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12/05/2018 02:28 PM \$96.00
Book - 10736 Pg - 1784-1826
ADAM GARDINER
RECORDER, SALT LAKE COUNTY, UTAH
FIG COLONY FARMS
ATTN: BRIAN SCHNELL
295 W CENTER ST #200
PROVO UT 84601
BY: DKP, DEPUTY - WI 43 P.

When recorded, mail to:

Salt Lake County
Stormwater Construction Supervisor
2001 South State Street N3-600
Salt Lake City, Utah 84190-4050

"To be transferred from mother parcels to new subdivision lots and any/all common space lots."

Affects Parcel No(s): 14-21-451-035

STORMWATER MAINTENANCE AGREEMENT

This Stormwater Maintenance Agreement (this "Agreement") is made and entered into this 29TH day of NOVEMBER, 2018, by and between Metro Township, a municipal corporation of the State of Utah (the "Metro"); and FIG COLONY FARMS LLC (the "Owner").

RECITALS

WHEREAS, the Metro is authorized and required to regulate and control the disposition of storm and surface waters within the Metro, as set forth in the Metro Stormwater Ordinance, as amended ("Ordinance"), adopted pursuant to the Utah Water Quality Act, as set forth in UTAH CODE ANN. §§ 19-5-101, *et seq.*, as amended (the "Act"); and

WHEREAS, by contract, Salt Lake County ("County") is Metro's agent to provide all regulatory and management controls for the disposition or storm and surface waters, including the power to enforce the Metro's Ordinance; and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in Exhibit "A," attached hereto and incorporated herein by this reference (the "Property"), which property is subject to regulation by Metro as laid out above; and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to facilitate these anticipated changes, the Owner desires to build and maintain, at Owner's expense, storm and surface water management facilities, including structures, improvements, and/or vegetation to control the quantity and quality of the storm water (the "Stormwater Facilities"); and

WHEREAS, the Stormwater Facilities are shown in the final site plan or subdivision approved for the Property, in any related engineering drawings, and in any amendments thereto, which plans and drawings are on file in the office of the Metro's agent's Planning and Development Services Division, and are hereby incorporated herein by this reference (the "Development Plan"); and

WHEREAS, a detailed description of the Stormwater Facilities, which includes the operation and routine maintenance procedures required to enable the Stormwater Facilities to perform their designed functions (the "Stormwater Management Plan"), is attached hereto as Exhibit "B" and is incorporated herein by this reference; and

WHEREAS, as a condition of the Development Plan approval, and as required by the Jordan Valley Municipalities Permit No. UTS000001 ("UPDES Permit") from the State of Utah, Owner is required to enter into this Agreement establishing a means of documenting the execution of the Stormwater Maintenance Plan.

AGREEMENT

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the Metro's approval of the Stormwater Maintenance Plan through its agent, County, and the mutual covenants contained herein, the parties agree as follows:

SECTION 1

Construction of Stormwater Facilities. The Owner shall, at its sole cost and expense, construct the Stormwater Facilities in strict accordance with the Development Plan, specifications, and any amendments thereto which have been approved by the Metro or its agent.

SECTION 2

Maintenance of Stormwater Facilities. The Owner shall, at its sole cost and expense, operate and maintain the Stormwater Facilities in strict accordance with the Stormwater Maintenance Plan.

Owner's maintenance obligations shall be limited to structures, systems, and appurtenances on Owner's land, including all system and appurtenance built to convey stormwater, as well as all structures, improvements, and vegetation provided solely to control the quantity and quality of the stormwater. Maintenance, for purposes of this Agreement, is defined as good working condition so that the Stormwater Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Stormwater Facilities in good working condition.

SECTION 3

Annual Maintenance Report. The Owner shall, at its sole cost and expense, inspect the Stormwater Facilities and submit an inspection report and certification to Metro's agent annually. The purpose of the inspection and certification is to assure safe and proper functioning of the Stormwater Facilities. The annual inspection shall cover all aspects of the Stormwater Facilities, including, but not limited to, the parking lots, structural improvements, berms, channels, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification as to whether adequate maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by July 31, of each year and shall be in a form acceptable to the Metro's agent.

SECTION 4

Oversight Inspection Authority. The Owner hereby grants permission to the Metro, its authorized agents and employees, to enter upon the Property and to inspect the Stormwater Facilities upon reasonable notice to the Owner. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the Metro or its agent. The purpose of the inspection shall be to determine and ensure that the Stormwater Facilities are adequately maintained, are continuing to perform in an adequate manner, and are in compliance with all applicable laws, regulations, rules, and ordinances, as well as the Stormwater Maintenance Plan.

SECTION 5

Notice of Deficiencies. If the Metro or its agent finds the Stormwater Facilities contain any defects or are not being maintained adequately, the Metro or its agent shall send the Owner written notice of the defects or deficiencies and provide the Owner with reasonable time to cure such defects or deficiencies, as provided in Metro Ordinances Section 17.22. Such notice shall be confirmed delivery to the Owner or sent certified mail to the Owner at the Property address.

SECTION 6

Owner to Make Repairs. The Owner shall, at its sole cost and expense, make such repairs, changes or modifications to the Stormwater Facilities as may be determined as reasonably necessary by the Metro or its agent within the required cure period to ensure the Stormwater Facilities are adequately maintained and continue to operate as designed and approved.

SECTION 7

Corrective Action. In the event the Owner fails to adequately maintain the Stormwater Facilities in good working condition acceptable to the Metro and its agent, the Metro or its agent may proceed with any enforcement mechanism provided in Metro Ordinance Section 17.22. The Metro or its agent may also give written notice that the Stormwater Facilities will be disconnected from the Metro's municipal separate storm sewer system. Any damage resulting from the disconnected system will be the Owner's responsibility. It is expressly understood and agreed that neither the Metro nor its agent are under any obligation to maintain or repair the Stormwater Facilities, and in no event shall this Agreement be construed to impose any such obligation on the Metro or its agent. The actions described in this Section are in addition to and

not in lieu of the legal remedies available to the Metro as provided by law for Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

SECTION 8

Reimbursement of Costs. In the event the Metro or its agent, pursuant to this Agreement, incurs any costs, or expends any funds resulting from enforcement or cost for labor, use of equipment, supplies, materials, and the like related to storm drain disconnection from the Metro's municipal separate storm sewer system, the Owner shall reimburse the Metro or its agent upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the Metro or its agent. After said thirty (30) days, such amount shall be deemed delinquent and shall be subject to interest at the rate of ten percent (10%) per annum. Owner shall also be liable for any collection costs, including attorney's fees and court costs, incurred by the Metro or its agent in collection of delinquent payments. The Owner hereby authorizes the Metro or its agent to assess any of the above-described costs, if remained unpaid, by recording a lien against the Property.

SECTION 9

Successors and Assigns. This Agreement shall be recorded in the office of the County Recorder and the covenants and agreements contained herein shall run with the land and whenever the Property shall be held, sold, conveyed or otherwise transferred, it shall be subject to the covenants, stipulations, agreements and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property described herein.

SECTION 10

Severability Clause. The provisions of this Agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Agreement shall not be affected thereby.

SECTION 11

Utah Law and Venue. This Agreement shall be interpreted under the laws of the State of Utah. Suits for any claims or for any breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Salt Lake County, Utah.

SECTION 12

Indemnification. This Agreement imposes no liability of any kind whatsoever on the Metro or its agent. The Owner hereby agrees to indemnify and hold the Metro and its officers, employees, agents and representatives from and against all actions, claims, lawsuits, proceedings, liability, damages, losses, and expenses (including attorneys' fees and court costs) that result from the performance of this agreement, but only to the extent the same are caused by any negligent or wrongful act or omissions of the Owner, and the Owner's officers, employees, agents, and representatives.

SECTION 13

Amendments. This Agreement shall not be modified except by written instrument executed by the Metro and the owner of the Property at the time of modification, and no modification shall be effective until recorded in the office of the County Recorder.

SECTION 14

Subordination Requirement. If there is a lien, trust deed or other property interest Recorded against the Property, the trustee, lien holder, etc., shall be required to execute a subordination agreement or other acceptable recorded document agreeing to subordinate their interest to this Agreement.

[SIGNATURE PAGE TO FOLLOW]

IN WITNESS WHEREOF, the parties have signed and subscribed their names hereon and have caused this Agreement to be duly executed as of the day and year first set forth above.

OWNER FIG COLONY FARMS LLC

By: [Signature]

Title: MANAGER

By: _____

Title: _____

STATE OF UTAH)
Utah : ss.
COUNTY OF SALT LAKE)

The above instrument was acknowledged before me by Michael C. Miller, Manager
this 29 day of November, 2018.

[Signature]

NOTARY PUBLIC
Residing in ~~Salt Lake~~ County Provo, Utah



[SEAL]

METRO

METRO'S SIGNATURE
(INCLUDE ONLY IF NECESSARY)

By: _____
Metro Council Chair

ATTACHMENTS:

- Exhibit A (Plat and Legal Description)**
- Exhibit B (Stormwater Management Plan)**
- Exhibit C (8.5" x 11" Grading and Drainage plan)**

EXHIBIT A

All parcels of
Colony Farms Subdivision Township 1 South, Range 2 West.

EXHIBIT A

Description of the Property

A tract of land conveyed to Fieldstone Utah Investors, LLC, described in that Special Warranty Deed recorded as Entry#12740339 in Book 10658 at Page 6082-6084 in the Office of the Salt Lake County Recorder, also a tract of land conveyed to Entheos Academy, described in that Special Warranty Deed recorded as Entry#11708461 in Book 10170 at Page 5208-5213 in the Office of the Salt Lake County Recorder, located in the South Half of Section 21, Township 1 South, Range 2 West, Salt Lake Base and Meridian, located in Magna, Utah, more particularly described as follows:

Beginning at a the Northwest corner of 7600 West Street per the North Meadows Phase 2 Subdivision Plat as recorded in the Office of the Salt Lake County Recorder as Entry#10526016 in Book 2008 at Page 244, said point being North 0°05'07" East 481.23 feet and South 89°52'17" West 16.67 feet from the South ¼ Corner of Section 21, T1S, R2W, S.L.B.& M. (Basis of Bearing: S89°54'03"W along the Section line between the South ¼ Corner and the Southwest Corner of Section 21) and running;

thence South 0°03'08" West 36.24 feet along said West right-of-way line to a point of curvature with a non-tangent curve, said point being on the east line of that certain property as described in the Special Warranty Deed as Entry#12740339 in Book 10658 at Page 6082;

thence along the said east line the following four (4) courses: 23.45 feet along the arc of a 15.00 foot radius curve to the left through a central angle of 89°34'53" (Long Chord Bears North 44°42'19" West 21.14 feet), North 0°08'06" East 50.00 feet to a point of curvature with a non-tangent curve, 23.54 feet along the arc of a 15.00 foot radius curve to the left through a central angle of 89°54'58" (Long Chord Bears North 45°02'31" East 21.20 feet), North 0°04'58" East 382.41 feet to the south line of the Kennecott Copper Corporation Property;

thence along the Kennecott Copper Corporation Property the following 9 Courses:

thence South 86°53'10" East 726.94 feet to a point of curvature;

thence 73.66 feet along the arc of a 800.00 foot radius curve to the left through a central angle of 05°16'31" (Long Chord Bears South 89°31'26" East 73.63 feet);

thence North 87°50'18" East 595.79 feet;

thence South 85°54'02" East 48.03 feet;

thence North 84°00'03" East 67.83 feet;

thence North 89°56'27" East 528.89 feet;

thence South 79°25'00" East 37.37 feet;

thence North 84°48'34" East 77.16 feet;

thence North 89°56'27" East 475.58 feet to the west right-of-way line of 7200 West Street;

thence along the said west right-of-way the following two (2) courses: South 0°09'19" East 66.50 feet, South 0°09'32" East 328.50 feet to the northeast corner of Parcel 14-21-127-039;

thence West 1718.67 feet along the north line of said Parcel 14-21-427-039 to and along Parcel 14-21-127-013 to and along Parcel 14-21-147-016 to the west line of said Parcel 14-21-147-016;

thence South 2.73 feet along the west line of said Parcel 14-21-147-016;

thence South 89°51'02" West 305.18 along Parcel 14-21-142-006;

thence South 0°05'53" East 13.46 feet along the west line of said property;

thence South 89°52'17" West 606.31 feet to and along the North line of said North Meadows Phase 2 Subdivision to the point of beginning.

LESS AND EXCEPT THE FOLLOWING TWO DESCRIPTIONS

A parcel of land located in the Southeast Quarter of Section 21, Township 1 South, Range 2 West, Salt Lake Base and Meridian, located in Magna, Utah, more particularly described as follows:

Beginning at a point on the westerly right-of-way line of 7200 West Street, said point being North 0°09'32" West 495.11 feet along the section line and South 89°50'28" West 39.96 feet from the Southeast Corner of Section 21, T1S, R2W, S.L.B.& M. (Basis of Bearing: S89°54'03"W along the Section line between the South ¼ Corner and the Southwest Corner of Section 21) and running;

Thence West 670.16 feet;

Thence North 0°09'19" West 302.31 feet to a point of curvature;

thence 47.79 feet along the arc of a 40.50 foot radius curve to the left through a central angle of 67°36'51" (Long Chord Bears North 56°04'49" East 45.07 feet) to a point of reverse curvature;

thence 22.19 feet along the arc of a 25.00 foot radius curve to the right through a central angle of 50°50'46" (Long Chord Bears North 47°41'46" East 21.46 feet) to a point of compound curvature;

thence 48.00 feet along the arc of a 163.50 foot radius curve to the right through a central angle of 16°49'18" (Long Chord Bears North 81°31'48" East 47.83 feet);

thence North 89°56'27" East 326.82 feet to a point of curvature;

thence 122.13 feet along the arc of a 163.50 foot radius curve to the right through a central angle of 42°47'54" (Long Chord Bears South 68°39'36" East 119.31 feet);

thence South 47°15'39" East 50.37 feet to a point of curvature;

thence 99.14 feet along the arc of a 198.50 foot radius curve to the left through a central angle of 28°37'00" (Long Chord Bears South 61°34'09" East 98.11 feet) to a point of reverse curvature;

thence 9.53 feet along the arc of a 24.50 foot radius curve to the right through a central angle of 22°17'21" (Long Chord Bears South 64°43'59" East 9.47 feet) to the westerly right-of-way line of 7200 West Street;

thence South 0°09'32" East 220.93 feet along said westerly right-of-way line of 7200 West Street to the point of beginning.

AND

A parcel of land located in the Southeast Quarter of Section 21, Township 1 South, Range 2 West, Salt Lake Base and Meridian, located in Magna, Utah, more particularly described as follows:

Beginning at a point on the westerly right-of-way line of 7200 West Street, said point being North 0°09'32" West 890.11 feet along the section line and South 89°50'28" West 39.95 feet from the Southeast Corner of Section 21, T1S, R2W, S.L.B.& M. (Basis of Bearing: S89°54'03"W along the Section line between the South ¼ Corner and the Southwest Corner of Section 21) and running;

Thence South 0°09'19" East 44.39 feet;

Thence South 26°23'43" West 13.28 feet;

Thence South 0°06'30" East 51.30 feet;

Thence South 10°05'11" West 11.30 feet to a point of curvature;

thence 29.99 feet along the arc of a 24.50 foot radius curve to the right through a central angle of $70^{\circ}07'58''$ (Long Chord Bears South $82^{\circ}37'22''$ West 28.15 feet) to a point of compound curvature;

thence 42.99 feet along the arc of a 163.50 foot radius curve to the right through a central angle of $15^{\circ}04'01''$ (Long Chord Bears North $54^{\circ}47'39''$ West 42.87 feet);

Thence North $47^{\circ}15'39''$ West 50.37 feet to a point of curvature;

Thence 148.27 feet along the arc of a 198.50 foot radius curve to the left through a central angle of $42^{\circ}47'54''$ (Long Chord Bears North $68^{\circ}39'36''$ West 144.85 feet);

Thence North $0^{\circ}03'33''$ West 10.46 feet;

Thence North $89^{\circ}56'27''$ East 242.54 feet to the point of beginning.

COLONY FARMS SUBDIVISION

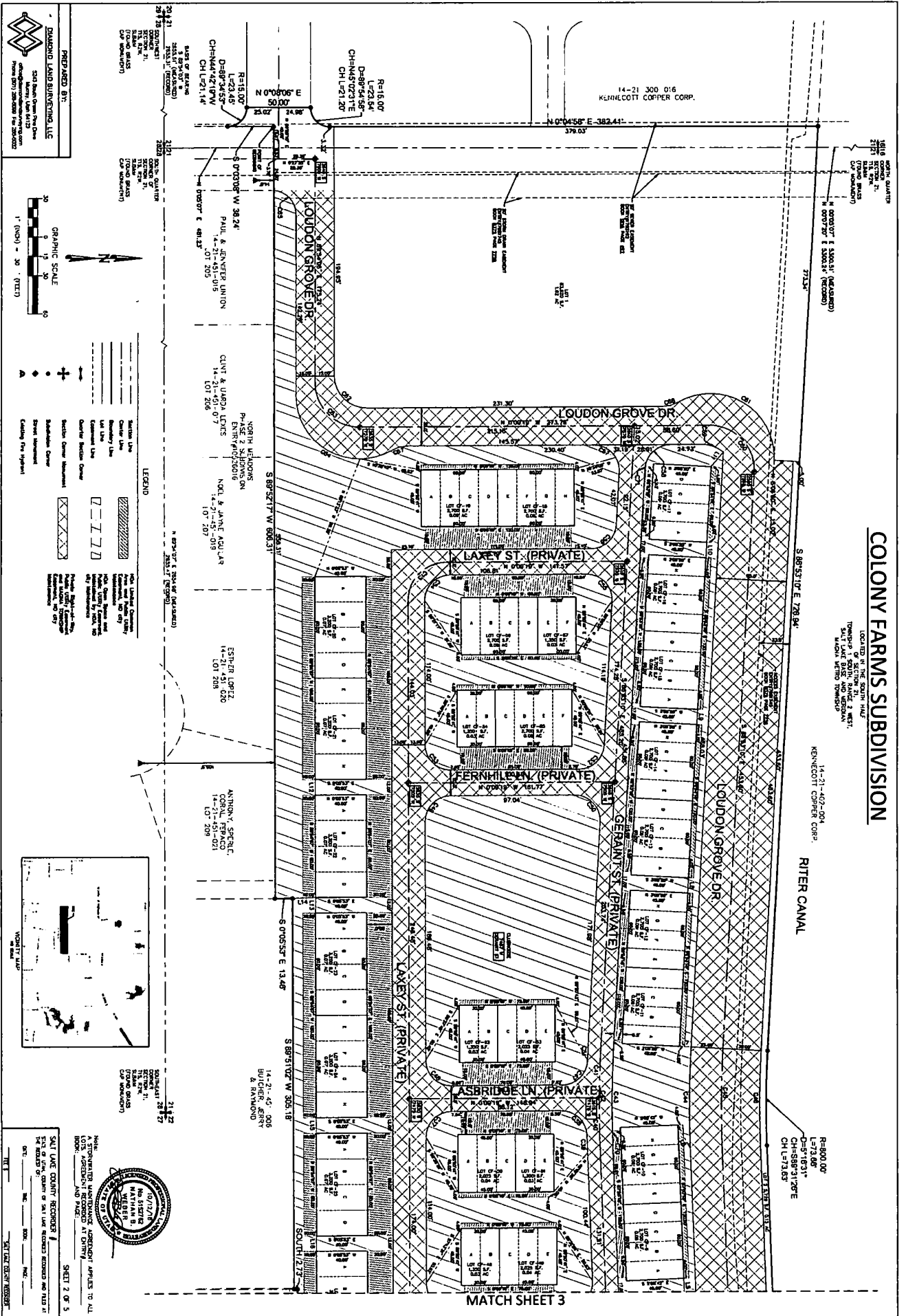
LOCATED IN THE SOUTH HALF
TOWNSHIP 1 SOUTH RANGE 2 WEST
MADON METRO TOWNSHIP

14-21-402-001
KENNICOTT COPPER CORP.

RITER CANAL

R-800.00
L-773.66
CH-588'31.29'E
CH L713.83

MATCH SHEET 3



DIAMOND LAND SURVEYING, LLC
3000 East 10th Street
Salt Lake City, UT 84143
Phone: (801) 588-0000 Fax: (801) 588-0001



- LEGEND
- Section Line
 - Center Line
 - Lot Line
 - Corner Line
 - Quarter Section Corner
 - Section Corner Monument
 - Subdivision Corner
 - Survey Monument
 - Coding (See Typical)

THE STATE OF UTAH
COUNTY OF KANE
I, _____, County Clerk, do hereby certify that this is a true and correct copy of the original as recorded in my office.

RECORDED IN BOOK 2000 PAGE 142
DATE RECORDED: 07/15/2014

PREPARED BY:
SALT LAKE COUNTY RECORDER

NOTE: OPERATORS AND/OR INSPECTOR APPLIES TO ALL
CITY, COUNTY AND STATE RECORDS AT ENTRY.
BOOK _____ AND PAGE _____

SHEET 2 OF 5



COLONY FARMS SUBDIVISION

LOCATED IN THE SOUTH HALF
OF SECTION 21, T21N, R10E,
SOUTH LANE BOUND AND RECORD
MADON METRO TOWNSHIP

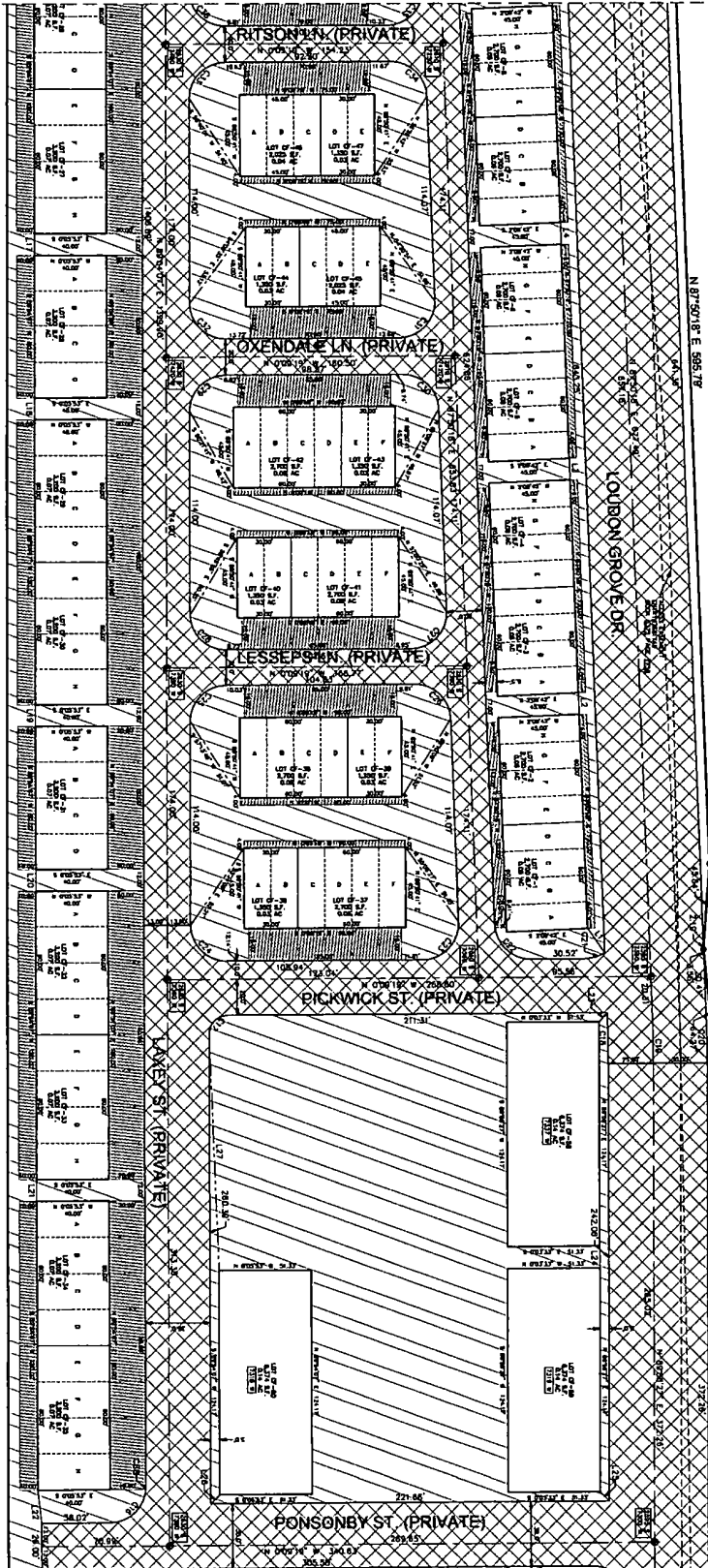
14-21-402-001
KENNECOTT COPPER CORP.
S 85°54'02" E 48.03'

RITER CANAL

N 89°58'27" E 328.89'

MATCH SHEET 2

MATCH SHEET 4



14-21-492-004
KADEN THOMAS
LOT 17

14-21-492-005
OSCAR GRANS
LOT 17

14-21-492-002
AARON TRANK, JT
TRAM, HOANG
LOT 16

14-21-492-003
MONICA SULLIVAN
LOT 15

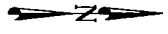
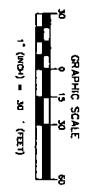
14-21-492-002
COPPER VILLAGE CONDO
PHASE 3-BK 80-11 PG 182

14-21-479-003
KADEN TRANK
LOT 11

14-21-479-002
JORDAN BRULIN
&
BOULDER TRER
LOT 11

14-21-479-001
RONALD
CLAWK
LOT 10

PREPARED BY:
DIAMOND LAND SURVEYING, LLC
5043 Bannock Drive
Madison, WI 53713
Phone: (608) 233-0000
Fax: (608) 233-0001



LEGEND

	Section Line		MHA Limited Company
	Center Line		Area with Date (Only)
	Boundary Line		Surveyed City
	Left Line		MHA City
	Easement Line		MHA No Surveyed
	Quarter Section Corner		MHA No Surveyed
	Section Corner Marking		MHA No Surveyed
	Section Corner		MHA No Surveyed
	Street Marking		MHA No Surveyed
	Feeding Pipe Marking		MHA No Surveyed



NOTICE: THE PLANNED MAINTENANCE AGREEMENT APPLIES TO ALL LOTS AGREEMENT RECORDED IN ENRIFF BOOK 1478-12-12-14 SHEET 3 OF 5. THE REVISIONS TO THE PLANNED MAINTENANCE AGREEMENT ARE SET FORTH IN THE REVISIONS TO THE PLANNED MAINTENANCE AGREEMENT RECORDED IN ENRIFF BOOK 1478-12-12-14 SHEET 3 OF 5.

COLONY FARMS SUBDIVISION

LOCATED IN THE SOUTH HALF
TOWNSHIP 1 SOUTH, RANGE 2 WEST,
SECTION 36 NORTH, T10N R20W S36N
MADISON COUNTY, MISSOURI

Lot Cf-58	Lot Cf-59	Lot Cf-60	Lot Cf-61	Lot Cf-62
7337 West Loudon Grove Drive	7319 West Loudon Grove Drive	7318 West Lavey Street	2607 South Ponsomby Street	2617 South Ponsomby Street
Units 101 - 104 201 - 208 301 - 308	Units 101 - 104 201 - 208 301 - 308	Units 101 - 104 201 - 208 301 - 308	Units 101 - 104 201 - 208 301 - 308	Units 101 - 104 201 - 208 301 - 308

Lot	Unit	Address	Street Name	Lot	Unit	Address	Street Name	Lot	Unit	Address	Street Name	Lot	Unit	Address	Street Name
Cf-1	A	7362 West	Geriant Street	Cf-11	A	7478 West	Geriant Street	Cf-21	E	7519 West	Lavey Street	Cf-31	A	7287 West	Lavey Street
	B	7366 West	Geriant Street		B	7482 West	Geriant Street		F	7513 West	Lavey Street		B	7283 West	Lavey Street
	C	7372 West	Geriant Street		C	7486 West	Geriant Street		G	7511 West	Lavey Street		C	7281 West	Lavey Street
	D	7374 West	Geriant Street		D	7488 West	Geriant Street		H	7509 West	Lavey Street		D	7279 West	Lavey Street
Cf-2	E	7378 West	Geriant Street	Cf-12	E	7488 West	Geriant Street	Cf-22	A	7501 West	Lavey Street	Cf-32	A	7313 West	Lavey Street
	F	7382 West	Geriant Street		F	7490 West	Geriant Street		B	7501 West	Lavey Street		B	7309 West	Lavey Street
	G	7384 West	Geriant Street		G	7492 West	Geriant Street		C	7499 West	Lavey Street		C	7307 West	Lavey Street
	H	7388 West	Geriant Street		H	7494 West	Geriant Street		D	7497 West	Lavey Street		D	7305 West	Lavey Street
Cf-3	A	7388 West	Geriant Street	Cf-13	A	7498 West	Geriant Street	Cf-23	A	7491 West	Lavey Street	Cf-33	F	7247 West	Lavey Street
	B	7398 West	Geriant Street		B	7508 West	Geriant Street		B	7489 West	Lavey Street		G	7241 West	Lavey Street
	C	7398 West	Geriant Street		C	7502 West	Geriant Street		C	7488 West	Lavey Street		H	7237 West	Lavey Street
	D	7404 West	Geriant Street		D	7504 West	Geriant Street		D	7487 West	Lavey Street		A	7233 West	Lavey Street
Cf-4	E	7406 West	Geriant Street	Cf-14	E	7506 West	Geriant Street	Cf-24	E	7483 West	Lavey Street	Cf-34	H	7233 West	Lavey Street
	F	7408 West	Geriant Street		F	7508 West	Geriant Street		F	7481 West	Lavey Street		B	7237 West	Lavey Street
	G	7408 West	Geriant Street		G	7510 West	Geriant Street		G	7479 West	Lavey Street		C	7233 West	Lavey Street
	H	7412 West	Geriant Street		H	7512 West	Geriant Street		H	7477 West	Lavey Street		D	7233 West	Lavey Street
Cf-5	A	7416 West	Geriant Street	Cf-15	A	7512 West	Geriant Street	Cf-25	A	7471 West	Lavey Street	Cf-35	F	7211 West	Lavey Street
	B	7418 West	Geriant Street		B	7522 West	Geriant Street		B	7469 West	Lavey Street		G	7207 West	Lavey Street
	C	7418 West	Geriant Street		C	7524 West	Geriant Street		C	7467 West	Lavey Street		H	7203 West	Lavey Street
	D	7422 West	Geriant Street		D	7526 West	Geriant Street		D	7463 West	Lavey Street		A	7203 South	Pickwick Street
Cf-6	E	7424 West	Geriant Street	Cf-16	E	7528 West	Geriant Street	Cf-26	A	7461 West	Lavey Street	Cf-36	A	2623 South	Pickwick Street
	F	7428 West	Geriant Street		F	7532 West	Geriant Street		B	7459 West	Lavey Street		B	2622 South	Pickwick Street
	G	7428 West	Geriant Street		G	7534 West	Geriant Street		C	7453 West	Lavey Street		C	2618 South	Pickwick Street
	H	7432 West	Geriant Street		H	7538 West	Geriant Street		D	7449 West	Lavey Street		D	2615 South	Pickwick Street
Cf-7	A	7434 West	Geriant Street	Cf-17	A	7548 West	Geriant Street	Cf-27	E	7447 West	Lavey Street	Cf-37	E	2614 South	Pickwick Street
	B	7438 West	Geriant Street		B	7554 West	Geriant Street		F	7443 West	Lavey Street		F	2612 South	Pickwick Street
	C	7438 West	Geriant Street		C	7558 West	Geriant Street		G	7441 West	Lavey Street		A	2623 South	Lavey Lane
	D	7442 West	Geriant Street		D	7562 West	Geriant Street		H	7439 West	Lavey Street		B	2621 South	Lavey Lane
Cf-8	E	7444 West	Geriant Street	Cf-18	E	7564 West	Geriant Street	Cf-28	A	7433 West	Lavey Street	Cf-38	C	2619 South	Lavey Lane
	F	7448 West	Geriant Street		F	7568 West	Geriant Street		B	7431 West	Lavey Street		D	2617 South	Lavey Lane
	G	7452 West	Geriant Street		G	7572 West	Geriant Street		C	7427 West	Lavey Street		E	2613 South	Lavey Lane
	H	7454 West	Geriant Street		H	7576 West	Geriant Street		D	7427 West	Lavey Street		F	2611 South	Lavey Lane
Cf-9	A	7456 West	Geriant Street	Cf-19	A	7582 West	Geriant Street	Cf-29	A	7417 West	Lavey Street	Cf-39	A	2624 South	Lavey Lane
	B	7458 West	Geriant Street		B	7584 South	Lavey Street		B	7413 West	Lavey Street		B	2622 South	Lavey Lane
	C	7462 West	Geriant Street		C	7586 South	Lavey Street		C	7409 West	Lavey Street		C	2618 South	Lavey Lane
	D	7464 West	Geriant Street		D	7588 South	Lavey Street		D	7407 West	Lavey Street		D	2615 South	Lavey Lane
Cf-10	E	7466 West	Geriant Street	Cf-20	E	7593 West	Lavey Street	Cf-30	E	7403 West	Lavey Street	Cf-41	A	2623 South	Lavey Lane
	F	7468 West	Geriant Street		F	7597 West	Lavey Street		F	7397 West	Lavey Street		B	2622 South	Lavey Lane
	G	7472 West	Geriant Street		G	7597 West	Lavey Street		G	7393 West	Lavey Street		C	2619 South	Lavey Lane
	H	7474 West	Geriant Street		H	7599 West	Lavey Street		H	7389 West	Lavey Street		D	2621 South	Orendale Lane

PREPARED BY:
DIAMOND LAND BUILDING, LLC
3040 South Grand Parkway
Houston, Texas 77058
Phone (281) 360-0000 Fax (281) 360-0001



SHEET 5 OF 5
SALT LAKE COUNTY RECORDER
STATE OF UTAH, COUNTY OF SALT LAKE RECORDS SECTION AND CLERK IN
THE OFFICE OF
DATE: _____ TIME: _____
BY: _____

EXHIBIT B

Long Term Stormwater Management Plan

for:

Colony Farms Subdivision
7401 West 2600 South
Magna, Utah 84044

FIG Colony Farms, LLC
295 West Center Street
Provo, Utah 84601

PURPOSE AND RESPONSIBILITY

As required by the Clean Water Act and resultant local regulations, including Magna Metro Municipal Separate Storm Sewer Systems (MS4) Permit, those who develop land are required to build and maintain systems to minimize litter and contaminants in stormwater runoff that pollute waters of the State.

This Long-Term Stormwater Management Plan (LTSWMP) describes the systems, operations and the minimum standard operating procedures (SOPs) necessary to manage pollutants originating from or generated on this property. Any activities or site operations at this property that contaminate water entering the City's stormwater system and generate loose litter must be prohibited, unless SOPs are written to manage those activities or operations, and amended into this LTSWMP.

CONTENTS

- SECTION 1: SITE DESCRIPTION, USE AND IMPACT
- SECTION 2: TRAINING
- SECTION 3: RECORDKEEPING
- SECTION 4: APPENDICES

SECTION 1: SITE DESCRIPTION, USE AND IMPACT

The site infrastructure and operations described in this Section are limited at controlling and containing pollutants and if managed improperly can contaminate the environment. The LTSWMP includes standard operations procedures (SOP)s that are intended to compensate for the limitations of the site infrastructure. The property manager must use good judgment and conduct operations appropriately, doing as much as possible indoors and responsibly managing operations that must be performed outdoors. The drawings describing the infrastructure are included in Appendix A. The SOPs for the following operations exposed to the weather are filed in Appendix B.

Impervious Areas, Parking, Sidewalk and Patio

This development consists of buildings, paved parking areas, patios, and sidewalks which drain to a series of storm water inlets throughout the development. Sediment, fluids, and debris that collect on parking pavements and how they are dealt with can be a significant source of pollution. The parking and other paved areas must be maintained regularly to minimize the accumulation of pollutants before they can be washed into the stormwater system. Maintenance involves regular surface maintenance and adequate trash receptacles to prevent littering. The parking area maintenance SOP is to be used with associated pavements.

Storm Drain System

Stormwater for the Colony Farms Development will flow into a detention basin to the west of the development. The water will flow on the surface, never more than 650', into catch basins. From the catch basins, the water will be conveyed through 18" RCP pipe into the detention basin. The detention basin is adequately designed to detain the stormwater runoff from the site. If the pond were to ever fill up in extreme conditions, the basin is designed to overflow into the roads. The roads are designed to channel any water that exceeds the 100-year design storm or excess water that is caused by blocked pipes away from nearby homes until the water is eventually discharged into the Riter Canal. The 100-year high water mark is shown in Appendix A.

Landscaping

The landscaping within Colony Farms Subdivision will require regular maintenance. The landscaping is primarily grass, shrubbery, and trees. During the landscaping maintenance operations, organic materials, herbicides, pesticides, and fertilizers can be left behind or improperly applied. The pollutants will be carried by runoff if they are not picked up as part of the regular maintenance operation. The Landscaping Maintenance and Pesticides, Herbicides and Fertilizer SOPs are used to manage the pollutants associated with this operation.

Waste Management

Residents will have waste bins nearby to dispose of their waste. Good waste management systems, if managed improperly, can end up being the cause of the very pollution that they were intended to control. Waste bins can leak to the pavement and drain to the storm

drain inlets and wind can blow lightweight trash out of the waste bins. However, this pollution source is controlled by SOPs and snouts. Maintaining the trash receptacle devices by frequent waste disposal is essential to an effective operation. The General Waste Management SOP is used to manage the pollutants associated with this operation.

Utility System

All building utilities, such as air conditioners, are to be maintained according to manufacturer specifications to prevent leakage of pollutants. When the utility is maintained, all oils, fluids, or other pollutants are to be contained and disposed of properly. Cleaning of the units can produce water contaminated with cleaning products. No water from inside the building is to be disposed of outside. All water used to clean the units will be disposed of properly inside the building.

Snow and Ice Removal Management

Snow removal will occur in the roads, parking areas, drive lanes, patios, and sidewalks. Care will be taken to minimize the use of deicing salts to minimize pollutants in the snow runoff. This is managed by the Parking/Storage Area Maintenance SOP.

Equipment / Outside Storage

The HOA will hire subcontractors to maintain the yard work and maintenance of the facilities. Equipment storage will be handled by the subcontractors off site.

Outdoor Functions; Yard Sale Events, Fundraisers...

Residents, at times, may have events in their yards and communities that may require further attention. These events include yard sales, fundraisers, neighborhood gathering events, and others. Pollution, loose debris, and trash may occur from the gatherings and will require maintenance to prevent these from polluting the stormwater and drains. Maintaining the trash receptacle devices by frequent waste disposal is essential to an effective operation. The General Waste Management SOP is used to manage the pollutants associated with this operation.

Site Infrastructure Relevant to Preventing the Affects of Spills

Although all cleaning agents, chemicals or other contaminants stored on site that could potentially spill will be properly contained indoors, a spill could occur from an outside source such as a maintenance contractor. Both occupants and site maintenance personnel will need to understand how to handle this situation. It must be highlighted in the training program that if something is brought onto the site and spilled it must not be hosed down. It must be removed properly with the appropriate absorbent material that is to be disposed of properly. This is managed by the Parking Area Maintenance SOP.

SECTION 2: TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage and maintain the property. Maintenance contractors must use the stronger of their Company and the LTSWMP SOPs. File all training records in Appendix C.

SECTION 3: RECORDKEEPING

Maintain records of operation and maintenance activities in accordance with SOPs. Mail a copy of the record to the Salt Lake County Storm Water Supervisor annually. The address is 2001 South State N3-600, Salt Lake City, Utah 84190.

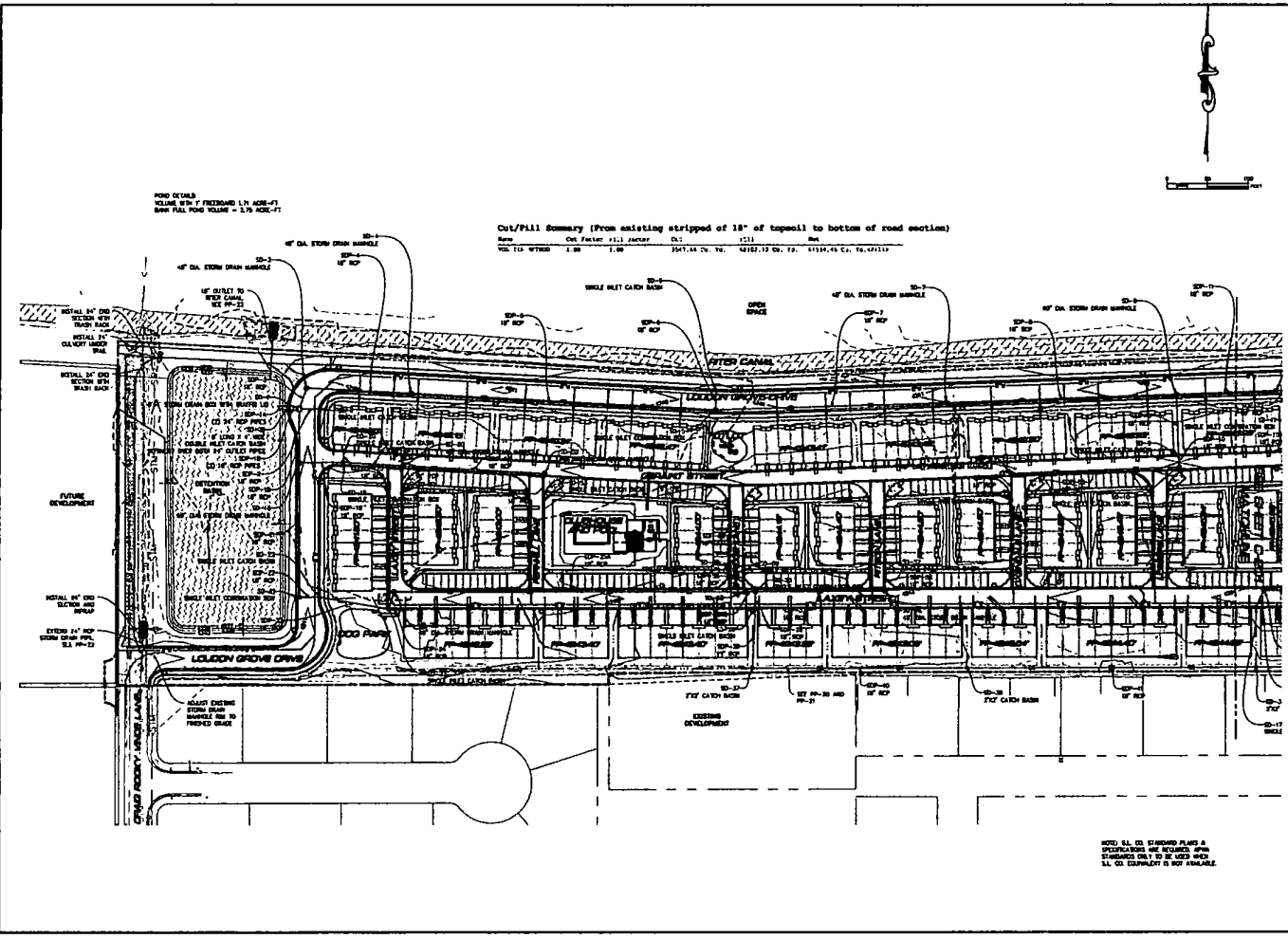
SECTION 4: APPENDICES

- Appendix A- Site Drawings and Details
- Appendix B- SOPs
- Appendix C- Recordkeeping Documents

APPENDIX A – SITE DRAWINGS AND DETAILS

C-200 Grading and Drainage Plan
C-201 Grading and Drainage Plan
PP-1 Loudan Grove Drive (Includes Pond inlet design information, including snouts)
PP-22 Detention Pond Outlet

DATE: 10/28/2018
 PROJECT: COLONY FARMS GRADING AND DRAINAGE PLAN
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 10/28/2018



**Cut/Fill Summary (From existing stripped of 18\"/>


Item	Cut Factor	Fill Factor	Dist.	Vol.
1.00	1.00	247.14	24.74	6119.44
1.00	1.00	4210.19	42.10	1519.44
TOTAL				

NOTE: ALL GR. DIMENSIONS PLANT & SPECIFICATIONS ARE SUBJECT TO CHANGE AND TO BE USED WITH ALL GR. ELEMENTS IS NOT AVAILABLE.


COLONY FARMS
GRADING AND DRAINAGE PLAN

DATE SUBMITTED: 10/28/2018

PREPARED FOR: THE COLONY FARMS, LLC



M&S ENGINEERING
101 S. JOHN STREET
SUITE 201, SOUTH JOHNSTON, VT 05493
802-246-2912

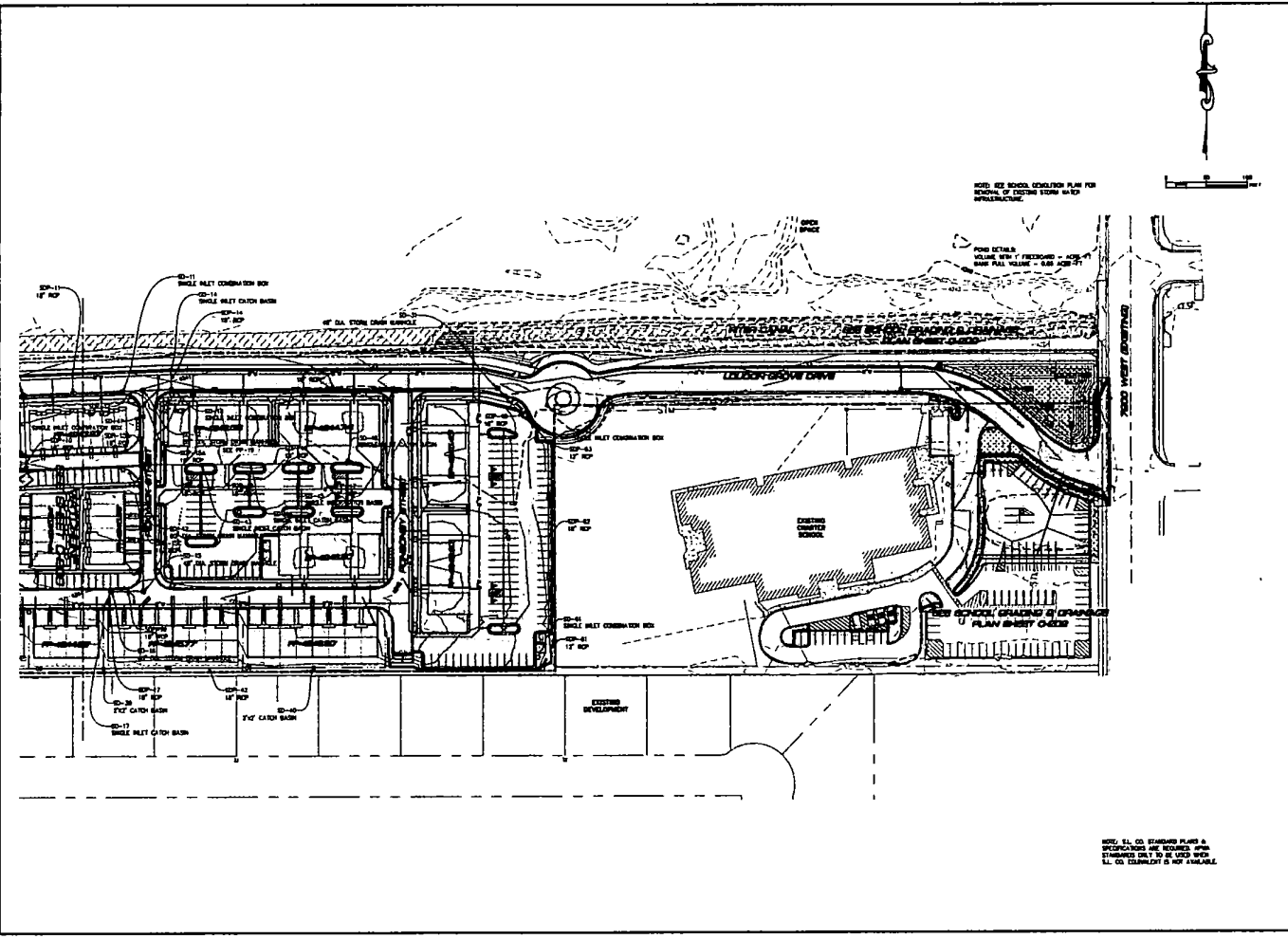


REGISTERED PROFESSIONAL ENGINEER
STATE OF VERMONT
11/17/2011
10100

SHEET NO. C-200
DATE: 10/28/2018

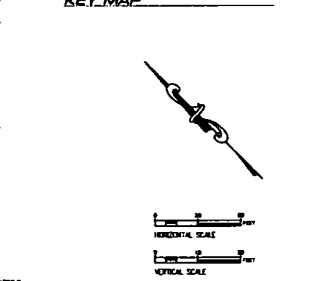
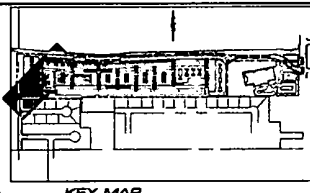
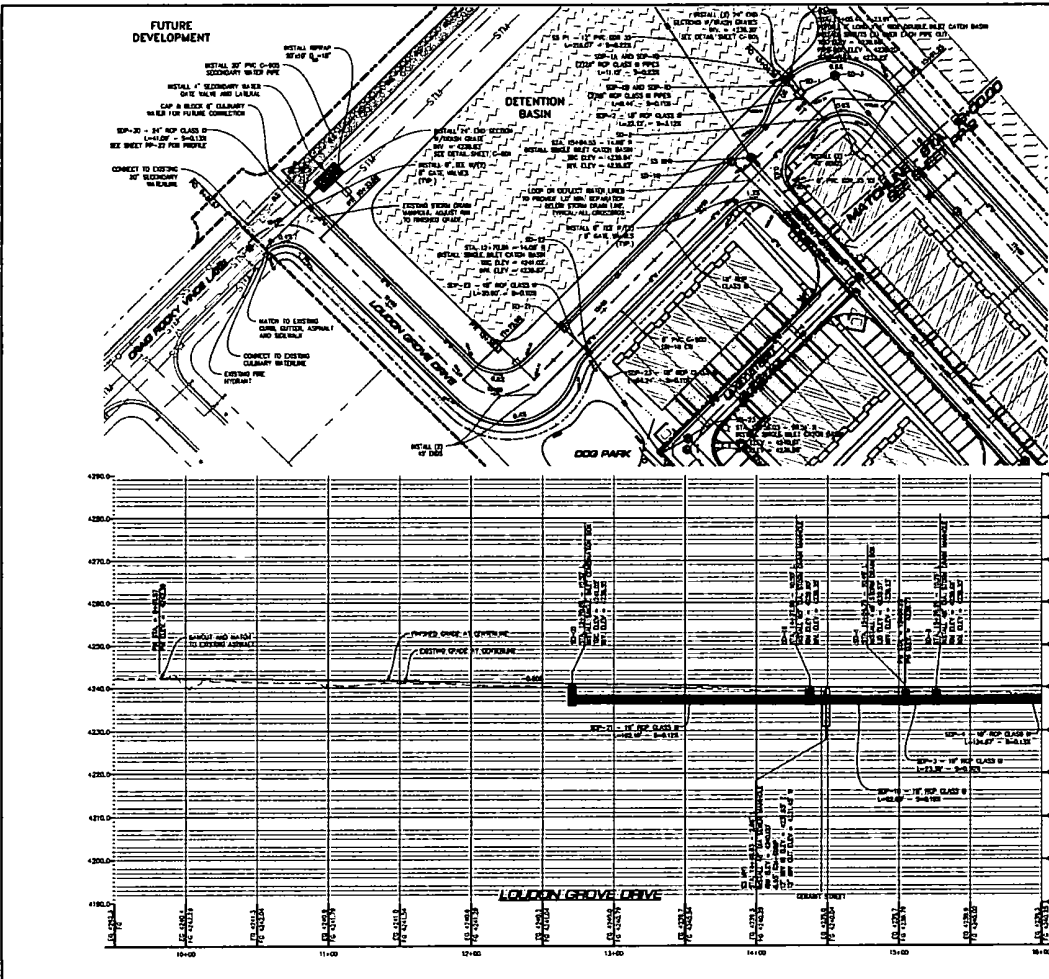
47-0187-000

PROJ. NO. 47-0182-000
 DATE: 10/20/2018
 PREPARED FOR: THE COLONY FARMS, LLC
 PROJECT: COLONY FARMS, LLC DEVELOPMENT, PHASE 1, 10000 COLONY FARMS DRIVE, WASHINGTON, DC 20004
 SHEET NO. C-201 OF 201



<p>DATE: 10/20/2018 PREPARED FOR: THE COLONY FARMS, LLC PROJECT: COLONY FARMS, LLC DEVELOPMENT, PHASE 1, 10000 COLONY FARMS DRIVE, WASHINGTON, DC 20004 SHEET NO. C-201 OF 201</p>	
<p>COLONY FARMS GRADING AND DRAINAGE PLAN</p>	
<p>FOR CONSTRUCTION</p>	
<p>DATE: 10/20/2018 SHEET NO. C-201 OF 201</p>	
<p>SCALE: AS SHOWN 1" = 10'-0"</p>	
<p>47-0182-000</p>	

PROJECT: COLONY FARMS DEVELOPMENT, LLC
 LOCATION: 10300 LONDON GROVE DRIVE, COLONY, TEXAS 77984
 DATE: 05/20/2018 10:41 AM



- SANITARY SEWER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH MAGNIA WATER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND PRESET ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STARTING OR CONSTRUCTING ANY NEW SEWER LINES.
 3. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
 4. INSTALL SEWER LATERALS AT MINIMUM 2% SLOPE WITH CLEANOUTS AS REQUIRED.
 5. ROTATE MANHOLE DOME SECTION AWAY FROM CENTERLINE MONUMENTS.

- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH SALT LAKE COUNTY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 2. CONTRACTOR TO ENGINE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BODIES AND CONSISTENT WITH CURB AND GUTTER TYPE.

- CLARINARY WATER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH MAGNIA WATER DISTRICT AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 2. LOOP OR DEFLECT ALL CLARINARY WATERLINES AS NECESSARY PER MAGNIA WATER DISTRICT AND APWA DESIGN STANDARDS.
 3. INSTALL GATE VALVES AT ALL HIGH POINTS IN CLARINARY AND SECONDARY WATERLINES PER MAGNIA WATER DISTRICT DESIGN STANDARDS.

COLONY FARMS
 LONDON GROVE DRIVE
 PLAN AND PROFILE
 PREPARED FOR: TIG COLONY FARMS, LLC
 DATE SUBMITTED: 10/20/2018
 FOR CONSTRUCTION

PROJECT NUMBER: 47-0182-000
 SHEET NUMBER: PP-1
 SCALE: AS SHOWN
 DATE: 10/20/2018

STORM WATER SYSTEM & MAINTENANCE OPERATIONS

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Description:

Regular inspections and maintenance of the stormwater system are critical to the performance and effectiveness of the system. Without this, captured stormwater Pollutants can be re-entrained or pass through the system. This SOP refers to routine maintenance to ensure proper operation, and repair maintenance to fix problems prior to the next storm event.

Implementation:

- All stormwater system elements should be inspected on a regular basis for continued collection of sediment and trash and structural integrity.
 - Elements involving landscaping, such as the detention basin, should be inspected monthly during nonfreezing weather.
 - Elements such as the catch basins and snout should be inspected quarterly, and the outfall catch basin with the snout should be cleaned when the sump is half full or at least once a year with a vacuum truck.
- Some structural elements may require more frequent inspection to ensure proper operation, such as the inlets that may become clogged with grass clippings or trash. Inspection schedule should be updated if it is determined to be needed more often.
- All elements should be checked after each storm event. In some cases, such as vegetative or infiltration elements, the after storm inspection should occur after expected drawdown period to allow the inspector to see if the elements are draining properly.
- Inspections and follow-up actions need to be documented. Development of inspection checklists are beneficial.

Maintenance:

Routine maintenance and non-routine repair should be conducted according to a schedule or as soon as a problem is identified, as many stormwater system elements are ineffective if not installed and maintained properly.

PAVEMENT AREA MAINTENANCE

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Description:

Pavement areas can contribute a number of substances, such as trash, suspended solids, hydrocarbons, oil and grease, and heavy metals that can enter receiving waters through stormwater runoff or non-stormwater discharges. The following protocols are intended to prevent or reduce the discharge of pollutants from pavement areas and include using good housekeeping practices, following appropriate cleaning BMPs, and training employees.

Pollution Prevention:

- Keep accurate maintenance logs to evaluate BMP implementation.

Protocols:

General:

- Keep the parking and storage areas clean and orderly. Remove debris in a timely fashion.
- Don't allow piles of salt or other contaminants to be stored without being in a containment facility.
- Don't use more salt than is necessary to remove ice during the winter months.
- Snow should be stored in landscaping areas when possible to minimize pollutants from the hard surfaces in the storm drain system.

Controlling Litter:

- Provide an adequate number of litter receptacles.
- Clean out and cover litter receptacles frequently to prevent spillage.
- Provide trash receptacles in parking lots to discourage litter.
- Routinely sweep, shovel, and dispose of litter in the trash.

Surface Cleaning:

- Use dry cleaning methods (e.g. sweeping or vacuuming) to prevent the discharge of pollutants into the stormwater conveyance system.
- Establish frequency of public parking lot sweeping based on usage and field observations of waste accumulation.
- Sweep all parking lots at least once before the onset of the winter season and if possible after the snow melts.
- If water is used follow the procedures below:
 - Block the storm drain or contain runoff.
 - Wash water should be collected and pumped to the sanitary sewer or discharged to a pervious surface, do not allow wash water to enter storm drains.
 - Dispose of parking debris and dirt at a landfill.

- When cleaning heavy oily deposits use absorbent materials on oily spots prior to sweeping or washing with water containment. Dispose of used absorbents or contained water appropriately.

Inspection:

- Have designated personnel conduct inspections of the parking facilities and stormwater conveyance systems associated with them on a regular basis.
- Inspect cleaning equipment/sweepers for leaks on a regular basis.

Training:

- Train residents in proper techniques for spill containment and cleanup.

Spill Response and Prevention:

- Use spill control & cleanup in the event an unintended spill should occur on the property.
- If liquid, contain spill as soon as possible.
- Cleanup any type of spill immediately and use dry methods such as absorbent material or sweeping if possible.
- Cover and seal storm drain inlet if water is required to remove the spill.
- Properly dispose of spill cleanup material according to type of spill.

Requirements:

Maintenance:

- Sweep parking lot to minimize pollutants going into storm water.
- Clean out oil/water/sand separators regularly, especially after heavy storms.
- Clean parking facilities on a regular basis to prevent accumulated wastes and pollutants from being discharged into conveyance systems during rainy conditions. This will minimize cleaning required of catch basin with snout.

ROADWAY SURFACE REPAIR

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Description:

Parking lot and roadway surfaces can become damaged and need repair. Repair operations can contribute pollutants to the stormwater system if not properly contained. The following protocols are intended to prevent or reduce the discharge of pollutants from parking repair areas.

Protocols:

- Pre-heat, transfer or load hot bituminous material away from storm drain inlets. Also use appropriate barriers during repairs around inlets.

- Apply concrete, asphalt, and seal coat during dry weather to prevent contamination from contacting storm water runoff.
- Cover and seal nearby storm drain inlets (with waterproof material or mesh) and manholes before applying seal coat, slurry seal, etc., where applicable. Leave covers in place until job is complete and until all water from emulsified oil sealants has drained or evaporated. Clean any debris from these covered manholes and drains for proper disposal.
- Use only as much water as necessary for dust control, to avoid runoff.
- Catch drips from paving equipment that is not in use with pans or absorbent material placed under machines. Dispose of collected material and absorbents properly.

Maintenance:

- Seal all storm drain inlets to prevent contamination of the storm drain system.
- Contain all contaminants and dispose of properly.
- Do repairs during dry weather.

LANDSCAPE MAINTENANCE OPERATIONS POLLUTION MINIMIZATION

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Description:

Proper landscape maintenance is important to reduce nutrient and chemical contamination to the storm drain system, reduce nuisance flows and standing water in stormwater systems, and to maintain healthy vegetation. Examples of maintenance activities that can be a source of storm water pollutants include mowing, aeration, fertilization and irrigation.

Implementation:

- Remove lawn clipping and debris out of the gutters, off sidewalks, and parking areas immediately following mowing and over fertilization.
- Remove fertilizers off hard surfaces (parking lot and sidewalks) immediately following application; water turf following fertilization; avoid fertilizing before heavy rainfall forecast.
- Remove pesticides on the hard surfaces immediately following application.
- Maintain irrigation system to prevent waste and minimize pollutants that could enter the storm drain from faulty irrigation equipment.
- Do not hose down hard surfaces. Use dry cleanup methods such as sweeping to remove powdered pollutants from hard surfaces.

Maintenance:

- Clean up immediately after landscape maintenance activities with dry cleanup methods.
- Maintain irrigation system to prevent pollutants from entering the storm drain system.

LANDSCAPE MAINTENANCE OPERATIONS PESTICIDES, HERBICIDES, AND FERTILIZERS

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Description:

Various chemicals used for landscape maintenance must be properly applied, stored, handled, and disposed of to prevent contamination of surface and ground waters. These chemicals include pesticides, herbicides, fertilizers, fuel, etc. Misuse of pesticides and herbicides can result in adverse impacts to aquatic life, even at low concentrations. Misuse of fertilizer can result in increased algae growth in waterbodies due to excessive phosphorus and nitrogen loading.

Implementation:

- Application of fertilizers, pesticides, and other chemicals according to manufacturer's directions.
- Application of pesticides and herbicides only when needed and use in a manner to minimize off-target effects.
- Accurately diagnose the pest; know characteristics of the application site, including soil type and depth to groundwater.
- Employ application techniques that increase efficiency and allow the lowest effective application rate.
- Keep pesticide and fertilizer equipment properly calibrated according to the manufacturer's instruction and in good repair.
- All mixing and loading operations must occur on an impervious surface.
- Do not apply pesticides or herbicides during high temperatures, windy conditions, or immediately prior to heavy rainfall or irrigation.
- If stored on site, storage areas should be secure and covered, preventing exposure to rain and unauthorized access.
- Store chemicals in their original containers, tightly closed, with labels intact. Regularly inspect them for leaks.

Maintenance:

- Use should be in compliance with manufacturer's instructions.
- If fertilizers, pesticides, and other chemical spill on hard surfaces, clean them up with dry methods and do not use water to clean the surface. Use methods that prevent water contamination and dispose of properly.

WASTE MANAGEMENT OPERATIONS

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

It is illegal to allow anything other than rainwater to be discharged to a storm drain. To prevent trash from polluting our environment, incorporate BMPs into your business operations.

Trash Receptacles:

- Keep bins and common areas clear of trash and keep bin lids closed.
- Properly bag trash before putting it in the bins.
- Do not hose out bins on pavements where wastewater will reach storm drain inlets. Apply absorbent over any fluids spilled in dumpster. If trash bin areas require cleaning, use dry cleanup methods or a permitted mobile washer. Mobile washers must follow these minimum SOPs.

Outdoor Areas

- Sweep sidewalks and parking areas and keep storm drains clear of trash.
- Require subcontractors to follow these SOPs.

Inform Residents and Site Maintenance Contractors

- Inform residents to keep trash off the sidewalks and parking areas, and out of storm drains.
- Communicate proper trash BMPs to all residents and site maintenance contractors.

Emergency Response Plan

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

1. The property has two approaches for entrances and departures. They are to be used in the case of an emergency.
2. In the even of an emergency, contact the appropriate personnel below:

Unified Police Department – Magna Precinct
2711 Buccaneer Dr.
Magna, Utah
(801) 743-7000

Unified Fire Authority
8215 West 3500 South
Magna, Utah
(801) 743-7200

Poison Control
1 (800) 222-1222

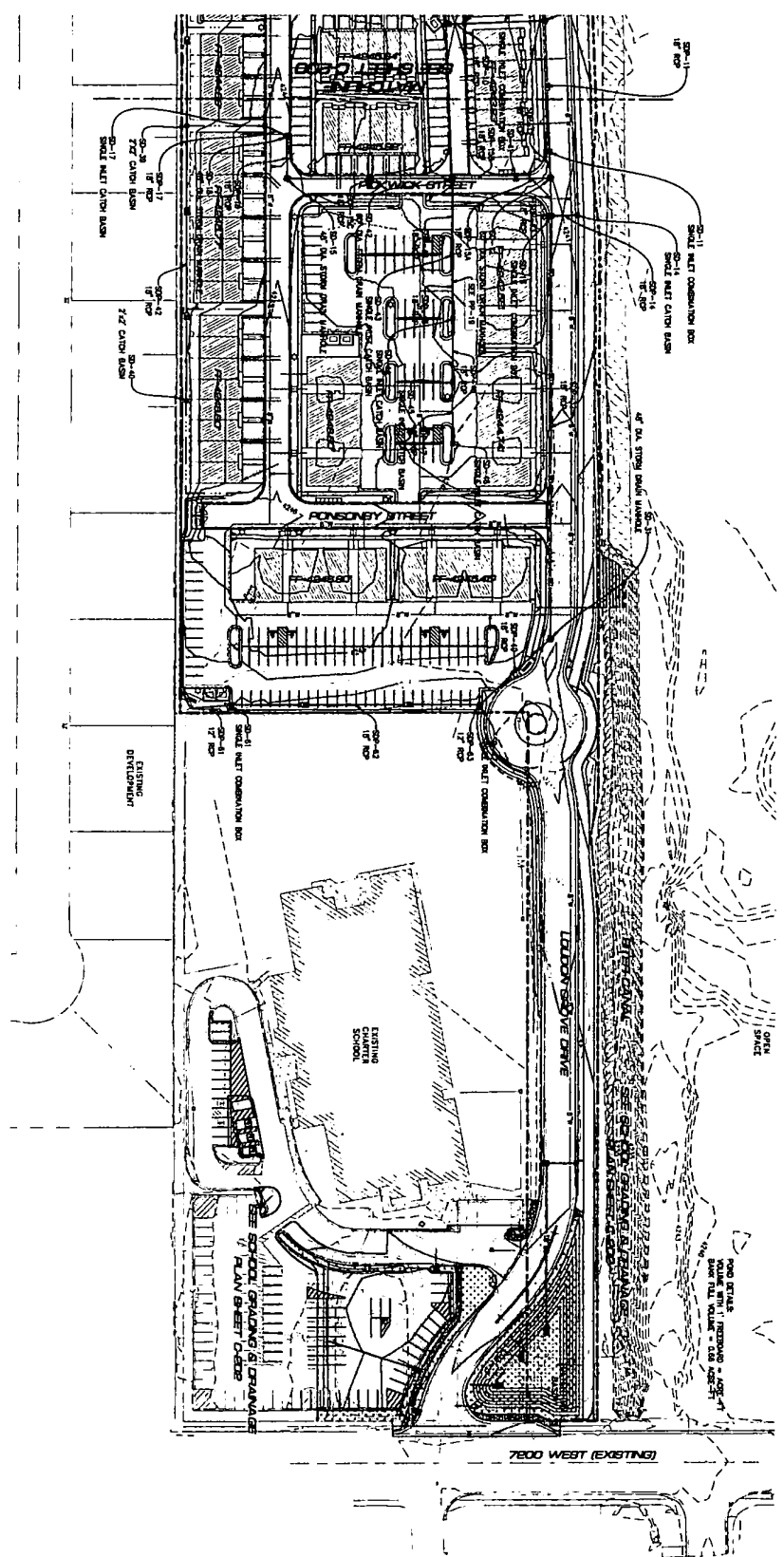
Utah Department of Environmental Quality
195 North 1950 West
Salt Lake City, Utah
Office: (801) 536-4400
Hotline: (800) 458-0145

APPENDIX C – PLAN RECORDKEEPING DOCUMENTS

[Insert PLAN Recordkeeping forms following this page]

EXHIBIT C

PROJ. MGR: MW DESIGNER: RC
 I:\M2Civi\Projects\Vertical Development\Fig Colony Farms\CAD\Improvement Plans\Fig C-200 GP.dwg - Oct 25, 2018-5:26pm



NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ILLINOIS ENGINEERING AND SURVEYING BOARD'S SPECIFICATIONS AND RECORD DRAWINGS. SEE SHEET C-201 FOR FURTHER INFORMATION.

NOTE: SEE SHEET C-200 FOR FURTHER INFORMATION REGARDING THE POND DETAIL. SEE SHEET C-201 FOR FURTHER INFORMATION REGARDING THE SCHOOL DETAIL.

DATE: 10/26/2018
 DRAWN BY: MW
 CHECKED BY: RC
 SCALE: AS SHOWN

C-201

PLANNING & ENGINEERING
 JOHN S. KIRBY, P.E.
 1000 N. WASHINGTON ST.
 SUITE 200
 CHICAGO, IL 60610

COLONY FARMS GRADING AND DRAINAGE PLAN

PREPARED FOR: FIG COLONY FARMS, LLC

DATE SUBMITTED: 10/26/2018

NO.	DATE	DESCRIPTION

This engineer preparing these plans will not be responsible for or liable for any damages or losses of any kind resulting from the use of these plans, nor for any changes or modifications made to these plans without the written consent of the engineer. The engineer's liability is limited to the professional services rendered by him or her.

FOR CONSTRUCTION

