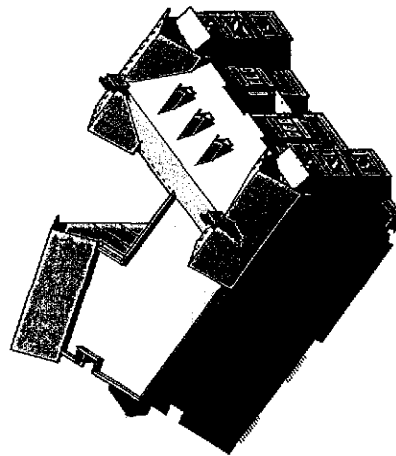
Townhouse - New Construction, Westchester, NY

© 2011 URBAN DESIGN ASSOCIATES

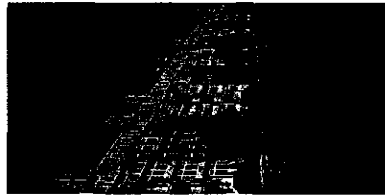
Building Typologies, continued

APARTMENT BUILDING

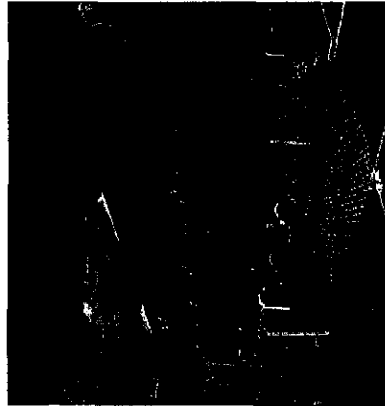
This page illustrates examples of new construction around the country. In all examples, notice the large windows, the rich detailing and unique stylistic characteristics on similar typologies.



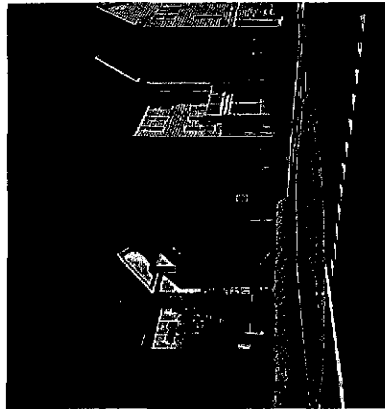
New Construction - Washington, DC



New Construction - Providence, RI



Historic Renovation - Windsor, CT



New Construction - Kentlands, MD

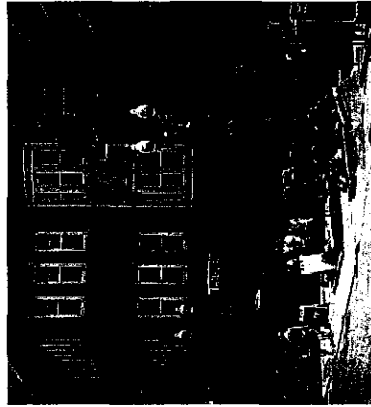
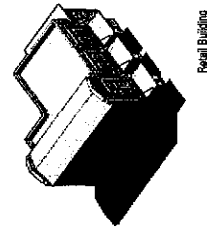
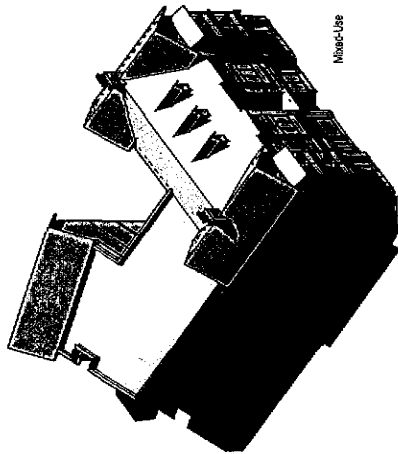


New Construction - Berkeley, CA

Building Typologies, continued

MIXED-USE & RETAIL BUILDING

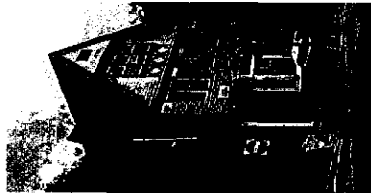
This page illustrates a combination of examples of new construction and historic precedent that is applicable to practice today. Note the large windows, welcoming storefronts, and active public spaces around them.



Mixed-Use - New Construction, Hanover, NH



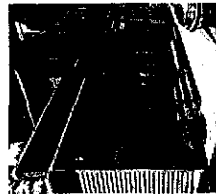
Mixed-Use - New Construction, Ontario Station, OR



Mixed-Use - Historic Precedent, Providence, RI



Mixed-Use - New Construction



Retail - Historic Precedent, Stockbridge, MA



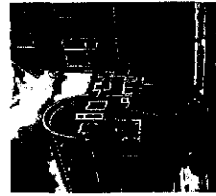
Mixed-Use - New Construction, Sombria, TX



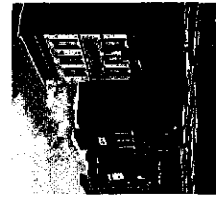
Retail - New Construction, Baxter, SC



Mixed-Use - New Construction, Durham, NC



Mixed-Use - New Construction, Hanover, NH



Mixed-Use - New Construction, Baxter, SC



Retail - Historic Precedent, Providence, RI

Articulations

COTTAGE AND CARRIAGE HOUSE

All buildings should be designed such that the massing and form create variety, uniqueness and balance. Cottages are a very flexible unit type that can be arranged in countless ways with just minor repositioning of elements, thus creating many different buildings from one unit plan. A block elevation of cottage units should include a healthy mix of styles. Carriage units, when gauged in multiples, should be composed and detailed as one building.

REDEVELOPMENT MASTER PLAN & DESIGN GUIDELINES

STEP 1: MAIN BODY



STEP 2: MASSING & ADDITIONS



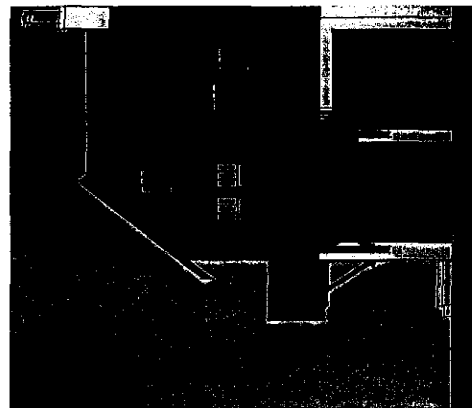
STEP 3: PORCHES & ENTRY ELEMENTS



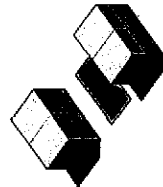
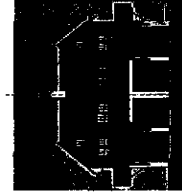
STEP 4: SPECIAL ELEMENTS, WINDOWS & DOORS



STEP 5: ELEVATION



CARRIAGE



Articulations

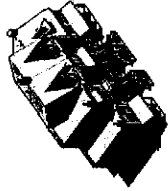
TOWNHOUSE AND LIVE-WORK

All buildings should be designed such that the massing and form create variety, uniqueness and balance. Attached buildings such as Townhouses and Live-Work units should seek to provide individuality for each unit, while maintaining harmony for the whole building.

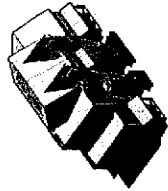
STEP 6: ELEVATION



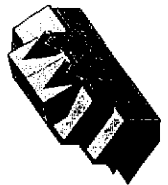
STEP 4: SPECIAL ELEMENTS, WINDOWS & DOORS



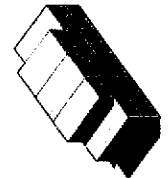
STEP 3: PORCHES & ENTRY ELEMENTS



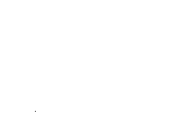
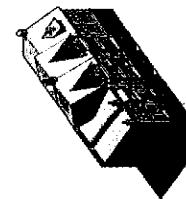
STEP 2: MASSING & ADDITIONS



STEP 1: MAIN BODY



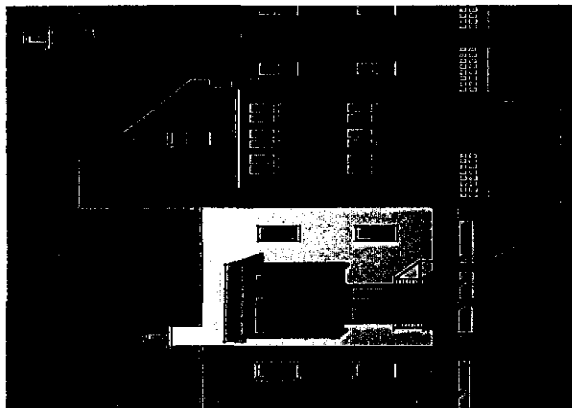
TOWNHOUSE



LIVE-WORK



TOWNHOUSE - MULTI-PLEX CONFIGURATION



Articulations

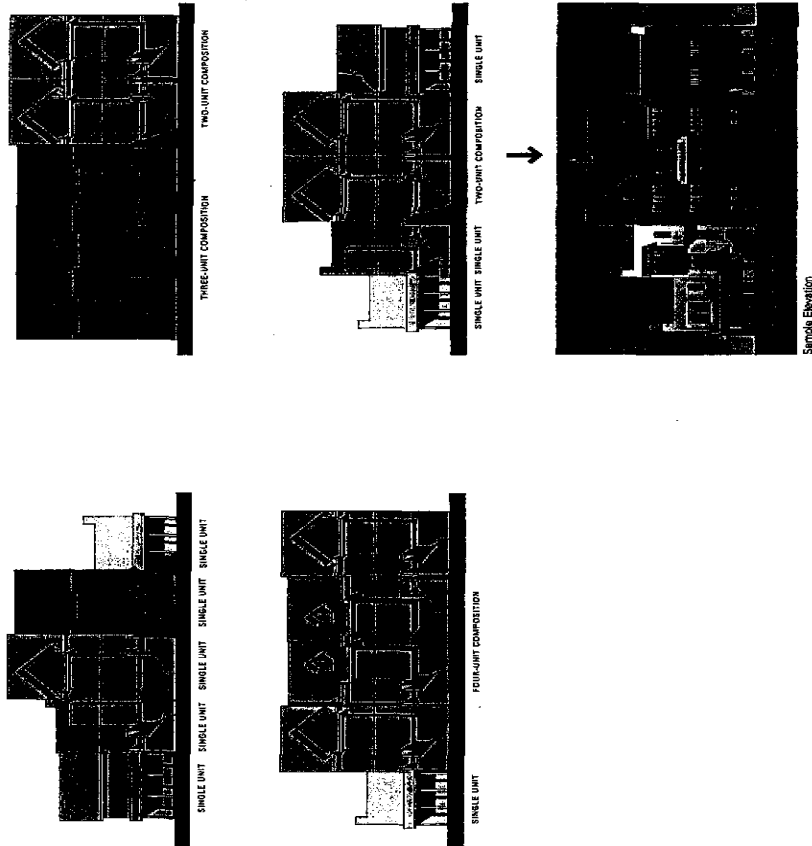
TOWNHOUSE AND LIVE-WORK ASSEMBLY AND SCRIPTING

In the design of neighborhoods of townhouses, there are critical placemaking characteristics. In the design of assemblies of groups of townhouses, repetition of the same unit of the style, can be detrimental to the feeling of a neighborhood that has developed over time. This sample scripting page illustrates these principles on a suite of five-unit townhouses.

Generally, townhouses are designed in groups of two to six units at a time, but the principles remain the same. In the design of a composition of townhouses, it is recommended to vary architectural style and unit cadence to read as buildings of varied width and style. These examples articulate moments of unit repetition of two- to four-units of a composed group of a similar unit type and/or style.

In the placement of units, the examples to the right also articulate two different approaches toward unit size and placement. This includes placement of the deepest and tallest units to the center or the ends of a composition.

A sample elevation shows the implementation of these principles in a five-unit building.



REYNOLDS AND REYNOLDS ARCHITECTS

EN 2702153 PG 115 OF 157

Articulations

APARTMENT AND MIXED-USE BUILDINGS

STEP 1: BASIC MASSING & PROGRAMMING DIAGRAM

Based on site constraints and program, establish a layout for the building. Pay particular attention to relationships to the Master Plan, including the orientation of dwelling units and the location of pedestrian entries.

STEP 2: ESTABLISH LOCATIONS FOR EMPHASIS

In consideration to the Master Plan, choose areas of the building that may require additional articulation. In this particular case, the location is the building corners.

STEP 3: ARTICULATED MASSING DIAGRAM

Articulate the location of units and at the same time, establish an architectural cadence for the building articulation.

STEP 4: DESIGN ROOFSCAPE

The roofscape is a critical component of the building skyline. In the case of a residential neighborhood, it is important that the roofscape includes residential roof forms in the scale of the neighborhood. These roof forms should be informed by the locations for emphasis described in Step 2, and the selected building style from the Architectural Patterns.

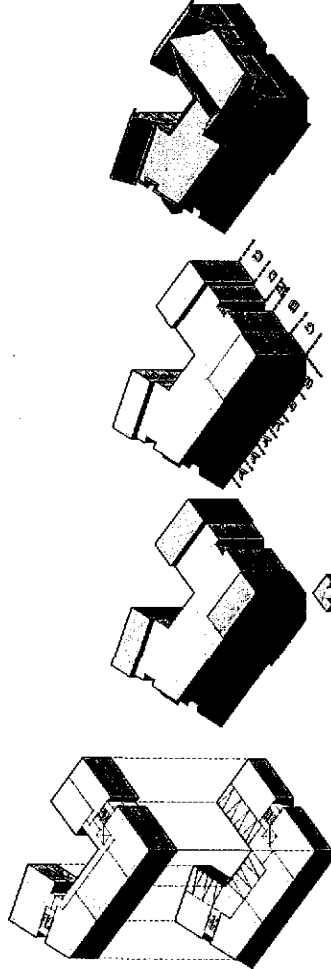
STEP 5A & 5B: ADD OUTDOOR SPACES AND SCALE ELEMENTS FOR ARTICULATION

An important part of the creation of great neighborhood is the sense of human habitation. Note that care should be placed in creating simple, local symmetries that correspond with massing locations to create the feeling of an assembly of small buildings. In the case of Mixed-Use buildings, the ground floor should include storefronts that are resolved with the building above.

FINAL VISION:

Add the windows, details from the Architectural Style sections. In this case, the project is shown in Arts & Crafts, a popular building style in a building of this scale.

URBAN DESIGN ASSOCIATES

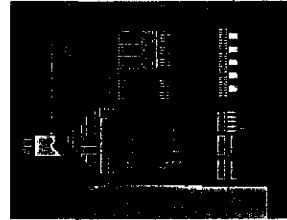


1. Basic Massing & Program Diagram

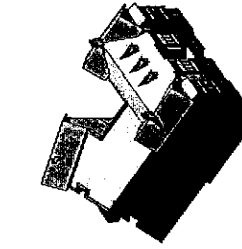
2. Establish Locations for Emphasis

3. Articulated Massing Diagram

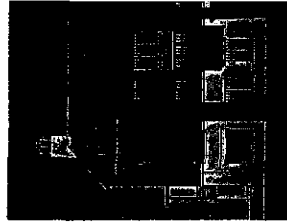
4. Design Rooftope



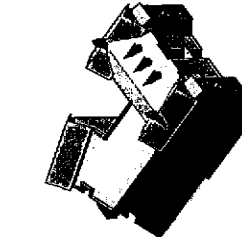
FINAL VISION - MIXED-USE BUILDING



5A. Mixed-Use Condition: Add Outdoor Spaces and Scale Elements for Articulation



FINAL VISION - APARTMENT BUILDING



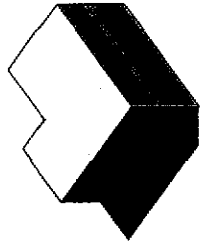
5B. Add Outdoor Spaces and Scale Elements for Articulation

Articulations

RETAIL BUILDINGS

STEP 1: BASIC MASSING DIAGRAM

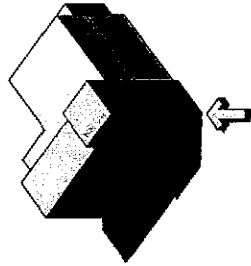
Based on site constraints and program, establish a layout for the building. Pay particular attention to relationships to the Master Plan, including the orientation of dwelling units and the location of pedestrian entries.



1. Articulated Massing Diagram

STEP 2: ESTABLISH LOCATIONS FOR EMPHASIS

In consideration to the Master Plan, choose areas of the building that may require additional articulation. In this particular case, the location is the building corner.



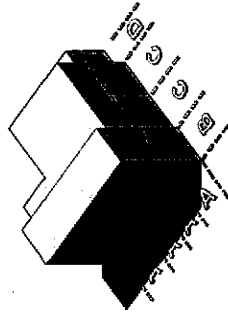
2. Establish Locations for Emphasis

STEP 3: ESTABLISH AN ARCHITECTURAL CADENCE

Articulate a system of bays for storefronts.

STEP 4: ARTICULATE THE ROOFSCAPE

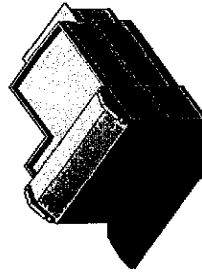
The roofscape is a critical component of the building character. In correspondence with the selected building style, create identifying features and elements.



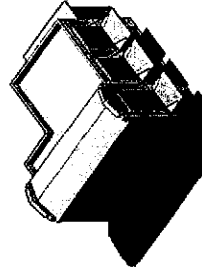
3. Design Roofscape

STEP 5A & 5B: ARTICULATE BUILDING DESIGN

Great retail environments contain buildings with great transparency. Large openings, including windows and storefronts, are critical to success of the buildings occupant and the retail district. Screen windows from the harsh sun with appropriately design window shade devices that correspond to the building style.



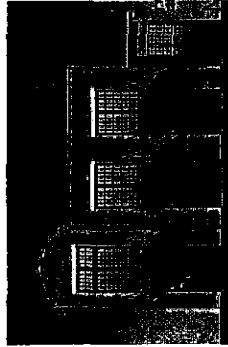
4. Add Outdoor Spaces and Scale Elements for Articulation



5. Mixed-Use Condition: Add Outdoor Spaces and Scale Elements for Articulation

FINAL VISION:

Add the windows, details from the Architectural Style section. In this case, the project is shown in Loft Industrial.



FINAL VISION - RETAIL BUILDING

Architectural Styles

A series of well-developed styles and architectural vocabularies were popular throughout the United States in the 19th and 20th Century. These styles were adapted by local builders through the use of early pattern books and later catalogs of house plans. In Ogden, many of the neighborhoods are comprised of a rich mix of remarkable examples of historic styles. In each house, they display characteristics of the national style but at the same time, remain rooted in Ogden through a regional interpretation of the style.

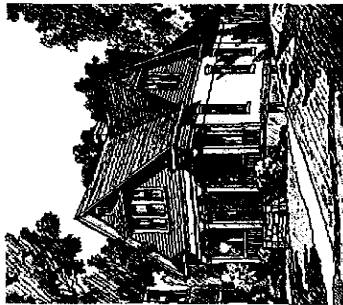
As a new neighborhood for Ogden, Ogden Bend will also incorporate a mix of styles. These styles are applicable to a variety of building types found in Ogden. Victorian and Arts & Crafts are common, national styles based on time-tested conventions. Transitional Modern combines traditional town-making prototypes and principles with large areas of glazing and modern detailing. Loft Mercantile draws from the industrial history, and local surviving building prototypes in new uses. Each style will be adapted to modern typologies and modern living.

VICTORIAN

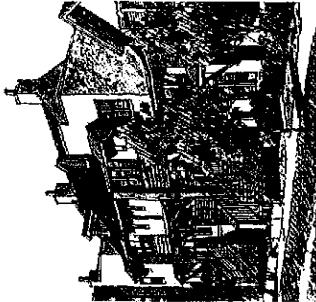
- » Simple massing with additive elements to create variety
- » Asymmetrical facade compositions common
- » Moderate to steep roof pitches
- » Prominent porch elements
- » Delicate and ornate detailing
- » Vertical window and door proportions
- » Orderly symmetrical relationship of windows

TRANSITIONAL MODERN

- » Traditional architectural massing
- » Building design & programming orient to public spaces around it
- » Continuous flow of space between interior and exterior
- » Use of porches and clearly defined entrances
- » Expressive use of materials to highlight varied forms
- » Material use relates to climatic considerations and modern design aesthetic



Victorian



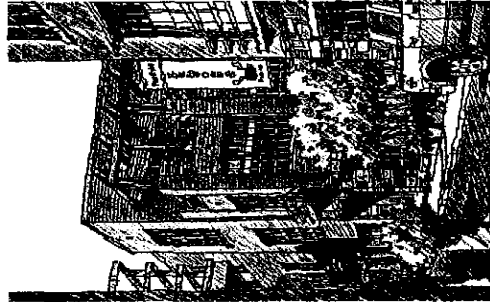
Transitional Modern

ARTS & CRAFTS

- » Shallow-pitched roofs with deep overhangs
- » Deep, broad porch elements with expressive structural components
- » Exposed structural elements in the eaves such as rafters and brackets
- » A mixture of materials such as brick, shingles, and siding
- » Asymmetrical window and door compositions
- » Grouped windows



Arts & Crafts



Loft Mercantile

Victorian

The Victorian style achieved widespread popularity in the United States in the mid-1800s. Named for the last decades of the reign of Queen Victoria in England, the style was readily accessible to many home builders as a result of pattern books that provided drawings of these early house designs, making it easier for the builders of both country estates and modest dwellings to adopt the style. While the style initially became fashionable in the East, it spread into this region with the initial settlers in the 1850s.

Dramatic changes in construction techniques (mass production for example) and railroad shipping (which allowed construction materials to move more easily around the country at low cost) contributed to the broad appeal and proliferation of the Victorian style. The evolution in construction techniques also allowed for greater expression in both the massing and details of Victorian style houses and commercial buildings.

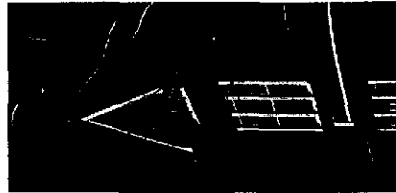
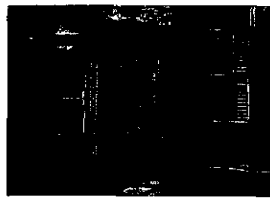
The Ogden Bend Victorian is centered on the simple, elegant forms that were adapted to houses in the smaller towns and the rural farmhouse and western town centers. The massing forms are quite simple, and the ornamentation is restrained and typically limited to the porches, entries and cornices.



Cottage Carriage House Townhouse Mixed-Use

Key Elements of the Victorian Style

- » Simple massing with additive elements to create variety
- » Asymmetrical facade compositions common
- » Moderate to steep roof pitches
- » Prominent porches and porch elements
- » Delicate and ornate detailing
- » Vertical window and door portions
- » Oddly, symmetrical relationship of windows



Small Residential Types

FACADE COMPOSITION

- » Often broken into 3- or 5-part compositions which help to emphasize verticality of the style
- » Asymmetrical compositions provide opportunity for unique special elements
- » Sliders may not be used where they are visible from public thoroughfares.
- » Alignment of window and door head is recommended.

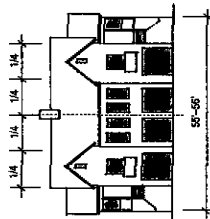
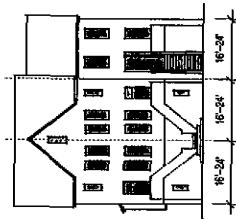
DORMERS

- » Windows are similar in design and proportion to main facade windows
- » One- or two-window compositions are common

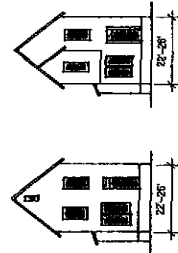
DOORS

- » Typical gridded pane configurations include 1-over-1, 2-over-1, 2-over-2, 4-over-4, with vertical proportions.
- » External ¾-inch-wide projecting muntin bars are recommended.
- » Typically, individual units shall have the same window design throughout, with the exception of special windows in hierarchical positions such as the gable, dormers, and/or bay windows.
- » Often, glass is incorporated in exterior front doors in a combination of glass panels, sidelights and transoms windows.
- » Painted or stained wood, aesthetic equivalent acceptable

Townhouses



Carriage Houses

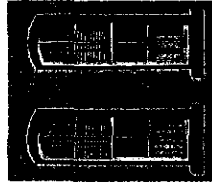


Cottages



Cottage Carriage House Townhouse Live-Work

WINDOWS & DORMERS



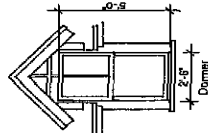
Paired, double-hung window



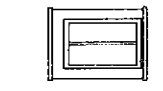
2-over-1 double-hung window



2-over-2 double-hung window



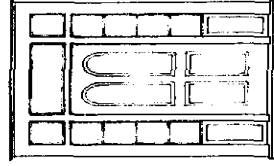
Casement window



Decorative arrangement of casement windows

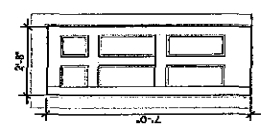


Four-panel door with sidelights and transom

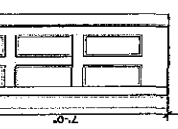


Double-panel door with segmented arch panel

DOORS



Six-panel door



Double-panel door with segmented arch panel

STRAVIGEROY NDLEEG KYBER JIOT ©

Small Residential Types

EAVES

- » Eave returns on gable elevations are typical, use low profile metal flashing on top of return.
- » Raking eaves may have an oversized, decorative board at the gable end.

ROOF

- » Typical pitches of 8/12 to 16/12.
- » Materials: Dimensioned architectural grade asphalt or fiberglass shingles; Metal, narrow standing seam or 3-V panels, metal finish or painted; slate or synthetic slate.

- » Boxed eaves can have profiled brackets at 24 inches on center and grouped at corners.

- » Materials: smooth exterior plywood, smooth fiber-cement board, Tongue and groove planks in wood, PVC, or similar

PORCHES

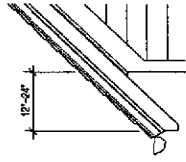
- » Design of eave details must be equal to, or of higher quality than the eaves of the main body roof.

- » Porch columns should be spaced to create vertical proportions in between columns.

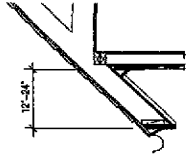
- » Materials: Columns may be fiberglass, polymer, or wood. Straight or turned wood balusters; solid rail clad in wood, cut shingle, siding, or brick are permitted.



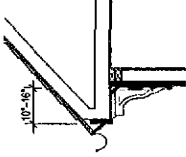
EAVES



Common raking eave, gable elevation

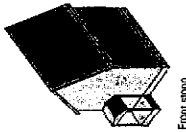


Raking eave - boxed with moldings and fascia board

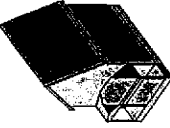


Full front hipped-roof porch

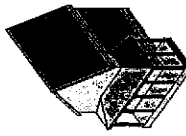
PORCH COMPOSITION



Front stoop

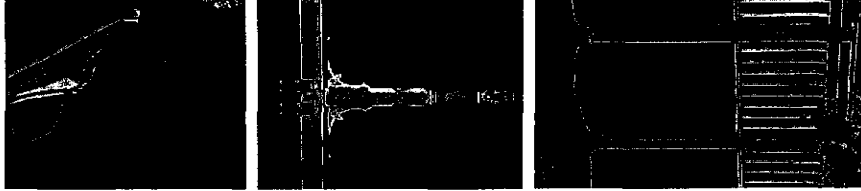
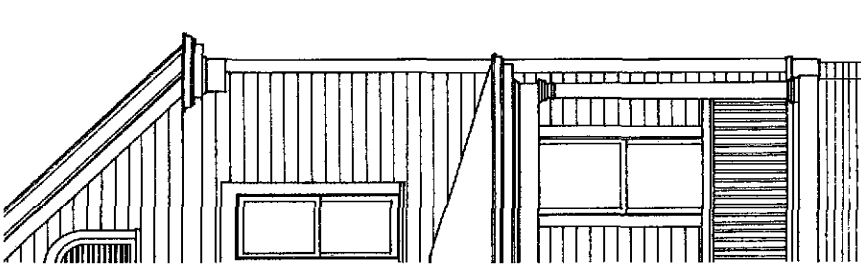


Full front hipped-roof porch

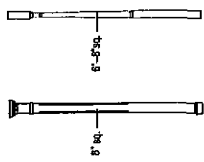


1/2 shaped full front hipped-roof porch

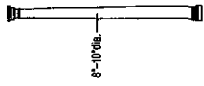
PARTIAL ELEVATION



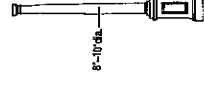
PORCH COLUMNS



Square with chamfer



Slender Doric



Doric on a pedestal



Large Residential & Commercial Types

MASSING

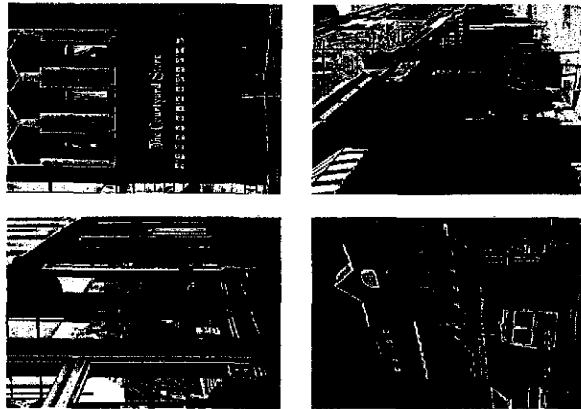
- » Front facades are designed as parapet wall fronts with some form of cornice expression, or as pitched roofs.
- » Articulated cornice using brackets, paneling, and shaped moldings, or the top may be defined using cut or cast stone elements and accent brickwork.
- » Massing is typically a two- or three-story building with a tall ground floor and vertical proportions.

FAÇADE COMPOSITION

- » Composed into three and four bay compositions, five or six bay composition for larger buildings.
- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.
- » Variation of building height to neighboring buildings is recommended.

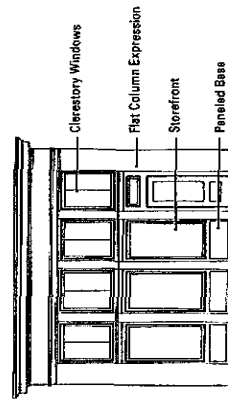


STOREFRONTS

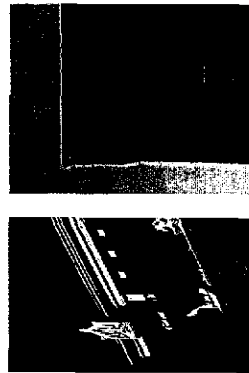


WINDOWS AND STOREFRONTS

- » Standard windows are double hung with a one-over-one pattern or two-over-two pattern of divided lights. Storefronts are predominantly large panes of glass, often with transoms above.
- » Ground-floor retail spaces have a recommended minimum clearance of 12 feet from floor-to-ceiling.
- » Storefront design must utilize the full height of the ground-floor facade framing.
- » Typically the storefront will have a deep entablature/cornice expression above the shopfront that serves as an area for signs.
- » Design facade for maximum transparency.



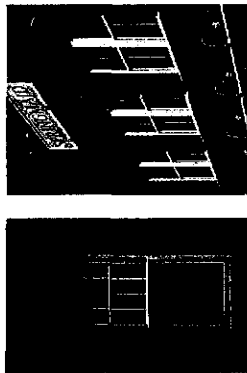
CORNICE ELEMENTS



Cornice with ornate brick masonry

Cornice with traditional bracket detail

MIDDLE ELEMENTS



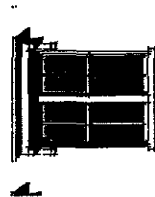
Simple windows in a brick facade

Window with ornate brick and stone lintel and brick string course

BASE ELEMENTS



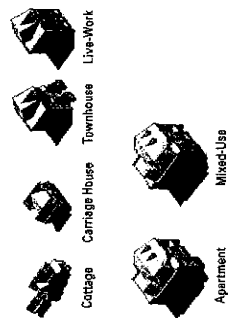
2025 RELEASE UNDER E.O. 14176



Arts & Crafts

Arts & Crafts houses, derived from the traditions of Bungalow design, gained widespread popularity in the United States in the 1920s. This movement was influenced by the revival and interest in a return to unique crafting of furniture, housewares, and everyday objects, as well as painting and sculpture in England at the end of the nineteenth century. Architecture was influenced by a more natural and expressive use of materials and forms. This enduring style flourished in the early twentieth century, especially in the design of modest cottages. The movement was centered in California and the West Coast as builders used pattern books and mass-marketed house plans and packages to attract a broad spectrum of homebuyers. These can be seen in the traditional neighborhoods of the Salt Lake City Valley and Ogden.

The Arts & Crafts house is characterized by broad open porches, low-sloping roofs with deep overhangs, asymmetric window and door compositions, expressive trim, exposed rafters, and bracketed porches. The popularity of the style expanded to large apartment and mixed-use buildings. These common western buildings are inspired by the expressive eaves, organic ornamentation, and earth-tone color palette.



- Key Elements of the Arts & Crafts Style
- * Shallow-pitched roofs with deep overhangs
 - * Deep, broad porch elements with expressive structural components
 - * Exposed structural elements in the eaves such as rafters and brackets
 - * A mixture of materials such as brick, shingles, and siding
 - * Asymmetrical window and door compositions
 - * Grouped windows



© 2011 URBAN DESIGN ASSOCIATES

PG 2702153

23 OF 157

Small Residential Types

FACADE COMPOSITION

- » Often broken into 2- or 3-part bays to emphasize a horizontal proportion.
- » Local symmetries based around strong elements such as heavy porches or wide bay projections

DOORS

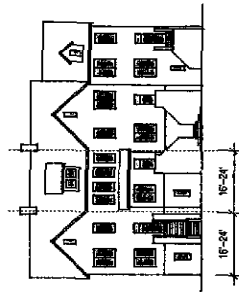
- » Typically 6'-8", 7'-0", 8'-0" heights

WINDOWS, BAYS, & DORMERS

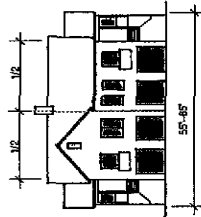
- » Casement and double-hung windows should be set deep for shadow, use traditional profiles.
- » Typical gridded pane configurations include: 4-over-1, 4-over-4, 6-over-1, 6-over-6 with vertical proportions or 3-or 4-vertical panes over 1
- » Profiled muntin bars between panes are recommended.

- » Most often, houses have the same window design throughout, with the exception of special windows in hierarchical positions such as the gable, dormer, and/or bay windows.

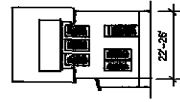
FACADE COMPOSITION



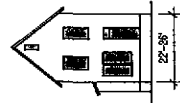
Townhouses



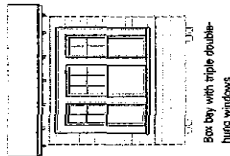
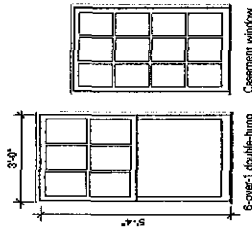
Carriage Houses



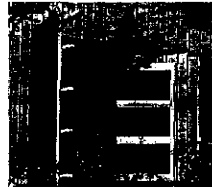
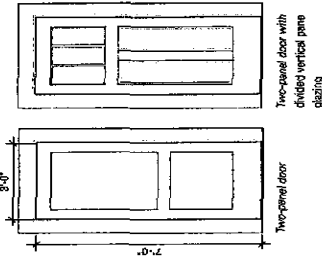
Cottages



WINDOWS, BAYS & DORMERS



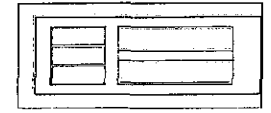
DOORS



Single-panel door with divided grid pane glazing



Two-panel door with divided vertical pane glazing



Three-panel door with single-pane glazing, decorative design, and two sillsights



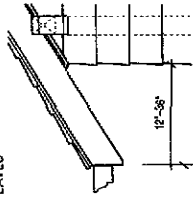
Cottage Carriage House Townhouse Live-Work

Small Residential Types

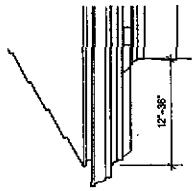
EAVES

- » Deep eaves are a dominant characteristic.
- » Open eaves typically have a 2x6-inch or 2x8-inch shaped rafter tail 16 to 24 inches on center. Gables feature deeper rake boards.
- » Boxed eaves often have profiled outriggers or brackets at 24 inches on center.

EAVES



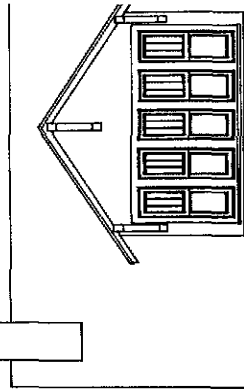
12"-18"



12"-18"

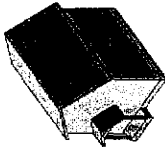


PARTIAL ELEVATION

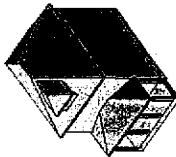


PORCH COMPOSITION

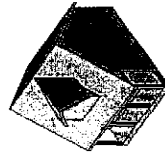
- » Cladding should be consistent on all facades of primary mass. Exceptions include: gables, dormers, and garages.
- » Often, the top floor material is an alternate material or cladding pattern from the building base.
- » Materials: Siding is to be hard cement board (with 8- to 10-inch-wide skirt boards); shingles, brick, or stucco as an accent to brick; if stucco is preferred for wall material, cast stone or brick sills are required polymer, or wood.
- » Straight or turned wood balusters; solid rails clad in wood, cut shingle, siding, or brick; perennated



Front porch



Narrow gable full-front porch



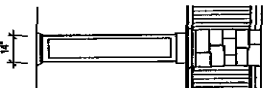
Full-front front porch

PORCH COLUMNS

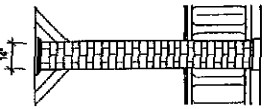
- » Materials: Siding is to be hard cement board (with 8- to 10-inch-wide skirt boards); shingles, brick, or stucco as an accent to brick; if stucco is preferred for wall material, cast stone or brick sills are required



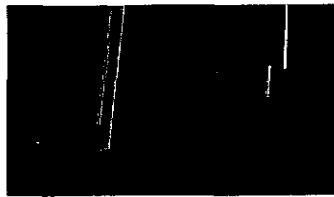
Double post on brick wall



Peeled post on shingled siding



Brick pier with optional brackets



Cottage Carriage House Townhouse Live-Work

Large Residential & Commercial Types

MASSING

- » Facades will have a variety of forms and compositions.
- » Front facades are designed as perceptual fronts with some form of cornice expression, or as pitched roofs.

- » The parapet may be continuous with either an articulated cornice using brackets, pendings, and shaped moldings, or the top may be defined using cut or cast stone elements and accent brickwork.

- » Massing is typically a two- to four-story building with a tall ground floor and more vertical proportions.

FACADE COMPOSITION

- » Typically, these buildings will have three- to four-bay door and window compositions.

- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.



Live-Work

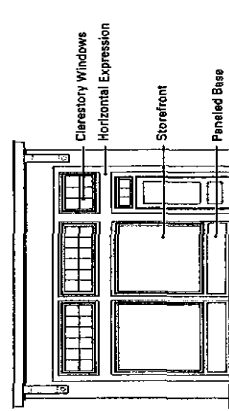


Apartment



Mixed-Use

STOREFRONTS



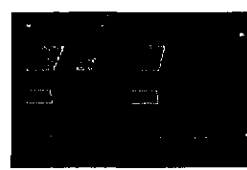
- » Larger buildings may have five- or six-bay compositions above the ground floor with varying storefront treatments on the ground floor.

WINDOWS AND STOREFRONTS

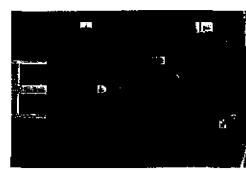
- » Windows above the ground floor are typically grouped, and vertical in proportion. Storefronts are predominantly large panes of glass, often with transoms above.
- » Precast lintels or articulated window heads are common over windows set in masonry walls.
- » Storefronts on the ground floor are typically designed using millwork shapes of round or square columns to trim large shopfront windows with a glass panel entrance door centered in between two shopfront windows or off to one side.
- » The entrance door should be recessed into the storefront to prevent the door from opening into the sidewalk.



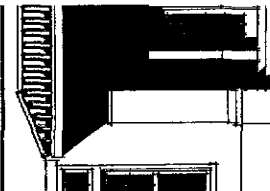
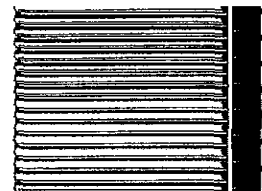
CORNICE ELEMENTS



MIDDLE ELEMENTS



BASE ELEMENTS



Transitional Modern

In the 20th century, many advocates of the Modern movement called for a break with the past and for the invention of new forms and details that would create the vision of a new world. However, many of today's architects recognize the importance of time-tested principles in the creation of new neighborhoods. This style intersects a broad palette of influences from traditional styles with modern, local architectural practice. Together it represents a distinctive feel of Northern Utah.

This section is developed from three important characteristics. The first is to provide buildings that contribute to the character and quality of the public space. Elements such as porches, windows, and clearly defined entrances facing the street are critical. The second is the creation of strong connections between the interior and the exterior. Large openings of glass and doors that can be opened up, are critical to the implementation of this concept. The third is to follow the principles of green design, which include shading devices, passive solar design, the use of overhangs, trellises, and porches, as well as providing proper orientation to the sun. In this case, details may incorporate playful, modern sensibilities.



Townhouse

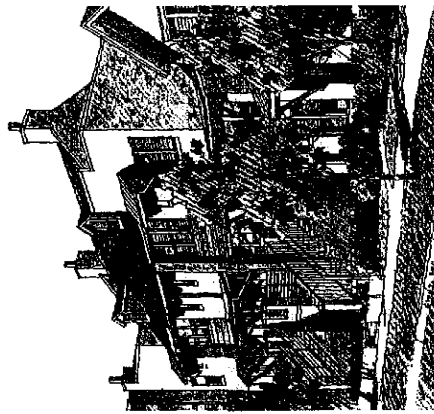
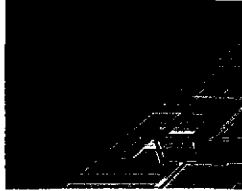
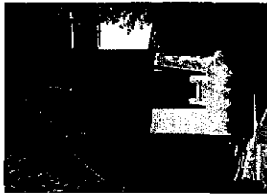
Live/Work

Mixed Use

Retail

Key Elements Of The Transitional Modern Style

- » Traditional architectural massing
- » Building design & programming orient to public spaces around it
- » Continuous flow of space between interior and exterior
- » Use of porches and clearly defined entrances
- » Expressive use of materials to highlight varied forms
- » Material use relates to climatic considerations and modern design aesthetic



© 2011 URBAN DESIGN ASSOCIATES

EH 2702153 PG 127 OF 157

Small Residential Types

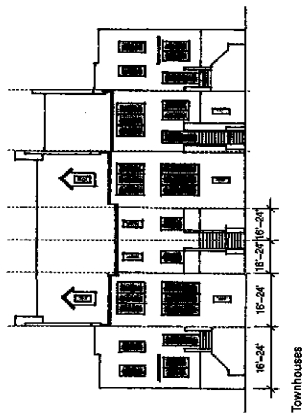
FACADE COMPOSITION

- » May be broken into bays to emphasize a vertical elements
- » Local symmetries based around strong elements such as heavy porches or wide bay projections
- » Sliders may not be used where they are visible from public thoroughfares.
- » Align window head with door heads.

WINDOWS, BAYS, & DORMERS

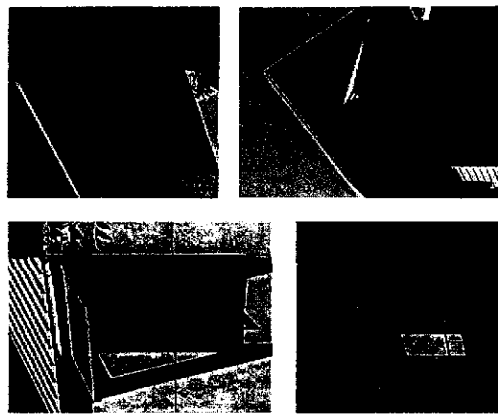
- » Repetitive compositions of the same may be set in contrast to hierarchical windows of an alternate type.
- » Corner windows may be used.
- » Combinations of picture, casement and double-hung windows may be composed together.
- » Windows should be set deep for shadow; use traditional profiles.
- » Typical gridded pane configurations of Victorian and Arts and Crafts may be used.
- » Profiled muntin bars between panes are acceptable. External 1-inch-wide or more projecting muntin bars preferred.

FACADE COMPOSITION



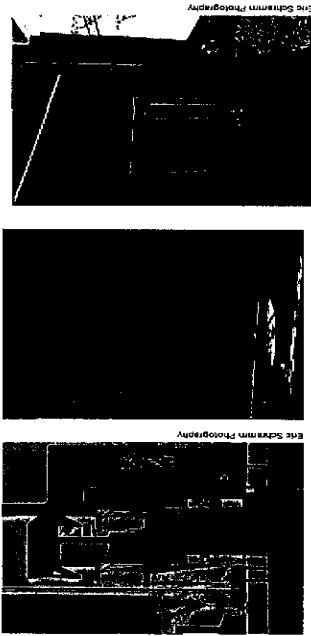
Townhouses

WINDOWS

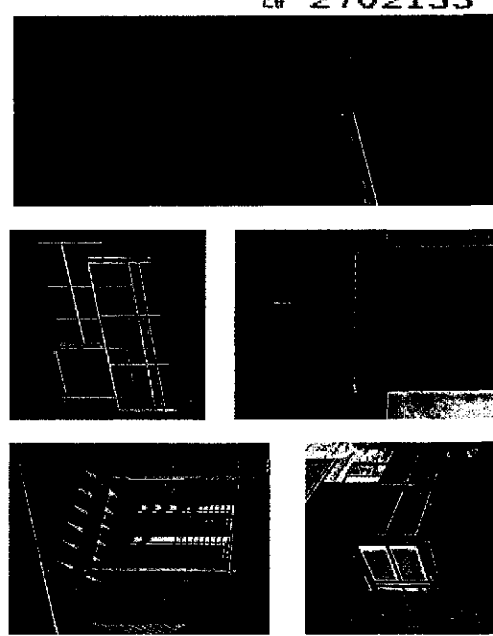


Townhouse Live-Work

DOORS



BALCONIES



Small Residential Types

EAVES

- » Open or closed eaves are permitted. Detailing shall be simple and elemental.
- » Open eaves typically have a 2x6-inch or 2x8-inch straight cut rafter tail 16 to 24 inches on center.

ROOF MATERIAL

- » Dimensioned architectural grade asphalt or fiberglass shingles
- » Metal, narrow standing seam or 5-V panels, metal finish or painted
- » Slate or synthetic slate cladding

PORCHES

- » Exposed rafters and structural members is strongly encouraged.
- » Columns may be metal, fiber-glass, polymer, or wood.
- » Straightforward simple detailing is required.

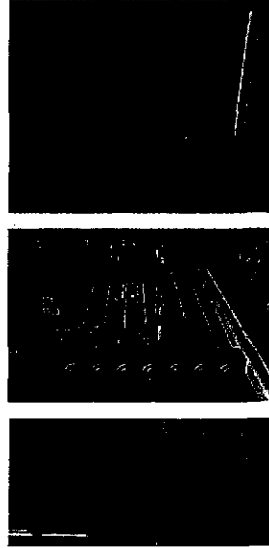
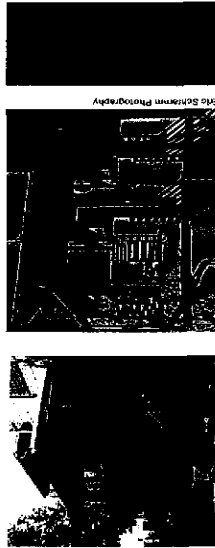
CLADDING

- » Cladding should be consistent on to each facade or additive element, or building story.
- » Thoughtful compositions of siding materials is encouraged.

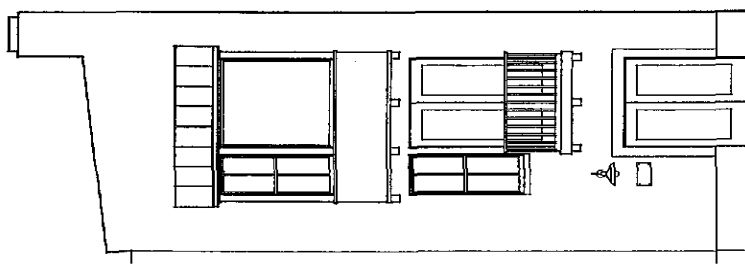
EAVES



PORCH ELEMENTS



PARTIAL ELEVATION



© 2011 URBAN DESIGN ASSOCIATES

Eric Schmitt Photography



Townhouse Live-Work

Large Residential & Commercial Types

MASSING

- » Streets and public spaces should use high-quality materials.
- » Massing is typically a two- or three-story building with a tall ground floor and more vertical proportions.

FACADE COMPOSITION

- » Facades will have a variety of forms and compositions.
- » Picturesque, asymmetrical compositions are recommended.
- » Larger buildings may have five- or six-bay compositions above the ground floor with varying storefront treatments on the ground floor.
- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.

WINDOWS AND STOREFRONTS

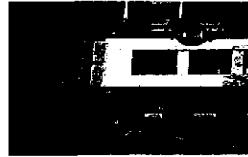
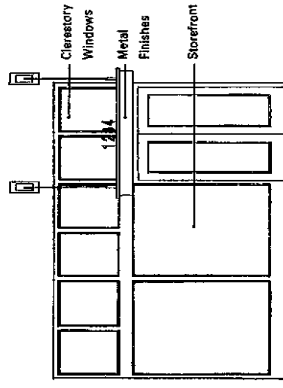
- » Windows above the ground floor are typically vertical in proportion. Storefronts are predominantly large panes of glass, often with transoms above.
- » Storefronts shall incorporate the spirit of traditional storefronts with rich materials and high transparency.
- » The entrance door should be recessed into the storefront to prevent the door from opening into the sidewalk.
- » Typically the storefront will have a deep entablature/cornice expression above the storefront for signage.

CLADDING

- » Cladding should be consistent on to each facade or additive element, or building story. Thoughtful compositions of siding materials is encouraged.



STOREFRONTS



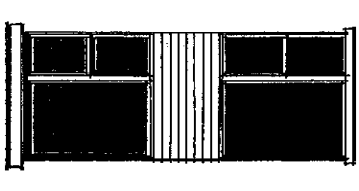
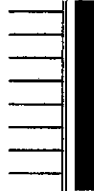
CORNICE ELEMENTS



MIDDLE ELEMENTS



BASE ELEMENTS



Loft Mercantile

Ogden has a remarkable collection of historic industrial buildings that are being recycled for new, active uses. Historically, this flexible building type developed to service a robust, regional manufacturing business that required close proximity to the busy transcontinental railroad system. Today, these structures remain excellent candidates for adaptive reuse to keep Ogden's past alive into the future.

These buildings are typically of simple, rectangular masses. At times, and in the case of American Can, the project may be a campus of rectangular buildings that together, make remarkable, picturesque spaces in between.

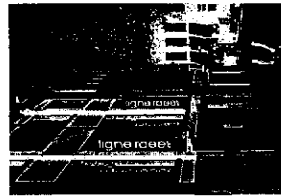
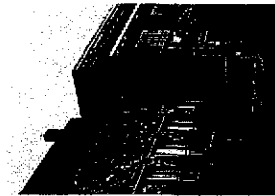
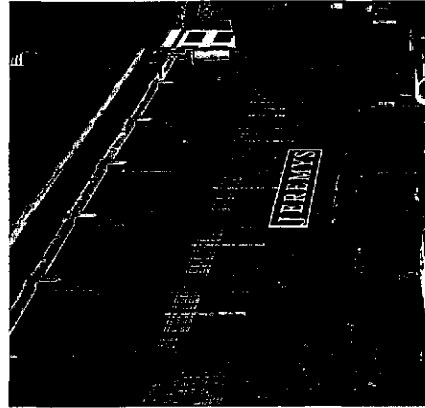
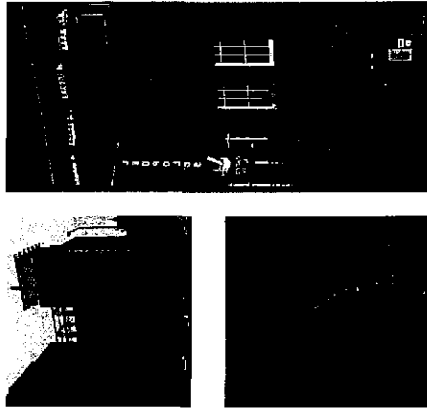
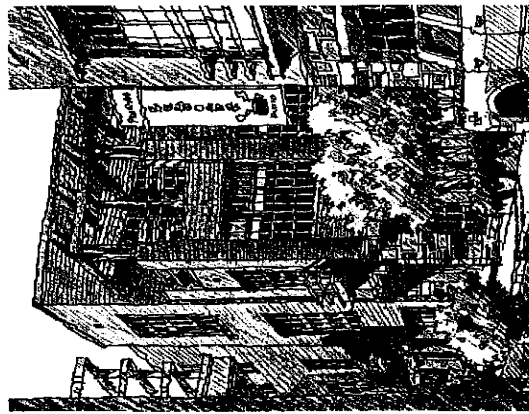
In the construction of new buildings, they can be composed in configurations of one- to four-stories in height with facades in a regular pattern of windows above the ground level. The window bays are either punched openings into the masonry wall, or large window between spandrels. Vertical piers, either load-bearing or compositional, extend from the roof to the ground. Window glazing is often designed to be as large as possible.



Live-Work
Apartment
Mixed-Use
Retail

Key Elements of the Loft Mercantile Style

- » Simple rectangular volumes, usually three to four stories tall
- » Regular pattern of simple windows
- » Facades are composed of repetitive elements that express the structural grid
- » Simple details
- » Masonry materials
- » Storefronts may be one-story in height, and create a composition in alignment with those windows above
- » In a collection of buildings, arranged to make spaces between.



REVISED BY NO. 1330 HYPER 1104 ©

Large Residential & Commercial Types

MASSING

- » Loft Buildings are large rectangular masses, often wider than they are tall. With large floor plates, they are well suited for office uses.
- » Spaces between the buildings are often picturesque assemblies of buildings.
- » Relationships between the bay and spanned system and the first-floor storefront may remain subtle as long as the facade reflects the proper proportional composition.

FAÇADE COMPOSITION

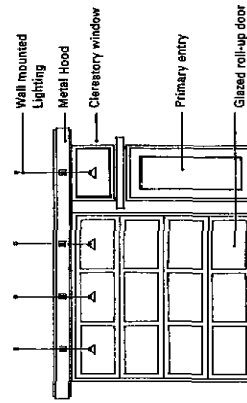
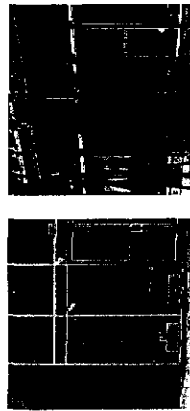
- » The middle floors have a consistent pattern of windows within a masonry frame.
- » The top floor of the building may have a different pattern of windows, different masonry color, and a distinguishing parapet.
- » The ground floors may be designed with shop fronts. These storefronts are vertically proportioned into bays corresponding to the rhythm of windows above and are articulated as columns or piers supporting lintels.

STOREFRONTS

- » Loft Building storefronts may be composed in a manner independent of the structural columns of the building.
- » Relationships between the bay and spanned system and the first-floor storefront may remain subtle as long as the facade reflects the proper proportional composition.

- » Large areas of glass should be the dominant element of these storefronts with large display windows becoming an integral part of the facade.
- » Display window sills shall be no higher than 30 inches and no lower than 4 inches above the sidewalk.

STOREFRONTS



Live-Work



Apartment



Mixed-Use



Retail

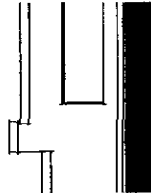
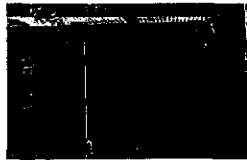
CORNICE ELEMENTS



MIDDLE ELEMENTS



BASE ELEMENTS



Landscape Patterns

THE CAREFUL DESIGN AND MAINTENANCE OF PUBLIC OPEN SPACE and lot landscaping is a key design element to creating beautiful neighborhoods. Both public open space and landscaping on building lots should adhere to the following key principles.

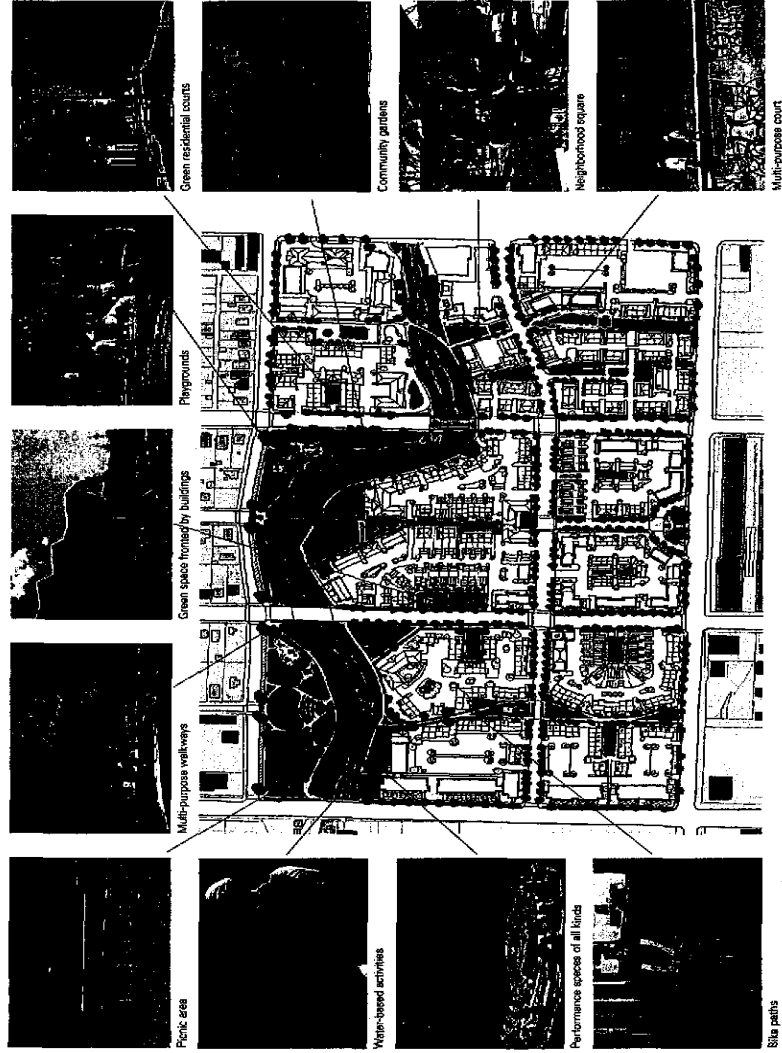
- » Open Space should enhance a neighborhood aesthetically, functionally and socially. Art installations, both interactive and static, are a recommended ingredient to achieving this goal.
- » Parks should be centrally located for easy access by foot, which naturally makes them an inviting and social place.
- » Trails or greenways should be interwoven into neighborhoods in order to complete and connect to existing systems.
- » Parks should be defined and designed as either active (playgrounds, ball fields) or Passive (flower gardens, community garden plots)
- » Landscape planting should be appropriate to the climate and use of area, and design should contribute to four important sustainability goals:
 - 1 reduce water runoff by using permeable paving surfaces and creating natural catchment areas or rain gardens
 - 2 plant native and water-wise species
 - 3 plant shade trees to reduce heat island effect
 - 4 conserve water through drip and zoned irrigation systems
- » Lawns, although permissible, are encouraged to complement landscape planting areas and not be dominant ground coverage.



© 2011 URBAN DESIGN ASSOCIATES

Neighborhood Landscape Character

RAVIGORBY HOLYSG NVRMLTIOE

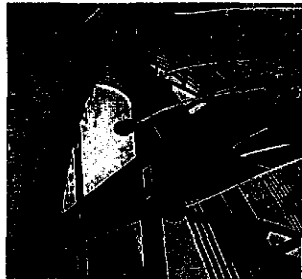


Open Space Elements

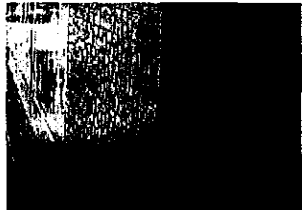
© 2011 URBAN DESIGN ASSOCIATES



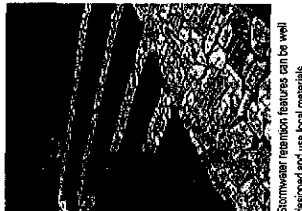
Public open space combines landscape, hardscape, lighting. Safe areas for playgrounds is important to families.



Public open space combines landscape, hardscape, lighting.



Porous paving surfaces reduce water runoff.



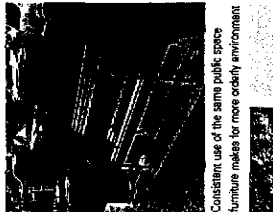
Stormwater retention features can be well designed and use local materials.



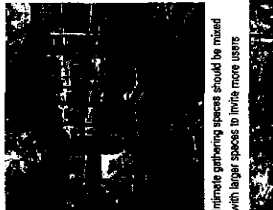
Bike racks promote use of an alternate mode of transportation.



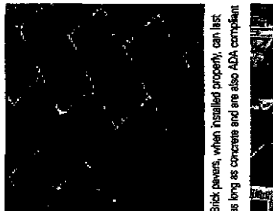
Benches help protect natural resources.



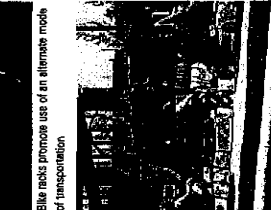
Consistent use of the same public space furniture makes for more orderly environment.



Innate gathering spaces should be mixed with larger spaces to invite more users.



Block paving, when installed properly, can last as long as concrete and are also ADA compliant.



Small playgrounds or play lots should be located within a residential address.



A variety of landscape palettes should be used to define open spaces.



Hedges serve to define private space from public space, especially in townhouse rows (garden) locations.

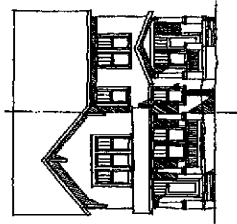
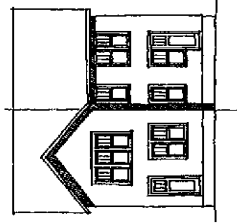
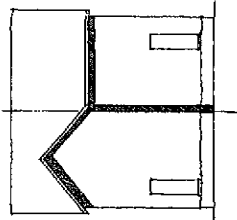
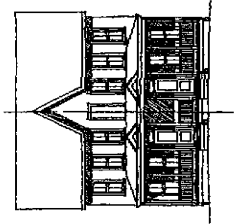
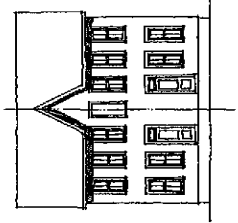
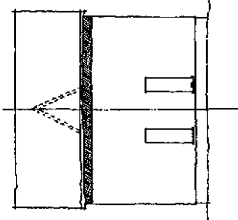


Sustainable stormwater swales include rain channels, permeable pavers, and porous paving.



Step-by-Step Transformation: Townhouse Two-Unit Composition

An Example of a Transformation of a Typical House Design
Note: These principles can apply to two- or three-story townhouses typically found in the Salt Lake City region.



STEP 1: Review Existing Design

The design of this townhouse works well with the placement of the living spaces and porch at the front of the house. The windows may be composed in a more orderly fashion. The current design does not have a well-defined architectural character but could be transformed into the Victorian or Arts & Crafts style.

STEP 2: Consult the Design Guidelines

Use the Design Guidelines to guide the transformation. In this case, the Victorian and Arts & Crafts style

sections apply. For townhouse scripting recommendations, see page 2.19.

STEP 3: Develop a New Design Based on Existing Design

A. Adjust Massing, Roof Pitch and Form
 In the Victorian example, break the mass of the roof with the addition of a front gable form. For Arts & Crafts, the addition of a cross-gable for the left unit, and further articulation of the plan of the left unit allows for the units to read as individual cottages.

B. Adjust Window and Door Composition

Pick appropriate windows based on the Victorian style in option 1 and the Arts & Crafts style in option 2 of this house. Arrange windows and doors in the spirit of the compositions illustrated in the style sections of the Design Guidelines.

C. Materials and Finishes

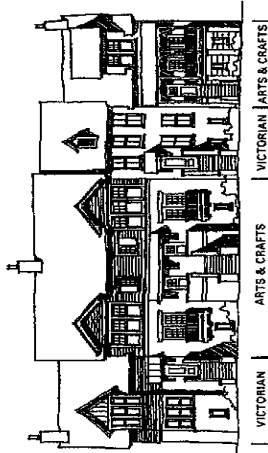
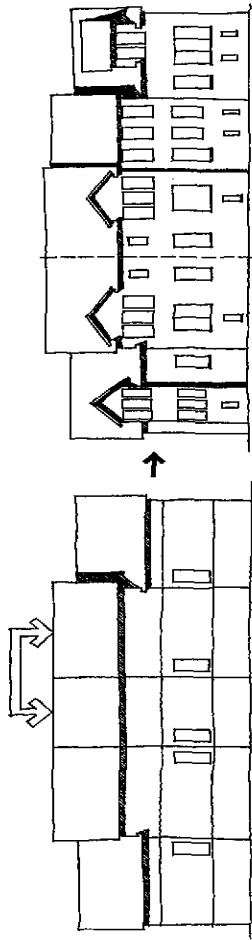
Use the appropriate style section to determine the materials and finishing of the building.

2702153 PG 137 OF 157

Step-by-Step Transformation: Townhouse Five-Unit Composition

An Example of a Transformation of a Typical House Design

Note: These principles can apply to two- or three-story townhouse typology found in the Salt Lake City region.



STEP 1: Review Existing Design

This townhouse composition attempts to create variety by alternating styles and varying roof forms and heights. Although these are principles described in the townhouse scripting recommendations, further development can bring more harmony to the design. Rather than utilizing suburban techniques, such as a berm of landscape at the foundation wall it is suggested that the building come to the natural grade level. This will allow the opportunity for windows to bring light into the garage or bonus room at ground level and exterior gardens. In addition, composing the building a matching pair of units and exercising an option for a shared entry stair can introduce a different rhythm to the overall facade.

STEP 2: Consult the Design Guidelines

Use the Design Guidelines to guide the transformation. For townhouse scripting recommendations, see page 2.19.

STEP 3: Adjust Window and Door Composition

Arrange windows and doors in the spirit of the compositions illustrated in the style sections of the Design Guidelines. In this case, the Victorian and Arts & Crafts style sections apply.

STEP 4: Develop a New Design Based on Existing Design

A. Adjust Massing, Roof Pitch and Form

For all styles of rowhouses, it is important to have steep pitches for the main body mass. In the Victorian example on the left, introduce a bay and roof form to increase the vertical emphasis. For Arts & Crafts units at the center of the composition, the addition of a cross-gable element, at the appropriate roof pitch introduces the domestic cottage scale.

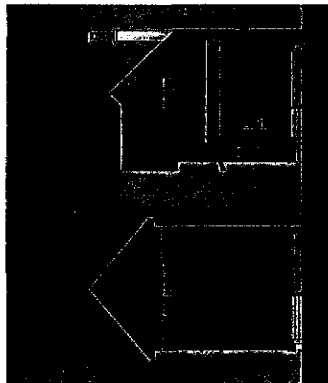
B. Materials and Finishes

Use the appropriate style section to determine the materials and finishing of the building.

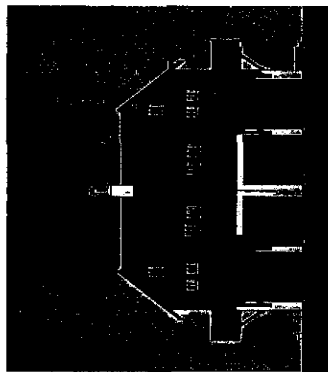
REDEVELOPMENT MASTER PLAN & DESIGN GUIDELINES

Sample Elevations

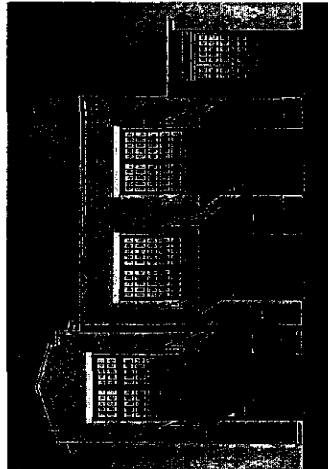
© 2011 URBAN DESIGN ASSOCIATES



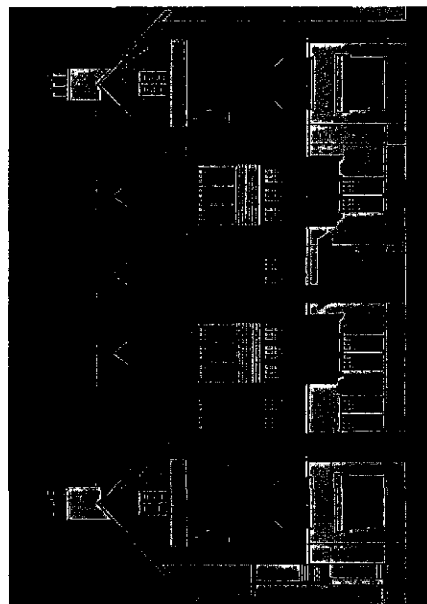
BUILDING TYPE: COTTAGE
STYLE: ARTS & CRAFTS



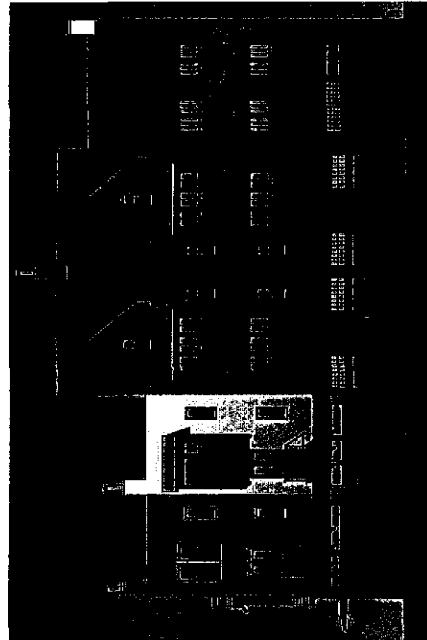
BUILDING TYPE: CARRIAGE HOUSE
STYLE: ARTS & CRAFTS



BUILDING TYPE: RETAIL BUILDING
STYLE: MERCANTILE LOFT



BUILDING TYPE: APARTMENT BUILDING
STYLE: ARTS & CRAFTS



BUILDING TYPE: LIVE-WORK
STYLE: TRANSITIONAL MODERN

BUILDING TYPE: LIVE-WORK
STYLE: VICTORIAN

BUILDING TYPE: LIVE-WORK
STYLE: ARTS & CRAFTS

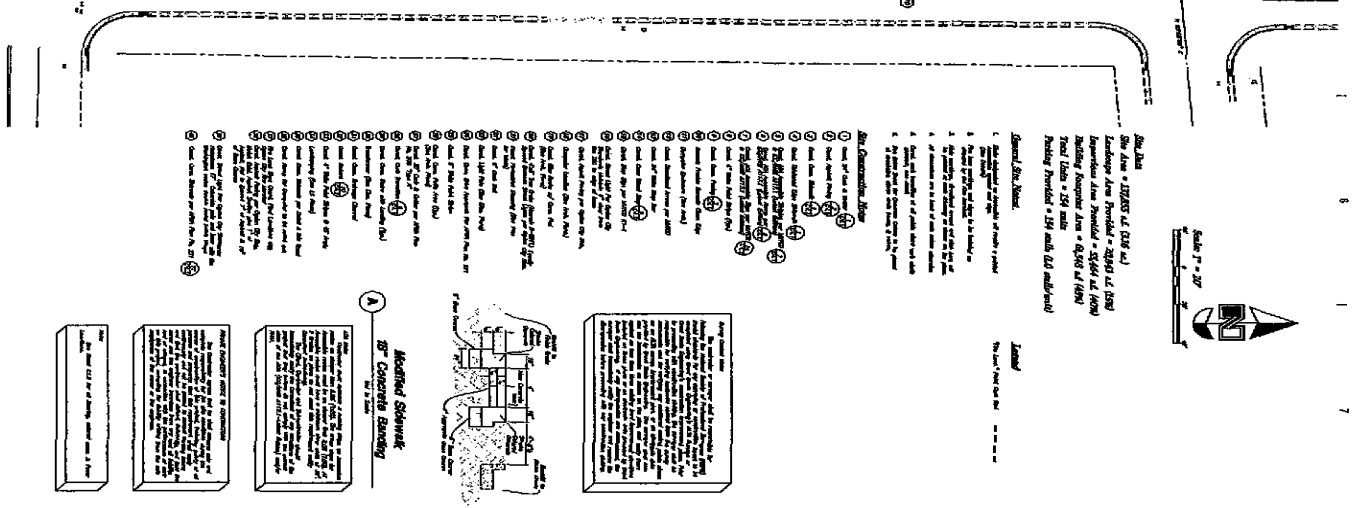
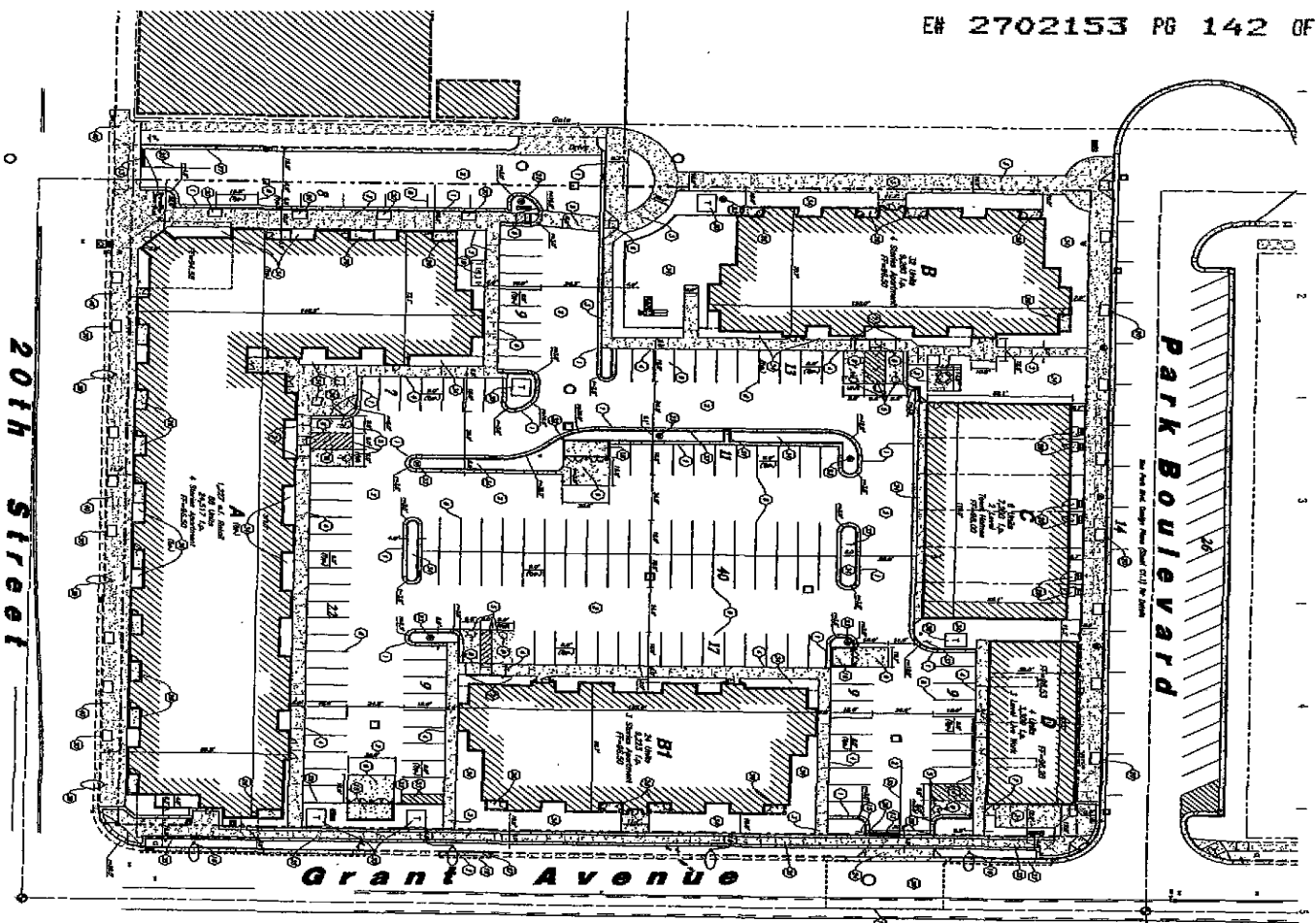
EXHIBIT C-1

APPROVED BUILDING USE PLAN

Phase 1

Conditions of 1st phase approval revised September 2, 2014 RDA approval

1. Provide a 3 foot wide pedestrian access easement along 20th Street for the public to use the sidewalk.
2. Have the building entrance at 20th and Childs serve as retail and apartment entrance.
3. Install a 7 foot tall brick dumpster screening wall along Grant Avenue and screen parking lot from public view on Grant with privet hedge. Plants to be 5 gallon in size and spaced 3 feet on center.
4. Sidewalk patterns and layout follow the landscape architects design of materials and layout with the sidewalk through the green space on Childs being 10 feet wide as a minimum.
5. Require a 40 foot wide open space minimum width for the Childs Avenue green space.
6. Design for a traffic signal in the plaza space at 20th and Grant.
7. Provide lights along the Childs walkway.
8. Provide a 10 foot wide sidewalk along the west side of building A with street trees and lighting in the space. No parking allowed on the west side of Childs and a right turn only restriction onto 20th Street.
9. Increase the radius of the temporary turn around at the end of Park to 40 feet.
10. Revise the window design for the B building with a four over one or six over one window design, simplify the window framing with a header and sill only.
11. Revise the B building by adding more brick at the entrance bay to be three stories tall and also add design detail or color to the parapet above the entrance.
12. Revise the B-1 building by revising the window design with a four over one or six over one window design and simplify the window framing with a header and sill only.
13. Provide materials board of Building C and make revisions to design as suggested in the attachment and notes on building elevation.
14. Extend the precast base along the full width of the south elevation and if possible place a storefront window on the southeast corner of the south façade on building D and remove the extended cornice detail.
15. Vacate the abutter's alley and existing subdivision plat so that the development is not hindered by the underlying subdivision of land.
16. Include the approved drawings and conditions into the MU development agreement for this phase.
17. Provide an appropriate window detail to meet code and have more design than shown for buildings B and B1.
18. Provide building schedule and legal description to development agreement.
19. Meet the other division requirements.

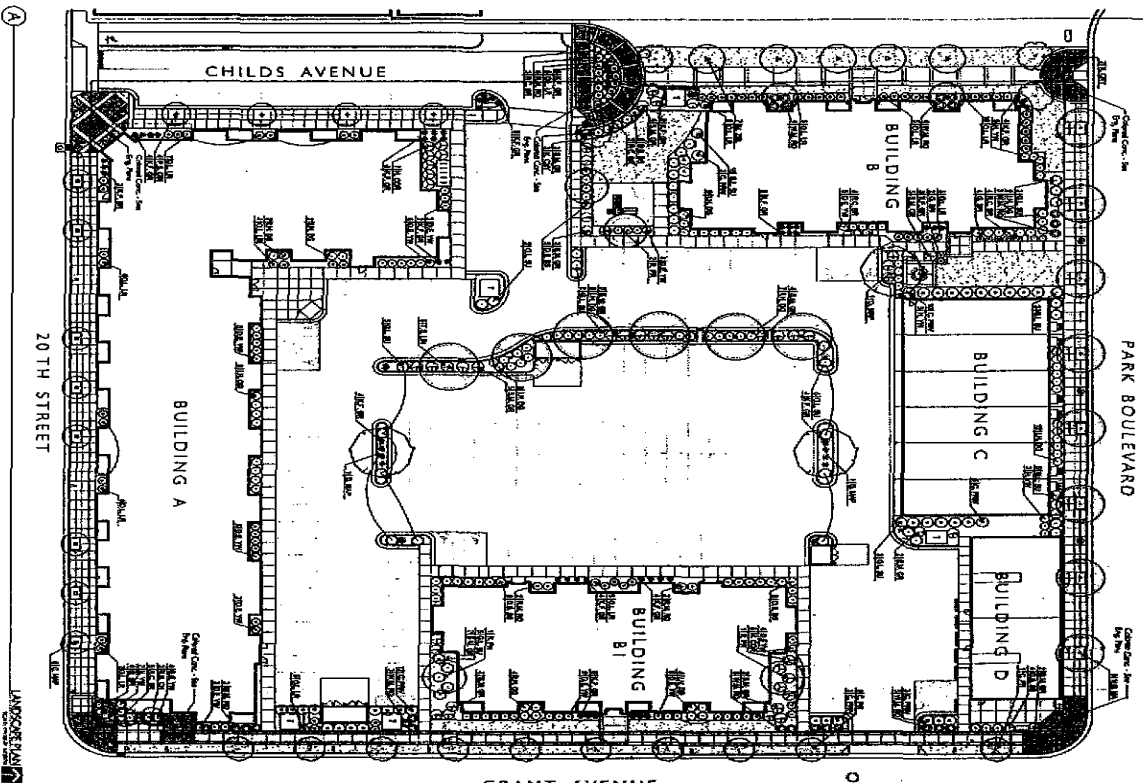
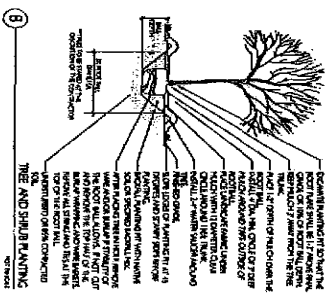


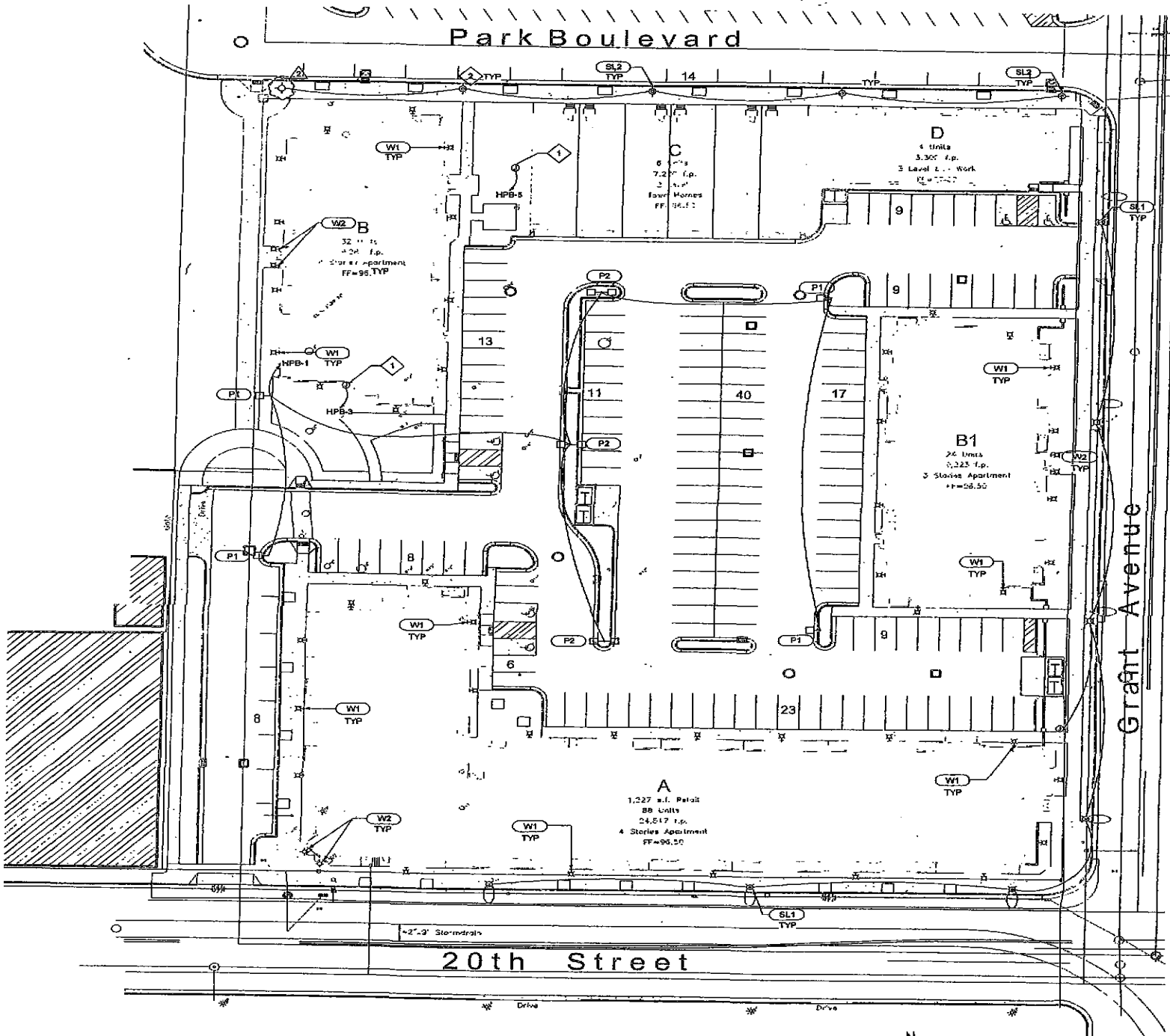
LANDSCAPE SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT
1	PLANTING		
1.1	PLANTING		
1.2	PLANTING		
1.3	PLANTING		
1.4	PLANTING		
1.5	PLANTING		
1.6	PLANTING		
1.7	PLANTING		
1.8	PLANTING		
1.9	PLANTING		
1.10	PLANTING		
1.11	PLANTING		
1.12	PLANTING		
1.13	PLANTING		
1.14	PLANTING		
1.15	PLANTING		
1.16	PLANTING		
1.17	PLANTING		
1.18	PLANTING		
1.19	PLANTING		
1.20	PLANTING		
1.21	PLANTING		
1.22	PLANTING		
1.23	PLANTING		
1.24	PLANTING		
1.25	PLANTING		
1.26	PLANTING		
1.27	PLANTING		
1.28	PLANTING		
1.29	PLANTING		
1.30	PLANTING		
1.31	PLANTING		
1.32	PLANTING		
1.33	PLANTING		
1.34	PLANTING		
1.35	PLANTING		
1.36	PLANTING		
1.37	PLANTING		
1.38	PLANTING		
1.39	PLANTING		
1.40	PLANTING		
1.41	PLANTING		
1.42	PLANTING		
1.43	PLANTING		
1.44	PLANTING		
1.45	PLANTING		
1.46	PLANTING		
1.47	PLANTING		
1.48	PLANTING		
1.49	PLANTING		
1.50	PLANTING		
1.51	PLANTING		
1.52	PLANTING		
1.53	PLANTING		
1.54	PLANTING		
1.55	PLANTING		
1.56	PLANTING		
1.57	PLANTING		
1.58	PLANTING		
1.59	PLANTING		
1.60	PLANTING		
1.61	PLANTING		
1.62	PLANTING		
1.63	PLANTING		
1.64	PLANTING		
1.65	PLANTING		
1.66	PLANTING		
1.67	PLANTING		
1.68	PLANTING		
1.69	PLANTING		
1.70	PLANTING		
1.71	PLANTING		
1.72	PLANTING		
1.73	PLANTING		
1.74	PLANTING		
1.75	PLANTING		
1.76	PLANTING		
1.77	PLANTING		
1.78	PLANTING		
1.79	PLANTING		
1.80	PLANTING		
1.81	PLANTING		
1.82	PLANTING		
1.83	PLANTING		
1.84	PLANTING		
1.85	PLANTING		
1.86	PLANTING		
1.87	PLANTING		
1.88	PLANTING		
1.89	PLANTING		
1.90	PLANTING		
1.91	PLANTING		
1.92	PLANTING		
1.93	PLANTING		
1.94	PLANTING		
1.95	PLANTING		
1.96	PLANTING		
1.97	PLANTING		
1.98	PLANTING		
1.99	PLANTING		
1.100	PLANTING		

LANDSCAPE GENERAL NOTES

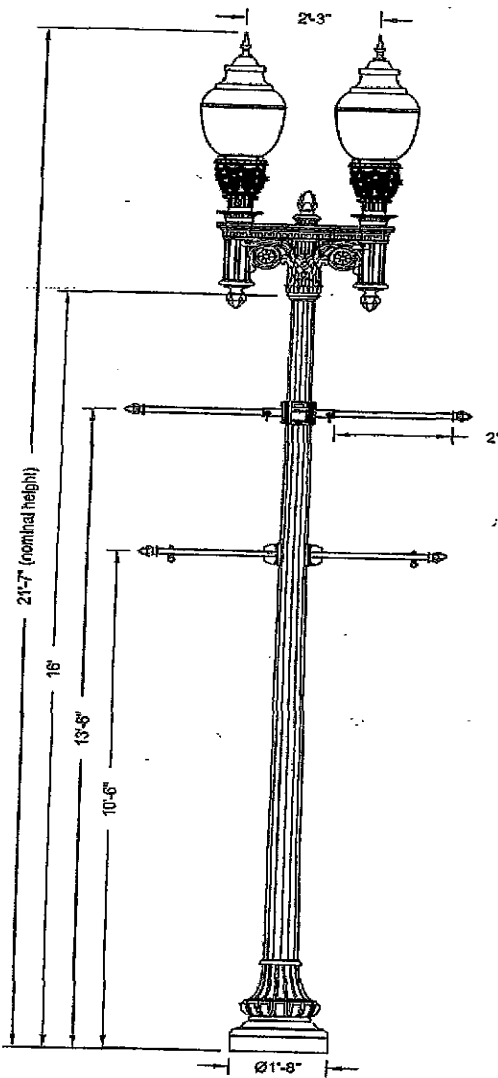
1. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
2. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
3. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
4. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
5. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
6. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
7. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
8. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
9. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
10. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
11. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
12. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
13. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
14. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
15. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
16. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
17. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
18. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
19. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.
20. All plantings to be installed in accordance with the specifications and quantities shown on the drawings.





1 SITE PLAN - ELECTRICAL LIGHTING
SCALE: 1" = 30'-0"





POST DET
 The lighting fixture to be upgraded and a class together all other multiple Holophane barrier arm small white mounted street MATERIAL:
 The post base to the pattern steel with an hardware shall completely h CONSTRUCT
 The cast shall shipped as a below 8' shall D1-2-99, AS & DIMENSION:
 The post shall taper from a 2' be provided a transitional dc INSTALLATION:
 The one-piece galvanized L4 shall be provide screw shall be LUMINAIRE C
 - Enhanced W
 - 250 Watt Me
 - Black Finish
 - Asymmetric 1
 - Spike Finish
 - Two-Pack Ph
 - Perforated 1/2
 - 20' of Provide
 For complete s

- (2)BAD24H4B
- FGIUS-SBKH
- (2)PBA24A/1/E

Catalog #'s:
 C17(18)20-C12/8
 (2)BAD24A4B - (2)
 (2)AOL-354)WVZ

HOLOPHANE
 LEADER IN LIGHTING SOLUTIONS
 An AcuityBrandsCompany

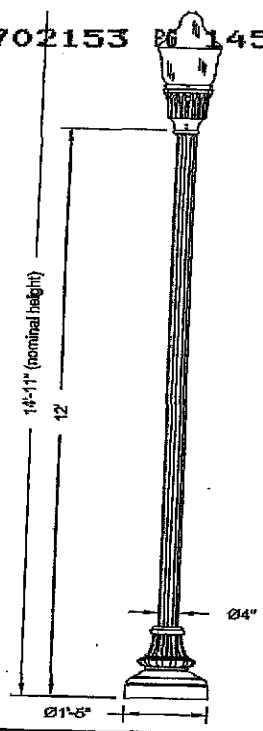
Ogden City Startard
 Ogden, UT

ORDER #:	TYPE:
REVISION: 5	REVISION DATE:
DRAWN: ACH	ORIGIN DATE:

IF THIS DRAWING, WHEN APPROVED, SHALL BECOME THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY HOLOPHANE ON THE ORDER NOTED ABOVE, A UNIT'S CUSTOMER IN WRITING, OR BY E-MAIL, OR BY FAX, OR BY TELEPHONE, SHALL BE SHOWN WITH EACH ORDER OR NOT IN ORDER TO MATCH THE TITLE PROVIDED, THE PRINT'S DEMAND AND APPROVE CONDITION THAT IT WILL NOT BE USED DIRECTLY OR INDIRECTLY IN ANY WAY DETRIMENTAL TO OUR BUSINESS, AND ONLY IN CONNECTION WITH THE

TYPE SL1 FIXTURE
 SCALE: 12" = 1'-0"

EN 2702153 PG 145 OF 157



HOLOPHANE
 LEADER IN LIGHTING SOLUTIONS
 An AcuityBrandsCompany

Ogden Str
 Salt Lake City, U
 ORDER #: Q293-2239-
 REVISION:
 DRAWN: ACH

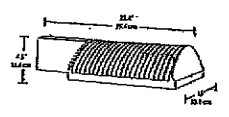
THIS DRAWING, WHEN APPROVED, SHALL BECOME THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY HOLOPHANE ON THE ORDER NOTED ABOVE, A UNIT'S CUSTOMER IN WRITING, OR BY E-MAIL, OR BY FAX, OR BY TELEPHONE, SHALL BE SHOWN WITH EACH ORDER OR NOT IN ORDER TO MATCH THE TITLE PROVIDED, THE PRINT'S DEMAND AND APPROVE CONDITION THAT IT WILL NOT BE USED DIRECTLY OR INDIRECTLY IN ANY WAY DETRIMENTAL TO OUR BUSINESS, AND ONLY IN CONNECTION WITH THE

TYPE SL2 FIXTURE
 SCALE: 12" = 1'-0"

Created 01/17/2013

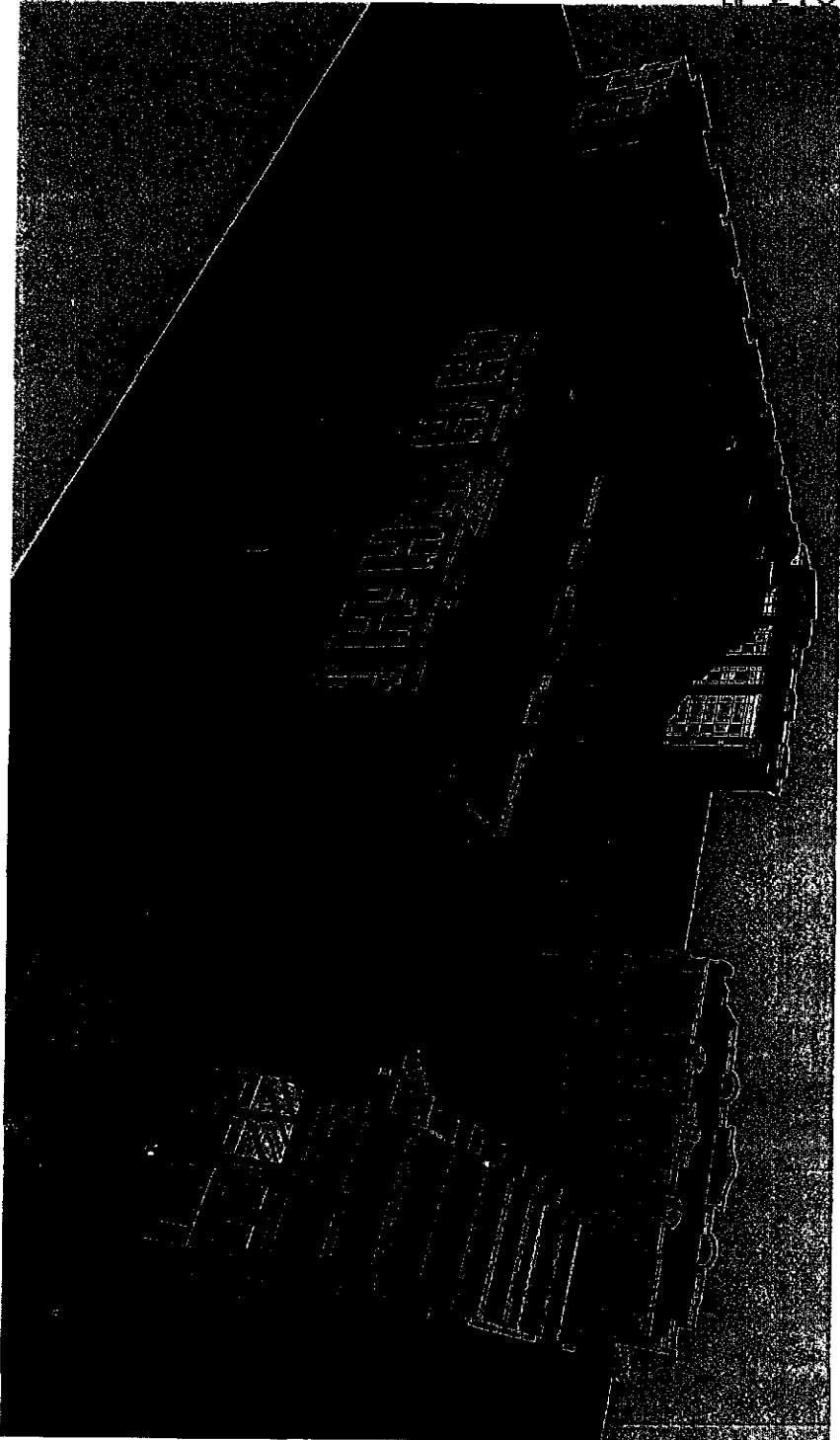
Color: Bronze

Weight: 31.0 lbs



Housing:
 Die cast aluminum housing, lens frame and mounting arm.

1 TYPE P1 LIGHT FIXTURE
 SCALE: 12" = 1'-0"



① NORTH ARTERIAL

1 1 2 1 3 1 4 1 5 1 6

1 1 2 1 3 1 4 1 5 1 6

SD900

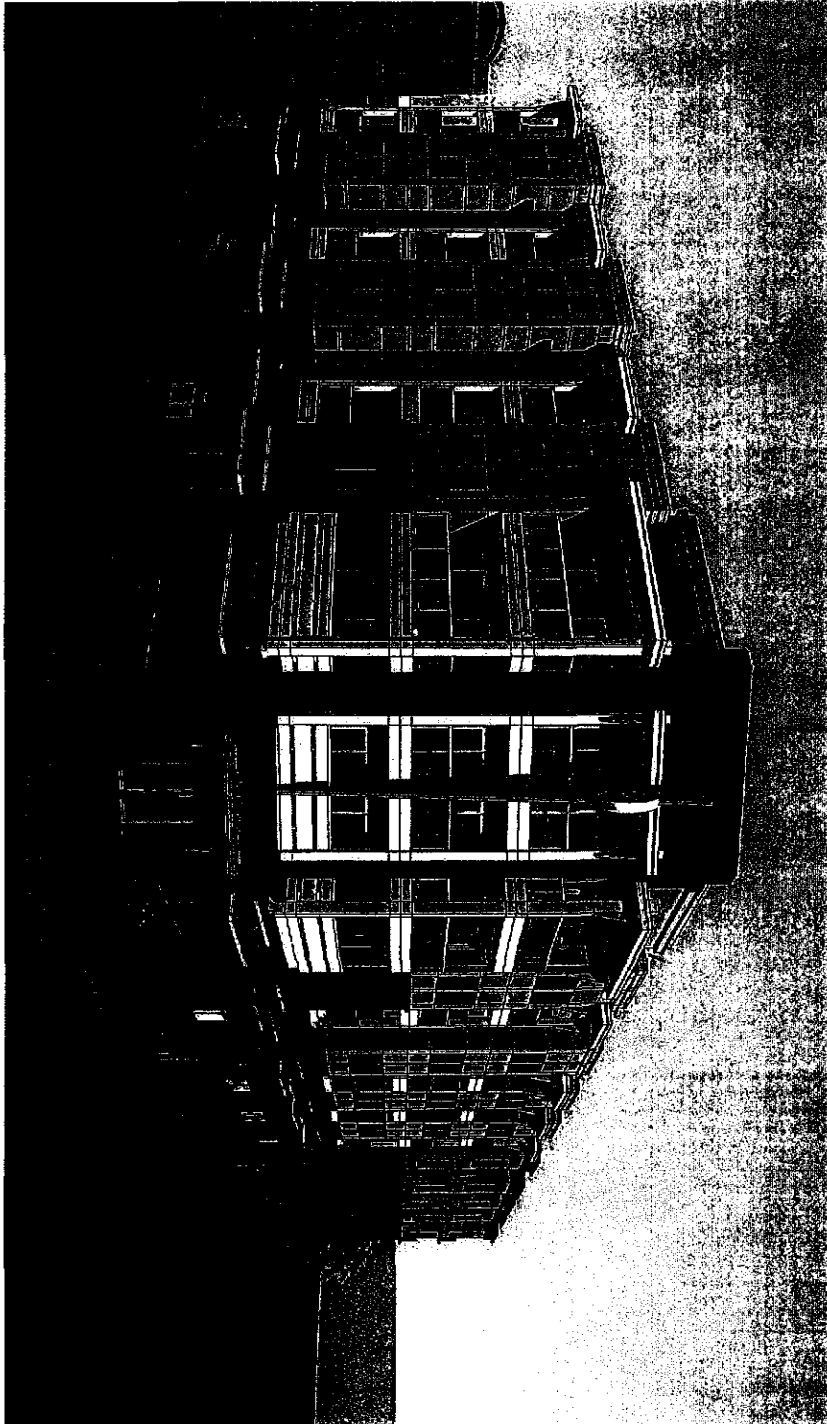
Site Planning
 Siting
 Planning

Project Name



OGDEN RIVERBEND MASTER PLAN
 PROJECT ADDRESS
 PROJECT CITY, PROJECT STATE PROJECT ZIP CODE

DATE	REVISION DESCRIPTION	BY	CHK	REV. DATE



1 1 1 2 1 3 1 4 1 5 1 6

1 2 3 4 5 6

**ODGEN RIVERBEND APARTMENT
COMPLEX A**
PROJECT ADDRESS
OGDEN, UTAH

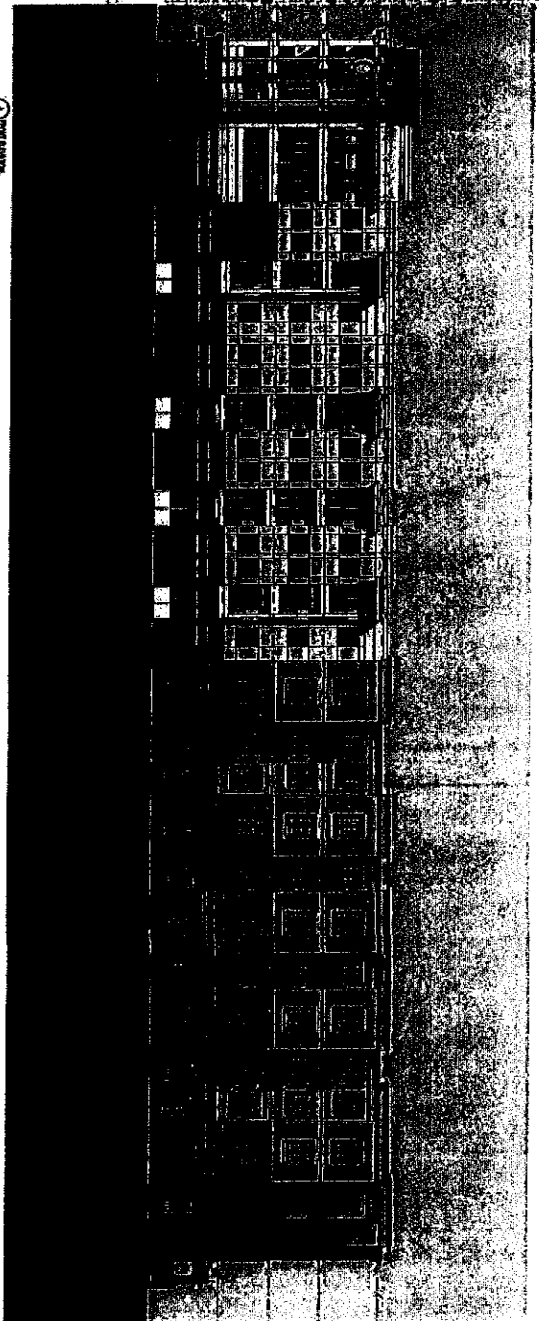
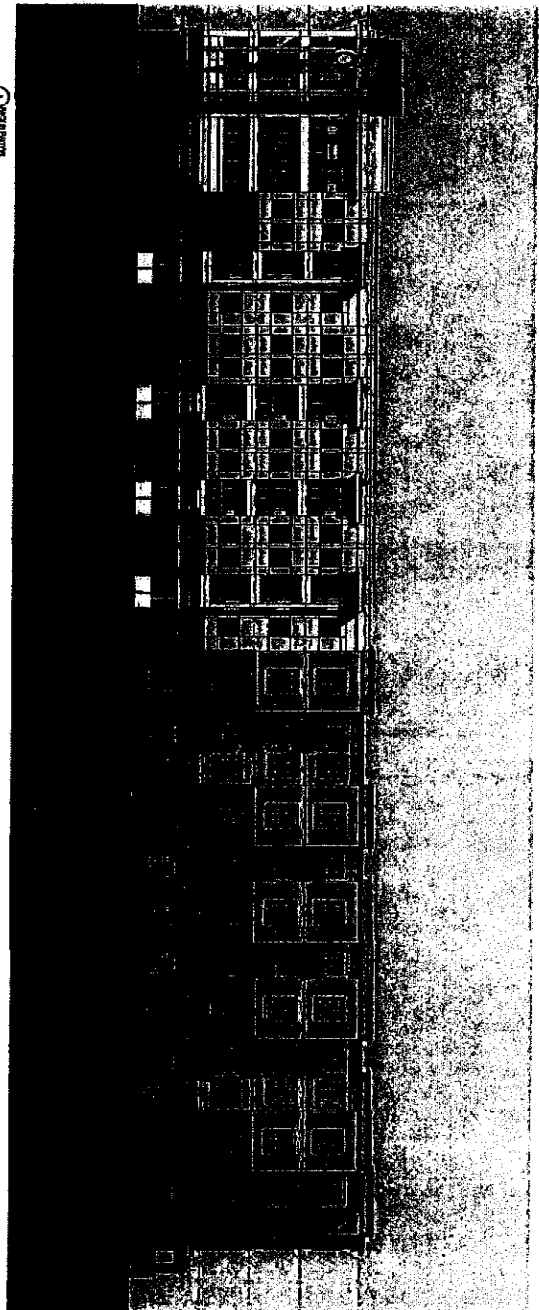


BWA
ARCHITECTS
700 WEST 1000 SOUTH
OGDEN, UTAH 84403

PROJECT NUMBER: 2702153
DATE: 08/14/11
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

ODGEN RIVERBEND APARTMENT
COMPLEX A
PROJECT ADDRESS
OGDEN, UTAH
A900

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



SECTION
A-A

SECTION
B-B

SECTION
A-A
SECTION
B-B
SECTION
C-C
SECTION
D-D
SECTION
E-E

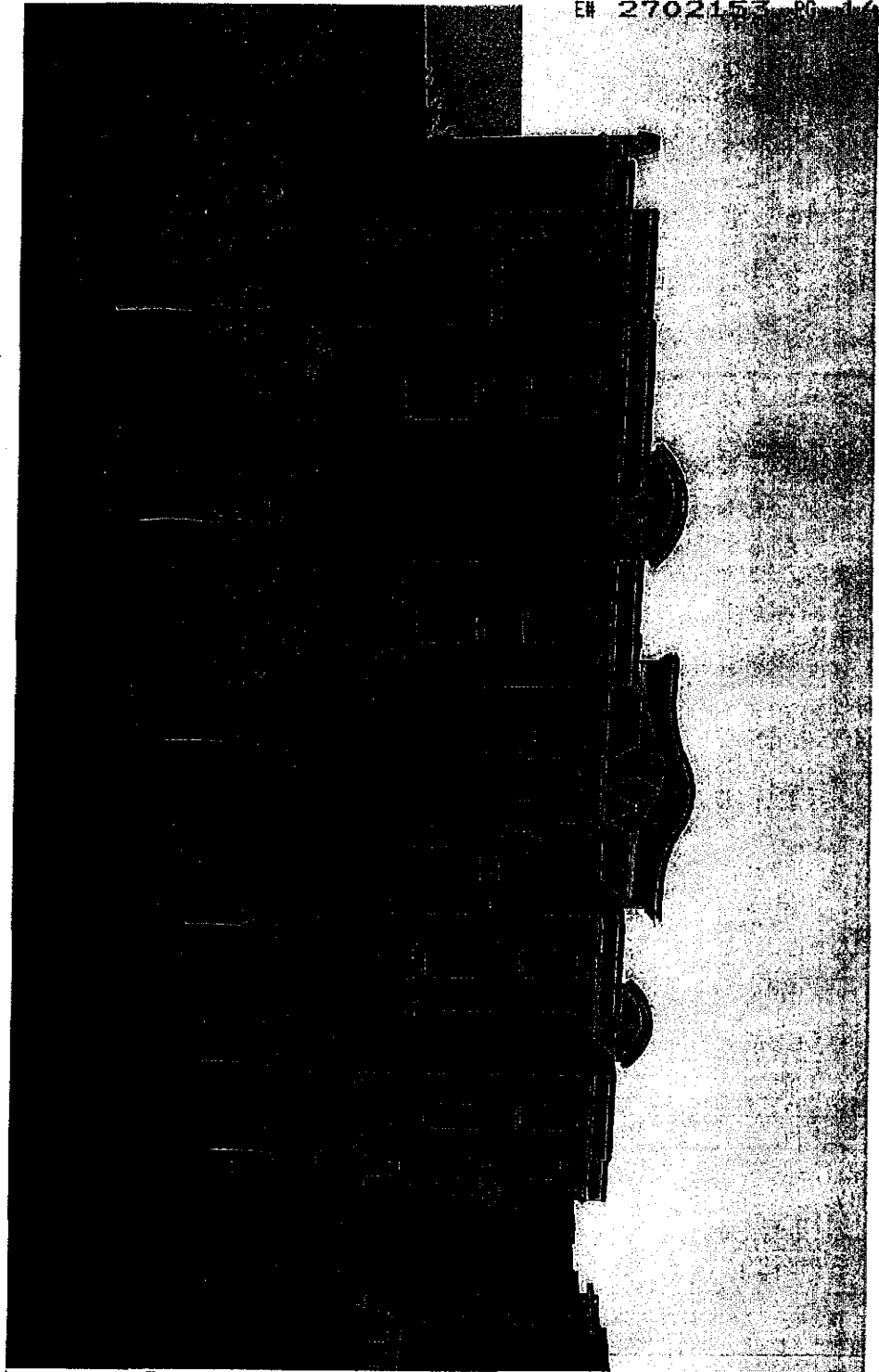
SECTION
A-A
SECTION
B-B
SECTION
C-C
SECTION
D-D
SECTION
E-E

A200

BWA
ARCHITECTS
1000 N. 1000 W.
SALT LAKE CITY, UT 84119
TEL: 801.466.1000
WWW.BWAARCHITECTS.COM

**ODGEN RIVERBEND APARTMENT
COMPLEX A**
PROJECT ADDRESS
ODGEN, UTAH

NO.	DATE	DESCRIPTION	BY	CHKD.
1	11/11/11	ISSUED FOR PERMIT	JL	ML
2	11/11/11	REVISION	JL	ML
3	11/11/11	REVISION	JL	ML
4	11/11/11	REVISION	JL	ML
5	11/11/11	REVISION	JL	ML
6	11/11/11	REVISION	JL	ML
7	11/11/11	REVISION	JL	ML
8	11/11/11	REVISION	JL	ML
9	11/11/11	REVISION	JL	ML
10	11/11/11	REVISION	JL	ML



1 1 1 2 1 1 2 1 1 3 1 1 4 1 1 5 1 1 6 1

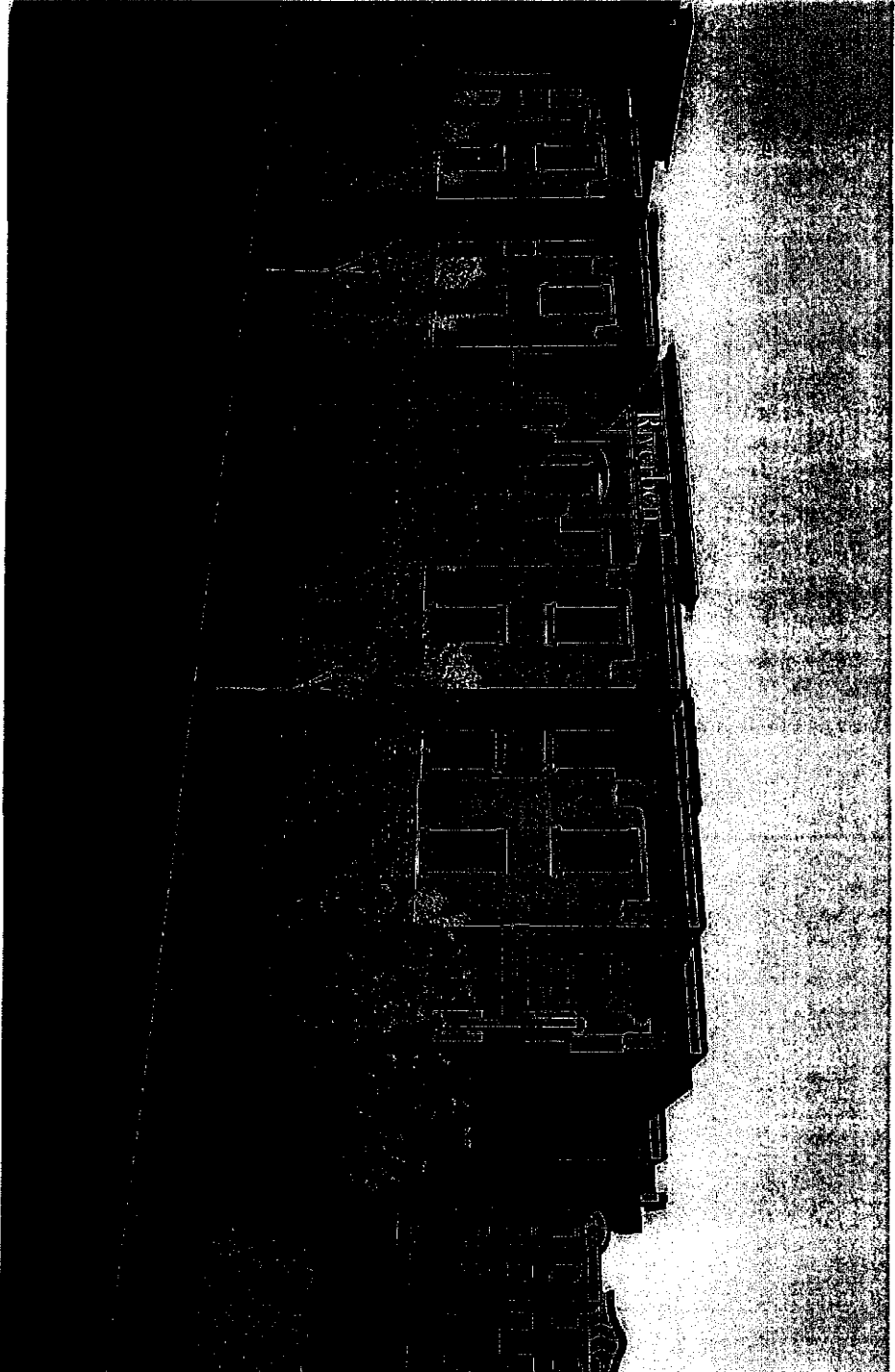
OGDEN RIVERBEND MASTER PLAN B
PROJECT ADDRESS
PROJECT CITY, PROJECT STATE PROJECT ZIP CODE

DATE	ISSUE DESCRIPTION	REV. DATE	REV. DESCRIPTION

BWA
ARCHITECTS
1000 N. 1000 E.
SUITE 100
OGDEN, UT 84403
PHONE: (435) 744-1111
FAX: (435) 744-1112
WWW.BWAARCHITECTS.COM

SD905

DATE: 10/1/11
SCALE: AS SHOWN
PROJECT: BWA



1 2 3 4 5 6

1 2 3 4 5 6

OGDEN RIVERBEND MASTER PLAN &-1
 PROJECT ADDRESS
 PROJECT CITY, PROJECT STATE PROJECT ZIPCODE

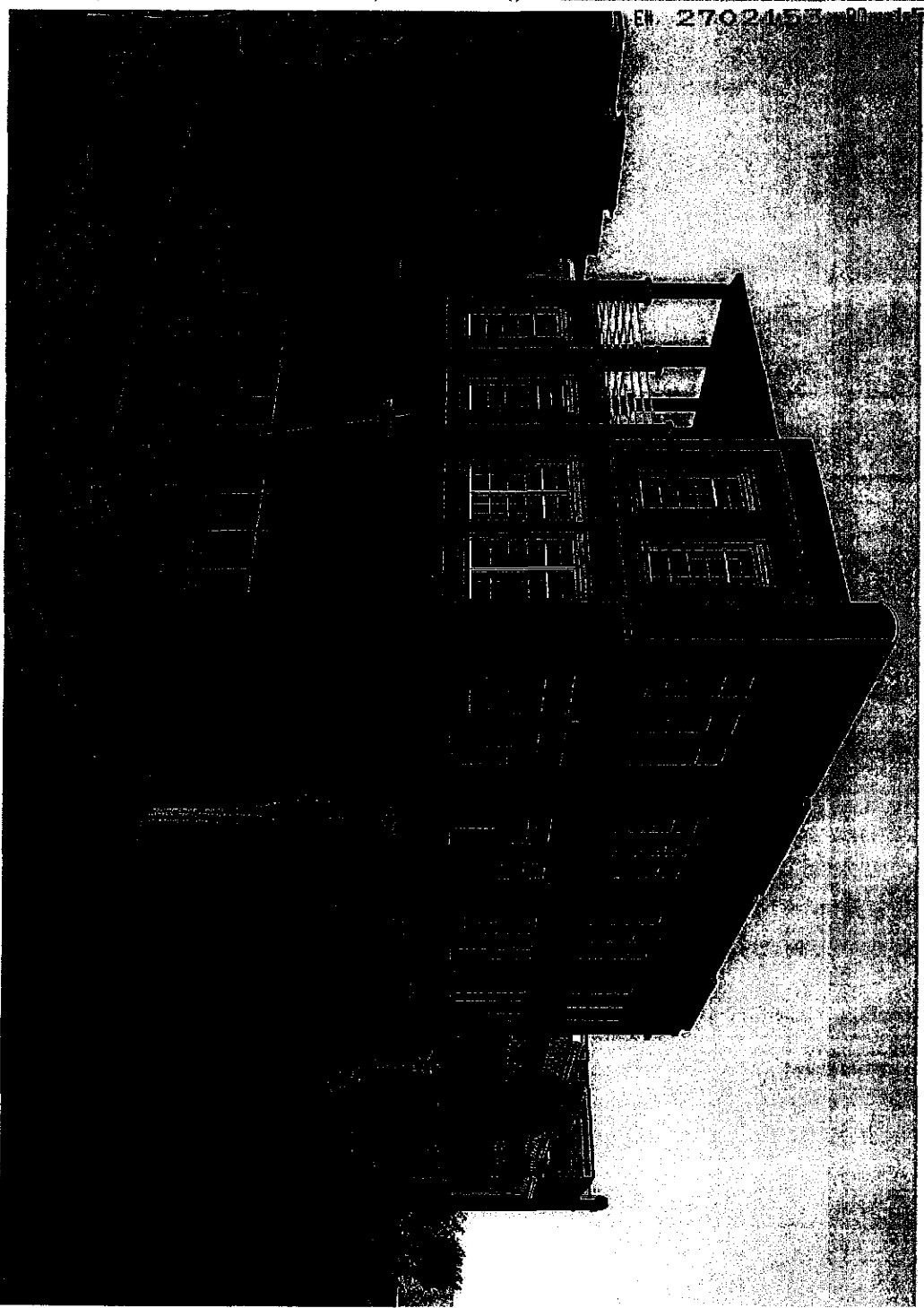
REV. NO.	REV. DESCRIPTION	REV. DATE
1		
2		
3		
4		
5		
6		

BWA
 BENTON & BOWLES
 WASHINGTON, DC
 20004

SD904

DATE: 10/1/04
 TIME: 10:00 AM
 PROJECT NAME: SD904

OGDEN RIVERBEND
 MASTER PLAN



1 1 1 2 1 3 1 4 1 5 1 6



SD906

DATE: 10/1/06

PROJECT NAME: OGDEN RIVERBEND MASTER PLAN

PROJECT NUMBER: 2702457-00-001

PROJECT LOCATION: OGDEN, UT

PROJECT PHASE: PRELIMINARY

PROJECT STATUS: IN PROGRESS

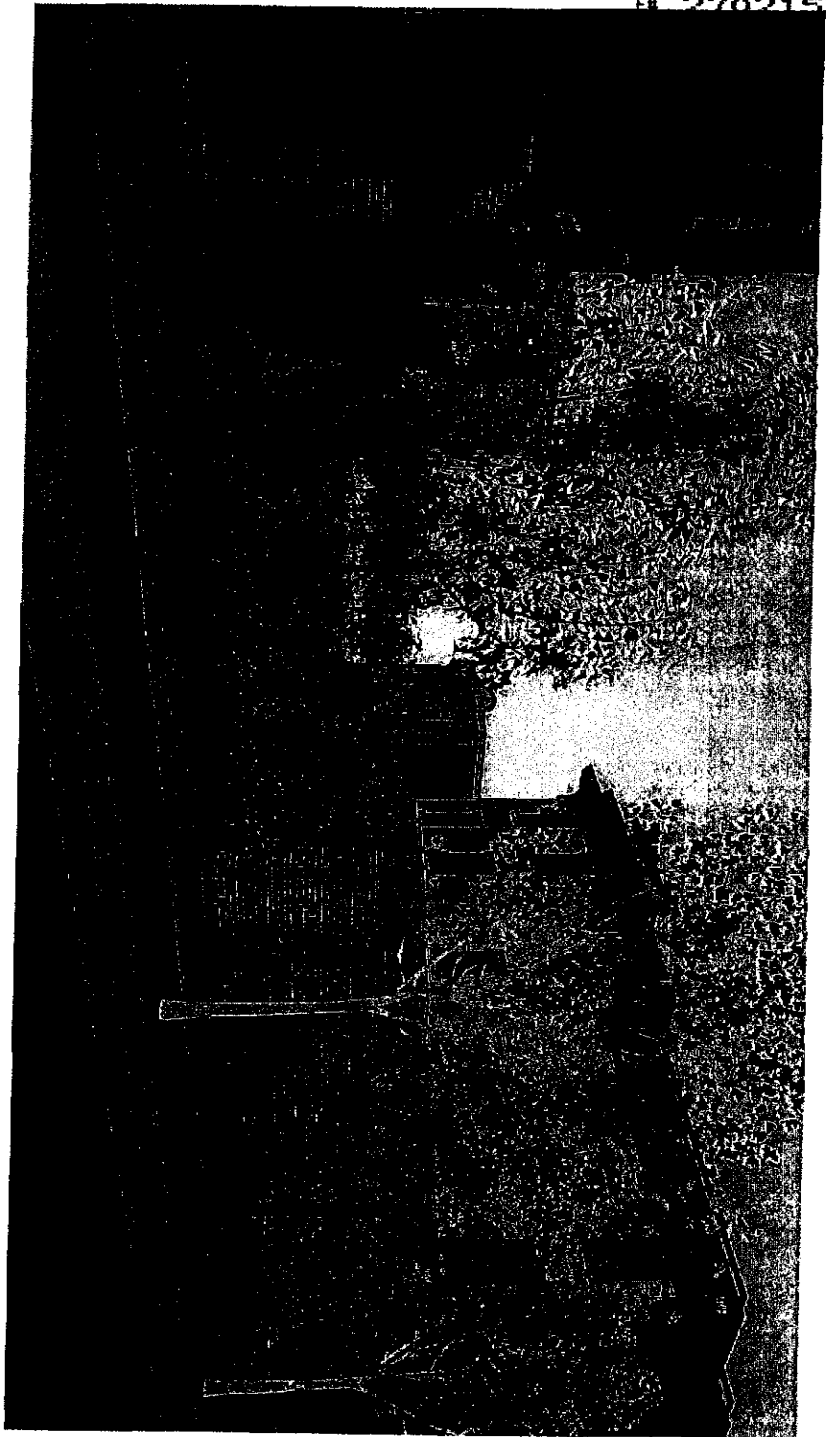
PROJECT CONTACT: BWA ARCHITECTS

PROJECT CONTACT: 1234 MAIN ST, OGDEN, UT 84401

PROJECT CONTACT: (801) 464-1234

OGDEN RIVERBEND MASTER PLAN
 PROJECT ADDRESS
 PROJECT CITY, PROJECT STATE PROJECT ZPCODE

NO.	ISSUE DESCRIPTION	REV. DATE	REV. DESCRIPTION	REV. DATE
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				



SECTION THROUGH WALLS

1
2
3
4
5
6

1
2
3
4
5
6

A905

PROJECT NUMBER
A905

DATE
02/01/11

PROJECT NAME
SCREENING WALL

BWA
ARCHITECTS
1000 WEST 1000 SOUTH
SALT LAKE CITY, UT 84119
TEL: 801.466.1000
WWW.BWAARCHITECTS.COM

**ODGEN RIVERBEND APARTMENT
COMPLEX A SCREENING WALL**
PROJECT ADDRESS
ODGEN, UTAH

NO.	ISSUE DESCRIPTION	DATE	REV. DESCRIPTION	REV. DATE
1				
2				
3				
4				
5				
6				

Montgomery, Greg

From: Eric Osth <Eric.Osth@urbandesignassociates.com>
Sent: Thursday, August 29, 2013 12:15 PM
To: Montgomery, Greg
Subject: Re: building c rowhouse.pdf

Hi Greg,

Thanks for sending this along. In addition to your comments, I would recommend adding the following notes:

- Eliminate arches at the top of the windows
- No Keystones
- Simplify Cornice
- Vary the height of the Townhomes. Perhaps the Brick ones are taller
- No stone base on the siding units
- Full-height windows on the bay windows (they are shorter than the others)
- Consider varying the setbacks a foot or two between a group of units.
Do not alternate the setbacks. I would recommend that the Brick units are 1' closer than the other ones with a wrap of brick.

Thanks again and I will try to drop you a line before the end of the day.
Regards,

Eric Osth, AIA
Principal
Urban Design Associates
412.803.4371 | office

EXHIBIT D

CITY'S VESTED LAWS

On separate disc:

Title 7 – Public Ways and Facilities

Title 14 – Subdivision Code

Title 15 – Zoning Code

Title 16 – Building and Construction Regulations

Title 18 – Sign Code

Pending Ordinances

2013 Engineering Standards

EXHIBIT E

Project Map

