

RECORDING INFORMATION ONLY

3893504

RIGHT-OF-WAY EASEMENT

The Undersigned Grantor (and each and all of them if more than one) for and in consideration of Five 1/100 dollars (\$ 10.00) and other good and valuable consideration in hand paid by the Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains and conveys unto The Mountain States Telephone and Telegraph Company, A Colorado corporation, 931 14th Street, Denver, Colorado, 80202, Grantee, its successors, assigns, lessees, licensees and agents a Right-of-Way Easement and the right to construct, operate, maintain and remove such communication and other facilities, from time to time, as said Grantee may require upon, over, under and across the following described land which the Grantor owns or in which the Grantor has any interest, to wit:
A six foot easement, being three feet on each side of buried telephone facilities as shown on Exhibit "A" attached hereto and made a part hereof across the following described properties:
Beginning 648.12 feet North and 180 feet West more or less from Southeast corner Section 30, Township 2 South, Range 1 East, Salt Lake Base and Meridian; thence West 794.66 feet more or less; thence North 1°15' East 157.89 feet; thence East 815 feet more or less to Westerly bank of East Jordan Canal; thence Southwesterly along said Westerly bank to beginning, 2.92 Acres more or less, Beginning 48 rods West from Southeast corner Section 30, Township 2 South, Range 1 East, Salt Lake Base and Meridian; thence West 5.63 rods; thence North 39.28 rods; thence East 53.63 rods more or less to Easterly bank of Jordan ditch; thence Southwesterly along said ditch 2.4 rods more or less to West line County Road; thence West 10 rods; thence South 36°30' West 8 rods; thence South 31° East 15 rods; thence South 42° West 9 rods; thence South 22° West 3.5 rods more or less; thence South 51° West 17 rods more or less to beginning, Less street and less any portion lying in Candelite Corner No.2, 6.1 Acres more or less, Beginning 380.10 feet South from North-east corner of South half of Southeast Quarter of Section 30, Township 2 South, Range 1 East, Salt Lake Base and Meridian; thence North 43.5 feet; thence West 335.66 feet; thence North 7 rods; thence West 592.47 feet more or less; thence South 1°15' West 292.89 feet; thence East 815 feet more or less; thence Northeasterly to East Jordan Canal to beginning, Less street, 5.08 Acres more or less,

situate in County of SALT LAKE, State of Utah, TOGETHER with the right of ingress and egress over and across the lands of the Grantor to and from the above-described property, the right to clear and keep cleared all trees and other obstructions as may be necessary.

The Grantor reserves the right to occupy, use, and cultivate said property for all purposes not inconsistent with the rights herein granted.

Signed and delivered this 21ST day of NOVEMBER, A.D., 1983
At MIDVALE, UTAH Grantor [Signature]

STATE OF UTAH
COUNTY OF SALT LAKE) ss.

On the 21ST day of NOVEMBER, 1983, personally appeared before me, MICHAEL F. NAGLE - Pres. SANDY OAKS INC., the signer of the

above instrument; who duly acknowledged to me that (he) or (she) executed the same.

WITNESS my hand and official seal this 21ST day of NOVEMBER, 1983

11-11-84

My commission expires

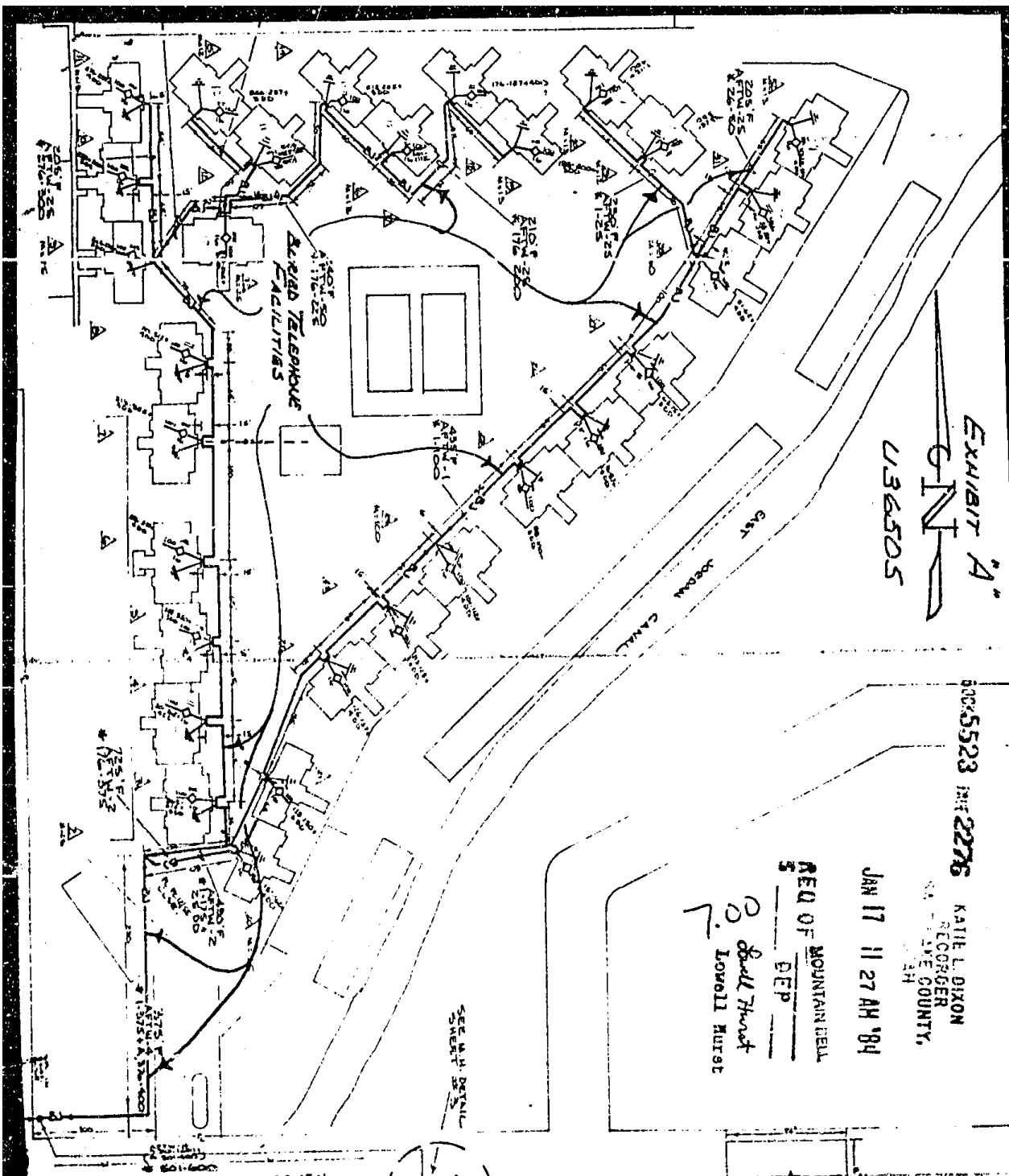
SANDY, UTAH

Notary Public Residing in

[Signature]
Notary Public

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R/W NUMBER	EXCHANGE CODE	AGENT	JWJ	SECTION	30	TOWNSHIP	25.	RANGE	1E.	PRINCIPALS	S.	MERIDIAN	M.	REMARKS
674000														MAIL TO: THE MOUNTAIN STATES TELEPHONE & TELEGRAPH CO. 250 BELL PLAZA ROOM 601 SALT LAKE CITY, UTAH 84146



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KATIE L. DIXON
RECORDER
CLAY COUNTY,
OH

JAN 17 11 27 AM '84

REC'D OF MOUNTAIN BELL
DEPT
P. O. Shell Trust
Lowell Hurst