

WHEN RECORDED, MAIL TO:  
Utah Department of Transportation  
Right of Way, Fourth Floor  
Box 148420  
Salt Lake City, UT 84114-8240

12500773  
03/22/2017 03:42 PM \$0.00  
Book - 10540 Pg - 4840-4861  
GARY W. OTT  
RECORDER, SALT LAKE COUNTY, UTAH  
UT ST-DEPT OF TRANSPORTATION  
BOX 148420 ATT: JASON HENLEY  
SLC UT 84114-8420  
BY: SRP, DEPUTY - WI 22 P.

## UTAH DEPARTMENT OF TRANSPORTATION DRAINAGE AGREEMENT

Salt Lake County Tax ID No. 33-06-100-042

This Drainage Agreement made and entered into this 31 day of January 2017 between Utah Department of Transportation ("Department") and ~~Herriman Medical Partners~~ ("Permittee"), who owns the property described in Exhibit A.

*Herriman Medical Partners LLC*  
**RECITALS**

The Permittee (property owner) desires to construct a drainage system and a drainage connection within the Department Right of Way subject to the requirements and conditions described in the Permit.

Department's Policy 08A-06 requires the Permittee to sign the Drainage Agreement as part of the permitting process for a drainage connection.

The parties agree as follows:

(1) **COMPLIANCE:** Permittee must comply with the conditions in the permit and applicable state and federal statutes, regulations and rules. The Department may perform inspection of Permittee's drainage system to monitor compliance with the Permit and with state and federal statutes, regulations, and rules. Permittee grants the Department access to the Permittee's property for inspection or to perform any repairs to prevent damage to the Department's Right of Way. The Department's inspection does not relieve the Permittee of its responsibilities in meeting the Permit conditions. The Permittee is responsible for the Department's inspection costs. Permittee's responsibilities include:

- a) Permittee is responsible for repairing and restoring any portion of the Department Right of Way and drainage systems located therein that may be damaged as a result of making the drainage connection or as the result of any subsequent drainage originating from the Permittee's property.
- b) Permittee must not increase its drainage discharge into the Department's drainage system without the written permission of the Department.
- c) A bonded contractor must apply for the required permit to install drainage systems in the Department Right of Way prior to the commencement of any such work.
- d) The Permittee is responsible to obtain environmental clearances, permits, or other approvals from any other local, state or federal agency that may have regulatory jurisdiction or oversight.

(2) **MAINTENANCE:** Permittee's drainage system must at all times be maintained, repaired, constructed, and operated by and at the expense of the Permittee. The drainage system will be serviced without access from any interstate highway or ramp. The Department may notify the Permittee of any maintenance requirements if the Permittee fails to maintain the drainage system. The Department reserves the right, without relieving the Permittee of its obligations, to reconstruct or make repairs to the drainage system, as it may consider necessary, and the Permittee must reimburse the Department for its cost if the Permittee fails to comply with the Department's written notification and complete the required maintenance.

(3) **FUTURE IMPACTS:** The Department has the right to change its drainage system for any future transportation project. If the Department's drainage system is reconstructed or modified, the Department reserves the right to hold the Permittee responsible for the cost to reconnect to the Department's drainage system. The Department is not responsible for any costs the Permittee incurs due to the drainage system being reconstructed or modified.

(4) **LIABILITY:** Pursuant to R930-7-6(2)(b), the Permittee is required to guarantee satisfactory performance under this Permit. The Department may proceed against Permittee to recover all expenses incurred by the Department, its employees, or contractors in repairing the sections of roadway damaged by the Permittee or its drainage system, including the failure to restore the Right of Way to Department standards. The Permittee will be liable for all costs the Department incurs under this agreement.

The Permittee will indemnify, defend, and hold harmless the Department, its employees, and the State of Utah from responsibility for any damage or liability arising from Permittee's construction, maintenance, repair, or any other related operation of the drainage system pursuant to the Permit issued under this agreement.

The Permittee will not hold the Department liable for damages resulting from any back-up or flow into the Permittee's drainage system or property. The Permittee accepts all risks associated with the connection to the Department's drainage system. The Permittee is responsible for all liability resulting from the discharge of pollutants into the Department's drainage system from its property or drainage system.

**(5) CANCELLATION OF PERMIT:** Any failure on the part of Permittee to comply with the terms and conditions set forth in the Permit or this Agreement may result in cancellation of the Permit. Failure of the Permittee to pay any sum of money for costs incurred by the Department in association with inspection, reconstruction, repair, or maintenance of the drainage system may also result in cancellation of the Permit. Non-compliance with either the Permit or Agreement may result in the Department removing the drainage system and restoring the highway and Right of Way at the sole expense of the Permittee. The Department will notify the Permittee in writing prior to any cancellation, setting forth the violations, and will provide the Permittee a reasonable time to correct the violations to the satisfaction of the Department. The Department may order the Permittee to remove its drainage system if the violations are not corrected.

**(6) SUCCESSORS AND ASSIGNS:** All covenants, obligations and agreements will be binding upon the parties, their successors and assigns and run with the land as described in Exhibit A until the drainage connection is removed from the Department's Right of Way.

**(7) MISCELLANEOUS:**

- a) Each party agrees to undertake and perform all further acts that are reasonably necessary to carry out the intent and purpose of the Agreement at the request of the other party.
- b) This Agreement does not create any type of agency relationship, joint venture, or partnership between the Department and Permittee.
- c) The failure of either party to insist upon strict compliance of any of the terms and conditions, or failure or delay by either party to exercise any rights or remedies provided in this Agreement, or by law, will not release either party from any obligations arising under this Agreement.

- d) This Agreement shall be deemed to be made under and shall be governed by the laws of the State of Utah in all respects. Each person signing this Agreement warrants that the person has full legal capacity, power and authority to execute this Agreement for and on behalf of the respective party and to bind such party.
  
- e) If any portion of this Agreement is held to be invalid or unenforceable for any reason by a court of competent jurisdiction, such invalidity or unenforceability shall not affect any other provision, and this Agreement shall be construed as if such invalid or unenforceable provision had never been included.

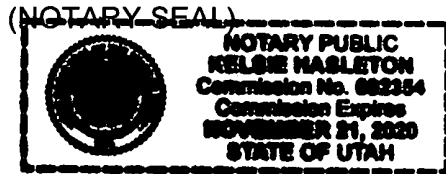
IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

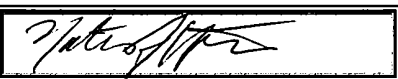
CURRENT PROPERTY OWNER/PERMITTEE		
Name Printed:	Jim Balderson	Signature: 

State of Utah)  
County of Utah )

On this 31 day of January, in the year 2017, the owner of the property personally appeared before me as the signer of this agreement, who duly acknowledged to me that he/she executed this agreement pursuant to the authority delegated to him/her as the current property owner of said property. Witness my hand and official seal.

  
Notary Public

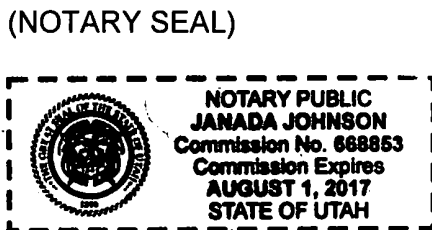


UTAH DEPARTMENT OF TRANSPORTATION – Region Permits Officer		
Name Printed:	NATHAN STEPHENS	Signature: 

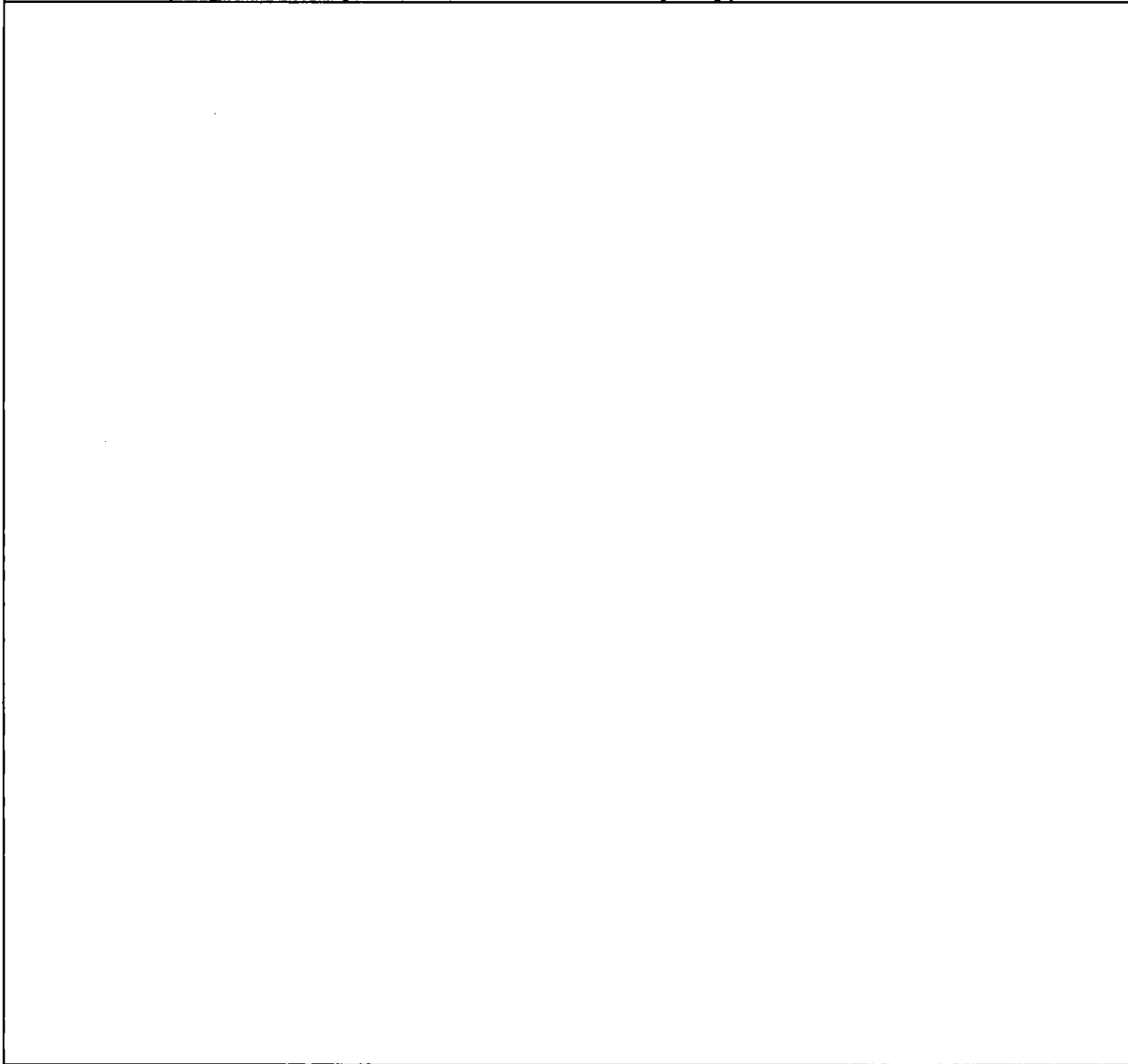
State of Utah)  
County of Salt Lake C. )

On this 27 day of March, in the year 2017, the owner of the property personally appeared before me as the signer of this agreement, who duly acknowledged to me that he/she executed this agreement pursuant to the authority delegated to him/her as the current property owner of said property. Witness my hand and official seal.

  
Notary Public



**EXHIBIT A (Legal Description of Permittee's Property)**



**“EXHIBIT A”—Department Drainage Agreement (per UDOT Policy 08A-06)**

**EXHIBIT B**

(include drainage plan showing state route, mile post and location of all drainage systems and drainage calculations)

**“EXHIBIT B”—Department Drainage Agreement (per UDOT Policy 08A-06)**

Exhibit "A"

Parcel 1:

Beginning at a point which is 870.00 feet South 89°48'37" East along the North Section line from the Northwest corner of Section 6, Township 4 South, Range 1 West, Salt Lake Base and Meridian, thence South 89°48'37" East along said Section line 457.65 feet to the Northeast corner of the West 1/2 of the Northwest-1/4 of said Section 6; thence South 0°21'38" East 358.00 feet along the East line of said West 1/2; thence North 89°48'47" West 457.65 feet; thence North 0°21'38" West 358.00 feet to the point of beginning.

Less and excepting any and all portions lying within the legal bounds of Calder Place Subdivision, Andreason Place Subdivision, Hamilton's Homestead Subdivision, and 13400 South Street.

Also less and excepting the following three (3) legal descriptions:

A parcel of land in fee for the widening of the existing roadway 13400 South Street, being part of an entire tract of property situate in the NW¼ NW¼ of Section 6, Township 4 South, Range 1 West, Salt Lake Base & Meridian. The boundaries of said parcel of land are as follows: Beginning in the Westerly boundary line of said entire tract at a point South 89°48'47" East 870.33 feet (870.00 feet by record) along the section line and 45.00 feet South 00°11'13" West from the Northwest Corner of said Section 6, said corner is 39.00 feet perpendicularly distant southerly from the centerline of said 13400 South Street opposite engineers station 133+97.57; and running thence North 00°21'38" West 45.00 feet along said westerly boundary line to the Northwest Corner of said entire tract, said point lies in the northerly section line of said Section 6; thence South 89°48'47" East 187.65 feet along the northerly boundary line of said entire tract to the Northeast Corner of said entire tract; thence South 00°21'38" East 45.00 feet along the easterly boundary line of said entire tract; thence North 89°48'47" West 187.65 feet along a line parallel with said centerline to the point of beginning.

A parcel of land in fee for a highway known as Project No. MP-0182(6), being part of an entire tract of property, situate in the NW¼ NW¼ of Section 6, Township 4 South, Range 1 West, Salt Lake Base & Meridian. The boundaries of said parcel of land are described as follows: Beginning at the Northeast corner of said entire tract, which point is 1,057.65 feet South 89°48'47" East along the section line and 45.00 feet South 0°21'38" East from the Northwest Corner of said Section 6; and running thence South 0°21'38" East 9.95 feet along the easterly boundary line of said entire tract to a point 69.85 feet radially distant southerly from the 13400 South Street Right of Way Control Line, of said project, opposite approximate Engineer Station 28+72.08; thence North 89°03'45" West 11.66 feet.; thence South 89°37'19" West 258.98 feet to the westerly boundary line of said entire tract to a point 71.89 ft. perpendicularly distant southerly from said control line, opposite approximate Engineer Station 26+00.85; thence North 0°21'38" West 12.35 feet to the existing southerly right of way line of 13400 South Street; thence South 89°48'47" East 270.65 ft. along said existing northerly right of way line to the point of beginning as shown on the official map of said project on file in the office of the Utah Department of Transportation.

A tract of land in Lot 4 of Section 6, Township 4 South, Range 1 West, Salt Lake Base & Meridian. The boundaries of said tract of land are described as follows: Beginning at a point which is 522.73 feet South 89°33'56" East along the section line and 45.00 feet South from the Northwest Corner of said Section 6; and running thence South 89°33'56" East 535.01 feet.; thence South 0°06'47" East 9.95 feet; thence North 88°48'54" West 11.66 feet; thence South 89°52'10" West 230.73 feet to the end of the highway limited-access line of UDOT Project MP-0182(6) at a point designated as Point "B"; thence along said limited-access line the following four courses: 1) South 89°52'10" West 28.25 feet; 2) South 00°06'03" West 3.27 feet; 3) North 89°31'48" West 76.74 feet; 4) South 78°58'29" West 195.01 feet to a point designated as Point "A"; thence North 3°58'40" East 54.42 feet to the point of beginning.

- POOR COPY -  
CO. RECORDER



Parcel 2:

Beginning at a point 540.65 feet North 89°48'47" West from the Northeast corner of the Northwest quarter of the Northwest quarter of Section 6, Township 4 South, Range 1 West, Salt Lake Base and Meridian, said point being 787 feet South 89°48'47" East from the Northwest corner of said Section 6; thence running South 89°48'47" East 83 feet; thence South 0°21'38" East 358 feet; thence North 89°48'47" West 83 feet; thence North 0°21'38" West 358 feet to the point of beginning.

Less and excepting the following three (3) legal descriptions:

A parcel of land in fee for the widening of the existing roadway 13400 South Street, being part of an entire tract of property situate in the NW¼NW¼ of Section 6, Township 4 South, Range 1 West, Salt Lake Base & Meridian. The boundaries of said parcel of land are as follows: Beginning in the westerly boundary line of said entire tract at a point South 89°48'47" East 787.34 feet (787.00 feet by record) along the section line and 39.00 feet South 00°21'38" West from the Northwest Corner of said Section 6, said corner is 39.00 feet perpendicularly distant southerly from the centerline of said 13400 South Street opposite engineers station 133+14.57; and running thence North 00°21'38" West 45.00 feet along said westerly boundary line to the Northwest Corner of said entire tract, said point being in the northerly section line of said Section 6; thence South 89°48'47" East 83.00 feet along the northerly boundary line of said entire tract to the Northeast Corner of said entire tract; thence South 00°21'38" East 45.00 feet along the easterly boundary line of said entire tract; thence North 89°48'47" West 83.00 feet along a line parallel with said centerline to the point of beginning.

A parcel of land in fee for the widening of the existing roadway 13400 South Street, being part of an entire tract of property situate in the NW¼ NW¼ of Section 6, Township 4 South, Range 1 West, Salt Lake Base & Meridian. The boundaries of said parcel of land are as follows: Beginning in the westerly boundary line of said entire tract at a point South 89°48'47" East 787.34 feet (787.00 feet by record) along the section line and 45.00 feet South 00°21'38" West from the Northwest Corner of said Section 6, said corner is 39.00 feet perpendicularly distant southerly from the centerline of said 13400 South Street opposite engineers station 133+14.57; and running thence North 00°21'38" West 45.00 feet along said westerly boundary line to the Northwest Corner of said entire tract, said point being in the northerly section line of said Section 6; thence South 89°48'47" East 83.00 feet along the northerly boundary line of said entire tract to the Northeast Corner of said entire tract; thence South 00°21'38" East 45.00 feet along the easterly boundary line of said entire tract; thence North 89°48'47" West 83.00 feet along a line parallel with said centerline to the point of beginning.

A tract of land in Lot 4 of Section 6, Township 4 South, Range 1 West, Salt Lake Base & Meridian. The boundaries of said tract of land are described as follows: Beginning at a point which is 522.73 feet South 89°33'56" East along the section line and 45.00 feet South from the Northwest Corner of said Section 6; and running thence South 89°33'56" East 535.01 feet.; thence South 0°06'47" East 9.95 feet; thence North 88°48'54" West 11.66 feet; thence South 89°52'10" West 230.73 feet to the end of the highway limited-access line of UDOT Project MP-0182(6) at a point designated as Point "B"; thence along said limited-access line the following four courses: 1) South 89°52'10" West 28.25 feet; 2) South 00°06'03" West 3.27 feet; 3) North 89°31'48" West 76.74 feet; 4) South 78°58'29" West 195.01 feet to a point designated as Point "A"; thence North 3°58'40" East 54.42 feet to the point of beginning.

Tax Parcel No. 33-06-100-042, 33-06-100-041

**EXHIBIT B**

(include drainage plan showing state route, mile post and location of all drainage systems and drainage calculations)

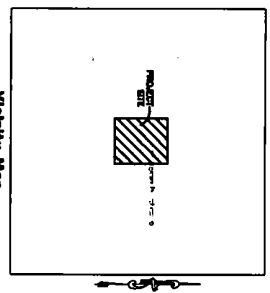
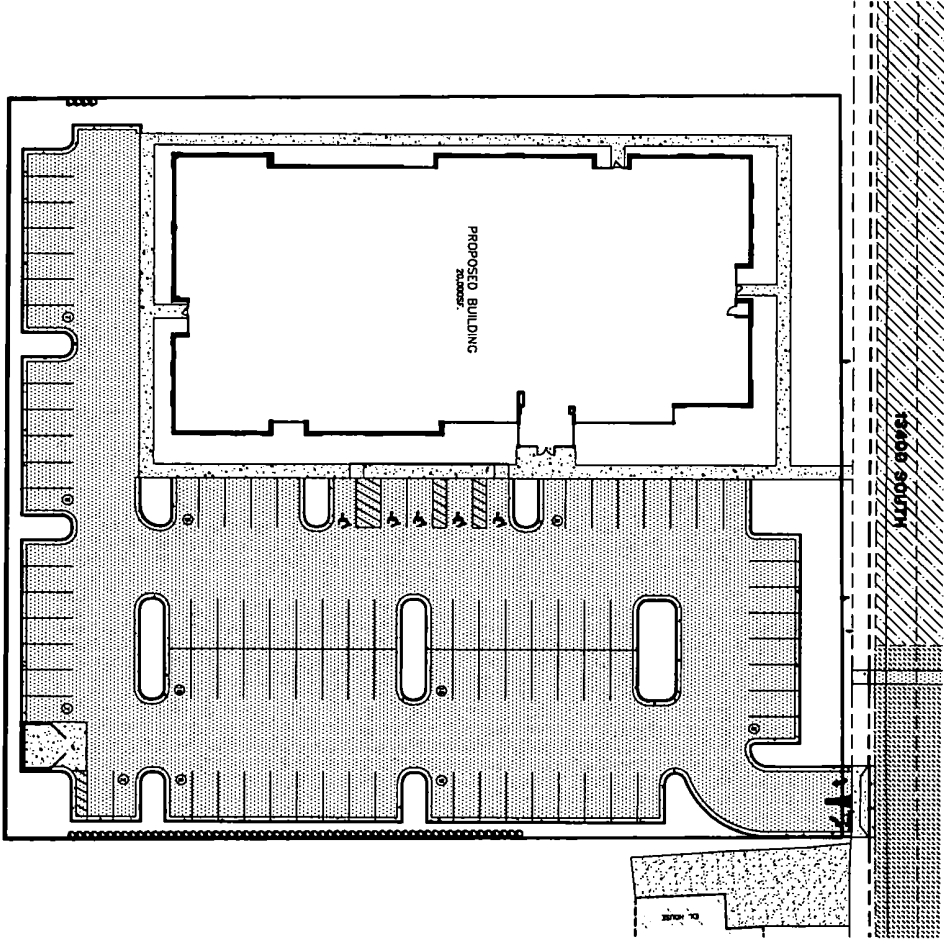


- Project Narrative/Notes/Revisions**
- 1) 10/21/18 IP - COMPLETED DESIGN FOR PERMIT & CITY REVIEW
  - 2) 12/12/18 IP - DESIGN REVISION FOR CITY COMMENTS
  - 3) 12/18/18 IP - DESIGN REVISION FOR CITY COMMENTS
  - 4) 1/24/19 IP - DESIGN REVISION FOR CITY COMMENTS

# Riverton Medical Office Building

## Construction Plans

CITY OF RIVERTON, SALT LAKE COUNTY, UT  
OCTOBER 2018



- Sheet Index**
- Sheet 1 - Cover/Index Sheet
  - Sheet 2 - Notes/Legend
  - Sheet 3 - Existing/Demolition Plan
  - Sheet 4 - Proposed Site Plan
  - Sheet 5 - Grading Plan
  - Sheet 6 - Utility Plan
  - Sheet 7 - Civil Details
  - Sheet 8 - Record of Survey
  - Sheet 9 - Topo Exhibit
  - Sheet 10 - Landscape Plan
  - Sheet 11 - Irrigation Details
  - Sheet 12 - Irrigation Details
  - Sheet 13 - Irrigation Details

**Site Information**

PARCEL #	20113
PROPERTY ADDRESS	4501 WEST 1300 SOUTH, RIVERTON, SALT LAKE COUNTY, UTAH
PROPOSED STALLS	150
TOTAL PARCEL AREA	31,728 S.F. 0.72 AC
EXISTING PAVED AREA	4,000 S.F. 0.09 AC
HAZARD SURVEYED AREA	40,000 S.F. 0.91 AC
LANDSCAPE AREA	20,715 S.F. 0.47 AC

**Engineer's Notice to Contractors**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. THEY SHALL BE KEPT ON HAND AND SHALL NOT BE REPRODUCED, COPIED, LOANED, OR USED IN ANY MANNER WITHOUT WRITTEN PERMISSION. THE OWNER AND ENGINEER OF RECORD & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS MADE IN THESE PLANS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR CARELESSNESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RIVERTON AND THE STATE OF UTAH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RIVERTON AND THE STATE OF UTAH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RIVERTON AND THE STATE OF UTAH.

**Developer Contact:**  
 Dean Hood  
 All Project Development Services  
 Mobile: +1 705 969 4031

Reeve & Associates, Inc.  
 1800 South Main Street, Suite 200  
 Salt Lake City, UT 84143  
 Phone: +1 801 466 1111  
 Fax: +1 801 466 1112  
 Website: www.reeveandassociates.com

**Reeve & Associates, Inc.**

1800 South Main Street, Suite 200  
 Salt Lake City, UT 84143  
 Phone: +1 801 466 1111  
 Fax: +1 801 466 1112  
 Website: www.reeveandassociates.com

**REVISIONS**

DATE	DESCRIPTION
10/21/18 IP	DESIGN COMPLETED
12/12/18 IP	FOR CITY COMMENTS
12/18/18 IP	FOR CITY COMMENTS
1/24/19 IP	FOR CITY COMMENTS

**Riverton Medical Office Building**  
 Construction Plans  
 CITY OF RIVERTON, SALT LAKE COUNTY, UT

**Cover/Index Sheet**

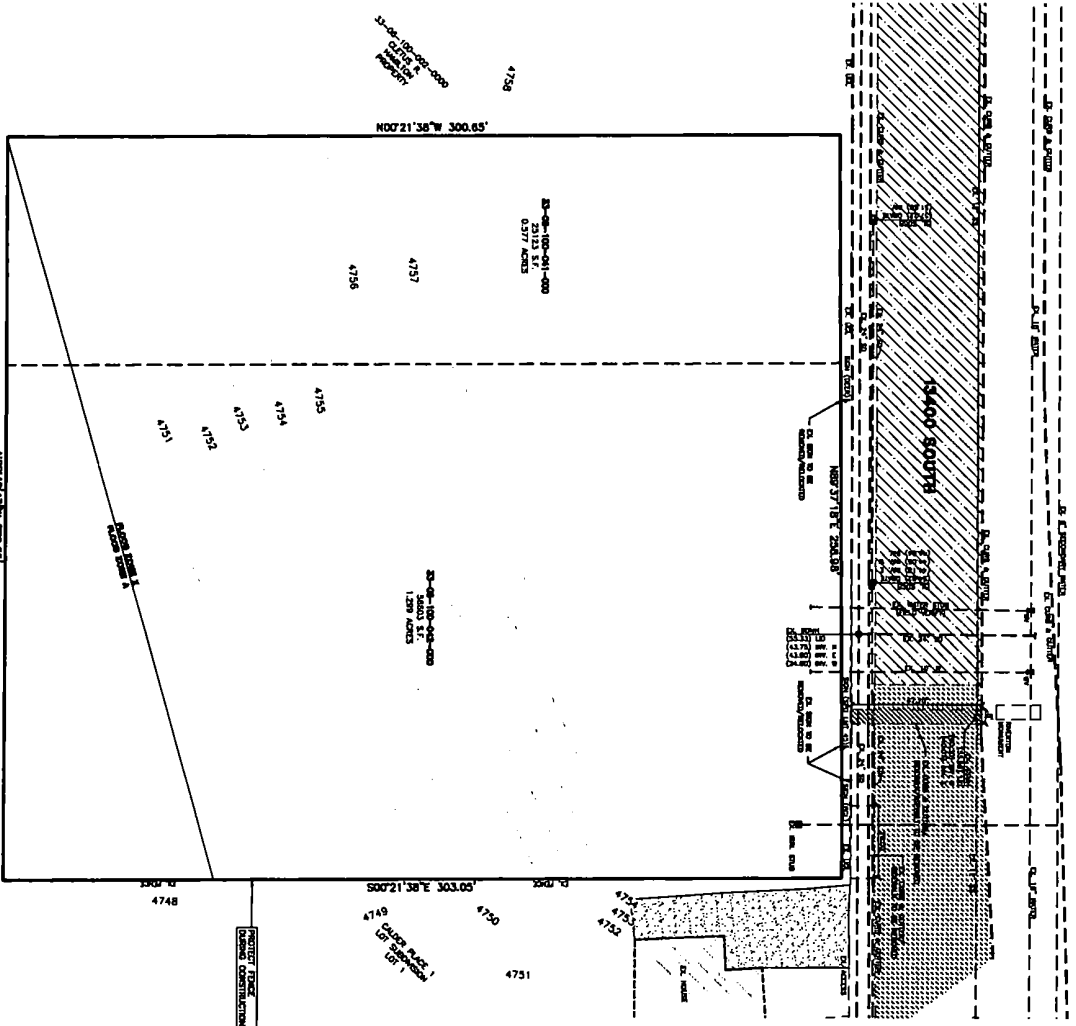


**PROJECT DATA**

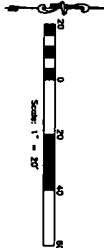
Project Name	Riverton Medical Office Building
Client	City of Riverton
Design Engineer	Reeve & Associates, Inc.
Issue Date	October 13, 2018
Project Location	4501 West 1300 South, Riverton, UT
Scale	As Shown
Sheet No.	13
Total Sheets	13



**Note:**  
Contractor to verify ALL Existing Utility Locations, Terminations and Invert Elevations.



-  EXISTING ASPHALT PAVEMENT (GRAY)
-  EXISTING CONCRETE PAVEMENT (GRAY)
-  EXISTING PAVEMENT 60% ASP & 40% OF SAND



Blue State Location Center  
Call Toll Free  
**1-800-963-4111**  
The Working Day Before You Dig

Sheet	13
Start	3
End	Shirah



**Riverton Medical Office Building  
Construction Plans**  
CITY OF RIVERTON, SALT LAKE COUNTY, UT

**Existing/Demolition Plan**

DATE	REVISIONS
10/21/18	TP DESIGN COMPLETED
12/11/18	TP FOR CITY COMMISSION
12/18/18	TP FOR CLIENT REVIEW
1/26/19	FOR PER CITY COMMENTS



**Reeve & Associates, Inc.**

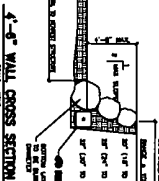
1000 SOUTH 200 WEST, SUITE 200  
RIVERTON, UT 84065  
PHONE: 801-945-1000  
FAX: 801-945-1001  
WWW.REEVE-ASSOCIATES.COM

**INHERENT CHARACTERISTICS OF  
LARGE BOUNDER BEARING WALLS:**

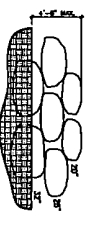
1. Large boulder bearing walls are not to be constructed in areas where they are subject to lateral forces.
2. Large boulder bearing walls shall be built with the concrete to be placed in a single lift.
3. The vertical joints of large boulder bearing walls shall be staggered and shall be reinforced with steel.
4. Large boulder bearing walls shall be constructed with a minimum thickness of 18 inches.
5. Large boulder bearing walls shall be constructed with a minimum height of 6 feet.
6. Large boulder bearing walls shall be constructed with a minimum width of 18 inches.
7. Large boulder bearing walls shall be constructed with a minimum length of 10 feet.
8. Large boulder bearing walls shall be constructed with a minimum area of 100 square feet.
9. Large boulder bearing walls shall be constructed with a minimum volume of 100 cubic feet.
10. Large boulder bearing walls shall be constructed with a minimum weight of 10,000 pounds.

**LARGE BOUNDER BEARING WALL NOTES:**

1. All walls shall be constructed with 4" concrete.
2. All walls shall be constructed with 1/2" steel reinforcement.
3. All walls shall be constructed with 1/2" steel reinforcement.
4. All walls shall be constructed with 1/2" steel reinforcement.
5. All walls shall be constructed with 1/2" steel reinforcement.
6. All walls shall be constructed with 1/2" steel reinforcement.
7. All walls shall be constructed with 1/2" steel reinforcement.
8. All walls shall be constructed with 1/2" steel reinforcement.
9. All walls shall be constructed with 1/2" steel reinforcement.
10. All walls shall be constructed with 1/2" steel reinforcement.



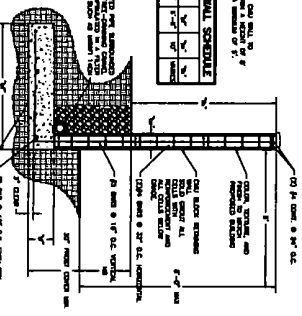
**4'-6" WALL CROSS SECTION**



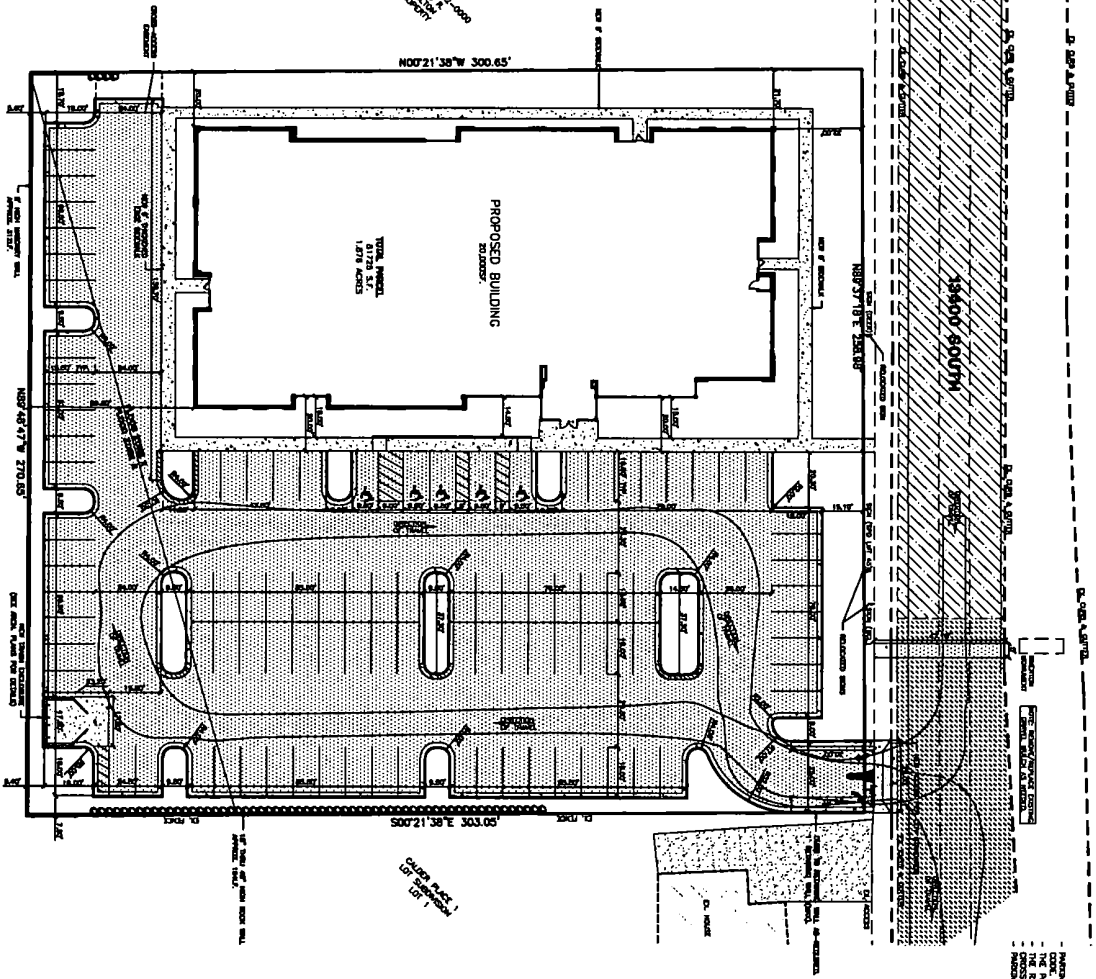
**4'-6" WALL FRONT ELEVATION**

**OLD REINFORCED WALL SCHEDULE**

Item	Description	Quantity	Unit
1	4" CONCRETE	100	CU YD
2	1/2" STEEL REINFORCEMENT	100	LB
3	18" FOOTING	100	CU YD
4	18" WALL	100	CU YD
5	18" WALL	100	CU YD
6	18" WALL	100	CU YD
7	18" WALL	100	CU YD
8	18" WALL	100	CU YD
9	18" WALL	100	CU YD
10	18" WALL	100	CU YD



REINFORCED WALL NOTES:  
 1. ALL WALLS SHALL BE CONSTRUCTED WITH 4" CONCRETE.  
 2. ALL WALLS SHALL BE CONSTRUCTED WITH 1/2" STEEL REINFORCEMENT.  
 3. ALL WALLS SHALL BE CONSTRUCTED WITH 18" FOOTING.  
 4. ALL WALLS SHALL BE CONSTRUCTED WITH 18" WALL.  
 5. ALL WALLS SHALL BE CONSTRUCTED WITH 18" WALL.  
 6. ALL WALLS SHALL BE CONSTRUCTED WITH 18" WALL.  
 7. ALL WALLS SHALL BE CONSTRUCTED WITH 18" WALL.  
 8. ALL WALLS SHALL BE CONSTRUCTED WITH 18" WALL.  
 9. ALL WALLS SHALL BE CONSTRUCTED WITH 18" WALL.  
 10. ALL WALLS SHALL BE CONSTRUCTED WITH 18" WALL.



ANOTHER LAYOUT HAS BEEN UPDATED TO MEET PORTLAND CITY PARKING  
 CODE. PARKING LOTS HAVE BEEN REDESIGNED TO MEET CITY CODE.  
 THE EXISTING WALL HAS BEEN UPDATED TO MEET CITY CODE.  
 THE EXISTING WALL HAS BEEN UPDATED TO MEET CITY CODE.  
 THE EXISTING WALL HAS BEEN UPDATED TO MEET CITY CODE.

**Parking Table**

Building Area	Parking Stalls
20,000 sq. ft.	100 STALLS
10,000 sq. ft.	50 STALLS
5,000 sq. ft.	25 STALLS



- EXISTING ASPHALT PAVEMENT (GRAY)
- EXISTING CONCRETE PAVEMENT (GRAY)
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE

**PROJECT INFO**  
 Project Name: RIVERTON MEDICAL OFFICE BUILDING  
 Client: RIVERTON MEDICAL CENTER  
 Designer: REEVE & ASSOCIATES, INC.  
 Date: 10/20/2011



**Riverton Medical Office Building  
 Construction Plans**  
 CITY OF RIVERTON, SALT LAKE COUNTY, UT

**Proposed Site Plan**

**REVISIONS**

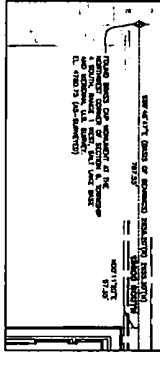
DATE	DESCRIPTION
10/20/11	10% PER CITY COMMENTS
11/15/11	PER CITY COMMENTS
12/15/11	PER CITY COMMENTS
1/20/12	PER CITY COMMENTS



**Land Disturbance**  
 A LAND DISTURBANCE PERMIT MUST BE OBTAINED FROM RIVERTON CITY PRIOR TO DISTURBING ANY VEGETATION OR SOIL. CONTACT THE DEPUTY AT 801-328-4141.

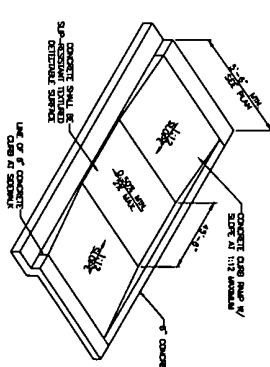
**Drainage Design**  
 THE DESIGNATION FOR THE DRAINAGE DISTRICT OF THIS DEVELOPMENT HAS BEEN PREPARED BY THE RIVERTON CITY ENGINEER'S OFFICE. THE PROPOSED DRAINAGE SYSTEM SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE PROPOSED DRAINAGE SYSTEM SHALL BE CONFORMANT WITH THE RIVERTON CITY DRAINAGE CODE AND THE RIVERTON CITY ENGINEER'S OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE DRAINAGE SYSTEM.

**Benchmark**  
 DATE: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 SCALE: \_\_\_\_\_



**Cut/Fill Summary**  
 Name: 26 Area  
 Volume: 73,728.41 cu. yd. (7,208 cu. yd., 7,055 cu. yd., 62,471.15 cu. yd.)  
 73,728.41 cu. yd., 7,208 cu. yd., 7,055 cu. yd., 62,471.15 cu. yd.

**FEMA Flood Zone**  
 FEMA FLOOD ZONE MAP, FLOOD INSURANCE RATE MAP, AND FLOOD HAZARD IDENTIFICATION MAP, FLOOD INSURANCE RATE MAP, AND FLOOD HAZARD IDENTIFICATION MAP, FLOOD INSURANCE RATE MAP, AND FLOOD HAZARD IDENTIFICATION MAP.

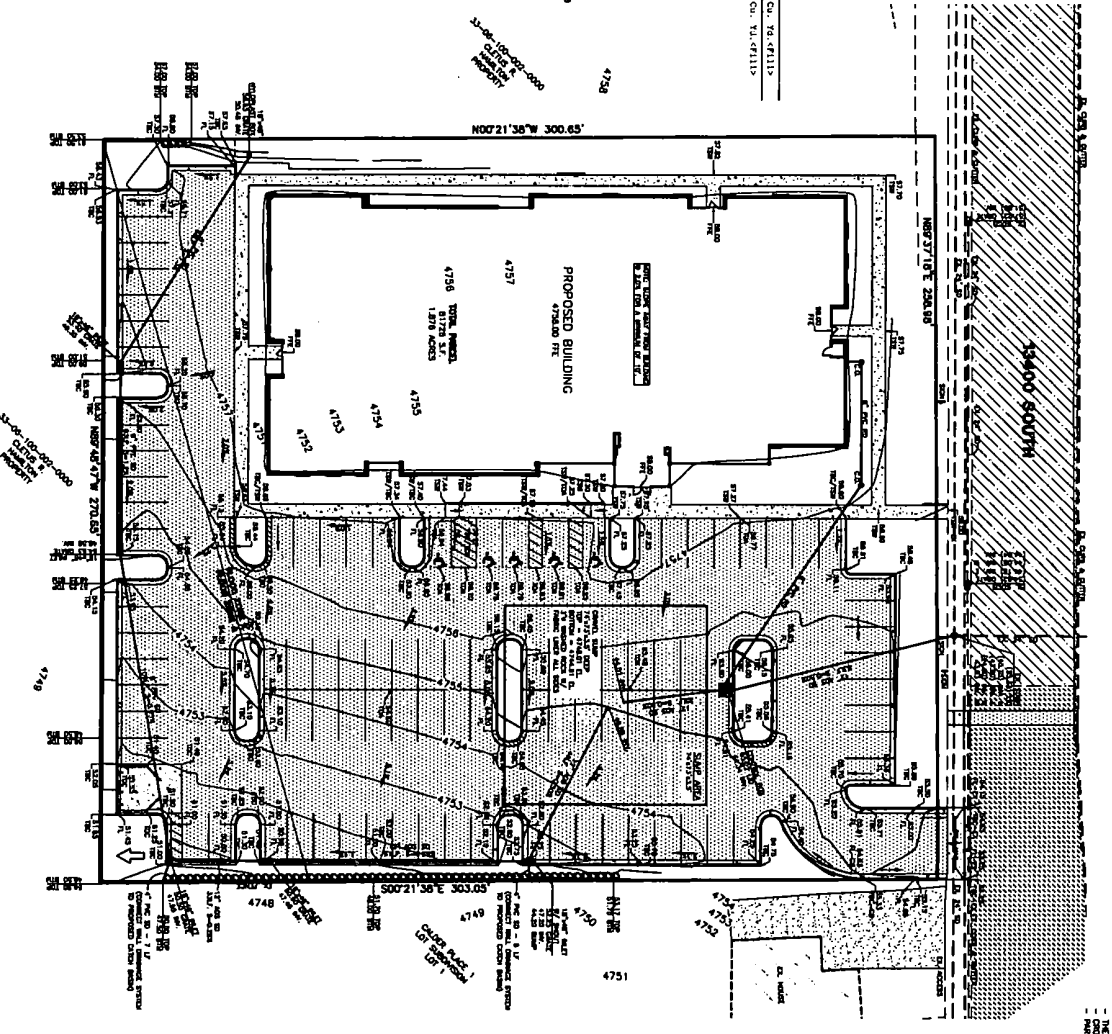


**Irrigation Certification**  
 AS THE APPLICANT OF THIS PROJECT, I HEREBY CERTIFY THAT I UNDERSTAND THE REQUIREMENTS OF THE IRRIGATION SYSTEM AND THE IRRIGATION SYSTEM SHALL BE CONFORMANT WITH THE IRRIGATION SYSTEM STANDARDS AND THE IRRIGATION SYSTEM SHALL BE CONFORMANT WITH THE IRRIGATION SYSTEM STANDARDS AND THE IRRIGATION SYSTEM SHALL BE CONFORMANT WITH THE IRRIGATION SYSTEM STANDARDS.

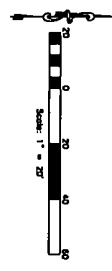
DEVELOPER: \_\_\_\_\_ DATE: \_\_\_\_\_

**Note:**  
 Contractor to verify All Existing Utility Locations, Terminations and Invert Elevations.

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. ANY REPRODUCTION OR COPIING OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY REPRODUCTION OR COPIING OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. IS STRICTLY PROHIBITED.



- PARKING LOT: HAS BEEN RELOCATED TO WEST PARKING CITY PARKING
- THE REMAINING LOT HAS BEEN RELOCATED TO EAST OF WALKWAY WALL.
- THE REMAINING WALL HAS BEEN RELOCATED TO EAST OF WALKWAY WALL.
- REMAINING WALLS ADDED TO WEST TO STABILIZE.



- INITIAL OVERLAP BOUNDS
- EXISTING UTILITIES (WATER, SEWER, GAS)
- EXISTING CONCRETE (PAVEMENT, CURBS)
- EXISTING FOUNDATIONS
- EXISTING UTILITIES (WATER, SEWER, GAS)
- EXISTING CONCRETE (PAVEMENT, CURBS)
- EXISTING FOUNDATIONS
- EXISTING UTILITIES (WATER, SEWER, GAS)
- EXISTING CONCRETE (PAVEMENT, CURBS)
- EXISTING FOUNDATIONS
- EXISTING UTILITIES (WATER, SEWER, GAS)
- EXISTING CONCRETE (PAVEMENT, CURBS)
- EXISTING FOUNDATIONS

Call Toll Free  
 1-800-962-4711

**Reeve & Associates, Inc.**  
 1000 W. 1000 S. SUITE 1000  
 RIVERTON, UT 84052  
 TEL: 801-328-4141 FAX: 801-328-4142  
 WWW: WWW.REEVE-ASSOCIATES.COM

DATE	DESCRIPTION
12/21/18	12/21/18 TO PERFORM CONSTRUCTION
12/18/18	12/18/18 TO PERFORM CITY COMMENTS
12/18/18	12/18/18 TO PERFORM CLIENT REVIEW
12/17/17	12/17/17 TO PERFORM CITY COMMENTS

**Riverton Medical Office Building  
 Construction Plans**  
 CITY OF RIVERTON, SALT LAKE COUNTY, UT

**Grading Plan**

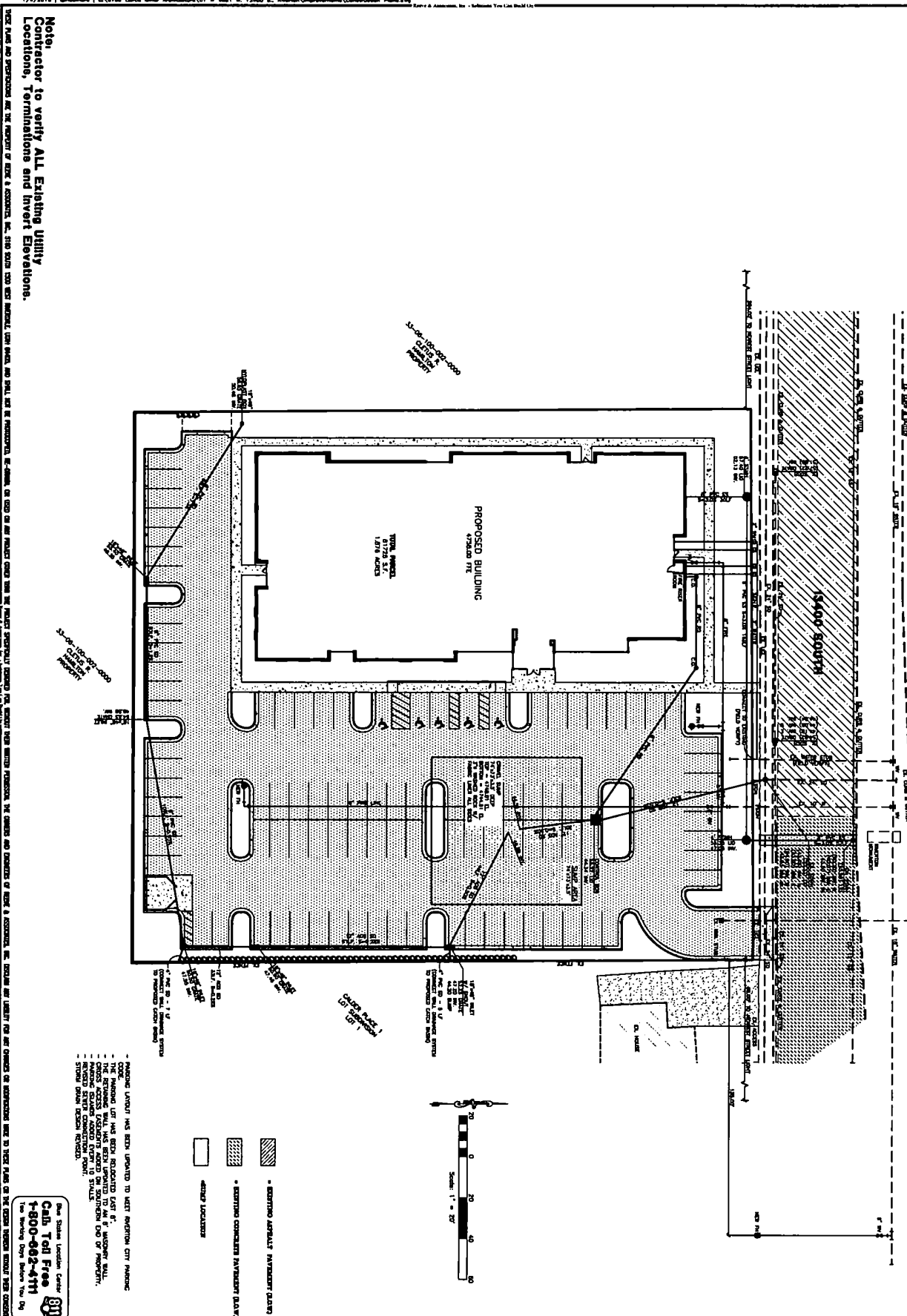
**Professional Seal**  
 ENGINEER  
 RIVERTON, UT  
 No. 13  
 Expires: 12/31/2021

**Project Data:**  
 Project Name: RIVERTON MEDICAL OFFICE BUILDING  
 Project Location: 1000 W. 1000 S., RIVERTON, UT 84052  
 Project Date: 12/21/18



**Right-of-Way Work**  
 A PORTION OF THE ENVIRONMENTAL REPORT MUST BE OBTAINED FROM RIVERTON CITY PRIOR TO COMMENCING ANY WORK IN THE RIGHT OF WAY. CONTACT AMON ROBERTS AT 801-208-3100.

**Note:**  
 Contractor to verify ALL Existing Utility Locations, Terminations and Invert Elevations.



Call Toll Free  
**1-800-882-4111**  
 No Agency Fees! You Pay Us!

PROJECT NO.	13
SHEET NO.	6
DATE	12/17/18
BY	AMON ROBERTS
CHECKED BY	AMON ROBERTS
APPROVED BY	AMON ROBERTS
SCALE	1" = 20'



**Riverton Medical Office Building**  
**Construction Plans**  
 CITY OF RIVERTON, SALT LAKE COUNTY, UT

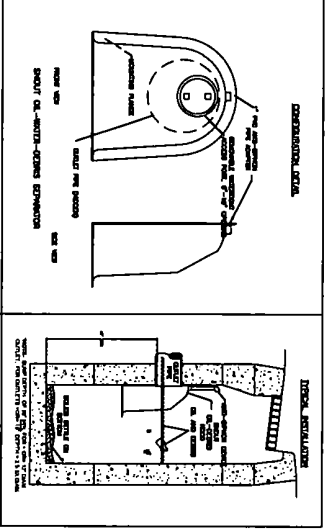
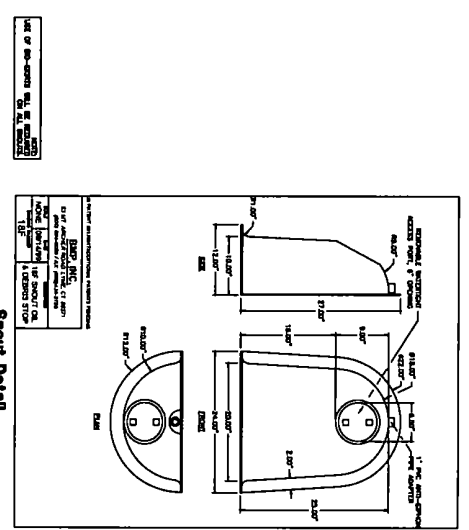
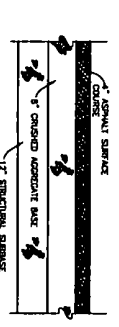
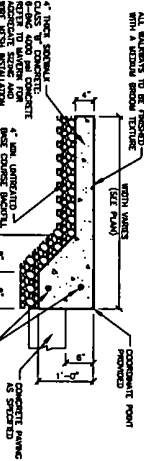
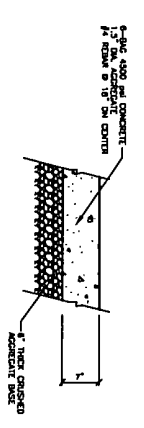
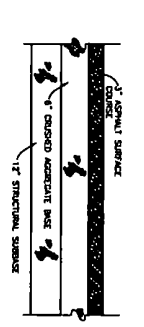
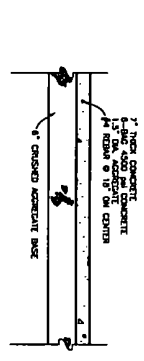
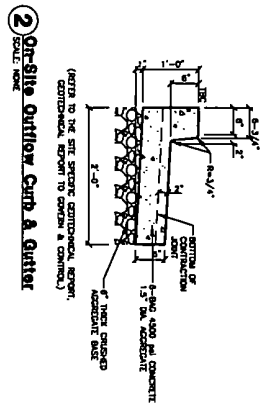
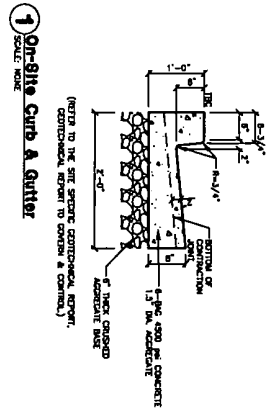
**Utility Plan**

DATE	DESCRIPTION
12/21/18	ISSUE CORRECTED
12/12/18	PER CITY COMMENTS
12/11/18	PER CLIENT REVIEW
1/24/17	FOR CITY COMMENTS

**RA** **Reeve & Associates, Inc.**

ONE 2000 WEST 1000 SOUTH, SUITE 200  
 RIVERTON, UTAH 84052  
 TEL: 801-945-8800 FAX: 801-945-8801  
 WWW.REEVE-ASSOCIATES.COM  
 LICENSE # 1299720 - P.E. AMON ROBERTS  
 LICENSE # 1299720 - P.E. AMON ROBERTS

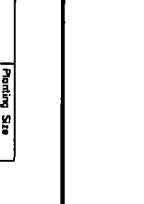
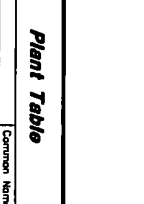
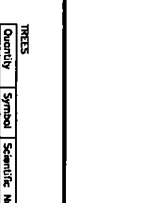
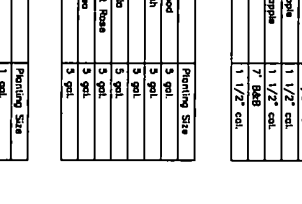
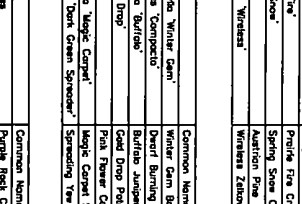
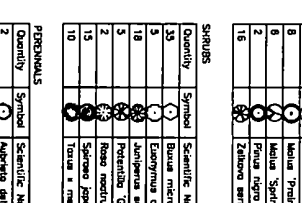
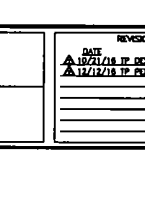
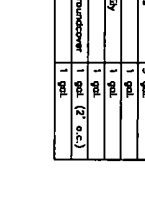
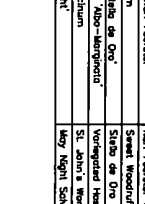
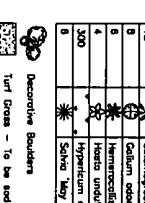
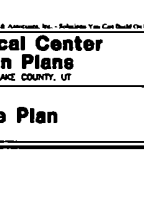
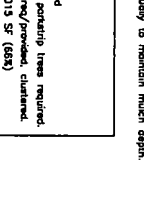
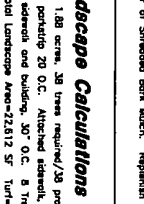
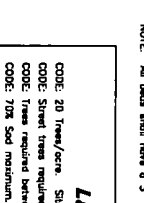
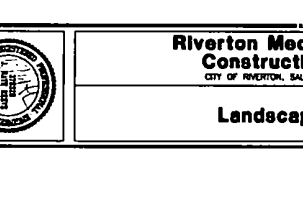
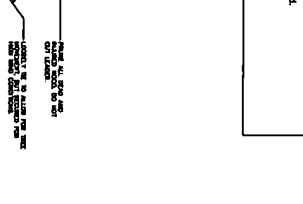
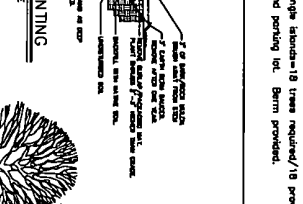
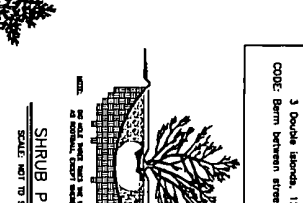
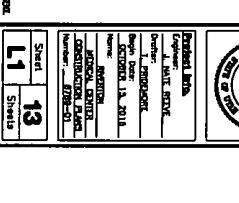
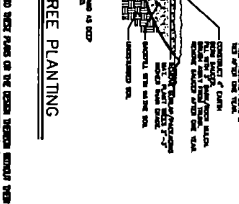
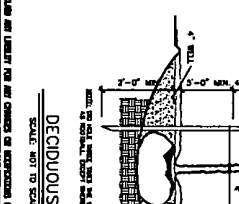
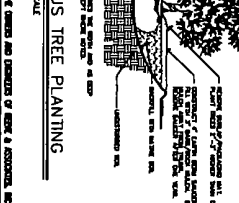
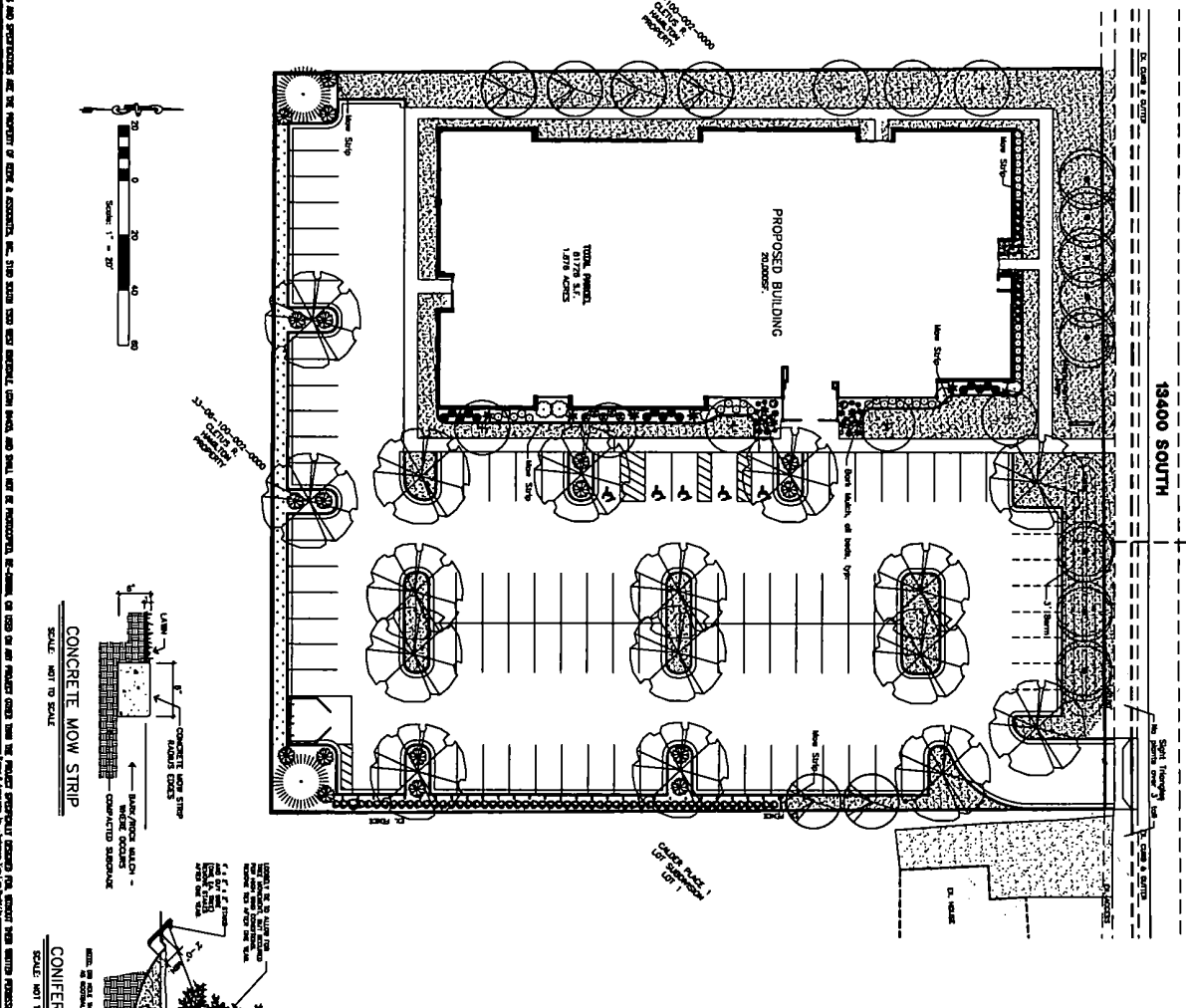
**Standard Details**  
 REFER TO RIVERTON CITY CODE, ARTS AND  
 ORDINANCES IN ADDITION TO THE DETAILS FOUND HERE.  
 REFER TO RIVERTON CITY PERM AND TRUCK  
 SCALE FOR APPLICABLE DIMENSIONS.



NO.	REVISION	DATE	BY	CHKD.
1	ADD HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
2	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
3	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
4	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
5	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
6	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
7	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
8	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
9	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN
10	REVISED HOOD AND TRAP TO THE SHEET AND WATER QUALITY STRUCTURES SHALL BE AS SHOWN IN THE DRAWING.	10/27/10	SP-SN	SP-SN

<b>Riverton Medical Office Building</b> Construction Plans CITY OF RIVERTON, SALT LAKE COUNTY, UT <b>Civil Details</b>	REVISIONS DATE: 10/27/10 BY: SP-SN DATE: 11/12/10 BY: SP-SN DATE: 11/12/10 BY: SP-SN DATE: 11/12/10 BY: SP-SN	<b>Reeve &amp; Associates, Inc.</b> ENGINEERS, ARCHITECTS, PLANNERS 1000 WEST 1000 SOUTH, SUITE 100 SALT LAKE CITY, UT 84119 TEL: 801.466.1000 FAX: 801.466.1001 WWW.REEVE-ASSOCIATES.COM
	PROJECT NO.: SHEET NO.: <b>7</b> OF <b>13</b> SHEETS	DATE: 10/27/10 BY: SP-SN CHECKED: SP-SN DATE: 10/27/10





**Plant Table**

TREES	Quantity	Symbol	Scientific Name	Common Name	Planting Size
1	1	⊙	Acacia saligna	Black Wattle	1 1/2" cal.
2	2	⊙	Albizia julibrissin	Queen's Lace	1 1/2" cal.
3	3	⊙	Calliandra viticoides	Yellow Bells	1 1/2" cal.
4	4	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
5	5	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
6	6	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
7	7	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
8	8	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
9	9	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
10	10	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
11	11	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
12	12	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
13	13	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
14	14	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
15	15	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
16	16	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
17	17	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
18	18	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
19	19	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.
20	20	⊙	Calliandra speciosa	Yellow Bells	1 1/2" cal.

**PERENNIALS**

Quantity	Symbol	Scientific Name	Common Name	Planting Size
1	⊙	Asplenium platyneuron	Rock Fern	1 gal.
2	⊙	Asplenium platyneuron	Rock Fern	1 gal.
3	⊙	Asplenium platyneuron	Rock Fern	1 gal.
4	⊙	Asplenium platyneuron	Rock Fern	1 gal.
5	⊙	Asplenium platyneuron	Rock Fern	1 gal.
6	⊙	Asplenium platyneuron	Rock Fern	1 gal.
7	⊙	Asplenium platyneuron	Rock Fern	1 gal.
8	⊙	Asplenium platyneuron	Rock Fern	1 gal.
9	⊙	Asplenium platyneuron	Rock Fern	1 gal.
10	⊙	Asplenium platyneuron	Rock Fern	1 gal.
11	⊙	Asplenium platyneuron	Rock Fern	1 gal.
12	⊙	Asplenium platyneuron	Rock Fern	1 gal.
13	⊙	Asplenium platyneuron	Rock Fern	1 gal.
14	⊙	Asplenium platyneuron	Rock Fern	1 gal.
15	⊙	Asplenium platyneuron	Rock Fern	1 gal.
16	⊙	Asplenium platyneuron	Rock Fern	1 gal.
17	⊙	Asplenium platyneuron	Rock Fern	1 gal.
18	⊙	Asplenium platyneuron	Rock Fern	1 gal.
19	⊙	Asplenium platyneuron	Rock Fern	1 gal.
20	⊙	Asplenium platyneuron	Rock Fern	1 gal.

**SHRUBS**

Quantity	Symbol	Scientific Name	Common Name	Planting Size
1	⊙	Buxus microphylla	Winter Green	3 gal.
2	⊙	Buxus microphylla	Winter Green	3 gal.
3	⊙	Buxus microphylla	Winter Green	3 gal.
4	⊙	Buxus microphylla	Winter Green	3 gal.
5	⊙	Buxus microphylla	Winter Green	3 gal.
6	⊙	Buxus microphylla	Winter Green	3 gal.
7	⊙	Buxus microphylla	Winter Green	3 gal.
8	⊙	Buxus microphylla	Winter Green	3 gal.
9	⊙	Buxus microphylla	Winter Green	3 gal.
10	⊙	Buxus microphylla	Winter Green	3 gal.
11	⊙	Buxus microphylla	Winter Green	3 gal.
12	⊙	Buxus microphylla	Winter Green	3 gal.
13	⊙	Buxus microphylla	Winter Green	3 gal.
14	⊙	Buxus microphylla	Winter Green	3 gal.
15	⊙	Buxus microphylla	Winter Green	3 gal.
16	⊙	Buxus microphylla	Winter Green	3 gal.
17	⊙	Buxus microphylla	Winter Green	3 gal.
18	⊙	Buxus microphylla	Winter Green	3 gal.
19	⊙	Buxus microphylla	Winter Green	3 gal.
20	⊙	Buxus microphylla	Winter Green	3 gal.

**DECIDUOUS TREE PLANTING**

Quantity	Symbol	Scientific Name	Common Name	Planting Size
1	⊙	Quercus macrocarpa	White Oak	1 gal.
2	⊙	Quercus macrocarpa	White Oak	1 gal.
3	⊙	Quercus macrocarpa	White Oak	1 gal.
4	⊙	Quercus macrocarpa	White Oak	1 gal.
5	⊙	Quercus macrocarpa	White Oak	1 gal.
6	⊙	Quercus macrocarpa	White Oak	1 gal.
7	⊙	Quercus macrocarpa	White Oak	1 gal.
8	⊙	Quercus macrocarpa	White Oak	1 gal.
9	⊙	Quercus macrocarpa	White Oak	1 gal.
10	⊙	Quercus macrocarpa	White Oak	1 gal.
11	⊙	Quercus macrocarpa	White Oak	1 gal.
12	⊙	Quercus macrocarpa	White Oak	1 gal.
13	⊙	Quercus macrocarpa	White Oak	1 gal.
14	⊙	Quercus macrocarpa	White Oak	1 gal.
15	⊙	Quercus macrocarpa	White Oak	1 gal.
16	⊙	Quercus macrocarpa	White Oak	1 gal.
17	⊙	Quercus macrocarpa	White Oak	1 gal.
18	⊙	Quercus macrocarpa	White Oak	1 gal.
19	⊙	Quercus macrocarpa	White Oak	1 gal.
20	⊙	Quercus macrocarpa	White Oak	1 gal.

**CONIFEROUS TREE PLANTING**

Quantity	Symbol	Scientific Name	Common Name	Planting Size
1	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
2	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
3	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
4	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
5	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
6	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
7	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
8	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
9	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
10	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
11	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
12	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
13	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
14	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
15	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
16	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
17	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
18	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
19	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.
20	⊙	Juniperus horizontalis	Creeping Juniper	1 gal.

**Landscape Calculations**

CODE: 20 Trees/acre. Site is 1.88 acres. 38 trees required/38 provided

CODE: Street trees required in parking 20 O.C. Attached sidewalk, no parking trees required.

CODE: Trees required between sidewalk and building. 30' O.C. 8 Trees req/provided. Satisfactory.

CODE: 70X Sod minimum. Total Landscape Area=22,612 SF Turf=19,015 SF (84%)

CODE: Parking lot islands shall have 2 trees/double island and 1 tree/island.

CODE: 3 Double islands. 12 Single islands=18 trees required/18 provided.

CODE: Berm between street and parking lot. Berm provided.

**Decorative Boulders**

Turf Grass - To be installed.

NOTE: All beds shall have a 3" layer of Shredded Bark Mulch. Replenish annually to maintain mulch depth.

**Riverton Medical Center Construction Plans**  
CITY OF RIVERTON, SALT LAKE COUNTY, UT

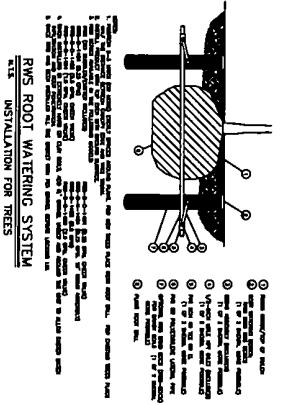
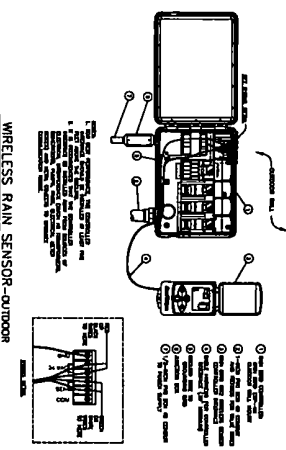
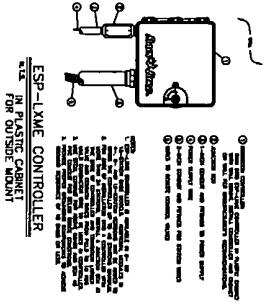
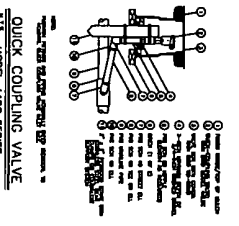
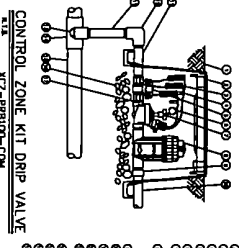
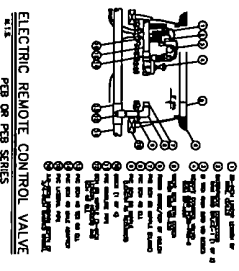
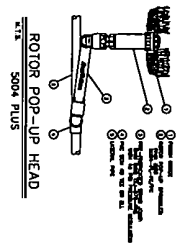
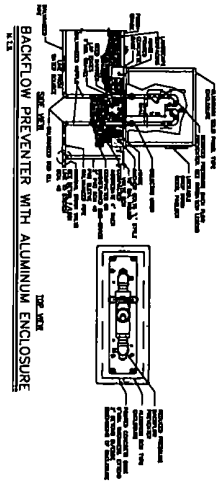
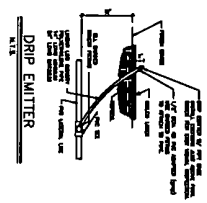
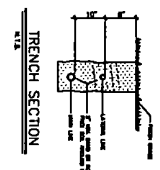
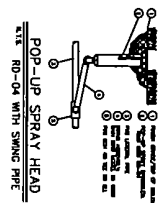
**Reeve & Associates, Inc.**

DATE: 12/22/10  
DESCRIPTION: RIVERTON MEDICAL CENTER CONSTRUCTION  
BY: J. REEVE, P.E., S.E., C.E., C.S.

Sheet: **L1** of 13  
Title: **13**  
Author: Shields



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. THEY SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY FOR ANY DAMAGES OR EXPENSES INCURRED BY THE USER. ANY CHANGES TO THESE PLANS OR THE DESIGN THEREON SHALL BE MADE BY REEVE & ASSOCIATES, INC. ONLY.



Sheet	13
Of	13
Project Name	RIVERTON MEDICAL CENTER
Client	CITY OF RIVERTON, UT
Design Date	OCTOBER 11, 2014
Drawn By	J. W. WILSON
Checked By	J. W. WILSON
Scale	AS SHOWN



**Riverton Medical Center**  
**Construction Plans**  
 CITY OF RIVERTON, SALT LAKE COUNTY, UT

**Irrigation Details**

DATE	DESCRIPTION
10/21/14	IF DESIGN COMPLETE
11/12/14	FOR CITY COMMENTS

**Reeve & Associates, Inc.**

1000 WEST 1000 SOUTH, SUITE 100  
 RIVERTON, UT 84052  
 801-734-1111