

After recording return to:
 City Recorder
 West Jordan City
 8000 South Redwood Road
 West Jordan, Utah 84088

DEVELOPMENT AGREEMENT

This DEVELOPMENT AGREEMENT ("**Agreement**") is entered into by and between PETERSON DEVELOPMENT COMPANY, L.L.C., a Utah limited liability company, and Assigns ("**Developer**") and the CITY OF WEST JORDAN, a municipality and political subdivision of the State of Utah (the "**City**").

RECITALS

WHEREAS, Developer desires to develop certain property located within the corporate boundaries of the City of West Jordan, Salt Lake County, Utah, as reflected in Exhibit "C" which is attached hereto and by this reference made a part hereof (the "**Project**"); and

WHEREAS, as a condition of development approval, Developer is required to and proposes to construct and install certain public improvements, including but not limited to 5600 West Street, located within the 5600 West Roadway Dedication area set forth in Exhibit "A" (the "**Public Improvement Area**"); and

WHEREAS, City and Developer (the "**Parties**") desire to enter into this Development Agreement to set forth and clarify the respective obligations of the Parties with regard to the public improvements, which agreement includes obligations with regard to the parcels known as parcels 20-35-200-010, 20-35-200-009, 20-35-20-006, 20-35-200-004; and

WHEREAS, the Developer has requested that the City approve a "half street" under section 87-5-106 (h) of the West Jordan Municipal Code, titled "Subdivision Ordinance, Design and Development Standards"; and

WHEREAS, the Developer owns the land adjacent to 5600 West as shown on the Master Transportation Plan, Future Roadway Network, and the Developer desires to defer construction, until such time as defined in this agreement, of the west half of 5600 West in one or two full length segments rather than piecemeal, parcel by parcel, segments.

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereby agree as follows:

1. Incorporation of Recitals. The foregoing Recitals are hereby incorporated into this Agreement and are made a part hereof.

2. Developer's Obligations.

(a) Developer shall construct improvements to 5600 West Street from 7800 South to 8200 South, as shown in Exhibit "B" ("the **Public Improvements**") as follows:

10699052
 05/11/2009 02:21 PM \$0.00
 Book - 9721 Pg - 4253-4289
 GARY W. OTT
 RECORDER, SALT LAKE COUNTY, UTAH
 WEST JORDAN CITY
 8000 S REDWOOD RD
 WEST JORDAN UT 84088
 BY: TMW
 37P.

January 13, 2009

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5600 West Development Agreement
Peterson Development Company L.L.C.

i. Developer shall install curb, gutter, road base and fill material and asphalt surface on the east ½ width of the Public Improvement Area, all in conformance with current City standards.

ii. Developer shall design the Public Improvements to meet current standards for a 116 foot wide City street. It is anticipated that UTA will be constructing a BRT system in the near future, wherein the road way width may be increased to a width greater than 116 feet to accommodate a platform and transit line. The BRT portion of the improvements will not be designed at this time. No BRT improvements will be required to be constructed in conjunction with the Public Improvements constructed within the east ½ width of 5600 West. The City understands that UTA will be required to purchase any additional right-of-way and pay for all future improvements related to the BRT. Developer agrees that it shall use its good faith efforts not to construct any structures on the west side of the Public Improvement Area which will interfere with a future BRT as presently anticipated. The City acknowledges that neither Developer nor the City have seen final plans for the anticipated BRT facilities.

iii. Developer shall construct appropriate tapered connections between the ½ width street improvements to be constructed by Developer and the existing intersections at 7800 South and 8200 South as reasonably approved by the City Engineer, in connection with this tapering. Except as necessary for the tapering required by this subsection iii, Developer shall have no obligation hereunder to widen or otherwise expand existing intersections.

iv. With the exception of temporary access drives as referenced hereafter, Developer shall have no obligation to commence construction of street improvements on the west ½ of 5600 West, between 7800 South and 8200 South Street until such time each of the following land developments occurs:

a. Land defined as commercially master planned and zoned - defined by legal description in exhibit "C" - is subject to the construction of street improvements to the west ½ of 5600 West from 7800 South to Window Ranch Way at such time that 50% of the development area described in exhibit "C" (Development Threshold) is approved through the final approval of one or more site plans.

b. Land defined as residentially master planned and zoned as defined by legal description in exhibit "C" is subject to the construction of street improvements to the west ½ of 5600 West street from Window Ranch Way to 8200 South at such time that 66% of the subdivided development area, described in Exhibit "C" (Development Threshold) is platted, approved and recorded with the Salt Lake County Recorders office.

January 13, 2009

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c. The property on the west side of 5600 West which will be considered when determining the Development Threshold is more particularly described on Exhibit "C" hereto. Once the Development Threshold has been met, the balance of Public Improvements shall be constructed by Developer.

(b) Developer shall design and construct all improvements on City owned property (approximately 105 lineal feet of frontage which lies west of West Hills Middle School)

(c) The Island Park section of 5600 West (approximately 910 feet of frontage along the west boundary the Island Park subdivision) has been approved by the City under prior City standards. The Island Park section of 5600 West improvements shall be constructed using current City standards.

(d) All temporary and permanent accesses to the developments on the west side of 5600 West Street are to be built by Developer as reasonably approved by the City Engineer. Developer will execute and record a temporary access easement which will provide for vehicular and pedestrian traffic from the 5600 West street improvements to the improved property on the west side of 5600 West.

(e) Developer shall provide for and construct all improvements and connections to infrastructure in the Project in accordance with City Code and fee requirements, including but not limited to City Engineering Standards, Fire Code, and utility connection requirements.

(f) Developer will provide plans for all Public Improvements (Exhibit "B") to be constructed within the east ½ of 5600 West which shall be subject to City Engineer review and reasonable approval, in accordance with the ordinances, rules, regulations and standards of the City. Developer shall provide engineering construction drawings, which shall be subject to City Engineer reasonable approval, for all future construction and/or improvements in the Public Improvement Area.

3. City's Obligations.

(a) The City understands and agrees that in order to ensure timely construction of structures in the Project, Developer or the owners of the adjacent property may submit application(s) for building permits for the construction of the Boulder Canyon Apartments prior to completing construction and installation of the improvements described herein, and the City shall review such building permit application(s) in accordance with the ordinances, rules, regulations and standards of the City and in a timely manner as is standard practice. The City agrees that building permits for Boulder Canyon Apartments shall be issued once an all-weather road has been installed (anticipated to include 8 inches of compacted road base or gravel) but that no certificates of occupancy will be issued for residential units whose sole permanent access

January 13, 2009

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is from 5600 West until such time as the asphalt surface has been installed in the east ½ of 5600 West from 7800 South to 8200 South.

(b) In consideration of the agreement of Developer hereunder, the City agrees to waive application of City ordinances requiring the construction of a full width road along 5600 West between 7800 South and 8200 South as such ordinances may apply absent this Agreement.

4. Ownership of Eligible Public Improvements. Once dedicated to the City, the City shall own the Public Improvements in fee title absolute, together with all other lands and rights-of-way dedicated to the City.

5. Bonding.

a) The City acknowledges that Developer has posted a performance bond for all previously approved improvements to 5600 West along the Island Park section and a separate bond and agreement will be prepared for portions that are not adjacent to Island Park.

b) For the performance bond that will be created for the section of 5600 West between 7800 South and 8200 South but excluding the Island Park section, the City agrees to hold no more than ten percent (10%) of the original bond amount for a warranty period not to exceed one (1) year per Utah state statute 10-9a-604.5.

c) The development bond shall not be released until: (i) completion of construction of the Public Improvements by Developer; (ii) completion of applicable warranty periods; and (iii) inspection, approval and written acceptance by the City. The City will assume responsibility for all maintenance, repair and replacement of the Public Improvements once they are completed by Developer and accepted by the City, subject to any applicable warranty periods.

6. Edge of Asphalt Treatment. The west side of the ½ width shall be designed and constructed with a concrete edge, as described in Exhibit "D" be reasonably approved by City Engineer.

7. Term of Agreement. This Agreement shall terminate twenty (20) years following the effective date of this Agreement.

8. Effect of Agreement: Release of Claims. Nothing in this Agreement shall be construed to relieve Developer of any obligations imposed on Developer by Federal, State or local laws, ordinances, regulations, or standards. It is the intent of the Parties that this Agreement serves as a complete release and waiver by Developer of any and all claims Developer has or may have to challenge the City's application of City Code requirements as provided in this Agreement to the Public Improvements, including but not limited to those requirements described in paragraphs 2, 6 and 16. Moreover Developer releases and waives any

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and all claims Developer may have against the City with respect to prior application filings or processing with respect to the project.

9. Assignment. Neither this Agreement nor any of its provisions, terms or conditions may be assigned to any other party, individual or entity without assigning the rights as well as the responsibilities and without the prior written consent of City, which consent shall not be unreasonably withheld, conditioned or delayed.

10. Entire Agreement. This Agreement contains the entire agreement and understanding of the Parties with respect to Developer's construction obligations for Public Improvements identified in Exhibit "B" and supersedes all prior written or oral agreements, representations, promises, inducements, or understandings between the Parties with regard to such construction by Developer from the City for such Public Improvements.

11. Binding Effect. This Agreement shall be binding upon the Parties hereto and their respective officers, employees, representatives, agents, members, successors, and assigns.

12. Amendment. This Agreement may be amended only in a writing signed by the Parties hereto.

13. Controlling Law, Jurisdiction and Venue. This Agreement shall be governed by the laws of the State of Utah. Venue shall be in Third District Court in and for Salt Lake County.

14. City Council Approval. Developer understands that the West Jordan City Council must approve this Agreement prior to it becoming effective. The speed with which Developer and the City can agree on the terms hereof and affix signatures will determine the speed with which this Agreement can be docketed on the Council agenda.

15. Obligations Shall Travel with the Land. The obligations of Developer hereunder to construct the east ½ and west ½ of 5600 West in the Public Improvement Area attach to Developer in its capacity as the owner of all of the land abutting 5600 West on the east and west side, respectively. The City's agreement to the provisions of this Agreement is conditioned on these obligations being equally applicable and undertaken by future owners of the land abutting 5600 West pending completion of the Public Improvements. To effectuate this expectation, this Agreement shall be recorded through the office the Salt Lake County Recorder against all of the property comprising the area described in Exhibit "C."

[Signatures on following pages]

January 13, 2009

Page 6 of 11
5600 West Development Agreement
Peterson Development Company L.L.C.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year set forth below.

CITY:

By: [Signature]
Name: David B. Newton, Mayor

ATTEST:

[Signature]
City Recorder



Date: As of May 11th, 2009

ACKNOWLEDGEMENT

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On this day personally appeared before me David B. Newton and Melanie Briggs, to me known to be the Mayor and Recorder/Clerk of the City of West Jordan, the municipal corporation that executed the within and foregoing instrument, and acknowledged the instrument to be the free and voluntary act and deed of said municipal corporation for the uses and purposes therein mentioned, and on oath stated that they were duly authorized to execute said instrument on behalf of said municipal corporation.

Dated: May 11th, 2009.



[Signature]
NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

Approved as to form:

[Signature]
West Jordan City Attorney

January 13, 2009

DEVELOPER:
PETERSON DEVELOPMENT COMPANY, L.L.C.,
a Utah limited liability company

Barrett Peterson
By: Barrett Peterson
Its: Manager

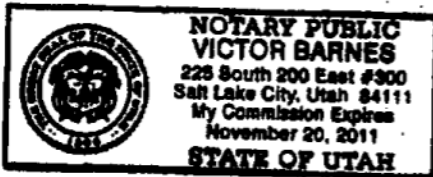
Date: As of Apr 27, 2009

ACKNOWLEDGEMENT

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On this day personally appeared before me Barrett Peterson, to me known to be the authorized manager of Peterson Development Company, L.L.C., the limited liability company that executed the within and foregoing instrument, and acknowledged the instrument to be the free and voluntary act and deed of said limited liability company for the uses and purposes therein mentioned, and on oath stated that he was duly authorized to execute said instrument on behalf of said limited liability company.

Dated: April 27, 2009.



[SEAL]

Victor Barnes
Notary Public in and for the State of Utah

My appointment expires 11-20-2011

EXHIBIT "A"
Legal Description of the Public Improvement Area

5600 WEST ROADWAY DEDICATION

BEGINNING AT THE NORTHWEST CORNER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE NORTH SECTION LINE SOUTH 89°56'36" EAST 63.00 FEET; THENCE SOUTH 00°10'51" EAST 267.52 FEET; THENCE SOUTH 01°43'42" WEST 150.08 FEET; THENCE SOUTH 00°10'51" EAST 1020.17 FEET; THENCE SOUTH 01°43'42" WEST 150.08 FEET TO A POINT ON THE WEST BOUNDARY OF ISLAND PARK SUBDIVISION PHASE 6; THENCE ALONG SAID BOUNDARY THE FOLLOWING FIVE (5) COURSES: SOUTH 00°10'51" EAST 569.07 FEET TO A POINT ON A CURVE TO THE LEFT HAVING A RADIUS OF 877.00 FEET AND A CENTRAL ANGLE OF 04°20'18"; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 66.40 FEET, SAID ARC SUBTENDED BY A CHORD BEARING SOUTH 02°21'00" EAST, A DISTANCE OF 66.39 FEET; THENCE SOUTH 04°31'09" EAST 220.25 FEET TO A POINT ON A CURVE TO THE RIGHT HAVING A RADIUS OF 983.00 FEET AND A CENTRAL ANGLE OF 04°20'18"; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 74.43 FEET, SAID ARC SUBTENDED BY A CHORD BEARING SOUTH 02°21'00" EAST, A DISTANCE OF 74.41 FEET; THENCE SOUTH 00°10'51" EAST 85.68 FEET; THENCE SOUTH 89°50'21" WEST 74.99 FEET TO THE WEST QUARTER CORNER SECTION 36 THENCE ALONG THE QUARTER SECTION LINE SOUTH 89°50'21" WEST 31.01 FEET; THENCE NORTH 00°10'51" WEST 85.64 FEET TO A POINT ON A CURVE TO THE LEFT HAVING A RADIUS OF 877.00 FEET AND A CENTRAL ANGLE OF 04°20'18"; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 66.40 FEET, SAID ARC SUBTENDED BY A CHORD BEARING NORTH 02°21'00" WEST, A DISTANCE OF 66.39 FEET; THENCE NORTH 04°31'09" WEST 220.25 FEET TO A POINT ON A CURVE TO THE RIGHT HAVING A RADIUS OF 983.00 FEET AND A CENTRAL ANGLE OF 04°20'18"; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 74.43 FEET, SAID ARC SUBTENDED BY A CHORD BEARING NORTH 02°21'00" WEST, A DISTANCE OF 74.41 FEET; THENCE NORTH 00°10'51" WEST 569.07 FEET; THENCE NORTH 02°05'24" WEST 150.08 FEET; THENCE NORTH 00°10'51" WEST 1020.17 FEET; THENCE NORTH 02°05'24" WEST 150.08 FEET; THENCE NORTH 00°10'51" WEST 267.95 FEET; THENCE NORTH 89°58'40" EAST 63.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 294,552 SQUARE FEET OR 6.762 ACRES, MORE OR LESS.

EXHIBIT "B"
Public Improvements

5600 WEST ROADWAY

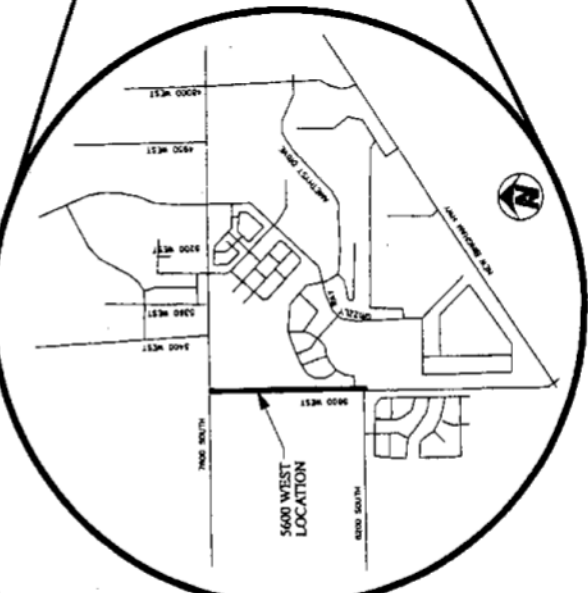
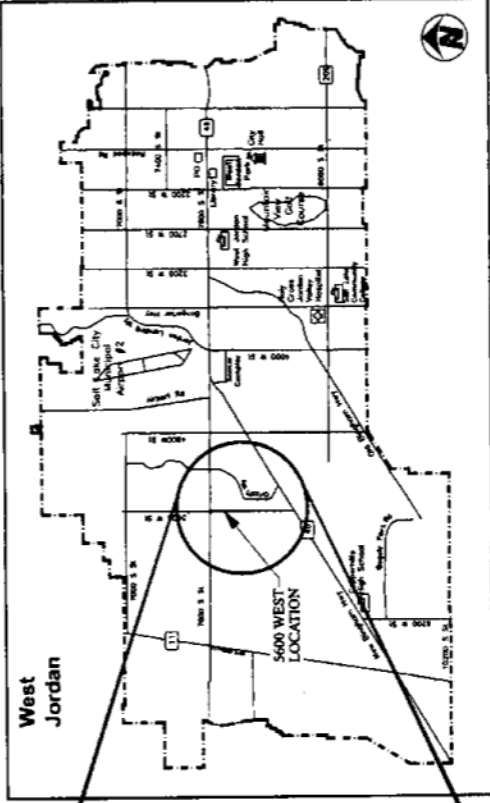
RELEASED FOR CONSTRUCTION
City of Jordan
Engineering Department

FINAL CONSTRUCTION DRAWINGS

LOCATED IN SECTION 36, TOWNSHIP 2 SOUTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
WEST JORDAN CITY, UTAH

These drawings are hereby released for construction to the Developer, his Contractor and Subcontractors. The release shall not be construed as releasing the Developer, his Engineer, or Contractor from their respective liabilities for properly investigating, designing and constructing these facilities in accordance with applicable industry standards for design, construction, and/or methods. All construction shall comply with these drawings, as amended. Any design revisions, shall be submitted to the City Engineer in writing, approved and released as amended drawings. A preconstruction meeting must be held with the Developer, Contractor, and the City staff prior to beginning construction. As-built drawings shall be submitted to the Engineering Department no more than 30 days after completion of the project.

Review Engineer: *[Signature]* Date: 4/22/09
 Review Planner: *[Signature]* Date: 4/20/09
 Engineering Inspector: *[Signature]*
 Engineering Inspection Telephone: (801) 569-5051



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

5600 WEST ROADWAY
 FINAL CONSTRUCTION DRAWINGS
 COVER SHEET
 Ward Engineering Group
 DATE: 4/22/09
 DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*
 PROJECT NO: *[Number]*
 CLIENT: *[Name]*

- SHEET INDEX**
- CV1 COVER SHEET
 - NT1 GENERAL NOTES AND SPECIFICATIONS
 - NT2 GENERAL NOTES AND SPECIFICATIONS
 - PL1 PLAT - 1 OF 2
 - PL2 PLAT - 2 OF 2
 - UT1 OVERALL UTILITY PLAN
 - GP1 OVERALL GRADING PLAN
 - GP2 GRADING DETAIL SHEET
 - DP1 OVERALL DRAINAGE PLAN
 - DP2 PLAN & PROFILE - 5600 WEST
 - PP1 PLAN & PROFILE - 5600 WEST
 - SS1 HALF WIDTH STRIPING & SIGNING PLAN
 - SS2 FUTURE FULL WIDTH STRIPING & SIGNING PLAN
 - SW1 STORM WATER POLLUTION PREVENTION PLAN
 - LS1 LANDSCAPE PLAN
 - LS2 GENERAL PLANTING AND IRRIGATION NOTES
 - LS3 PLANTING AND IRRIGATION DETAILS
 - IR1 IRRIGATION PLAN
 - IR2 IRRIGATION DETAILS

RECEIVED BY
 APR 3 2009
 O.D.A.

OWNED/DEVELOPED BY:
 CANYON DANCES, L.C.
 KPP CORPORATION
 225 SOUTH 200 EAST
 SALT LAKE CITY, UTAH 84141
 (801) 532-2233

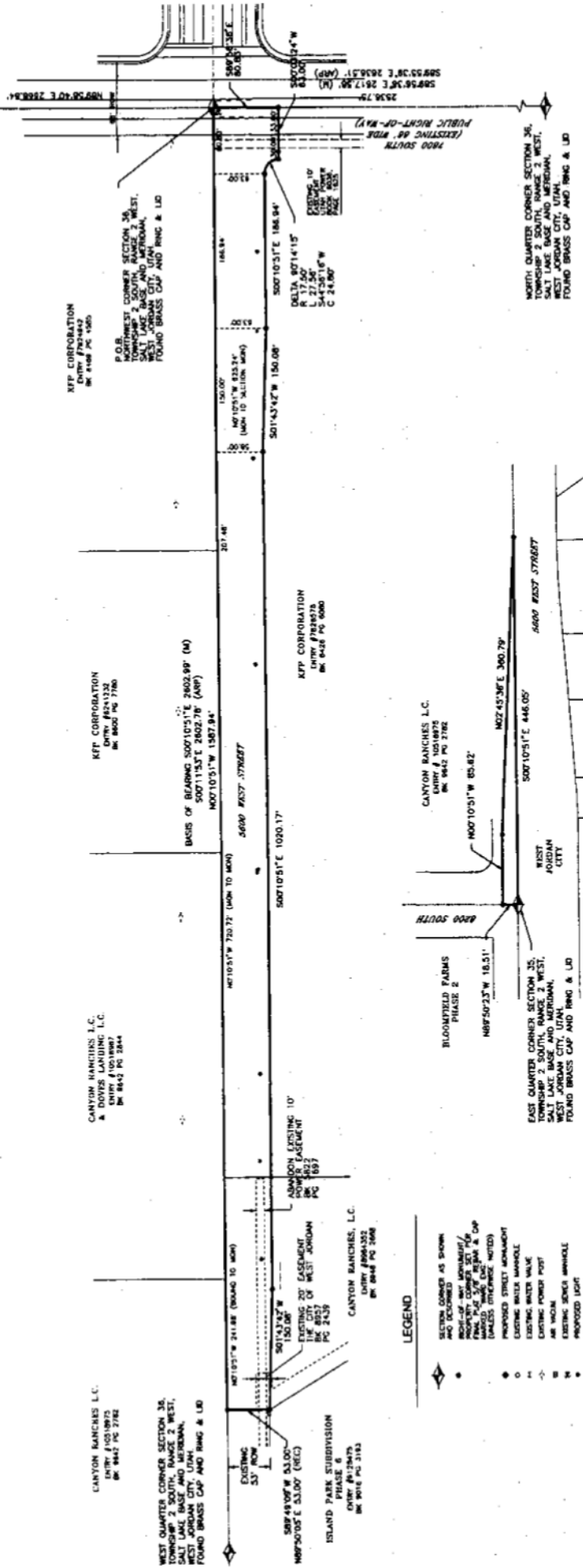
PLANS PREPARED BY:
 WARD ENGINEERING GROUP
 DAVE REDDISH - PROJECT MANAGER
 221 WEST 800 SOUTH SUITE A
 SALT LAKE CITY, UTAH 84141
 (801) 487-8040 TEL
 (801) 487-8668 FAX

MUNICIPALITY:
 WEST JORDAN CITY
 8000 SOUTH REDWOOD ROAD
 WEST JORDAN CITY, UTAH 84068
 (801) 569-5070

GENERAL NOTE: CONFORM TO THE CITY'S ROADWAY CONSTRUCTION STANDARDS AND MASTER PLANS.

5600 WEST ROADWAY DEDICATION FINAL PLAT

LOCATED IN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN, WEST JORDAN CITY, UTAH.



WARD ENGINEERING GROUP
PLANNING ENGINEERING SURVEYING

DATE: _____ TIME: _____
BY: _____

5600 WEST ROADWAY DEDICATION
FINAL PLAT

LOCATED IN SECTION 36, TOWNSHIP 2 SOUTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN,
WEST JORDAN CITY, UTAH 84111

DATE FORWARDED: _____ DAY OF _____ A.D. 2008
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2008
BY: _____ CITY ATTORNEY

DATE FORWARDED: _____ DAY OF _____ A.D. 2008
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2008
BY: _____ CITY ATTORNEY

DATE FORWARDED: _____ DAY OF _____ A.D. 2008
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2008
BY: _____ CITY ATTORNEY

DATE FORWARDED: _____ DAY OF _____ A.D. 2008
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2008
BY: _____ CITY ATTORNEY

LEGEND

- SECTIONS CORNERS AS SHOWN AND DESCRIBED
- RIGHT-OF-WAY BOUNDARIES (R.O.W.)
- PROPOSED 150' WIDE EASEMENT FOR WEST JORDAN CITY (SEE PLAT 243)
- PROPOSED 150' WIDE EASEMENT FOR WEST JORDAN CITY (SEE PLAT 243)
- PROPOSED STREET WIDENING
- EXISTING WATER MAINS
- EXISTING WATER VALVE
- EXISTING POWER POST
- AS NOTED
- EXISTING SINKER WHOLE
- PROPOSED LIGHT
- PROPOSED FIRE HYDRANT
- SECTION LINE
- ROAD CENTERLINE
- ORIGINAL BOUNDARY LINE
- UT LINES
- PUBLIC UTILITY EASEMENT (P.U.E.)
- EXISTING EASEMENT
- EXISTING FENCE
- EXISTING DIRT ROAD
- FLOWLINE
- EXISTING PARCEL LINE
- MEASURED
- AREA REFERENCE PLAT

3 OF 3
PL2

WARD ENGINEERING GROUP
PLANNING ENGINEERING SURVEYING

DATE: _____ TIME: _____
BY: _____

5600 WEST ROADWAY DEDICATION
FINAL PLAT

LOCATED IN SECTION 36, TOWNSHIP 2 SOUTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN,
WEST JORDAN CITY, UTAH 84111

DATE FORWARDED: _____ DAY OF _____ A.D. 2008
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2008
BY: _____ CITY ATTORNEY

DATE FORWARDED: _____ DAY OF _____ A.D. 2008
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2008
BY: _____ CITY ATTORNEY

DATE FORWARDED: _____ DAY OF _____ A.D. 2008
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2008
BY: _____ CITY ATTORNEY

5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
UTILITY PLAN

Ward Engineering Group
Planning, Engineering, Surveying

NO.	DATE	BY	DESCRIPTION
1	04/10/00	AK	ISSUE FOR PERMIT
2	04/10/00	AK	DATE REVISIONS

PROJECT: 5600 WEST ROADWAY, PHASE 6, LOT 1
PREPARED BY: WARD ENGINEERING GROUP, INC.
DATE: 04/10/00
SCALE: AS SHOWN
DRAWN BY: AK
CHECKED BY: AK
DATE: 04/10/00

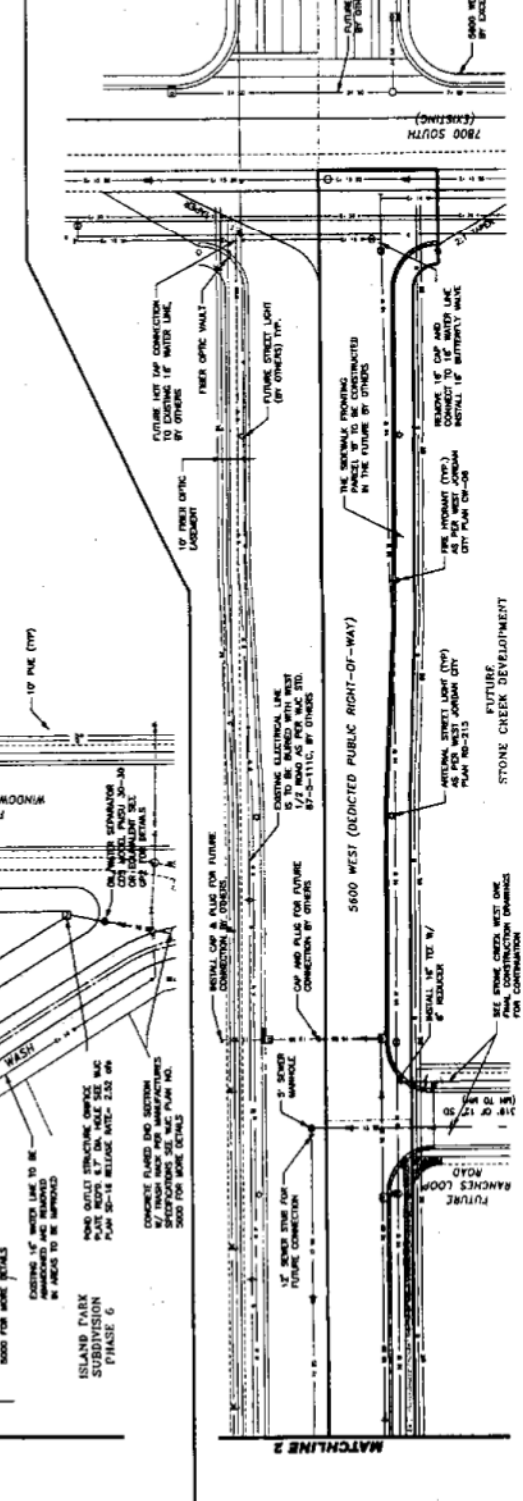
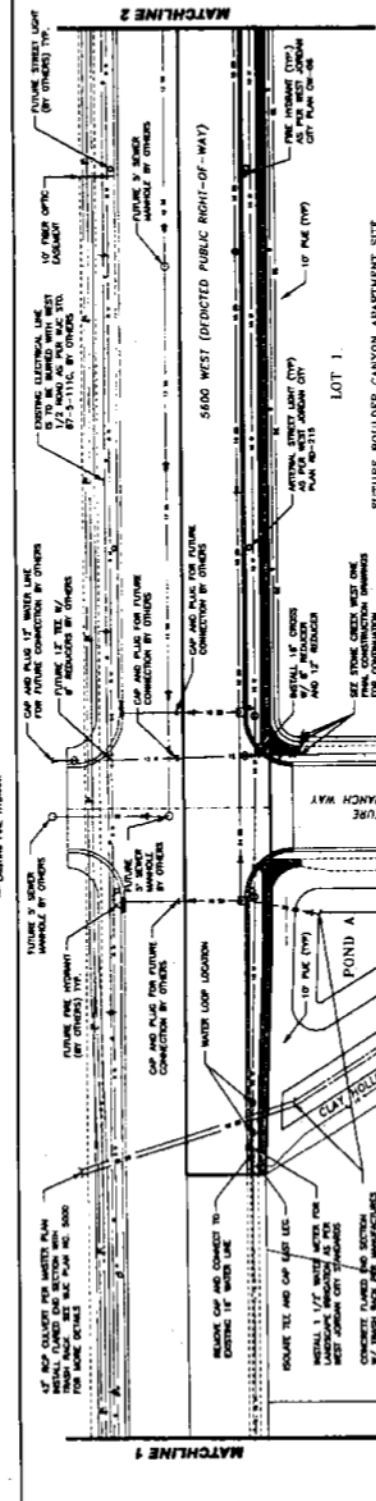
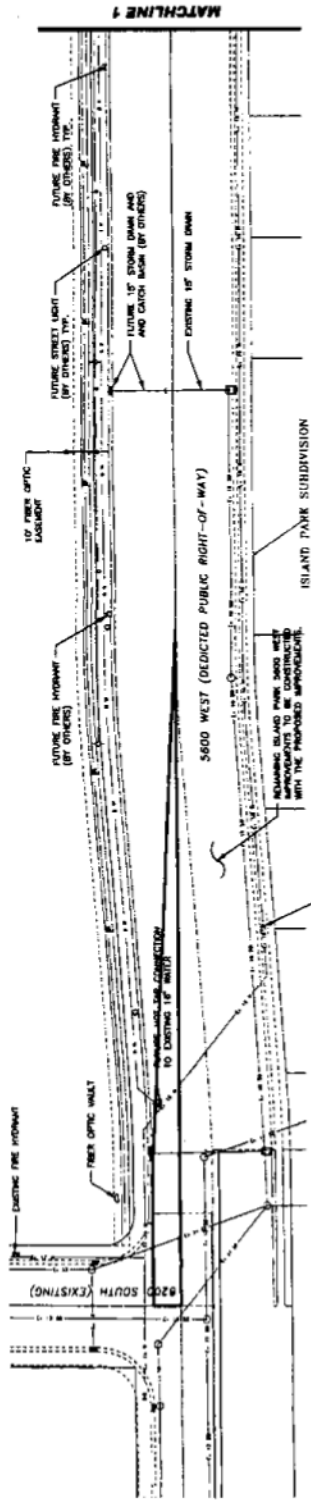


- NOTES:**
- 1) THE PROPOSED IMPROVEMENTS COMPLY WITH WEST JORDAN CITY'S DESIGN AND CONSTRUCTION STANDARDS.
 - 2) CITY PLAN 04-00-00.
 3. ALL HYDRANT VALVES TO BE FINISHED TO TEE.
 4. ALL CONDUITS TO BE 12 INCH TO BE FLANGED TO REDUCER.
 5. 8 INCH TO BE TO REDUCER AND TEE ON THE 18 INCH LINE.

ON-PAVED DEVELOPER BY:
WED DEVELOPMENT, LLC
2225 SOUTH 2000 EAST
SALT LAKE CITY, UTAH 84148
BOX 552-2228



GENERAL NOTE: REFER TO THE CITY'S DESIGN AND CONSTRUCTION STANDARDS AND MASTER PLANS.

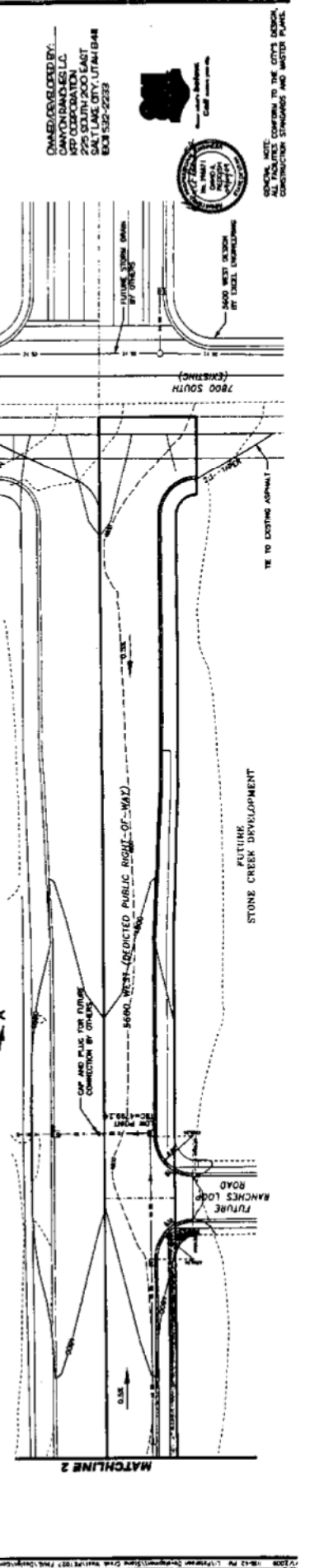
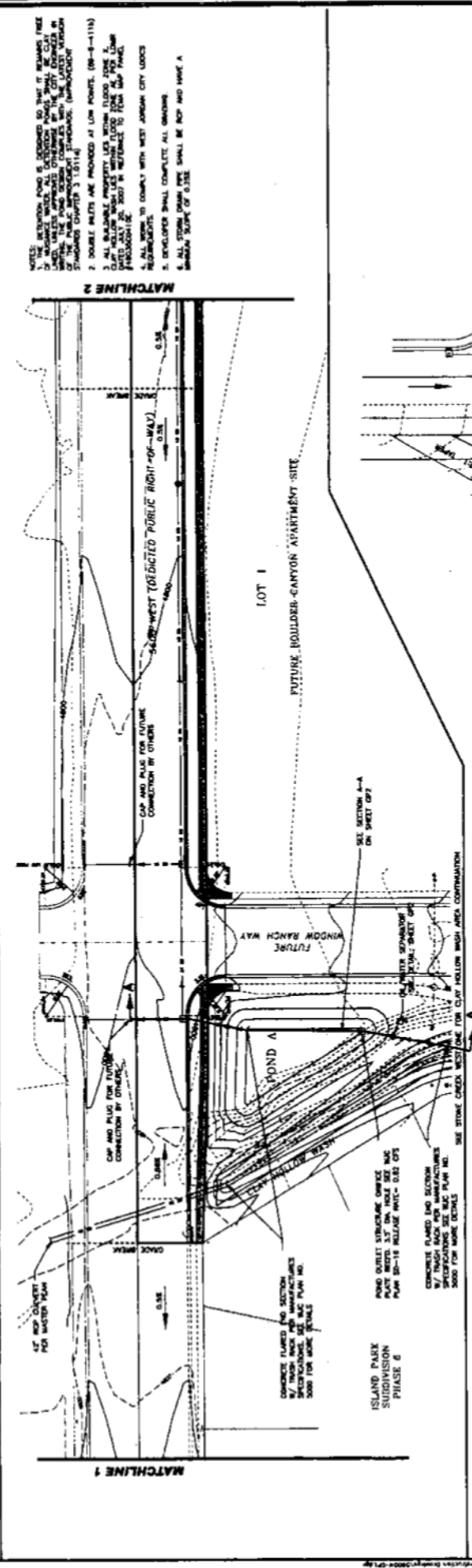
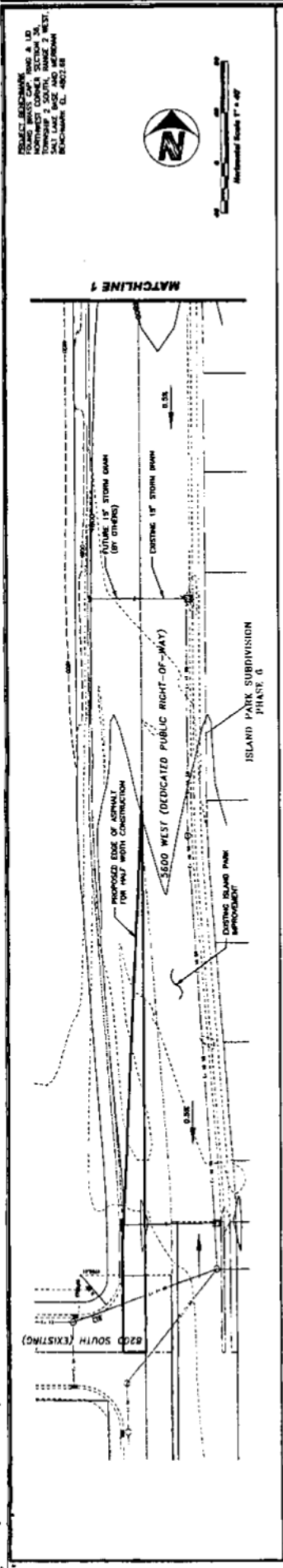


NO.	DATE	BY	DESCRIPTION

DATE: 04/03/08
 PROJECT: 5600 WEST ROADWAY
 CLIENT: WARD ENGINEERING GROUP
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT MANAGER: [Signature]

5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
 OVERALL GRADING PLAN

SHEET
GP1

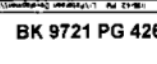
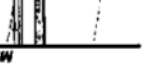
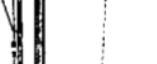
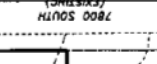


PROJECT MANAGER: [Signature]
 PROJECT ENGINEER: [Signature]
 PROJECT SUPERVISOR: [Signature]
 PROJECT ASSISTANT: [Signature]

NOTES:
 1. DEVELOPER SHALL COMPLETE ALL GRADING AND DRAINAGE REQUIREMENTS.
 2. DRAINAGE SHALL BE PROVIDED AT LOW POINTS. (88-4-1113)
 3. ALL STORM DRAIN PIPE SHALL BE 18" AND HAVE A MINIMUM SLOPE OF 0.3%
 4. ALL WORK TO COMPLY WITH WEST JARVIS CITY CODES AND REGULATIONS.
 5. DEVELOPER SHALL COMPLETE ALL GRADING AND DRAINAGE REQUIREMENTS.
 6. ALL STORM DRAIN PIPE SHALL BE 18" AND HAVE A MINIMUM SLOPE OF 0.3%

DRAINED/DEVELOPED BY:
 CANYON RANCHES, L.L.C.
 KIP CORPORATION
 225 SOUTH 200 EAST
 SALT LAKE CITY, UTAH 84143
 801.532.4233

CHECKS, NOTES, ALL FACILITIES CONFORM TO THE CITY DESIGN CONSTRUCTION STANDARDS AND MASTER PLAN.



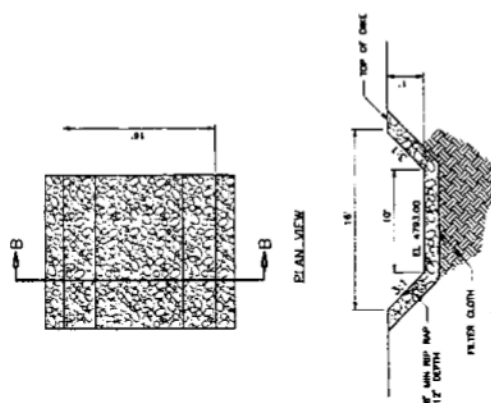
5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
GRADING DETAIL SHEET

Ward Engineering Group
Grading Engineering Group

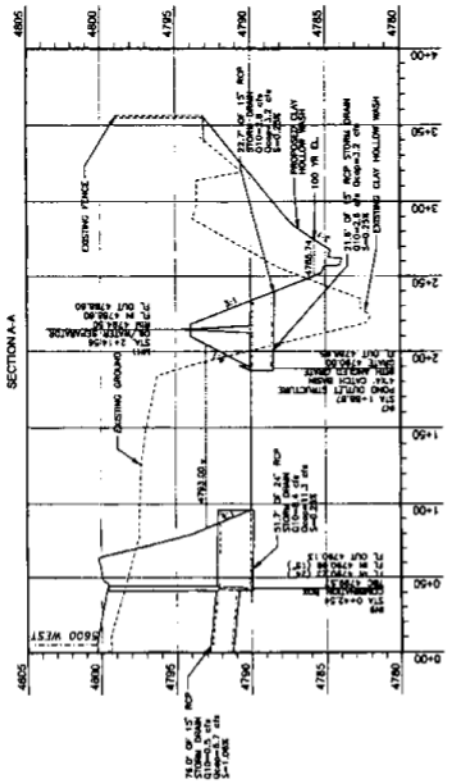
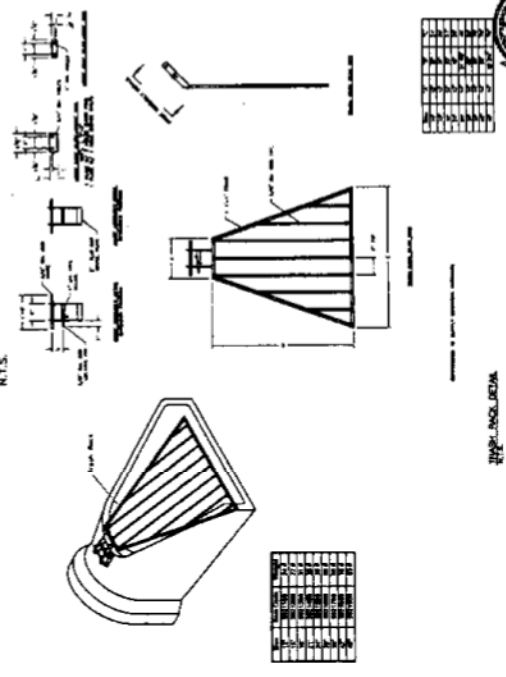
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GENERAL NOTE:
ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES.



SECTION B-B
OVERFLOW SPILLWAY
N.T.S.



CONCRETE DESIGN NOTES

CONCRETE SHALL BE TYPE I/II, 4000 PSI, WITH A MINIMUM OF 10% AIR ENTRAINMENT. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.

ALL REINFORCEMENT SHALL BE #4 BARS UNLESS OTHERWISE SPECIFIED. ALL REINFORCEMENT SHALL BE PLACED AS SHOWN UNLESS OTHERWISE SPECIFIED.

ALL REINFORCEMENT SHALL BE PLACED AS SHOWN UNLESS OTHERWISE SPECIFIED.

CONTECH PRECAST CONCRETE QUALITY SYSTEM STANDARD DETAIL

CONTECH

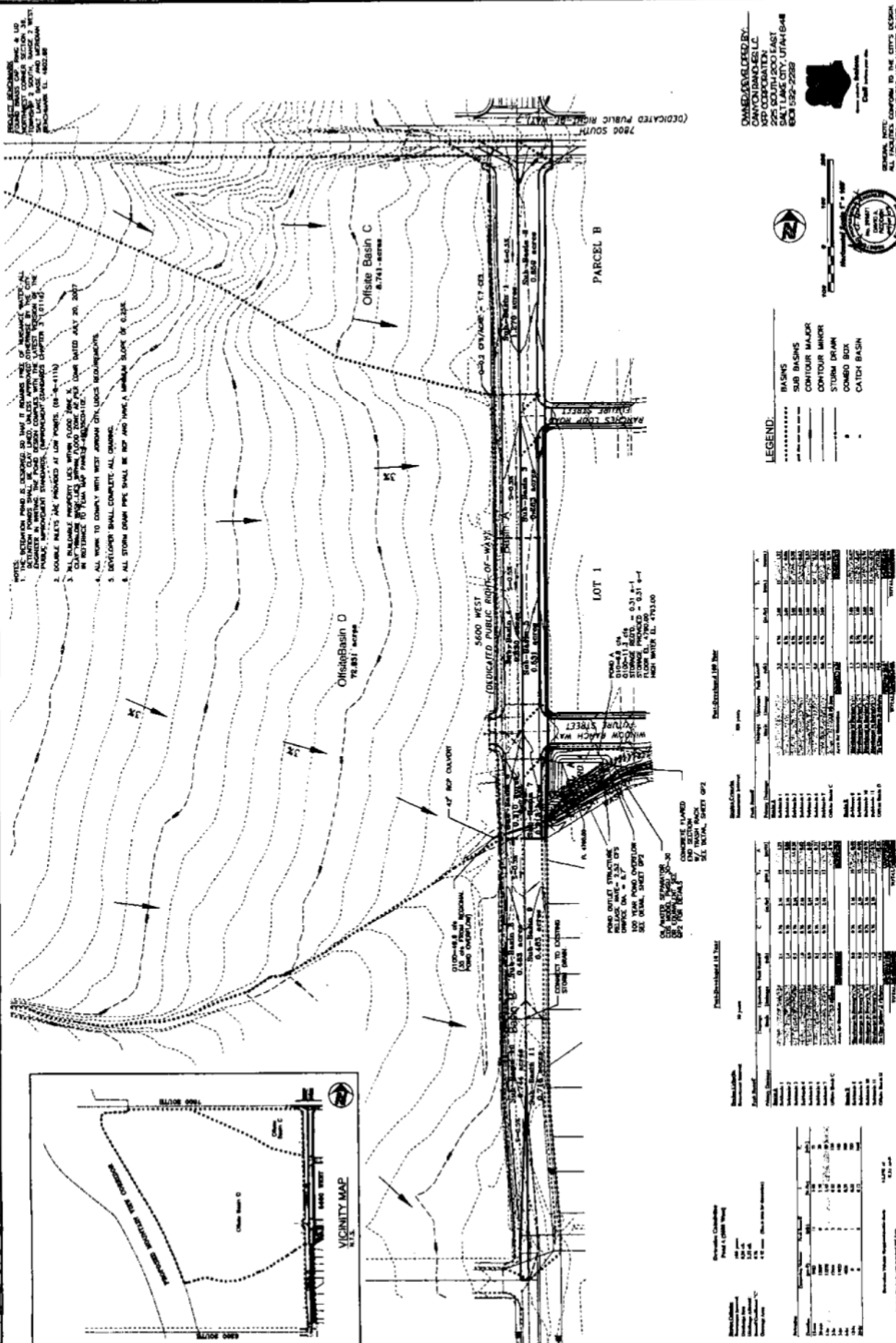
CONTECH PRECAST CONCRETE QUALITY SYSTEM STANDARD DETAIL

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5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
OVERALL DRAINAGE PLAN

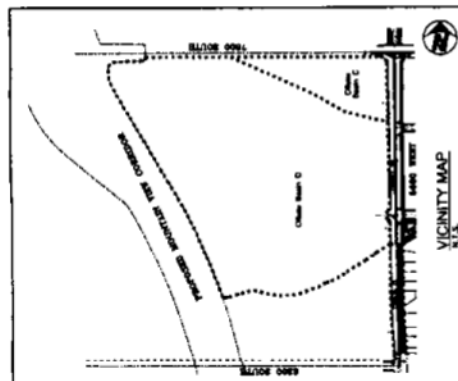
Ward Engineering Group
Professional Engineer
No. 12345
Utah State Board of Professional Engineers

NO.	DATE	DESCRIPTION
1	10/15/11	PRELIMINARY
2	11/01/11	REVISED
3	11/15/11	REVISED
4	12/01/11	REVISED
5	12/15/11	REVISED
6	01/01/12	REVISED
7	01/15/12	REVISED
8	02/01/12	REVISED
9	02/15/12	REVISED
10	03/01/12	REVISED



PROJECT BACKGROUND:
THESE BASINS OF CONCERN ARE FOR THE PROPOSED 5600 WEST ROADWAY PROJECT. THE PROJECT IS A 1.5-MILE LONG ROADWAY PROJECT WITH A TOTAL LENGTH OF 1.5 MILES. THE PROJECT IS LOCATED IN THE CITY OF WEST VALLEY, UTAH. THE PROJECT IS A 1.5-MILE LONG ROADWAY PROJECT WITH A TOTAL LENGTH OF 1.5 MILES. THE PROJECT IS LOCATED IN THE CITY OF WEST VALLEY, UTAH.

- NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WEST VALLEY DESIGN MANUAL AND THE UTAH CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 2. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 3. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 4. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 5. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 6. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 7. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 8. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 9. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
 10. ALL STORM DRAIN PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.



OWNED/CONTROLLED BY:
CANYON DAMOLES, LLC
1825 SOUTH 200 EAST
SALT LAKE CITY, UTAH 84144
801-524-2228

Call Station
1" = 100'

GENERAL NOTE:
ALL INLETES, CONDUITS TO THE CITY'S DESIGN CONSTRUCTION STANDARDS AND SPECIFICATIONS.

LEGEND:

- Basins
- Sub Basins
- Contour Major
- Contour Minor
- Storm Drain
- Combo Box
- Catch Basin

Basin Calculations

Basin	Area (sq ft)	Volume (cu ft)	Retention Time (min)
Basin A	1000	1000	10
Basin B	2000	2000	20
Basin C	3000	3000	30
Basin D	4000	4000	40

Storm Drain Calculations

Drain	Length (ft)	Flow (cfs)	Velocity (ft/s)
Drain 1	100	10	1.0
Drain 2	200	20	2.0
Drain 3	300	30	3.0
Drain 4	400	40	4.0

Storm Drain Calculations

Drain	Length (ft)	Flow (cfs)	Velocity (ft/s)
Drain 5	500	50	5.0
Drain 6	600	60	6.0
Drain 7	700	70	7.0
Drain 8	800	80	8.0

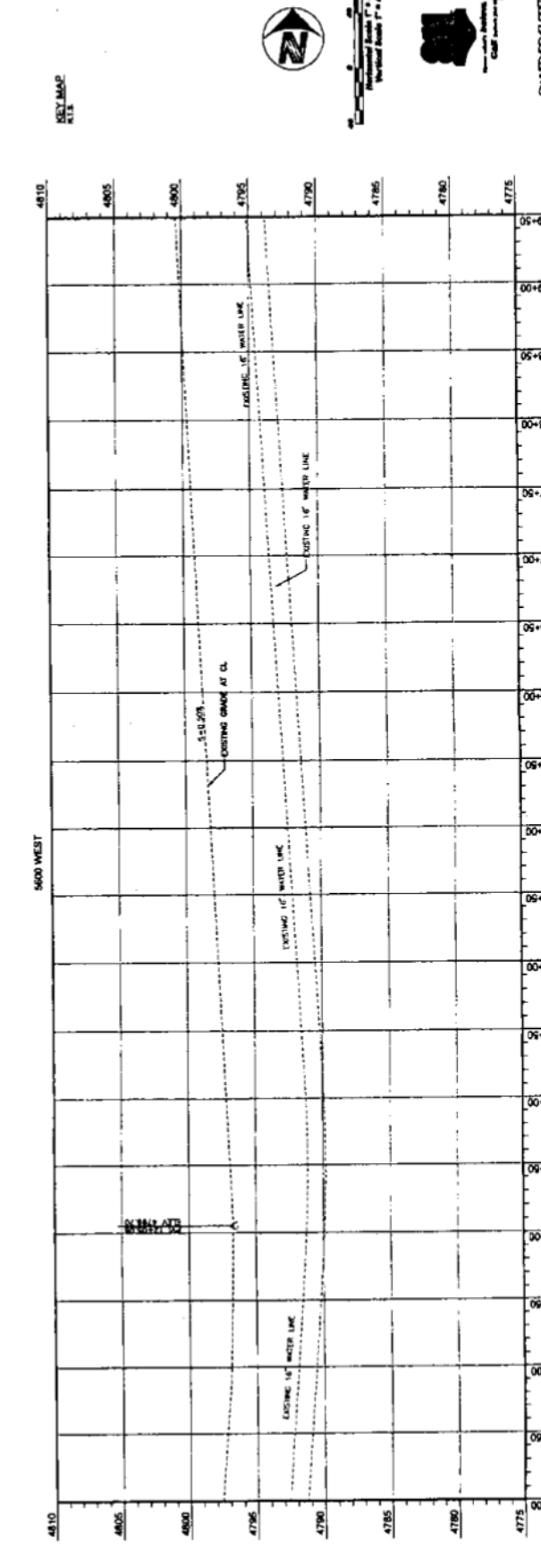
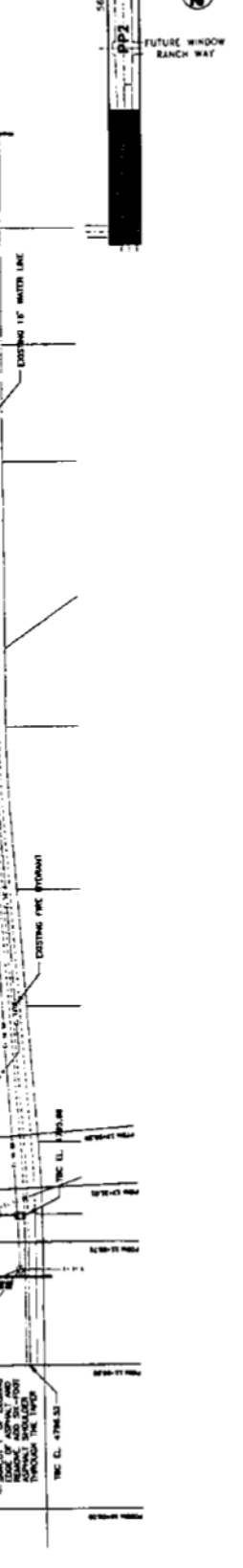
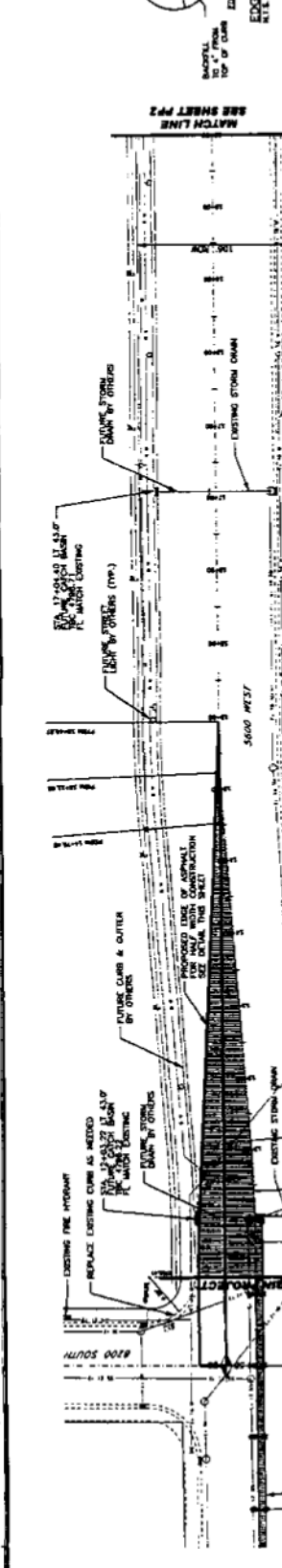
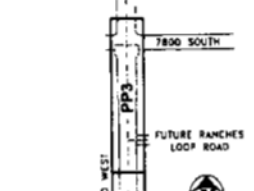
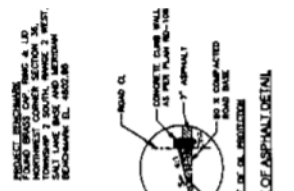
Storm Drain Calculations

Drain	Length (ft)	Flow (cfs)	Velocity (ft/s)
Drain 9	900	90	9.0
Drain 10	1000	100	10.0

5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
 Plan & Profile - 5600 WEST

DATE: 05/27/22	DESIGN: [Signature]	CHECK: [Signature]	DATE: 05/27/22
PROJECT: 5600 WEST ROADWAY	OWNER: [Signature]	LOCATION: [Signature]	
SCALE: AS SHOWN	DATE: 05/27/22	DATE: 05/27/22	
DATE: 05/27/22	DATE: 05/27/22	DATE: 05/27/22	
DATE: 05/27/22	DATE: 05/27/22	DATE: 05/27/22	
DATE: 05/27/22	DATE: 05/27/22	DATE: 05/27/22	
DATE: 05/27/22	DATE: 05/27/22	DATE: 05/27/22	

PP1



ALL ELEVATIONS UNLESS OTHERWISE NOTED ARE IN FEET ABOVE SEA LEVEL.
 CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND ADJUST AS NEEDED.
 SEE SHEET PPG2

5600 WEST ROADWAY
 DANYON DANIELS, L.P.
 MEP CORPORATION
 226 SOUTH 200 EAST
 SALT LAKE CITY, UT 84143
 (801) 552-2222



Professional Seal No. 17
 Mechanical Seal No. P. 07



MEP CORPORATION
 226 SOUTH 200 EAST
 SALT LAKE CITY, UT 84143
 (801) 552-2222

5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
PLAN & PROFILE - 5600 WEST

Ward Engineering Group
Planning - Engineering - Surveying
1500 E. 9000 S., SUITE 200, WEST JORDAN, UT 84081
PHONE: (801) 438-5500 FAX: (801) 438-5501
WWW.WARDENGRUP.COM

NO.	DATE	BY	REVISIONS
1			
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WARD ENGINEERING GROUP, INC. & LEAD ENGINEER: JAMES W. WARD, P.E. REGISTERED PROFESSIONAL ENGINEER - CIVIL, STATE OF UTAH, LICENSE NO. 22222. PROJECT NO. 22222. 5600 WEST ROADWAY, WEST JORDAN, UTAH. DRAWING NO. BK 9721 PG 4273.

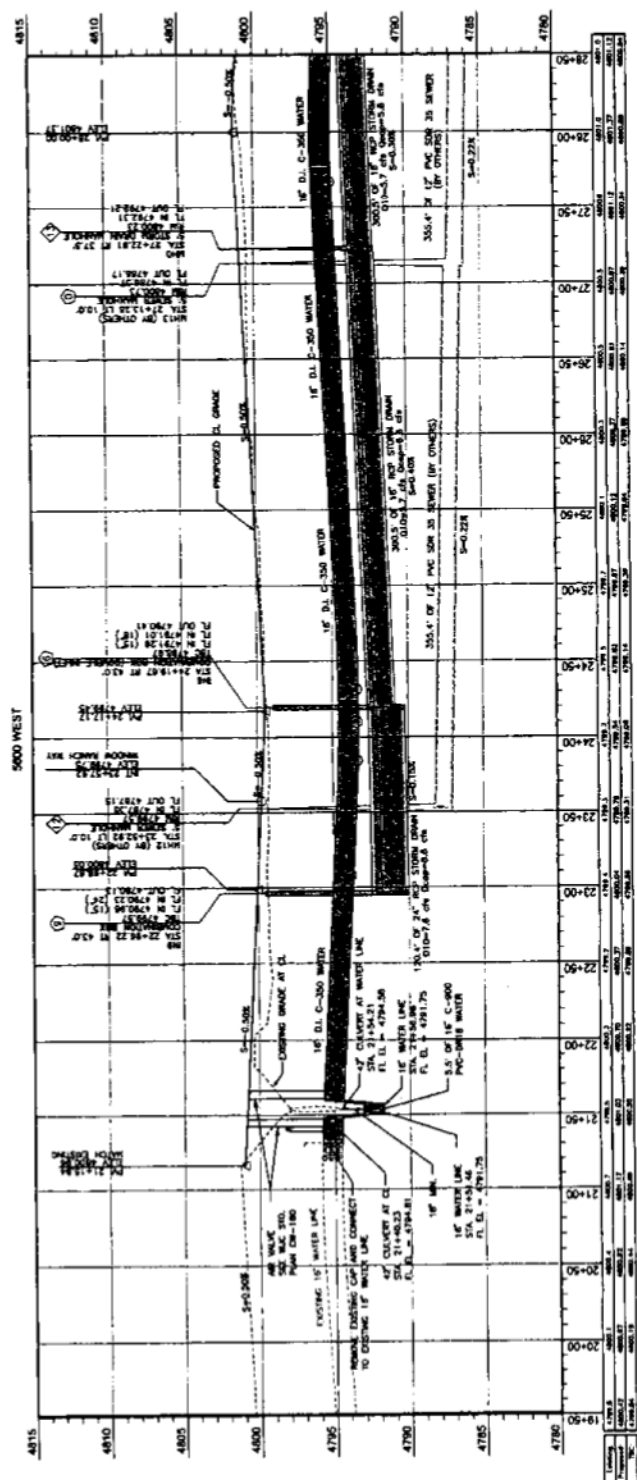
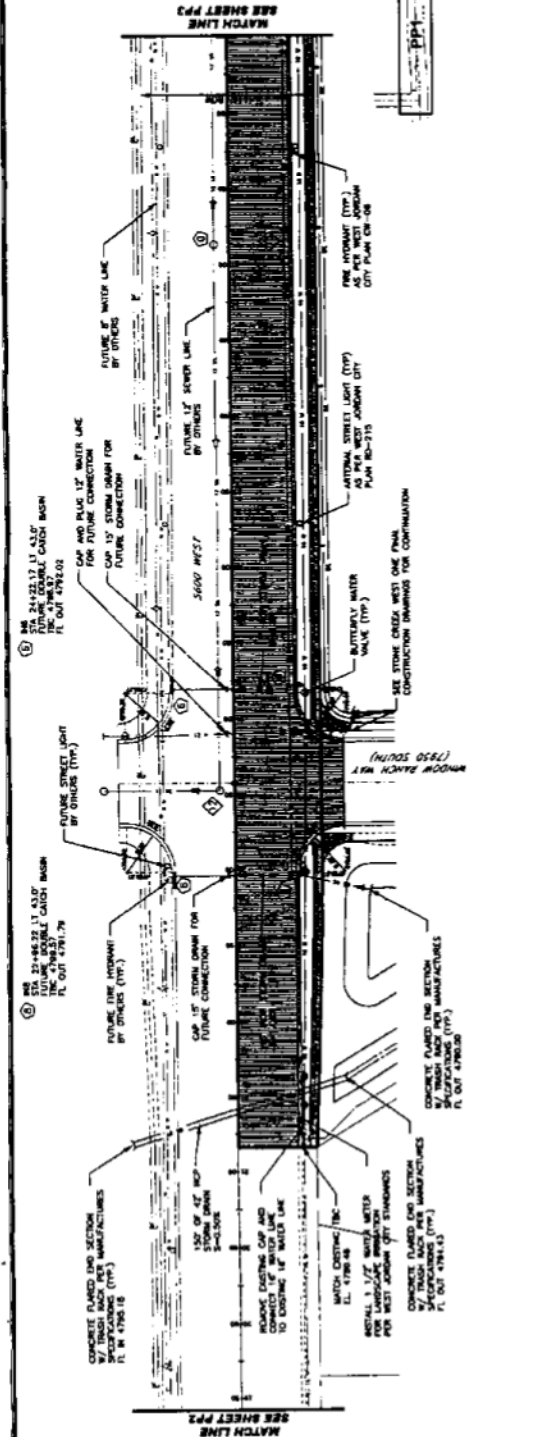
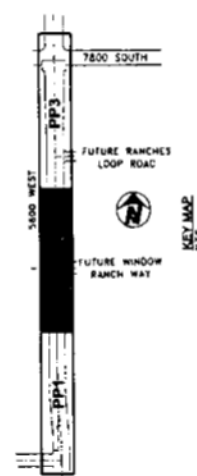
DESIGNED BY:
CAMYD DAVIES, L.L.C.
222 S. 200 E. SUITE 200
SALT LAKE CITY, UT 84143
PHONE: (801) 438-5500
FAX: (801) 438-5501
WWW.WARDENGRUP.COM



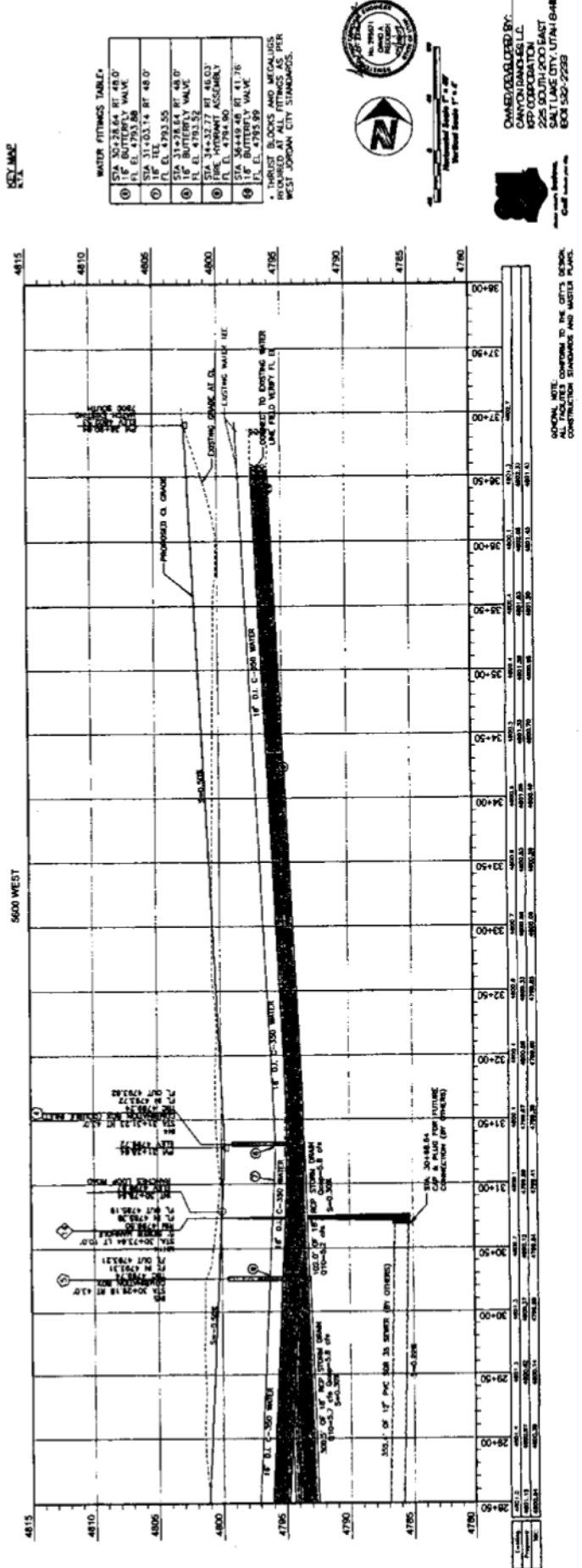
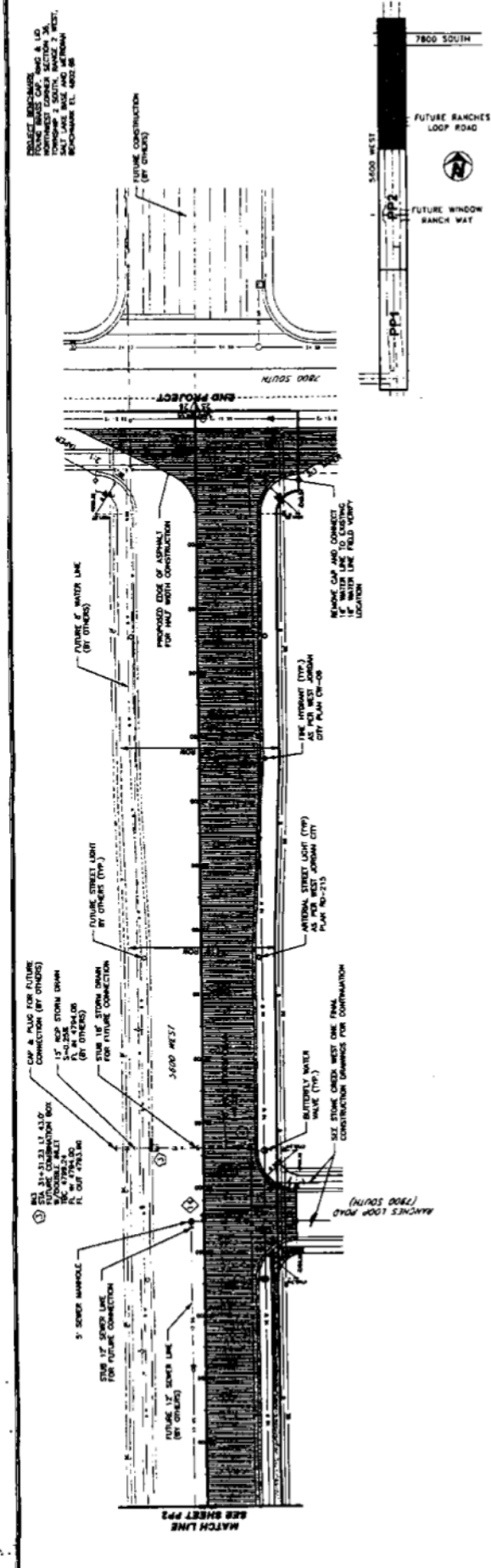
WATER FITTINGS TABLE:

1	SIZE 22+08.81 RT 45.0° 1" BUTTERFLY VALVE P.L. EL. 4793.70
2	SIZE 23+91.57 RT 45.0° 1" BUTTERFLY VALVE P.L. EL. 4793.70
3	SIZE 24+17.17 RT 45.0° 1" BUTTERFLY VALVE P.L. EL. 4793.25
4	SIZE 24+22.17 RT 45.0° FIRE HYDRANT ASSEMBLY P.L. EL. 4793.25
5	SIZE 24+22.17 RT 45.0° FIRE HYDRANT ASSEMBLY P.L. EL. 4794.58

* THURST BLOCKS AND METALLICS SHALL BE PER WEST JORDAN CITY STANDARDS.



GENERAL NOTE:
ALL FACILITIES CONFORM TO THE CITY'S DESIGN CONSTRUCTION STANDARDS AND SPECIFICATIONS.



WATER FITTINGS TABLE

1	24\"/>
2	18\"/>
3	12\"/>
4	18\"/>
5	24\"/>
6	24\"/>
7	18\"/>

* THURST BLOCKS AND METALLICS PER WEST JORDAN CITY STANDARDS.



DESIGNED/DEVELOPED BY:
 CANYON DRAINAGE, L.L.C.
 225 SOUTH 200 EAST
 SALT LAKE CITY, UT 84143
 801-582-2255



CONFORM TO THE CITY'S DESIGN
 CONSTRUCTION STANDARDS AND MASTER PLANS.

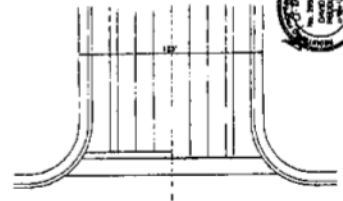
5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
HALF WIDTH SIGNING & STRIPING PLAN

Ward Engineering Group
Planning, Engineering, Surveying
1211 Main Street
Salt Lake City, Utah 84143
Tel: 313.222.1111
Fax: 313.222.1112

NO.	DATE	BY	DESCRIPTION
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OWNERS/DESIGNED BY:
UTAH DEPARTMENT OF
TRANSPORTATION
2225 SOUTH 200 EAST
SALT LAKE CITY, UTAH 84143
EBC 562-5223

GENERAL NOTE:
ALL FACILITIES CONFORM TO THE CITY'S DESIGN
CONSTRUCTION STANDARDS AND MUTED PAPER



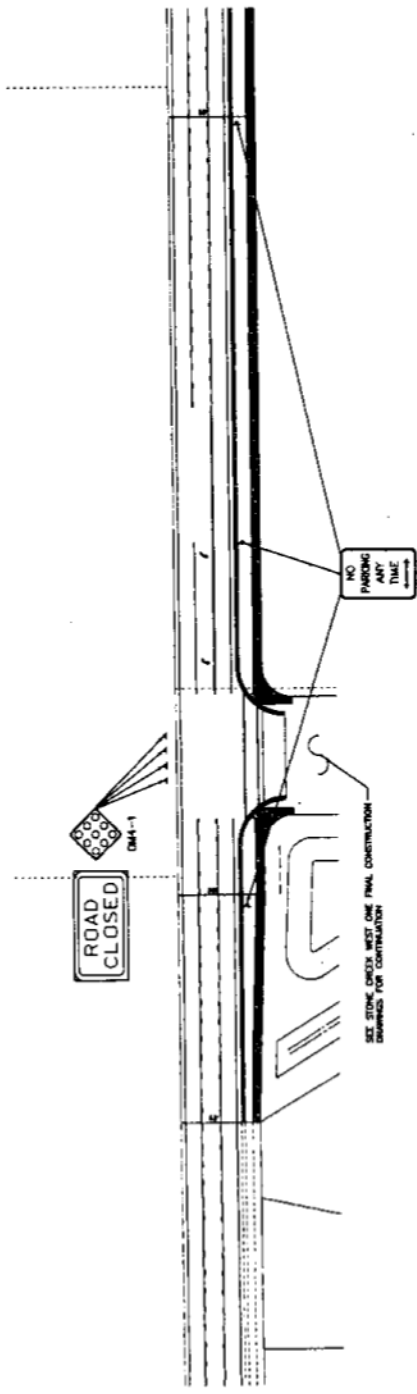
5600 WEST
7800 SOUTH



SPEED LIMIT 35
R2-1

NO PARKING ANY TIME

SEE STONE CHECK WEST ONE FINAL CONSTRUCTION DRAWINGS FOR CONTRAILOR



SEE STONE CHECK WEST ONE FINAL CONSTRUCTION DRAWINGS FOR CONTRAILOR

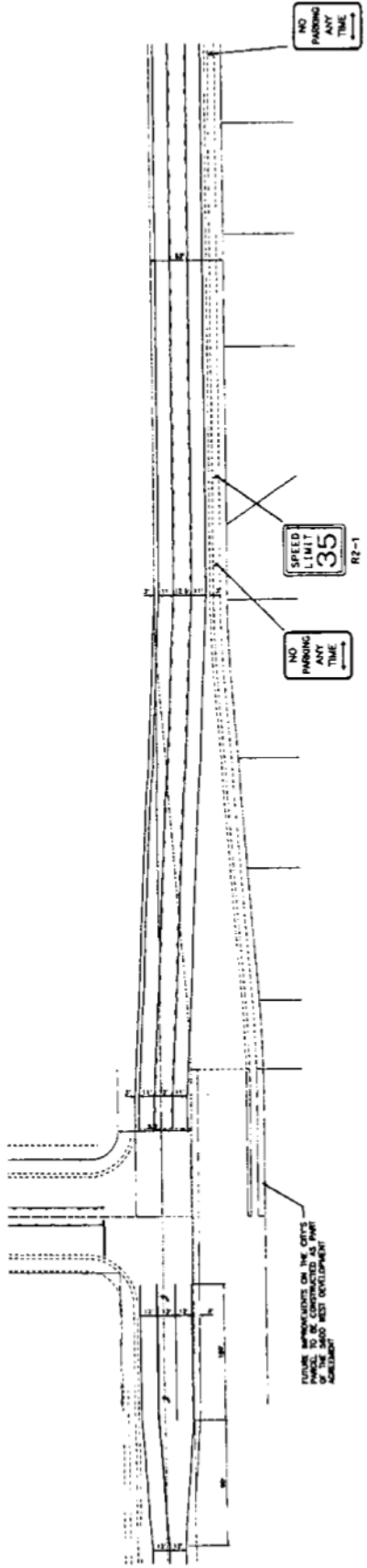
ROAD CLOSED



NO PARKING ANY TIME

SPEED LIMIT 35
R2-1

PLEASE IMPROVEMENTS ON THE OTHER
PAVEMENT TO BE CONSTRUCTED AS PART
OF THE ROAD WEST DEVELOPMENT



NO PARKING ANY TIME

5600 WEST ROADWAY
FINAL CONSTRUCTION DRAWINGS
FUTURE FULL WIDTH SIGNING & STRIPING PLAN

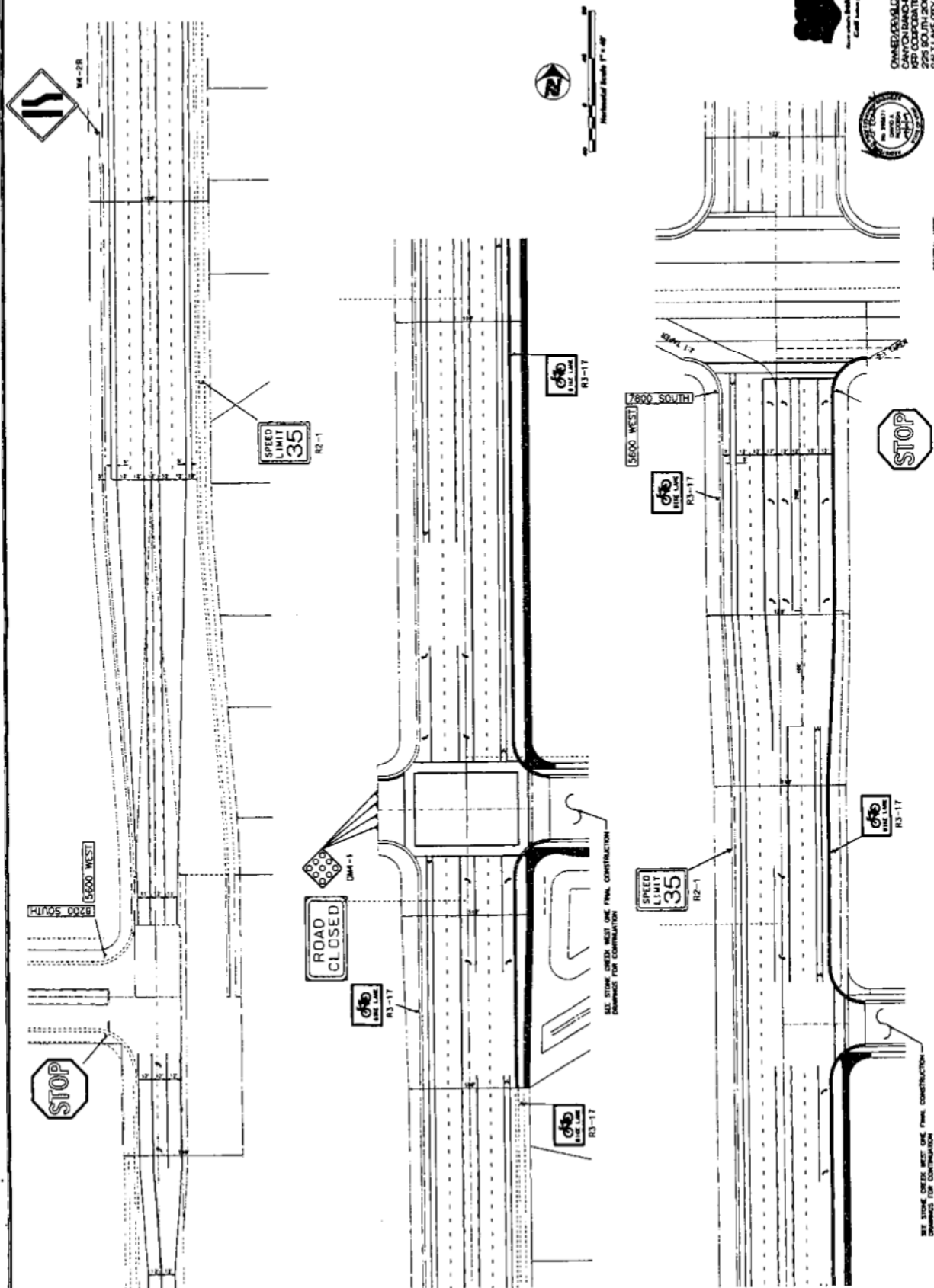
Ward Engineering Group
Planning - Engineering - Surveying

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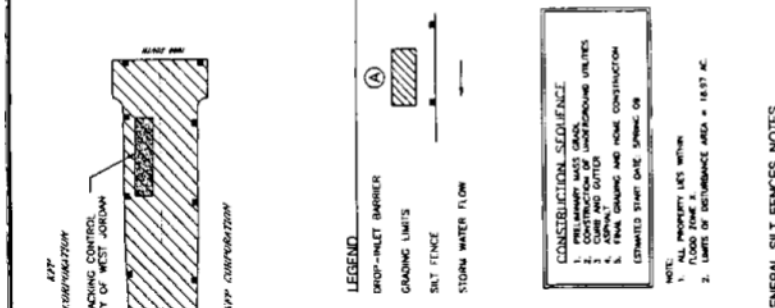
OWNED/CONTROLLED BY:
CANYON DANCES, L.L.C.
450 CORPORATION
1000 WEST 10TH AVENUE
GALT OREGON 97141-1848
EOR 952-2223



GENERAL NOTE:
ALL FACILITIES CONFORM TO THE CITY'S DESIGN
CONSTRUCTION STANDARDS AND MASTER PLAN.

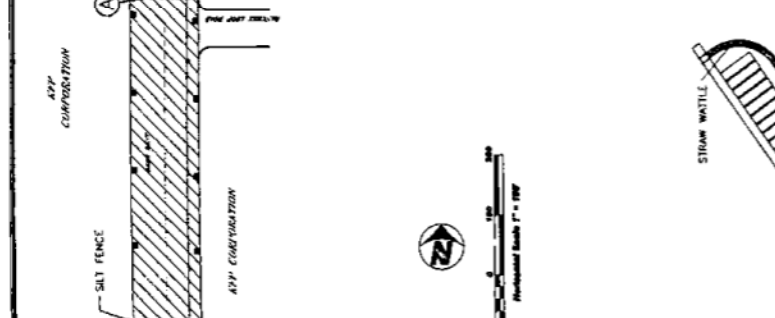


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LEGEND

- DROP-INLET BARRIER
- GRADING LIMITS
- SILT FENCE
- STORM WATER FLOW



GENERAL STORM WATER PROTECTION NOTES

1. ALL SITES DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EXISTING CONTROL MEASURES.
2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNUSUAL PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS ENHANCED. A REPRESENTATIVE OF THE WEST JORDAN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL MEASURES UNDER PROVISIONS OF PARAGRAPHS 1 THROUGH 4.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING THE EXISTING STREET CROWN AND FREE FROM IMPEDIMENTS BY TRUCKS TO OR FROM THE SITE.
4. ALL STORM DRAIN ENCLAVES ON LOT AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF.
5. ALL AREAS DISTURBED DURING MASS GRADING, EXCAVATION, IMPROVED ROADWAYS, AND JACOBS UNDER CONSTRUCTION SHALL BE SEECED WITH MAINT. VEGETATION OR LANDSCAPED TO MATCH EXISTING LAND PROJECT COMPLETION.
6. EXISTING CONTROL STRUCTURES ALLOW BELIEF AREAS AND BARRIERS IN PLACE UNTIL THE EROSION AREA HAS ESTABLISHED A NATURAL COVERING OF HEALTHY VEGETATION. EXISTING CONTROL STRUCTURES ALLOW BELIEF AREAS SHALL BE IN PLACE UNTIL PRELIMINARY SITE PREPARATION IS COMPLETE.
7. CONSTRUCTION SHALL USE VEHICLE TRACKING CONTROL. IF AN INTRUSION WHERE VEHICLES WILL CROSS OR DRIP THE SITE, CONTROL MEASURES SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND REPEATED UNTIL THE SITE IS STABLE.
8. ALL WIND-ERODED EXISTING TRACKS, VEHICLE TRACKS, ETC.) SHALL BE EXPOSED BY A MATTER THAT PREVENTS CONTACT WITH STORM WATER THROUGHOUT THE LIFE OF THE PROJECT.
9. ALL TRACKS SHALL BE CONTROLLED AT ALL TIMES. INSTALLATION OF SILT FENCES AND SILT MATS SHALL BE DONE TO CONTROL, BURY AND REMOVE TRACKS FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING CONTROL MEASURES (SILT FENCES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
11. ALL AREAS CONTAINED IN THIS PLAN SHALL BE IMPROVED TO FULLY FUNCTIONAL CONDITION WITH FINAL STABILIZATION OF THE SITE. ALL EROSION AREAS SHALL BE CONTROLLED UNTIL THE EROSION AREA HAS ESTABLISHED A NATURAL COVERING OF HEALTHY VEGETATION. EXISTING CONTROL STRUCTURES ALLOW BELIEF AREAS SHALL BE IN PLACE UNTIL PRELIMINARY SITE PREPARATION IS COMPLETE.
12. THE SILT FENCE SHALL BE USED TO ISOLATE IMPROVED AREAS THAT WILL BE FLOODED AND AREAS ARE NOT YET CLEAN. EXTRA PROTECTION OF EXISTING CONTROL MEASURES SHALL BE MADE AND RETAIN WILL MAINTAINED.

GRADING AND SEDIMENT CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EXISTING CONTROL MEASURES.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE EXISTING STREET CROWN AND FREE FROM IMPEDIMENTS BY TRUCKS TO OR FROM THE SITE.

2. ALL AREAS DISTURBED DURING MASS GRADING, EXCAVATION, IMPROVED ROADWAYS, AND JACOBS UNDER CONSTRUCTION SHALL BE SEECED WITH MAINT. VEGETATION OR LANDSCAPED TO MATCH EXISTING LAND PROJECT COMPLETION.

3. EXISTING CONTROL STRUCTURES ALLOW BELIEF AREAS AND BARRIERS IN PLACE UNTIL THE EROSION AREA HAS ESTABLISHED A NATURAL COVERING OF HEALTHY VEGETATION. EXISTING CONTROL STRUCTURES ALLOW BELIEF AREAS SHALL BE IN PLACE UNTIL PRELIMINARY SITE PREPARATION IS COMPLETE.

4. CONSTRUCTION SHALL USE VEHICLE TRACKING CONTROL. IF AN INTRUSION WHERE VEHICLES WILL CROSS OR DRIP THE SITE, CONTROL MEASURES SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND REPEATED UNTIL THE SITE IS STABLE.

5. ALL WIND-ERODED EXISTING TRACKS, VEHICLE TRACKS, ETC.) SHALL BE EXPOSED BY A MATTER THAT PREVENTS CONTACT WITH STORM WATER THROUGHOUT THE LIFE OF THE PROJECT.

6. ALL TRACKS SHALL BE CONTROLLED AT ALL TIMES. INSTALLATION OF SILT FENCES AND SILT MATS SHALL BE DONE TO CONTROL, BURY AND REMOVE TRACKS FROM THE SITE.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING CONTROL MEASURES (SILT FENCES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.

8. ALL AREAS CONTAINED IN THIS PLAN SHALL BE IMPROVED TO FULLY FUNCTIONAL CONDITION WITH FINAL STABILIZATION OF THE SITE. ALL EROSION AREAS SHALL BE CONTROLLED UNTIL THE EROSION AREA HAS ESTABLISHED A NATURAL COVERING OF HEALTHY VEGETATION. EXISTING CONTROL STRUCTURES ALLOW BELIEF AREAS SHALL BE IN PLACE UNTIL PRELIMINARY SITE PREPARATION IS COMPLETE.

9. THE SILT FENCE SHALL BE USED TO ISOLATE IMPROVED AREAS THAT WILL BE FLOODED AND AREAS ARE NOT YET CLEAN. EXTRA PROTECTION OF EXISTING CONTROL MEASURES SHALL BE MADE AND RETAIN WILL MAINTAINED.

CONSTRUCTION SEQUENCE

1. PRELIMINARY MASS GRAD.
2. CONSTRUCTION OF UNDERGROUND UTILITIES.
3. CONSTRUCTION OF SILT FENCE.
4. SLOPE PROTECTION.
5. FINAL GRADING AND HOME CONSTRUCTION.

ESTIMATED START DATE: SPRING 08

NOTE:

1. ALL PROPERTY LIES WITHIN 100' DISTANCE OF THE FENCE.
2. LIMITS OF DISTURBANCE AREA = 18.97 AC.

GENERAL SILT FENCES NOTES

1. WHERE POSSIBLE, LOCATE THE SILT FENCE 5.0' TO 10.0' BEYOND THE TOE OF SLOPE.
2. ALIGN THE FENCE ALONG THE CONTOUR AS CLOSE AS POSSIBLE.
3. WHEN EXCAVATING THE TRENCH, USE MACHINERY THAT WILL PRODUCE NO EXCESSIVE DIRT AND DEBRIS.
4. EXTEND THE SECTION 2' OF FILTER FABRIC TO LINE ALL THREE SIDES OF THE TRENCH.
5. TO AVOID EXCESSIVE PILING OF WASTE AT LOW POINTS ALONG THE FENCE, PROVIDE AN UNDERDRAIN AT EACH LOW POINT.
6. PROVIDE AN UNDERDRAIN AT EACH LOW POINT ALONG THE FENCE AS MUCH AS POSSIBLE. IF A JOINT IS NECESSARY, SPACE THE FILTER FABRIC AT A JOINT WITH A 6" DIA. DEBRIS AND SECURELY FASTEN BOTH ENDS TO THE POST.
7. MAINTAIN A PROPERLY TIGHT TENSILE CONNECTION BETWEEN THE SECTIONS OF THE PROJECT OR OVER DISTURBED AREAS HAVE BEEN RECEIVED.

PROJECT BACKGROUND:

THE PROJECT IS A 1.5 AC. RESIDENTIAL DEVELOPMENT SITUATED IN SECTION 36, TOWNSHIP 7 SOUTH, RANGE 2 WEST, RANGE 10 EAST, COUNTY OF GARFIELD, MICHIGAN, E.L. 4922 00.

GENERAL NOTES:

ALL CONSTRUCTION SHALL CONFORM TO THE CITY'S DESIGN CONSTRUCTION STANDARDS AND MASTER PLANS.

OWNER/DEVELOPER:

CONVOLUTIONS LLC
APP OPERATOR
2550 W. 130TH ST. SUITE 100
GALLIUM CITY, UT 84048
801 552-2222

PERMITS:

PERMITS REQUIRED: GRADING, EROSION CONTROL, WATER POLLUTION PREVENTION PLAN.

GENERAL EROSION, VEGETATION, AND SEDIMENT NOTES

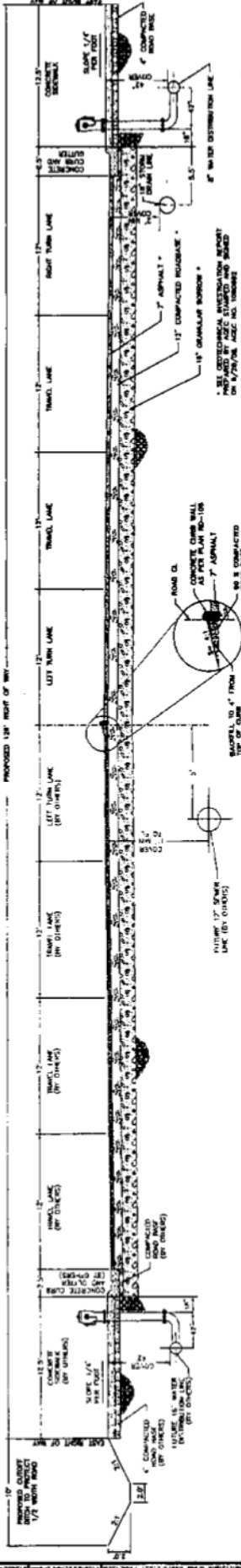
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EXISTING CONTROL MEASURES.
2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNUSUAL PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS ENHANCED. A REPRESENTATIVE OF THE WEST JORDAN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL MEASURES UNDER PROVISIONS OF PARAGRAPHS 1 THROUGH 4.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING THE EXISTING STREET CROWN AND FREE FROM IMPEDIMENTS BY TRUCKS TO OR FROM THE SITE.
4. ALL STORM DRAIN ENCLAVES ON LOT AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF.
5. ALL AREAS DISTURBED DURING MASS GRADING, EXCAVATION, IMPROVED ROADWAYS, AND JACOBS UNDER CONSTRUCTION SHALL BE SEECED WITH MAINT. VEGETATION OR LANDSCAPED TO MATCH EXISTING LAND PROJECT COMPLETION.
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9. ALL TRACKS SHALL BE CONTROLLED AT ALL TIMES. INSTALLATION OF SILT FENCES AND SILT MATS SHALL BE DONE TO CONTROL, BURY AND REMOVE TRACKS FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING CONTROL MEASURES (SILT FENCES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
11. ALL AREAS CONTAINED IN THIS PLAN SHALL BE IMPROVED TO FULLY FUNCTIONAL CONDITION WITH FINAL STABILIZATION OF THE SITE. ALL EROSION AREAS SHALL BE CONTROLLED UNTIL THE EROSION AREA HAS ESTABLISHED A NATURAL COVERING OF HEALTHY VEGETATION. EXISTING CONTROL STRUCTURES ALLOW BELIEF AREAS SHALL BE IN PLACE UNTIL PRELIMINARY SITE PREPARATION IS COMPLETE.
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PROJECT: BENCHMARK TRAC & L.D.
 NORTHWEST CORNER SECTION 36
 TOWNSHIP 2 SOUTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 BENCHMARK E.L. 4602.56

OWNER: DEVELCO, INC.
 CANYON RANCH ES, L.C.
 KRP CORPORATION
 226 SOUTH 200 EAST
 SALT LAKE CITY, UT 84148
 801 592-2293

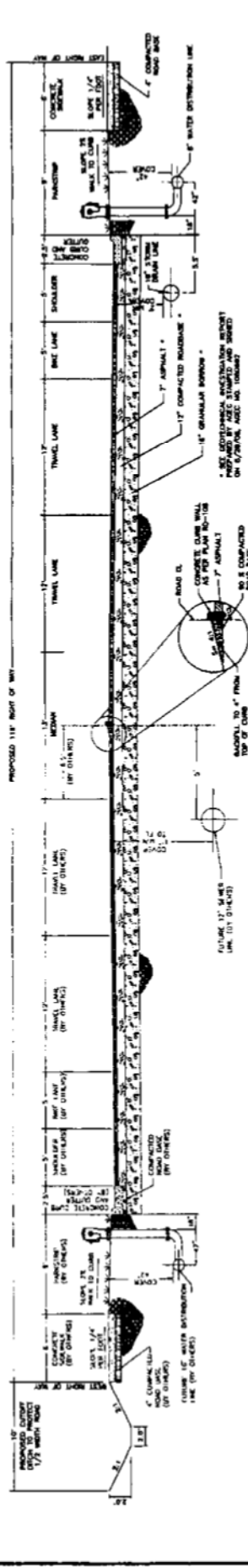


GENERAL NOTE:
 ALL FACILITIES CONFORM TO THE CITY DESIGN
 CONSTRUCTION STANDARDS AND WATER FLOW



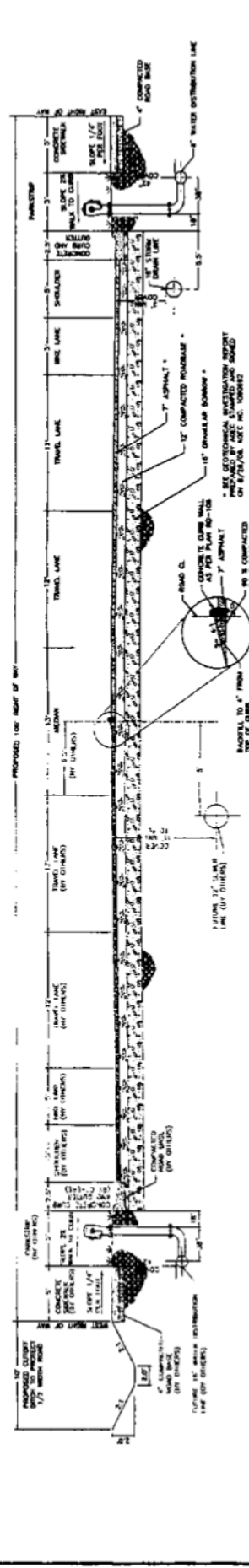
NOTE: SEE GENERAL NOTE ON ALL COLLECTORS AND MAINS.

12' RIGHT-OF-WAY (FROM STA. 34+36.11 TO STA. 37+03.01)
 N.T.S.



NOTE: SEE GENERAL NOTE ON ALL COLLECTORS AND MAINS.

12' RIGHT-OF-WAY (FROM STA. 22+45.04 TO STA. 24+08.11)
 N.T.S.



NOTE: SEE GENERAL NOTE ON ALL COLLECTORS AND MAINS.

10' RIGHT-OF-WAY (FROM STA. 11+00.18 TO STA. 12+15.84)
 N.T.S.

5600 WEST ROADWAY
 FINAL CONSTRUCTION DRAWINGS

Ward Engineering Group
 Planning, Engineering, Surveying

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

111

NO.	DATE	REVISIONS
1		
2		
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DATE	BY	DESCRIPTION

DATE	BY	DESCRIPTION



GENERAL CONSTRUCTION NOTES:

- PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS AND RECORD OF THE SITE AND ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE OWNER'S DEVELOPER OR LANDSCAPE DESIGNER FOR EXCESS OR DEFICIENCY THEREIN, ACTUAL, OR RELATIVE.
- THE LANDSCAPE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES OF PROCEEDURE OR FOR SAFETY PRECAUTIONS ON PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- QUANTITIES SHOWN ARE THE BEST ESTIMATE OF THE LANDSCAPE DESIGNER. THE CONTRACTOR SHALL MAKE HIS OWN INDEPENDENT ESTIMATE OF QUANTITIES AND BASE HIS BID THEREON.
- THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER ON THE LANDSCAPE DESIGNER REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES. REMEDIAL WORK REQUIRED TO CORRECT ANY ITEMS OR IMPROPER CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP BETWEEN THE LANDSCAPE DESIGNER AND THE CONTRACTOR OR SUBCONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY QUANTITIES INCLUDING ELEVATION, BENCHMARK, EMBANKMENT, SLOPE, OR SWELL, GROUND COMPACTON, ELEVATION BENCHMARK, AND STAKE PLACEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES, IT SHALL BE THE BIDDER'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE DESIGNER OF MAJOR DISCREPANCIES PRIOR TO CONSTRUCTION.

PLANTING NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES AND LOCATIONS OF PLANTS AND TO NOTIFY THE OWNER'S REPRESENTATIVE OF MAJOR DISCREPANCIES PRIOR TO CONSTRUCTION. SOME ADJUSTMENT IN THE FIELD MAY BE REQUIRED PER OWNER DISCRETION.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF PLANT MATERIAL AND SHALL HAVE LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- GROUNDCOVERS SHALL BE PLANTED A MINIMUM OF 1' FROM EDGE OF WALLS, WALLS, REPRESENTATIVE.
- STONE MULCH - AREAS NOT OTHERWISE COVERED BY TURF, PAVING, GROUNDCOVER OR OTHER MATERIAL SHALL BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
- AREAS TO RECEIVE MULCH TO BE SPRAWLED WITH A CONTACT HERBICIDE AND SHALL BE PLANTED WITH MULCH. MULCH SHALL BE 2" DEEP AND STAPLED 15 FEET ON CENTER EACH WAY WITH 4" EACH CORNER. CONTRACTOR SHALL ALSO APPLY A PRE-EMERGENT HERBICIDE PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANT MATERIALS SHALL MEET ANLA & ANS STANDARDS SPECIFICATIONS. PLANT MATERIALS SHALL BE ORDERED BY BOTANICAL NAME. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING AND IN ADVANCE, BY THE OWNER'S REPRESENTATIVE.
- OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE. PLANT MATERIAL SHALL BE WARRANTED BY THE CONTRACTOR FOR 1 YEAR AFTER INSTALLATION HAS BEEN ACCEPTED AS COMPLETE.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY INSTALLATIONS THAT MAY BE AFFECTED BY HIS WORK AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH INSTALLATIONS CAUSED AS A RESULT OF LANDSCAPE INSTALLATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SOODED AREAS AND ALL PLANT MATERIALS FOR A PERIOD OF 90 DAYS AND 120 DAYS FOR SEEDED AREAS. UPON COMPLETION OF THE MAINTENANCE PERIOD, THE OWNER WILL ASSUME MAINTENANCE RESPONSIBILITIES.
- ACCEPTABLE TOPSOIL, WHETHER IMPORTED OR FROM SITE, SHALL BE FERTILE, LOOSE, FRABLE SOIL MEETING THE FOLLOWING REQUIREMENTS: INSTALL TO 4" DEPTH FOR ALL AREAS TO RECEIVE TURF AND 12" DEPTH FOR ALL 3-RUB BEDS.
CHEMICAL CHARACTERISTICS
1) N: 0.24%
2) P: 0.18%
3) K: 0.15%
4) S: 1.50%
5) CATION EXCHANGE CAPACITY: 1.50 MEQ/100 G
6) pH: 6.5 TO 7.5
7) SODIUM: 1.0 TO 20.0
8) SODIUM ADSORPTION RATIO: 1.0
9) SODIUM ADSORPTION RATIO: 1.0
10) SODIUM ADSORPTION RATIO: 1.0
11) SODIUM ADSORPTION RATIO: 1.0
12) SODIUM ADSORPTION RATIO: 1.0
13) SODIUM ADSORPTION RATIO: 1.0
14) SODIUM ADSORPTION RATIO: 1.0
15) SODIUM ADSORPTION RATIO: 1.0

IRRIGATION NOTES:

- THE IRRIGATION SYSTEM SHOWN IS SCHEMATIC AND APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL LINE COVERAGE WITHOUT SPRAYING ONTO BUILDINGS, SIDEWALKS, FENCES, ETC. LOCATE LINES IN NON-PAVED AREAS WHERE POSSIBLE. NO TEES, EILS OR OTHER CONNECTIONS SHALL BE PLACED UNDER A PAVED AREA IF SUBJECT TO FIELD ADJUSTMENT. THE ENDS OF ALL LATERALS SHALL HAVE AN AUTOMATIC DRAIN.
- IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE ON-SITE PRIOR TO BEGINNING WORK. IF DISCREPANCY EXISTS IN WATER MAIN PRESSURE LISTED ON-SITE AND THAT NOTED ON PLAN, CONTRACTOR SHALL MAKE ON-THE-SPOT NOTIFICATION TO LANDSCAPE ARCHITECT. SYSTEM IS DESIGNED BASED UPON 85 PSI STATIC PRESSURE AT ALL P.O.C. POINT OF CONNECTION LOCATIONS.
- CONTRACTOR SHALL FURISH AND INSTALL MATERIAL AND EQUIPMENT PERTAINING TO THE IRRIGATION SYSTEM HEREIN SPECIFIED OR SHOWN ON THE DRAWINGS. THIS SHALL INCLUDE ALL ITEMS OF A MINOR NATURE NECESSARY TO COMPLETE INSTALLATION.
- THE CONTRACTOR SHALL MAKE NECESSARY IN-FIELD ADJUSTMENTS TO AVOID OBSTRUCTIONS OR COMPENSATE FOR DIFFERENCES BETWEEN THE SITE AND DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OF ANY DEPARTURES FROM THE PLAN WITHOUT WRITTEN APPROVAL FROM THE OWNER. CONTRACTOR TO PROVIDE THE APPROPRIATE DISBLE OF A/C IN EACH HEAD THAT PROVIDES HEAD-TO-HEAD COVERAGE WITHOUT OVERSPRAY ONTO WALLS, BUILDINGS, ROADS, ETC.
- IRRIGATION CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO RELOCATING OR ALTERING SPRINKLER HEADS, VALVES, PIPING, ETC. DUE TO A DAMAGE IN OR UNKNOWN SITE CONDITIONS.
- IRRIGATION CONTRACTOR TO CAP ALL FLUSH CAP ENDS HAND TIGHT BEFORE BACKFILL.
- ALL VALVE AND FLUSH BOLTS COVERS SHALL MATCH GROUND COVER. GREEN COVERS TO BE IN TURF AND TAM COVERS IN PLANTING BEDS.
- EACH REMOTE CONTROL VALVE SHALL BE CONNECTED TO AN AUTOMATIC CONTROL SYSTEM WITH A 1/2" NPT AND AN COMMON WIRE - TYPE UFV, COPPER, ALL APPROVED, SOLID STRAND.
- ALL AUTOMATIC CONTROLS, RISERS, BACKFLOW PREVENTERS AND HOSE BIBS SHALL BE SET PLUMB WITHIN 1/8" OF VERTICAL. VALVES SHALL BE SET PERPENDICULAR TO PIPING. AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS.
- IRRIGATION CONTRACTOR SHALL COORDINATE WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS.
- ALL MATERIALS SHALL BE INSTALLED AS DETAILED IN THE PLANS. IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THEN THE CONTRACTOR SHALL INSTALL ALL ITEMS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS IF A CONSTRUCTION OCCURS, NOTIFY THE OWNER IMMEDIATELY.
- ADJUST HEADS AND BURNERS (IF APPLICABLE) FOR PROPER HEAD TO HEAD COVERAGE.
- USE 3/4" A/C PPE FROM WATER METER OR SHUT OFF VALVE TO THE STOP AND WASTE AT THE BACKFLOW PREVENTION ASSEMBLY. USE ALL BRASS FITTINGS WITHIN BACKFLOW PREVENTION ASSEMBLY (WULFSB 575X).
- IRRIGATION CONTRACTOR TO USE TAPLOK TAPE ON ALL THREADED JOINTS.
- EACH DRIPLINE ZONE IS REQUIRED TO HAVE AN AIR RELIEF VALVE AND FLUSH VALVE. THE FLUSH VALVE IS TO BE INSTALLED AT THE LOWEST POINT OF THE ZONE.
- BRAND EACH VALVE BOX W/ 7" LETTERING SHOWING ZONE NUMBER (EX. Z1) THIS STAMP IS TO MATCH THE ZONE AND CONTROLLER ASSOCIATED WITH THE VALVES OPERATION.
- EXTEND ALL SLEEVES 2" OUT EACH PLANTING AREA.
- NO PIPES SHALL BE INSTALLED PARALLEL AND DIRECTLY OVER ANOTHER LINE. ALL SLEEVES SHALL BE 1/2" ABOVE THE LINE OF THE VALVE. ALL SLEEVES SHALL BE 6 INCHES CLEARANCE FROM LINE OF OTHER TRADES SHALL BE 12 INCHES.
- CONTROL WIRING SHALL HAVE A 1" MINIMUM CONDUIT WITHIN THE SLEEVE.
- SLEEVE LOCATIONS SHALL BE SHOWN ON THE RECORD DRAWINGS.
- ALL SLEEVES SHALL BE CAPPED AND KEPT CLEAR OF DIRT AND DEBRIS.

- INSTALL A 36" LENGTH OF #4 REBAR ADJACENT TO EACH END OF THE SLEEVE. TOP OF REBAR SHALL BE THREE INCHES BELOW FINISH GRADE. REBAR SHALL BE PLACED TO THE SURFACE. THE TAPE SHALL BE VISIBLE UNTIL ALL WORK IS COMPLETED.
- ALL SLEEVES TO BE SCHEDULE 40 P.A.C. USE FULL LENGTHS WHERE POSSIBLE. SLEEVES SHALL BE INSTALLED IN THE ORDER SHOWN ON THE SCHEDULE 40.
- VALVES LESS THAN 3" GPM SHALL RECEIVE A RAMPED RIVY SERIES Y-STRAMER ON EQUAL UPSTREAM.
- LANDSCAPE CONTRACTOR RESPONSIBLE FOR ALL IRRIGATION SLEEVING. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. VERIFY ANY EXISTING SLEEVES INSTALLED BY OTHER CONTRACTORS.
- PRIOR TO OWNER'S APPROVAL, AN IRRIGATION TUBE-LIF SHALL BE PERFORMED TO LOCATE ALL EXISTING SLEEVES AND LOCATIONS OF EXISTING IRRIGATION EQUIPMENT (INCLUDING ALL PERELMS AND SLEEVES) TO BE DOCUMENTED FROM TWO STATIONARY POINTS.
- ALL DRIP SYSTEMS TO BE FLUSHED BEGINNING WITH THE Y-STRAMER.
- IRRIGATION VALVES SHALL BE IDENTIFIED BY A CONTROLLER DESIGNATION, AND LOCATION ARE TO BE DOCUMENTED ON A SHEET OF PAPER. THIS SHEET TO BE PLACED IN A PLASTIC POUCH AND ATTACHED TO THE INSIDE OF CONTROLLER.
- CONTRACTOR SHALL PERFORM THE FOLLOWING:
 - VISIT SITE AND VERIFY EXISTING GRADES, CONSTRUCTION AND CONDITIONS.
 - VERIFY EXISTING IRRIGATION SYSTEMS AND MAKE ANY NECESSARY ADJUSTMENTS TO EXISTING SYSTEMS.
 - NOTIFY OWNER OF DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS.
 - RESTORE DAMAGED AREAS CAUSED BY CONTRACTOR TO THE SATISFACTION OF THE OWNER.
 - VERIFY ALL WORK IS DONE IN ACCORDANCE WITH THE PLAN AND THAT THE PLAN CAN BE CONSTRUCTED. FUNCTIONAL AND COMPLETE.
- CONTRACTOR SHALL DETERMINE BIDDING QUANTITIES. ALL QUANTITIES SHOWN IN THESE PLANS ARE TO USE THE CONTRACTOR'S COMPARISON COUNT ONLY.
- ALL MATERIALS AND WORKMANSHIP SHALL BE TRUE TO TYPE, FORM, FINISH AND OF THE HIGHEST STANDARDS OF THE TRADE. DAMAGED OR DEFICIENT MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE ALL IRRIGATION WORK WITH OTHER CONTRACTORS.
- ALL EQUIPMENT SHALL BE MAINTAINED WHILE UNDER CONSTRUCTION. MAINTENANCE INCLUDES: WATER SCHEDULING, REPLACEMENT OF DEFECTIVE OR DAMAGED EQUIPMENT, ADJUSTMENT AND READJUSTMENT OF HEADS AND OTHER EQUIPMENT.
- CONTRACTOR TO INBURS THE FOLLOWING:
 - LINES AND VALVES ARE TO BE PLACED WITHIN PLANTING BEDS & PROTECT LIMITS. THESE PLANS ARE SCHEMATIC. CONTRACTOR SHALL SIZE PPE, PLAN SIZES ARE MINIMUMS.
 - SPACING FOR TURF TO ALL PLANTS REGARDLESS OF SIZE OR TYPE.
- CONTRACTOR TO PROVIDE IRRIGATION MAINTENANCE AS DESCRIBED IN ITEM 31 AFTER ACCEPTANCE FOR THE PERIOD INDICATED IN THE LANDSCAPE SPECIFICATIONS ON 90 DAYS WHOEVER IS GRANTED.
 - CONTROLLER TO BE GROUNDED AND PROTECTED FROM LIGHTNING AND SURGE PROTECTION PER MANUFACTURER'S RECOMMENDATION.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING VALVES, HEADS, SLEEVES, GATE VALVES AND OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES IN QUANTITIES ON THE DRAWINGS AND THE TOTAL NUMBER INDICATED ON THE IRRIGATION LEGEND. THE DRAWINGS SHALL BE ACCEPTED AS CORRECT. SOME ADJUSTMENTS IN THE FIELD MAY BE REQUIRED PER OWNER DIRECTION.
 - INSTALL BLEEDING BASED ON THE TYPICAL BLEEDING DETAIL & SLEEVING DIAGRAM PER WEST JORDAN CITY STANDARDS, PLAN PK-10.

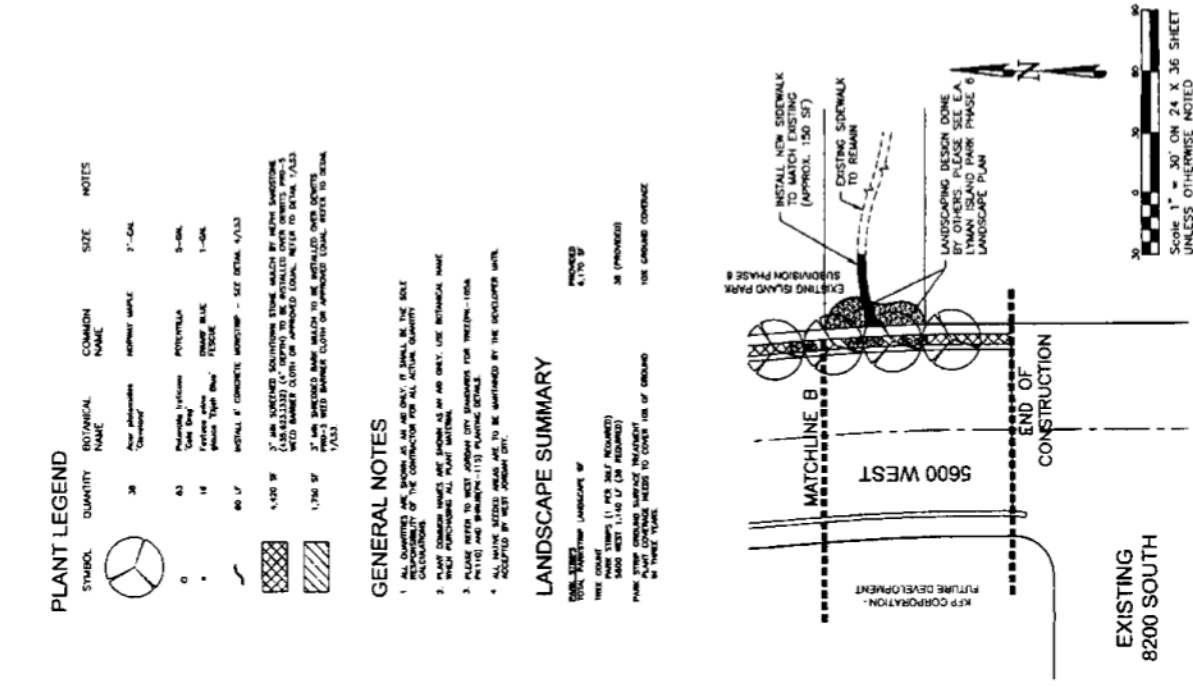
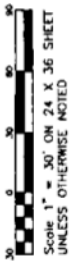
WARD ENGINEERING GROUP
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NO.	DATE	BY	REVISIONS
1	04/20/08	AK	ISSUE FOR PERMIT
2	05/01/08	AK	REVISED PER CITY COMMENTS
3	05/01/08	AK	REVISED PER CITY COMMENTS
4	05/01/08	AK	REVISED PER CITY COMMENTS
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6	05/01/08	AK	REVISED PER CITY COMMENTS
7	05/01/08	AK	REVISED PER CITY COMMENTS
8	05/01/08	AK	REVISED PER CITY COMMENTS
9	05/01/08	AK	REVISED PER CITY COMMENTS
10	05/01/08	AK	REVISED PER CITY COMMENTS



PLANT LEGEND

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	36	Acacia salicoides 'Crownata'	HOBBY MAPLE	2'-6"	
	63	Palmetto 'Lutescens' 'Tall Top'	POINCIANA	8'-0"	
	18	Fernox 'Lutescens' 'Tall Top'	CRABAPPLE	1'-6"	
	40	INSTALL 4" CONCRETE MONOTOP - SEE DETAIL 4/133			
	1,400 SF	3" JAW SOCKETED SOLUTIONS STEEL MESH BY METAL SHEDDING (4.05X3.33X2) (4" TYP) TO BE INSTALLED OVER EXISTING 2" WED BARRETT CLOTH OF APPROX. EQUAL. REFER TO DETAIL 1/133			
	1,790 SF	3" JAW SOCKETED MESH TO BE INSTALLED OVER EXISTING 2" WED BARRETT CLOTH OF APPROX. EQUAL. REFER TO DETAIL 1/133			

GENERAL NOTES

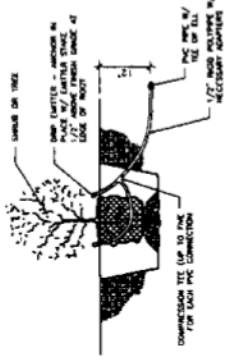
- ALL QUANTITIES ARE SHOWN AS AN INDICATIVE ONLY. THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL ACTUAL QUANTITY CALCULATIONS.
- PLANTING SHALL BE DONE BY AN AND ONLY USE BOTANICAL NAME AND COMMON NAME. ALL PLANT MATERIAL SHALL BE SUPPLIED BY THE CONTRACTOR.
- PLEASE REFER TO WEST JORDAN CITY STANDARDS FOR TREE/SHRUB - 1004, 1010, AND 1011 (113) PLANTING DETAILS.
- ALL PLANTING SHALL BE MAINTAINED BY THE DEVELOPER UNTIL ACCEPTED BY WEST JORDAN CITY.

LANDSCAPE SUMMARY

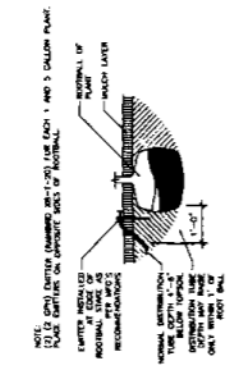
- TOTAL TREES: 109
- TOTAL SHRUBS: 6,170 SF
- TOTAL PLANTING: 6,279 SF
- PAVING: 1,790 SF (AS REQUIRED)
- PAVING: 1,400 SF (AS REQUIRED)
- PAVING: 318 (PROVIDED)
- SEE LANDSCAPE CONTRACT FOR MORE DETAILS



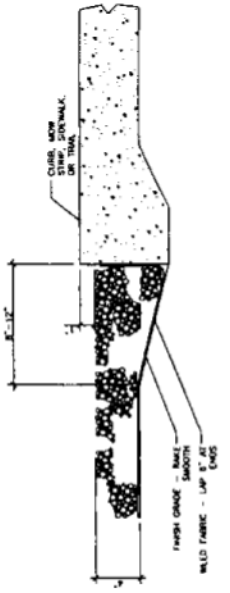
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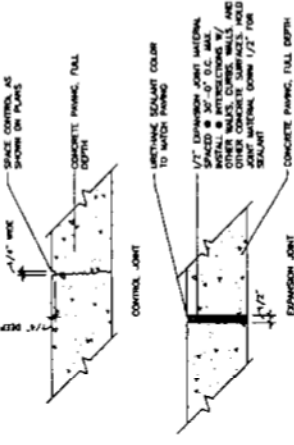
1 STONE MULCH - EDGE TREATMENT



2 KERF-BUBBLER DRIP SYSTEM

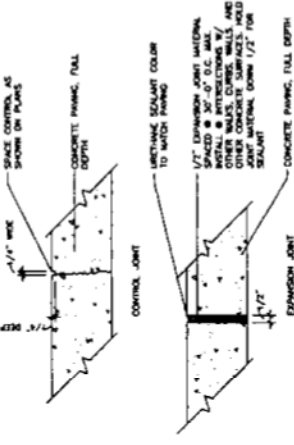


3 IRRIGATION CONTROL CLOCK - PEDESTAL



4 CONCRETE MOWSTRIP

- NOTES:
1. PROVIDE AN 1/8" MANDREL AT ALL EDGES TYPICAL.
 2. INSTALL 1/2" EXPANSION JOINT MATERIAL AT 30' O.C. MINIMUM AND AT ALL EDGES. PROVIDE 1/2" CONTROL JOINTS AND 1" O.C. MANDREL IN EDGES BETWEEN EXPANSION JOINTS. SEE CONCRETE PAVING JOINTS DETAIL.
 3. CONCRETE MOWSTRIP SHALL BE FIELD FINISH BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.



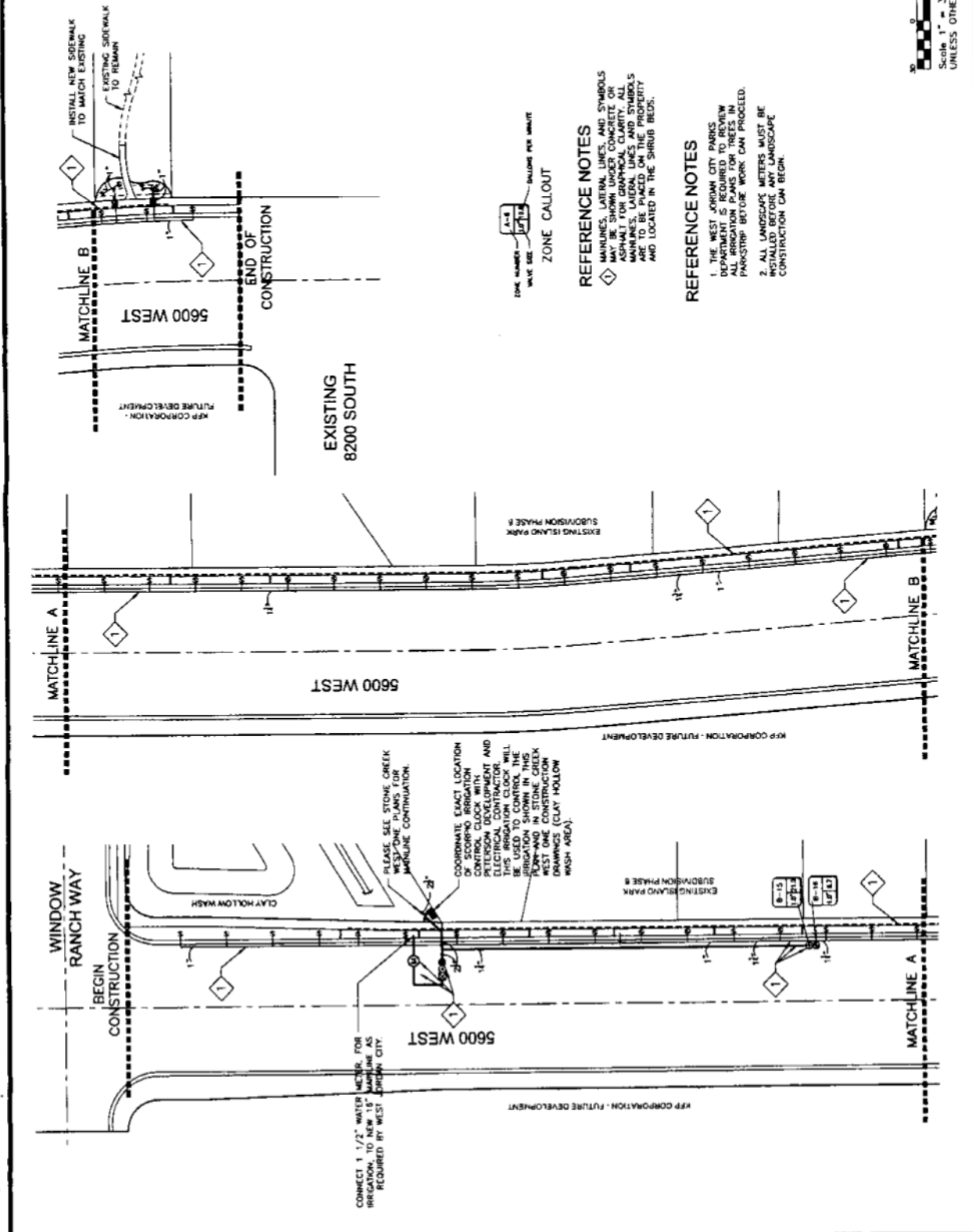
5 PAVING JOINTS DETAIL

NO.	DATE	REVISIONS

PROJECT: 5600 WEST ROADWAY
 DRAWING NO: FINAL CONSTRUCTION DRAWINGS
 DATE: 10/20/00
 CHECKED: [Signature]
 DRAWN: [Signature]
 APPROVED: [Signature]
 WARD ENGINEERING GROUP

- ### IRRIGATION LEGEND
- WATER METER (PROVIDE SERVICE LINE OF EQUAL SIZE TO MAINLINE FROM METER TO BACKFLOW PREVENTION ASSEMBLY PER WEST JORDAN CITY STANDARDS)
 - 1 1/2" BACKFLOW PREVENTION ASSEMBLY - WALKWAY 5722L INSTALL PER WEST JORDAN CITY STANDARD PK-135 AND REFER TO DETAIL 1/102
 - 1 1/2" SCORPIO, MOTOROLA V-2 IRRIGATION CONTROL VALVE WITH PTOCETAL CONTROLLER AND MANUFACTURER'S RECOMMENDATIONS-SEE WEST JORDAN STANDARD PLAN PK-45
 - 4" IPS APPROXIMATELY 1 1/2" MODEL BM FROM SLOPE AND MASTER VALVE (COURD)- THREADED W/7/4 VOLT SOLWOOD, 1-10 PULSE RATE (1 PULSE=10 GALS). INSTALL PER MANUFACTURER'S RECOMMENDATIONS
 - 4" DRIP ORIC QUICK COUPLING VALVE PER WEST JORDAN CITY STANDARDS
 - RANBIRD P25 SERIES PLASTIC REMOTE CONTROL VALVE-SEE WEST JORDAN CITY STANDARD DETAIL PK-90
 - RANBIRD X2Z-100-B-COM PLASTIC REMOTE CONTROL VALVE-SEE WEST JORDAN CITY STANDARD DETAIL PK-150
 - 1/2" RANBIRD 4500-18-25-OV ROOT WATERING SYSTEM WITH 0.25 GPM RUBBLER @30 PPS (2 PLACED ON OPPOSITE SIDES OF FOOTBALL AT 5' RADIUS) - SEE DETAIL 2/102
 - 4" RUBBLER @30 PPS SYSTEM - WEST JORDAN CITY STANDARD DETAIL PK-90 AND REFER TO DETAIL 2/153
 - SCHEDULE 40 PVC MAINLINE - SEE DETAIL 4/102
 - SCHEDULE 40 PVC LATERAL LINE - SEE DETAIL 4/102
 - PIPE/WIRE SLEEVE - SEE DETAIL 5/102 AND WEST JORDAN CITY STANDARD PK-65
 - SIZE AS SHOWN (1" MIN)
 - SIZE AS SHOWN
 - SIZE AS SHOWN

REFERENCE NOTES
 1. THE WEST JORDAN CITY PARKS DEPARTMENT IS REQUIRED TO REVIEW ALL IRRIGATION PLANS FOR TREES IN PARKSTRIP BEFORE WORK CAN PROCEED.
 2. ALL LANDSCAPE METERS MUST BE INSTALLED BEFORE ANY LANDSCAPE CONSTRUCTION CAN BEGIN.



NO.	DATE	DESCRIPTION
1	11/17/08	ISSUE FOR PERMITS
2	11/17/08	ISSUE FOR PERMITS
3	11/17/08	ISSUE FOR PERMITS
4	11/17/08	ISSUE FOR PERMITS
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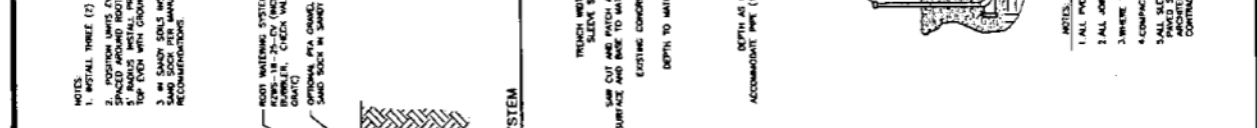
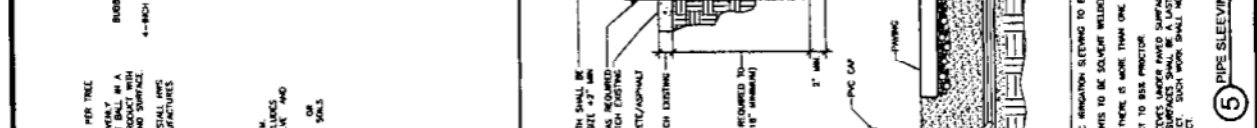
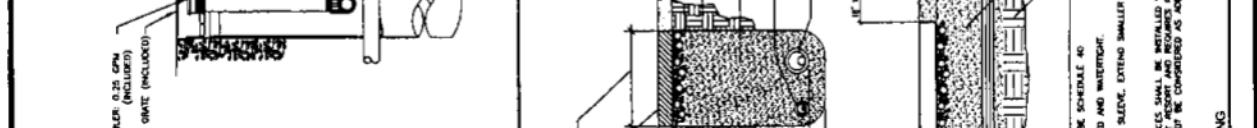
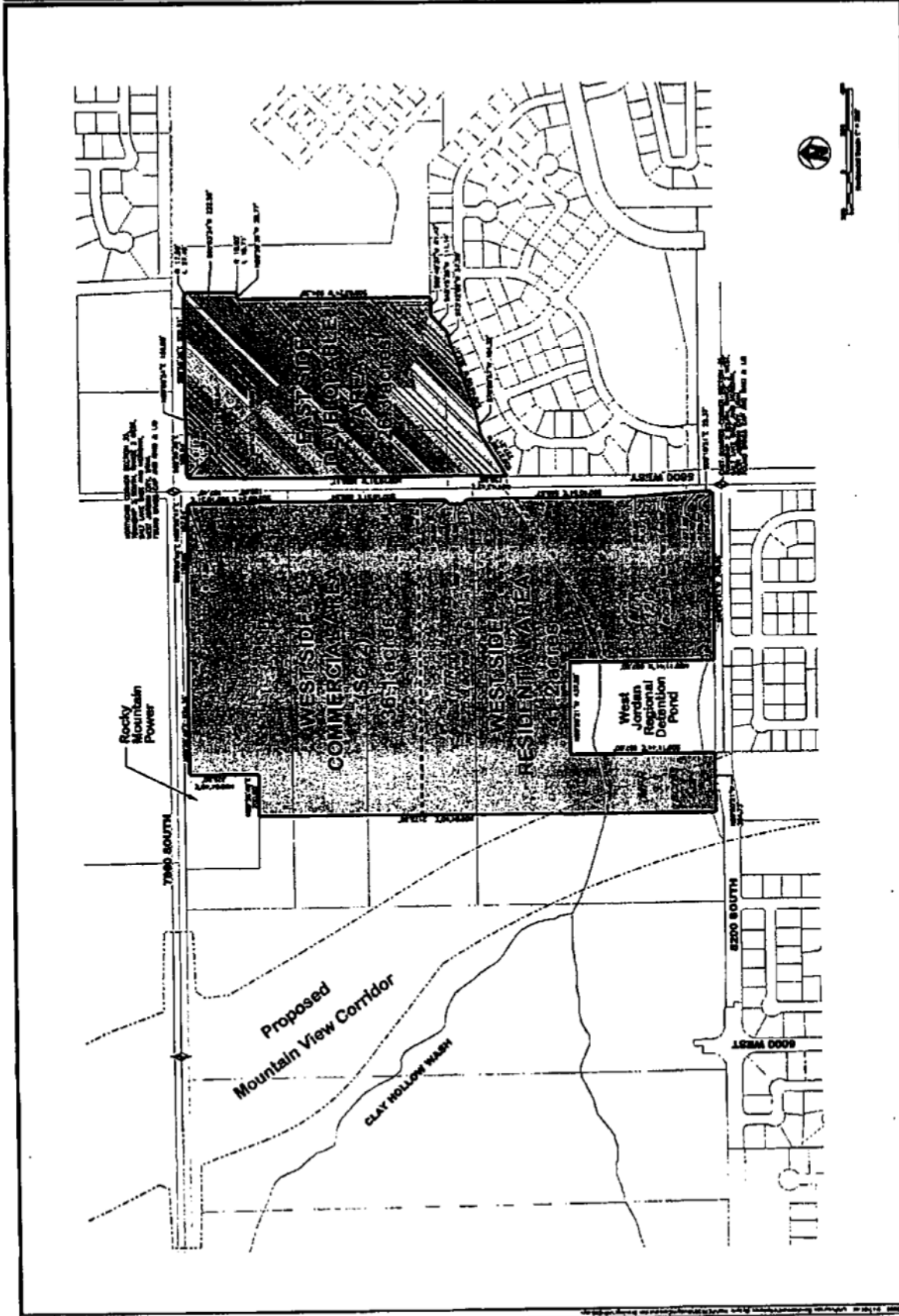


EXHIBIT - C

DEVELOPABLE AREA LEGAL DESCRIPTION & MAP

EXC



West Side Developable Area Legal Description and Acreage

Commercial Area

Beginning at a point which lies South 00°10'51" East 80.30 feet along the Section line and South 89°49'09" West 63.00 feet from the Northeast corner of Section 35, Township 2 South, Range 2 West, Salt Lake Base and Meridian; and traversing thence

South 00°10'51" East 187.48 feet; thence
South 02°05'24" East 150.08 feet; thence
South 00°10'51" East 741.99 feet; thence
South 89°49'09" West 1489.70 feet; thence
North 00°04'40" East 781.02 feet; thence
North 89°58'40" East 200.00 feet; thence
North 00°04'40" East 325.00 feet; thence
North 89°58'40" East 924.36 feet; thence
South 88°06'46" East 150.06 feet; thence
North 89°58'40" East 187.94 feet to a point on a curve to the right, having a radius of 17.50 feet and a central angle of 89°50'29"; thence along the arc of said curve a distance of 27.44 feet, said arc subtended by a chord bearing South 45°06'05" East, a distance of 24.71 feet to the point of beginning.

Containing 1,573,930 sf or 36.13 acres, more or less.

Residential Area

Beginning at a point which lies South 00°10'51" East 1159.76 feet along the Section line and South 89°49'09" West 58.00 feet from the Northeast corner of Section 35, Township 2 South, Range 2 West, Salt Lake Base and Meridian; and traversing thence

South 00°10'51" East 126.95 feet to a point on a curve to the right, having a radius of 20.00 feet and a central angle of 90°00'00"; thence along the arc of said curve a distance of 31.42 feet, said arc subtended by a chord bearing South 44°49'09" West, a distance of 28.28 feet; thence
South 00°10'51" East 78.50 feet to a point on a non-tangent curve to the right, having a radius of 20.00 feet and a central angle of 90°00'00"; thence along the arc of said curve a distance of 31.42 feet, said arc subtended by a chord bearing South 45°10'51" East, a distance of 28.28 feet; thence
South 00°10'51" East 32.73 feet; thence
South 02°05'24" East 150.08 feet; thence
South 00°10'51" East 569.07 feet to a point on a curve to the left, having a radius of 983.00 feet and a central angle of 04°20'18"; thence along the arc of said curve a distance of 74.43 feet, said arc subtended by a chord bearing South 02°21'00" East, a distance of 74.41 feet; thence
South 04°31'09" East 220.25 feet to a point on a curve to the right, having a radius of 877.00 feet and a central angle of 04°20'18"; thence along the arc of said curve a distance of 66.40 feet, said arc subtended by a chord bearing South 02°21'00" East, a distance of 66.39 feet; thence
South 00°10'51" East 25.37 feet to a point on a curve to the right, having a radius of 20.00 feet and a central angle of 90°20'30"; thence along the arc of said curve a distance of 31.54 feet, said arc subtended by a chord bearing South 44°59'24" West, a distance of 28.37 feet; thence
North 89°50'21" West 780.66 feet; thence
North 00°11'44" West 687.60 feet; thence
North 89°50'21" West 437.50 feet; thence
South 00°11'44" East 687.60 feet; thence
North 89°50'21" West 284.73 feet; thence
North 00°04'40" East 1394.00 feet; thence
North 89°49'09" East 1489.70 feet to the point of beginning.

Containing 1,795,201 sf or 41.21 acres, more or less.

Sub - Total West Side Developable Area = 77.34 acres, more or less.

East Side Developable Area Legal Description and Acreage

Beginning at the Northwest corner of Section 36, Township 2 South, Range 2 West, Salt Lake Base and Meridian; thence along the North Section line South 89°56'36" East 80.83 feet; thence South 00°03'24" West 63.00 feet to the point of beginning; thence along the Southerly right-of-way line the following three (3) calls:

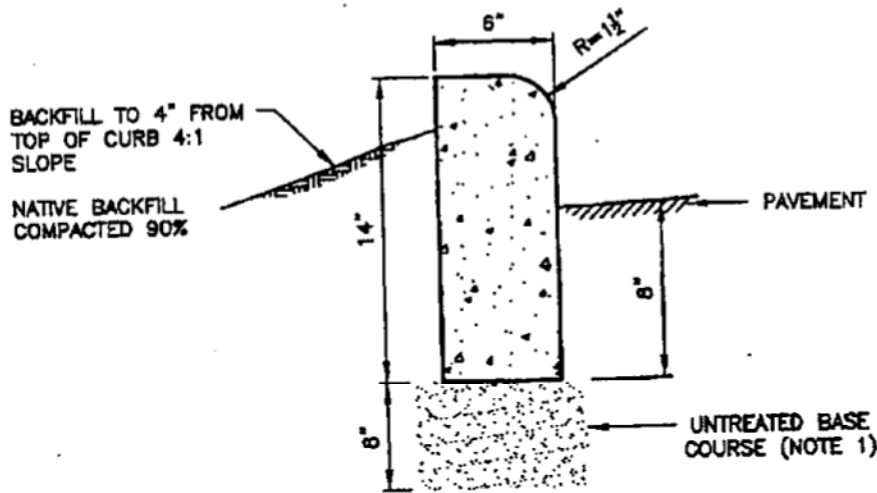
- (1) South 89°56'36" East 186.94 feet; thence
- (2) North 88°08'51" East 150.08 feet; thence
- (3) South 89°56'36" East 509.51 feet to a point on a 17.50 foot radius curve to the right; thence 27.49 feet Southerly along said curve (chord bears South 44°56'36" East 24.75 feet); thence South 00°03'24" West 222.50 feet to a point on a 10.00 foot radius curve to the right; thence 15.71 feet Southerly along said curve (chord bears South 45°03'24" West 14.14 feet); thence North 89°56'36" West 20.77 feet; thence South 00°03'24" West 924.30 feet to the North boundary of Island Park Subdivision Phase 3; thence along said North boundary the following three (3) calls:
 - (1) South 89°40'37" West 81.47 feet;
 - (2) South 45°45'35" West 111.14 feet;
 - (3) South 73°12'02" West 57.29 feet to the Northeast corner of the Island Park Subdivision Phase 1; thence along the North lines of Island Park Subdivision Phase 1, Phase 2, and Phase 6 the following three (3) calls:
 - (1) South 70°46'08" West 363.41 feet;
 - (2) South 78°08'57" West 104.32 feet;
 - (3) South 58°27'00" West 227.21 feet to the East line of 5600 West (a 58.00 foot half width); thence along said right-of-way,
North 01°43'42" East 150.08 feet; thence
North 00°10'51" West 1020.17 feet;
North 01°43'42" East 150.08 feet; thence
North 00°10'51" West 186.94 feet to a point on a 17.50 foot radius curve to the right; thence 27.56 feet Northerly along said curve (chord bears North 44°56'16" East 24.80 feet) to the point of beginning.

containing 1,146,927 square feet or 26.33 acres, more or less.

Sub - Total East Side Developable Area = 26.33 acres, more or less.

Total Developable Area = 4,516,058 sf or 103.67 acres, more or less.

EXHIBIT "D"
Concrete Curb Detail



CONCRETE AREA = 0.58 SQ. FT.

Curbs

1. **UNTREATED BASE COURSE:** Provide class "A" untreated base material specified in APWA Section 32 11 23.
 - A. Do not use gravel as a substitute for untreated base course with out ENGINEER's permission.
 - B. Place material per APWA Section 32 05 10.
 - C. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
2. **CONCRETE:** Class 4000 per APWA Section 03 30 04.
 - A. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as a concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - B. Place concrete per APWA Section 03 30 10.
 - C. Provide 1/2 inch radius on concrete edges exposed to public view.
 - D. Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
3. **EXPANSION JOINT:** make expansion joints vertical, full depth, 1/2 inch wide with type F1 joint filler material per APWA Section 32 13 73.
 - A. Set top of filler flush with surface of concrete.
 - B. Expansion joints are required at the start or end of a street intersection curb return.
 - C. Expansion joints are not required in curb tangents or slip form work.
4. **CONTRACTION JOINT:** Make contraction joints vertical.
 - A. 1/8 inch wide and 2 inches deep or 1/4 slab thickness if slab is greater than 8 inches thick.
 - B. If necessary, match location of contraction joints in adjacent concrete flatwork.
5. **FINISH:** Broomed.

City of West Jordan, Utah



CONCRETE CURB WALL
FOR PAVEMENT EDGE

PLAN
RD-106