

## RESOLUTION NO. 15-05

### A RESOLUTION OF TREMONTON CITY CORPORATION APPROVING THE TREMONT CENTER DESIGN GUIDELINES & STANDARDS FOR PARCELS 05-168-0076; 05-168-0081; AND 05-168-0080

#### RECITALS

**WHEREAS**, the property owner desires to develop certain real property situated in the corporate city limits of Tremonton City, Box Elder County, State of Utah and legally described as follows, to wit:

THE NORTH 5 ACRES, BEING DESCRIBED AS THE NORTH 330 FEET, OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 11 NORTH, RANGE 3 WEST OF THE SALT LAKE BASE AND MERIDIAN. (Parcel Number 05-168-0076)

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 11 NORTH, RANGE 3 WEST, SALT LAKE BASE AND MERIDIAN, BOX ELDER COUNTY, UTAH AND FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 3, FROM WHICH THE SOUTHWEST CORNER OF SECTION 3 BEARS SOUTH 87°35'40" WEST 2625.01 FEET; THENCE NORTH 01°21'17" WEST 49.51 FEET ALONG THE MERIDIONAL CENTERLINE LINE OF SAID SECTION 3 TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 87°35'40" WEST 1270.88 FEET TO A POINT AT THE EXTENSION OF A FENCE LINE; THENCE NORTH 01°29'43" WEST 1281.66 FEET ALONG SAID EXTENSION AND FENCE LINE TO A POINT ON THE SOUTH LINE OF LONE BROOK PLANNED UNIT DEVELOPMENT, PHASE 1 AS RECORDED UNDER ENTRY NUMBER 147445 IN THE OFFICIAL RECORDS OF BOX ELDER COUNTY; THENCE NORTH 87°52'53" EAST 1002.82 FEET ALONG SAID SOUTH LINE OF SAID PHASE 1 AND THE SOUTH LINE OF LONE BROOK PLANNED UNIT DEVELOPMENT, PHASE 2, AMENDED PLAT AS RECORDED UNDER ENTRY NUMBER 192614 IN THE OFFICIAL RECORDS OF BOX ELDER COUNTY TO A POINT ON THE WEST LINE OF SUNSET ESTATES TOWN HOMES AS RECORDED UNDER ENTRY NUMBER 161626 IN THE OFFICIAL RECORDS OF BOX ELDER COUNTY; THENCE SOUTH 01°07'41" WEST 2.85 FEET TO THE SOUTHWEST CORNER OF SAID SUNSET ESTATES TOWN HOMES; THENCE NORTH 87°42' 06" EAST 271.24 FEET ALONG THE SOUTH LINE OF SAID SUNSET ESTATES AND ITS EXTENSION TO A POINT ON SAID MERIDIONAL CENTERLINE OF SECTION 3; THENCE SOUTH 01°21'17" EAST 1273.34 FEET ALONG SAID CENTERLINE TO THE TRUE POINT OF BEGINNING. LESS[05-168-0078, 0079]: A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 11 NORTH, RANGE 3 WEST, SALT LAKE BASE AND MERIDIAN, BOX ELDER COUNTY, UTAH AND FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 3, FROM WHICH THE SOUTHWEST CORNER OF SECTION 3 BEARS SOUTH 87°35'40" WEST 2625.01 FEET; THENCE NORTH 01°21'17" WEST 49.51 FEET ALONG THE MERIDIONAL CENTERLINE LINE OF SAID SECTION 3; THENCE SOUTH 87°35'40" WEST 559.06 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 87°35'40" WEST 302.74 FEET; THENCE NORTH 02°04'48" WEST 187.05 FEET; THENCE NORTH 87°35'40" EAST 302.74 FEET; THENCE SOUTH 02°04'48" EAST 187.05 FEET TO THE TRUE POINT OF BEGINNING. ALSO LESS[05-168-0076]: A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 11 NORTH, RANGE 3 WEST, SALT LAKE BASE AND MERIDIAN, BOX ELDER COUNTY, UTAH AND FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 3, FROM WHICH THE SOUTHWEST CORNER OF SECTION 3 BEARS SOUTH 87°35'40" WEST 2625.01 FEET; THENCE NORTH 01°21'17" WEST 49.51 FEET ALONG THE MERIDIONAL CENTERLINE LINE OF SAID SECTION 3; THENCE SOUTH 87°35'40" WEST 1270.88 FEET TO A POINT AT THE EXTENSION OF A FENCE LINE; THENCE NORTH 01°29'43" WEST 1281.66 FEET ALONG SAID EXTENSION AND FENCE LINE TO A POINT ON THE SOUTH LINE OF LONE BROOK PLANNED UNIT DEVELOPMENT, PHASE 1 AS RECORDED UNDER ENTRY NUMBER 147445 IN THE OFFICIAL RECORDS OF BOX ELDER COUNTY, THE TRUE POINT OF BEGINNING; THENCE NORTH 87°52'53" EAST 660.00 FEET ALONG SAID SOUTH LINE OF PHASE 1 AND THE SOUTH LINE OF LONE BROOK PLANNED UNIT DEVELOPMENT, PHASE 2,

AMENDED PLAT AS RECORDED UNDER ENTRY NUMBER 192614 IN THE OFFICIAL RECORDS OF BOX ELDER COUNTY TO A POINT ON THE WEST LINE OF SUNSET ESTATES TOWNHOMES AS RECORDED UNDER ENTRY NUMBER 161626 IN THE OFFICIAL RECORDS OF BOX ELDER COUNTY; THENCE SOUTH 01\*21'17" EAST 330.00 FEET; THENCE SOUTH 87\*52'53" WEST 660,00 FEET; THENCE NORTH 01\*21'17" WEST 330.00 FEET TO TRUE POINT OF BEGINNING. LESS[05-168-0080]:LOT 01 TREMONT CENTER PHASE 01. (Parcel Number 05-168-0081)

LOT 01 TREMONT CENTER PHASE 01 (Parcel Number 05-168-0080)

**WHEREAS**, the property owner has elected to subdivide and develop the site in phases and for this reason the City's Land Use Code requires the submittal of a Master Site Plan in accordance with Section 1.26.015 (*emphasis added*):

*When sites are proposed to be developed in phases, a Master Site Plan approval is required prior to approving the individual Site Plans within the project and the submission of an application for a Building Permit.*

**WHEREAS**, Utah Code 10-9a-102 (1) grants authority to cities to regulate aesthetics of each municipality; and

**WHEREAS**, Section 1.26.015 of the City's Land Use Code requires the submission of architectural guidelines for Master Site Plan Approvals; and

**WHEREAS**, the City has approved the Master Site Plan, which was submitted by the Master Developer subject to certain requirements and conditions, which involve meeting the requirements of the City's Land Use Code, the City's Zoning Ordinance.

**NOW THEREFORE BE IT RESOLVED** by the Tremonton City Council that Resolution No. 15-05 is hereby adopted approving the *Tremont Center Design Guidelines & Standards* as attached in Exhibit "A" applicable to all property as legally described in the *Recital* section of this Resolution.

**FURTHER BE IT RESOLVED** that all structures and development shall comply with the *Tremont Center Design Guidelines & Standards* contained in Exhibit "A" and any requirement contained in the City's Land Use Code then in effect at the time of approval, including but not limited to Title I, Chapters 16 (1.16.045 Tremont Center Mixed Use Over Zone Required Design Guidelines), 19, and 26. The City Land Use Authority Board and Building Official shall only approve structures for Building Permits that the meet the requirements of the *Tremont Center Design Guidelines & Standards* and any applicable Land Use Code.

**FINALLY BE IT RESOLVED** that this Resolution shall be recorded in the Box Elder County Recorder's Office to inform future property owners of the *Tremont Center Design Guidelines & Standards*' applicability to property that may be purchased.

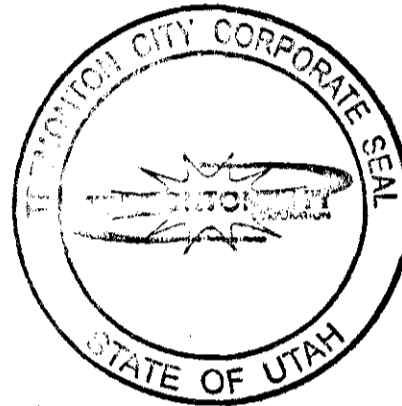
Adopted and passed by the governing body of Tremonton City Corporation this 20<sup>th</sup> day of January 2015.

TREMONTON CITY  
A Utah Municipal Corporation

By *Byron Wood*  
Byron Wood, Chairperson

ATTEST:

*Darlene S. Hess*  
Darlene S. Hess, Recorder

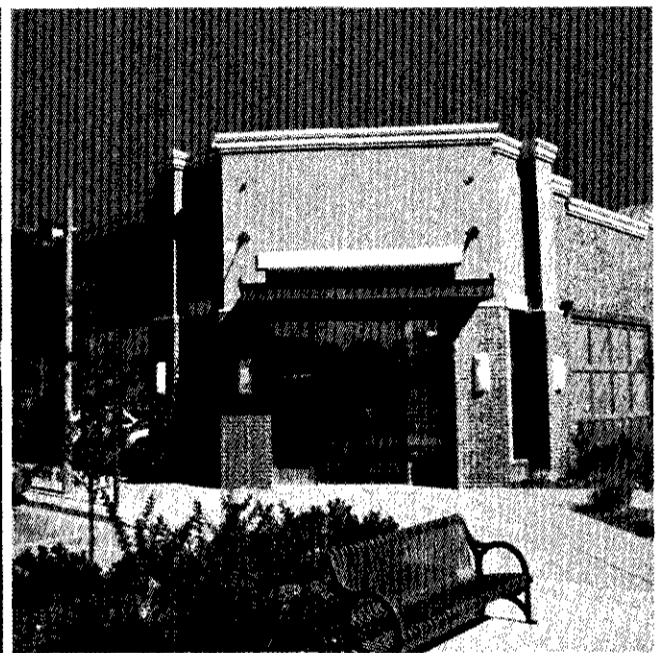


**EXHIBIT "A"**

# Tremont Center

## Design Guidelines & Standards

January 20th, 2014



Prepared by



civilsolutionsgroup inc.

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# PREFACE

Utah Code 10-9a-102 provides the general land use authority to cities to promote the aesthetics of the municipality and, in addition to enacting ordinances and resolutions, approve rules, regulations by entering into development agreements. As such the Tremont Center Design Guidelines & Standards are approved by Tremonton City as part of the Master Development Agreement for the Tremont Center. These guidelines are to be recorded as a restrictive covenant and be applicable to all development within the Tremont Center. In cases of conflict between guidelines and standards contained herein and the Tremonton City Land Use Code the following regulation, 1.01.020 CONFLICTING STANDARDS of the Tremonton City Land Use Code, shall apply:

This Title shall not nullify laws that are more restrictive or provisions that are more restrictive as set forth in covenants, agreements or deed restrictions governing the subdivided property, but shall prevail over such laws or provisions that are less restrictive. This provision shall not be interpreted to imply that the City will enforce restrictive covenants to which it is not a party.

All projects will still require necessary city approvals. This document may be changed or updated by recommendation of the Design Review Committee (DRC) organized by this document and the Tremonton City Council's approval.

# DESIGN REVIEW PROCESS

## 1. Design Review Committee (DRC) Composition

1. The Design Review Committee (DRC) shall have a minimum of 3 members at a meeting in order to review and approve a design. The DRC members shall include: 1 representative from Tremonton City, 1 Professional Designer (Architect, Landscape Architect) and 1 representative from the developer. Tremonton City shall appoint the city representative such as the City Manager, City Planner, Building Official, and etc. to attend the meetings. The developer shall appoint the Professional Designer Representative and the Developer Representative. The Professional Designer shall not be the same designer who actually did the design work.

## 2. Design Review Process

1. The Client Representative is the representative of the sub-developer or builder. The Client Representative shall submit three sets of 11x17 color plans to the DRC minimum one week prior to DRC meeting. Plans shall include: color elevations of buildings prepared and stamped by a Utah licensed architect, building floor plans, site plans prepared and stamped by a design professional, and landscape plans prepared and stamped by a Utah licensed landscape architect.
2. The Developer Representative shall set the schedule for reviewing proposed development and building plans. The Developer shall inform the Professional Designer Representative and City Representative of the schedule. In order for a DRC meeting to occur and vote on project approval the DRC shall have all 3 members present at the meeting.
3. The DRC shall meet and review the plans. **The DRC has two roles: first to make sure the project meets the design guidelines and standards contained herein and second to provide other guidance so that the individual project remains consistent and high quality throughout the entire project.** During the review the DRC shall decide if the submitted plans meet the design guidelines and standards contained herein. Complete project approval from the DRC shall require a unanimous vote. The DRC's approval is separate from city approval. All projects will still require necessary city approvals and processes. The DRC approval shall happen simultaneously as city project approval.
4. If the proposed plans do not meet the design guidelines and standards contained herein then the DRC shall issue a written statement of items that need to be changed to get approval.
5. If the proposed plans meet the design guidelines and standards contained herein intent and requirements of the Design Guidelines then the DRC shall issue a written approval to the Client Representative and the city.



# SITE STANDARDS

## 1. Entrance Guidelines and Standards

1. The main entrances to the Tremont Center shall include the two entrances from Main Street and the two entrances on 400 West Street.
2. Buildings at the corners of Main Entrances shall have unique architecture. These options may include features such as towers, plazas or gateway monument signs as approved by the DRC.



Unique corner architectural design at entrance to site.

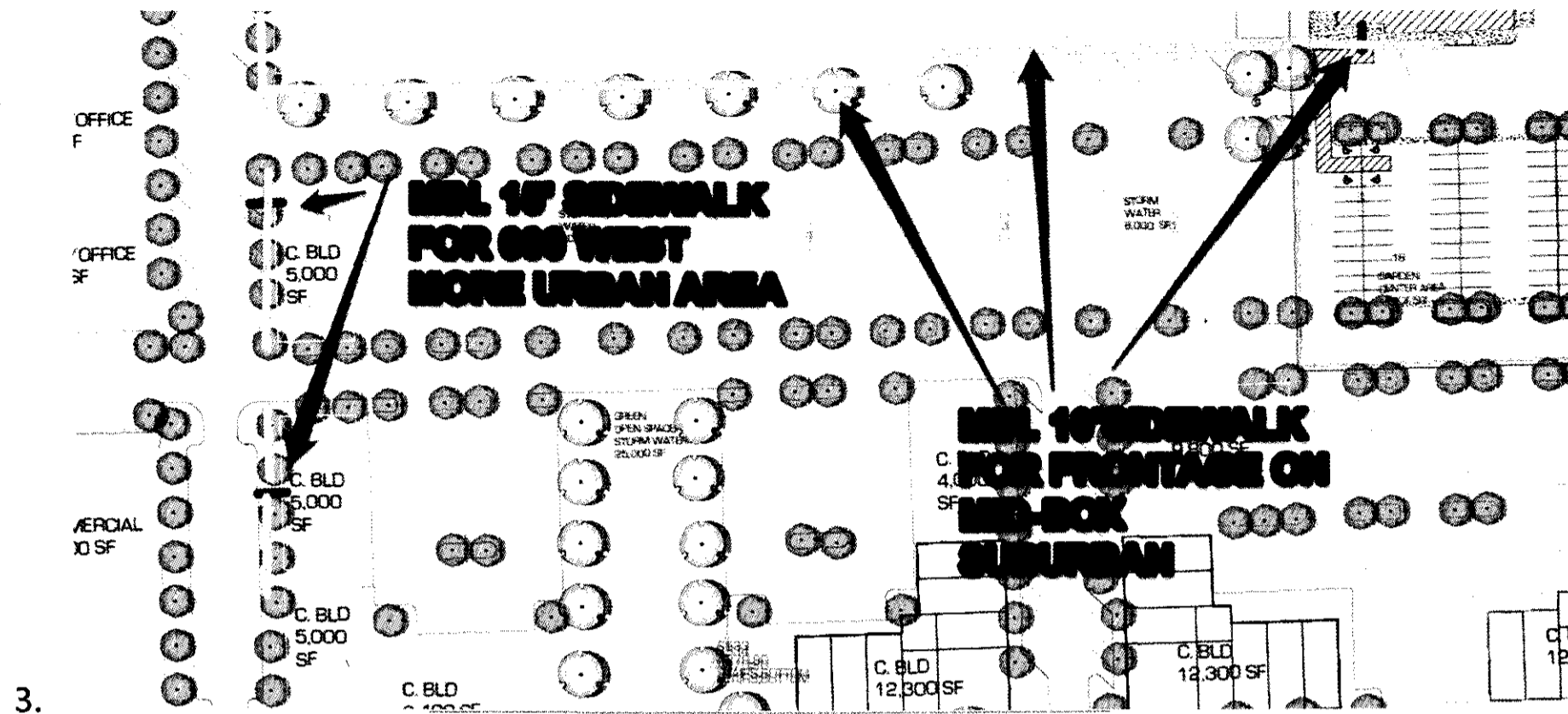
## 2. Sidewalks Standards

All sidewalks in the Tremont Center will have a minimum width or configuration as follows:

1. Residential sidewalks shall be 5' wide walk minimum
2. All building entrances shall be interconnected by a network of sidewalks.
3. Internal walkways shall be provided to interconnect parking lots with building entrances and shall be 5' wide walk minimum.
4. Mid-box stores on the private drive have a 10' wide walk minimum and the retail stores on 600 west have a 15' wide walk minimum. A 15' wide walk minimum allows for outside dining or sidewalk sells, street furniture, plenty of walking width and etc. See graphic below.

## TREMONT CENTER

## DESIGN GUIDELINES &amp; STANDARDS



#### 4. Signage Guidelines and Standards

1. The Developer shall provide a master signage plan for the entire development to help guide sign design decisions, prior to the installation of any signage other than a wall sign. A well planned signage system shall improve the visual quality of the Tremont Center. These sign guidelines shall apply to all tenants including those with pre-established sign standards.
2. Signs visible from roadways and adjoining neighborhoods and walkways shall be finished on all sides.
3. Signs shall be finished with materials and colors that match the palette of the predominant materials and colors of the architecture at the Tremont Center, as determined by the DRC.
4. Signs for nearby businesses shall be grouped into one monument-style sign. The same monument design shall be repeated as necessary throughout the



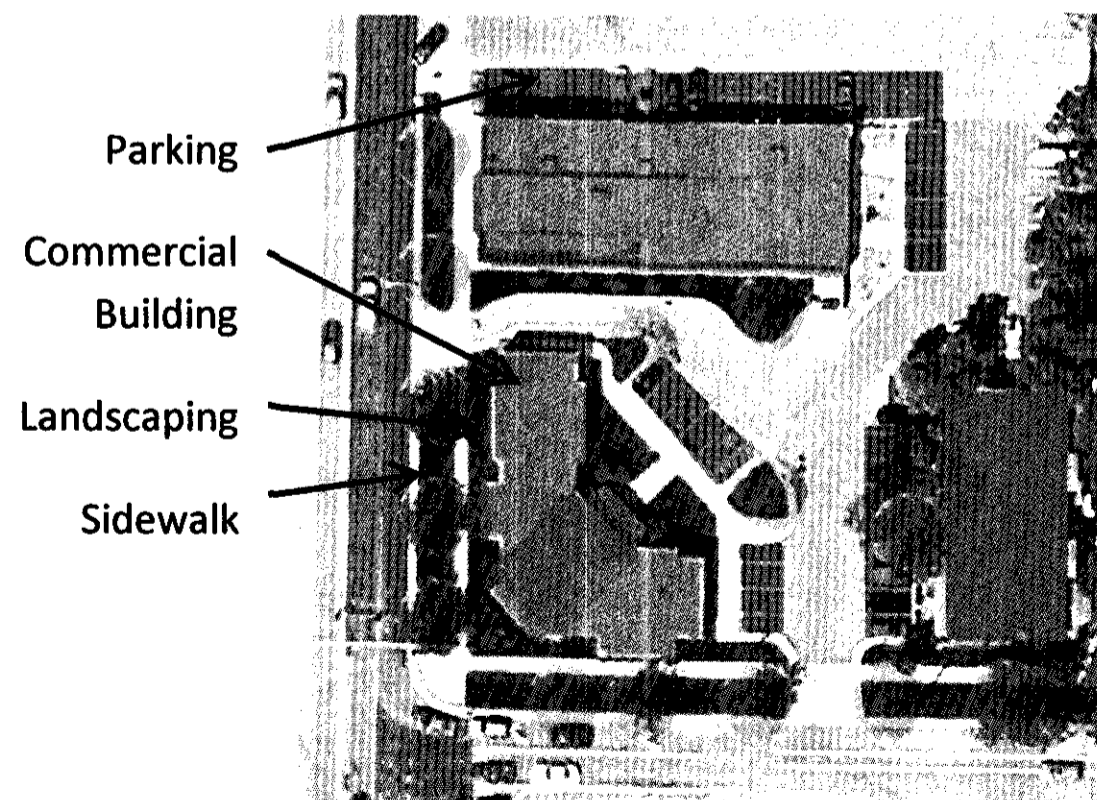
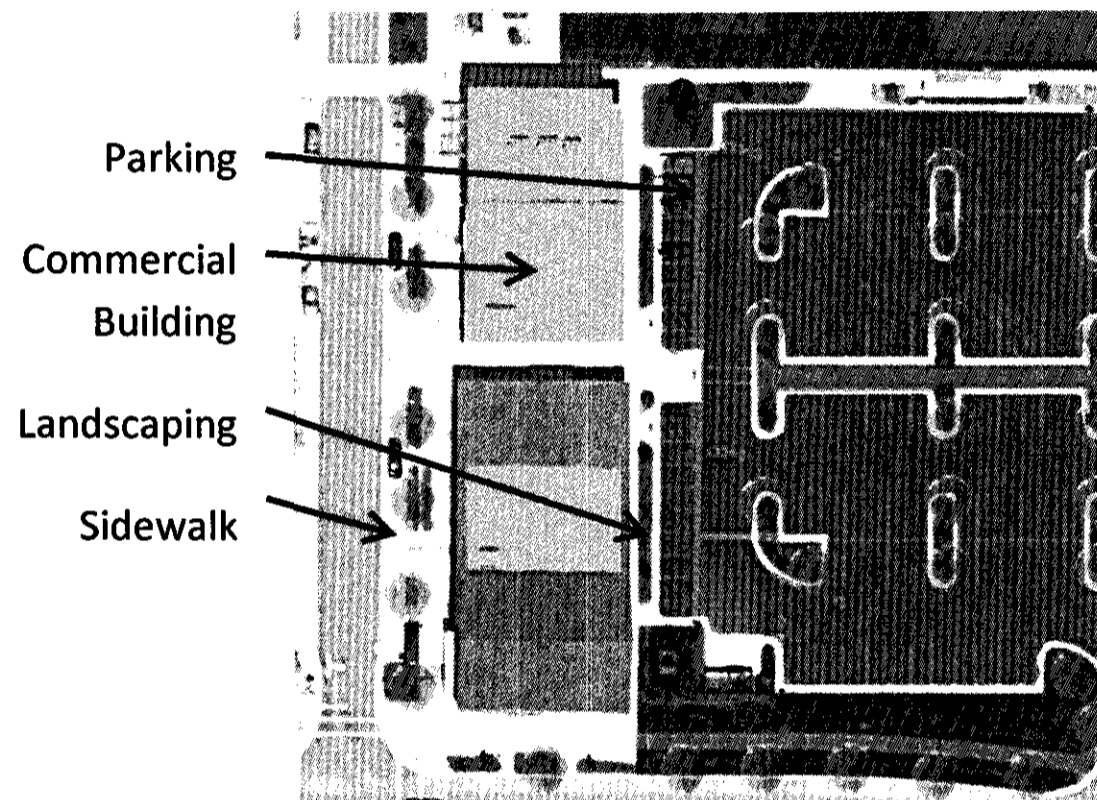
**TREMONT CENTER DESIGN GUIDELINES & STANDARDS**

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project to have a common sign design pattern as approved in the master signage plan.

## 5. Parking Layout Guidelines and Standards

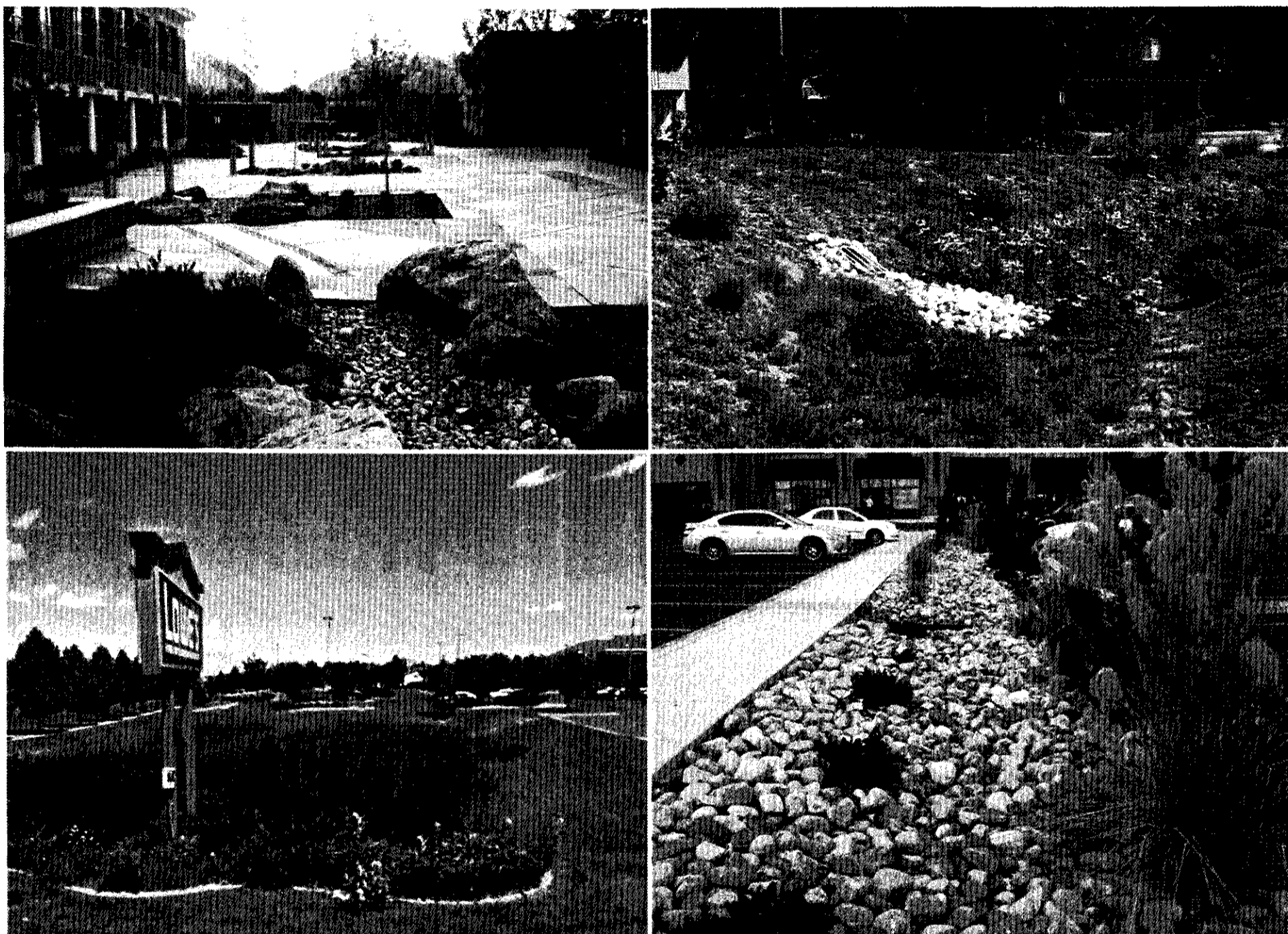
1. Parking areas shall be landscaped and lit in accordance with the City's Land Use Code, Title 1 Chapter 17 and 18.
2. For buildings smaller than 20,000 square feet, parking shall be to the sides and rears of buildings. Corner lots shall screen parking through building placement, berming, and adequate landscape treatments as shown in these images. The screening of parking standard is especially important for buildings that have frontage on Main Street.
3. Plan parking lots for snow storage.
4. Parking lots shall be linked and shall have cross access easements to provide for internal traffic circulation throughout the entire development.



Main Street & Corner building parking layout example

## 6. Storm Water Basins Standard

1. Storm water basins shall be landscaped to be attractive and shall meet the requirements of the City's Land Use Code, Title III Chapter 20.



Examples of Storm water Basins

# ARCHITECTURE

1. Architectural building standards shall unify the various buildings within Tremont Center. These details greatly enhance the sense of place and create a more vibrant atmosphere. Both franchises and local stores shall be required to meet these standards.

## 1. General Building Guidelines and Standards

1. These Standards apply to all buildings.
2. Sides of buildings facing the street(s) shall not be blank walls. All visible sides shall include architectural features to break up long stretches of the same surface or material.
3. Utilize parapet walls, gabled roofs, dormers, and other architectural features to add variety and style.
4. The heights of the buildings along the frontage of Main Street shall be in accordance with the requirements contained in the City's Land Use Ordinance, Title I – Chapter 16.
5. Entrances to buildings shall be inviting and provide protection from sun and weather to pedestrians by either recessing the entry or through the use of arcades, roofs, porches, patios, or awnings.
6. Building materials and colors shall be consistent throughout the development and be similar to the following, as determined by the DRC:

**TREMONT CENTER DESIGN GUIDELINES & STANDARDS**

Tan, multi-color fabricated stone

Tan stucco, 2 shades

Black framing

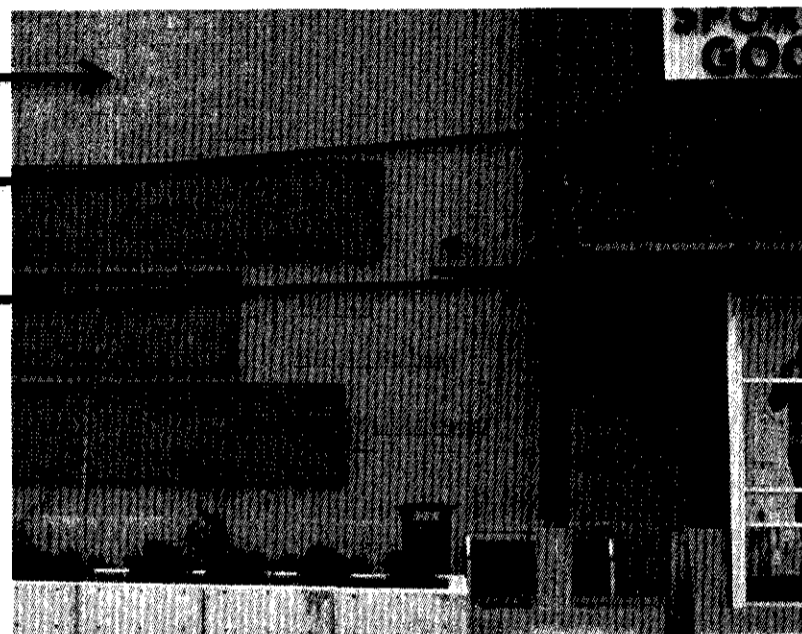
Gray concrete



Solid gray color brick

Dark red color brick

Metal awnings



## 2. Canopies and Awnings Guidelines and Standards

1. Fabric Canopies are acceptable. Building supported canopies are allowed. Canopies supported by poles are allowed within encroachment zones or sidewalks.
2. Rigid Canopies are allowed, provided the wall to which the canopy is attached extends a minimum of 5 feet above the top edge of construction and materials to match and complement the building to which they are attached.
3. Awnings over doors and windows are encouraged, provided they are an integral part of the architecture of the building and reflect the design and character of the structure. **Metal awnings are preferred.**



Awnings provide a more inviting entrance.  
Cornicing on top adds style and character.



Walmart Super Store in Centerville, UT.  
designed to look like multiple smaller  
buildings

### 3. Commercial Building Standards for buildings 20,000 Square Feet or smaller.

1. In order to create unique architecture the building design shall meet 4 of the 7 options below; per building side that faces the street, as determined by the DRC. The final building design shall be approved by the DRC.
  - i. **Option 1: Change in roofline or parapet.** This feature is intended to make noticeable changes in the roofline. The roofline or parapet shall go up or down and alter in a significant way that improves the design of the building.
  - ii. **Option 2: Change in material.** The building sides that face the street shall have a change in material (minimum surface 20%, submitted plans for the DRC shall have a tabulation table that identifies percentage of change in material). Change in materials may include, but not limited to: stucco, concrete siding, stone, metal, manufactured stone, stone, block, wood, architectural concrete, and other approved materials by DRC. Changes in material shall contribute to an improved design.
  - iii. **Option 3: Change in color.** The building sides that face the street shall have a change in color (minimum surface 20%, submitted plans to the DRC shall have a tabulation table that identifies percentage of change in color). Change in color shall improve the quality of the design and provide unique features. Change in color shall be obvious and contribute to an improved design. The colors of the building shall be approved by the DRC and compatible with the project color palette.
  - iv. **Option 4: Awnings.** The building sides that face the street and other sides shall include awnings. Awnings on retail buildings provide needed cover from the weather for customers. Awnings shall be metal



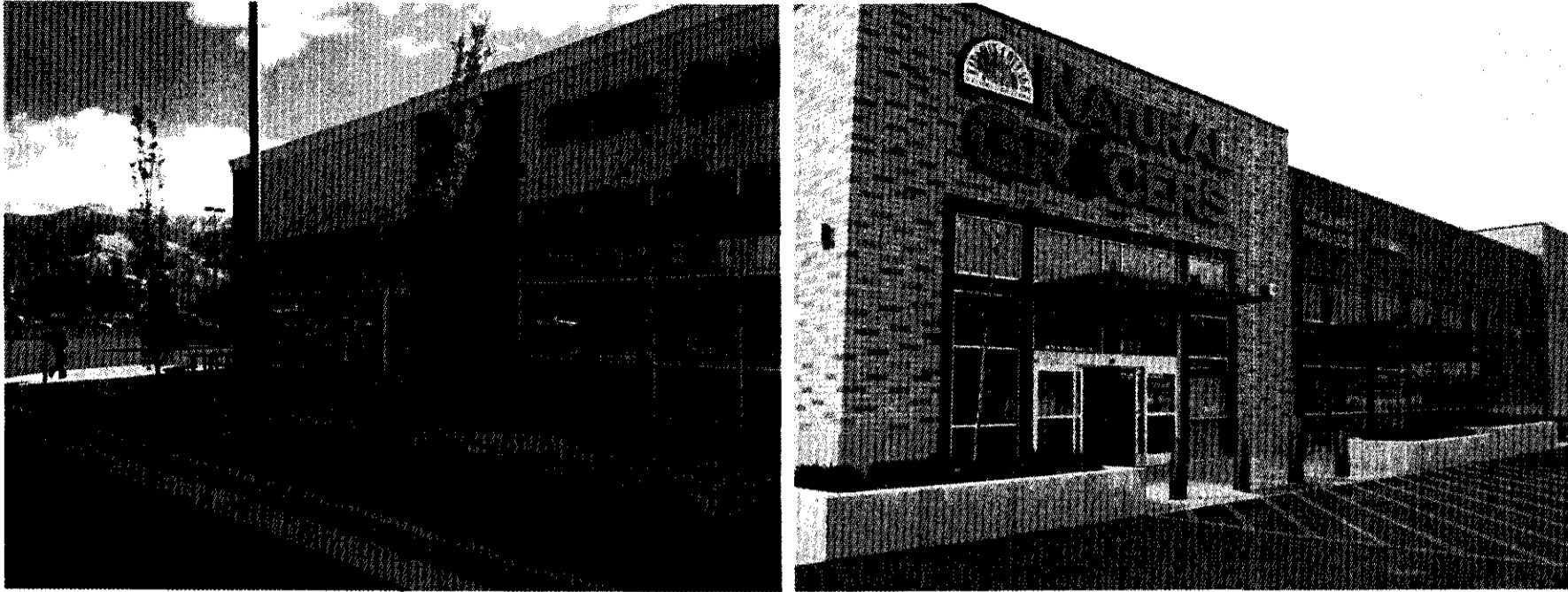
(preferred), fabric or other materials. The awning design and selection shall be integrated into the overall building design.

- v. **Option 5: Columns.** For the building side that faces the street adding columns is a great way to enhance the architecture. Columns shall be used to draw attention to the entrance and make it a significant focal point. Columns shall also be used to break up large facades. For this option to be applicable the building design shall have multiple columns per side (minimum of 1 column per total 25 feet of building side length).
- vi. **Option 6: Windows.** Smaller retail commercial buildings shall have a higher percentage of windows. Facades that face the street shall have a minimum of 50% windows for the first level unless the architecture design provides sufficient reason not to be, as determined by the DRC. Facades that have 50% windows may count as two options if requested and approved by the DRC. Submitted plans for the DRC shall have a tabulation table that identifies percentage of windows.
- vii. **Option 7: Variation of Plane.** This option includes doing bump outs or altering the building massing in a way to change a flat plane or wall. The specific variation of plane shall be determined by the DRC.

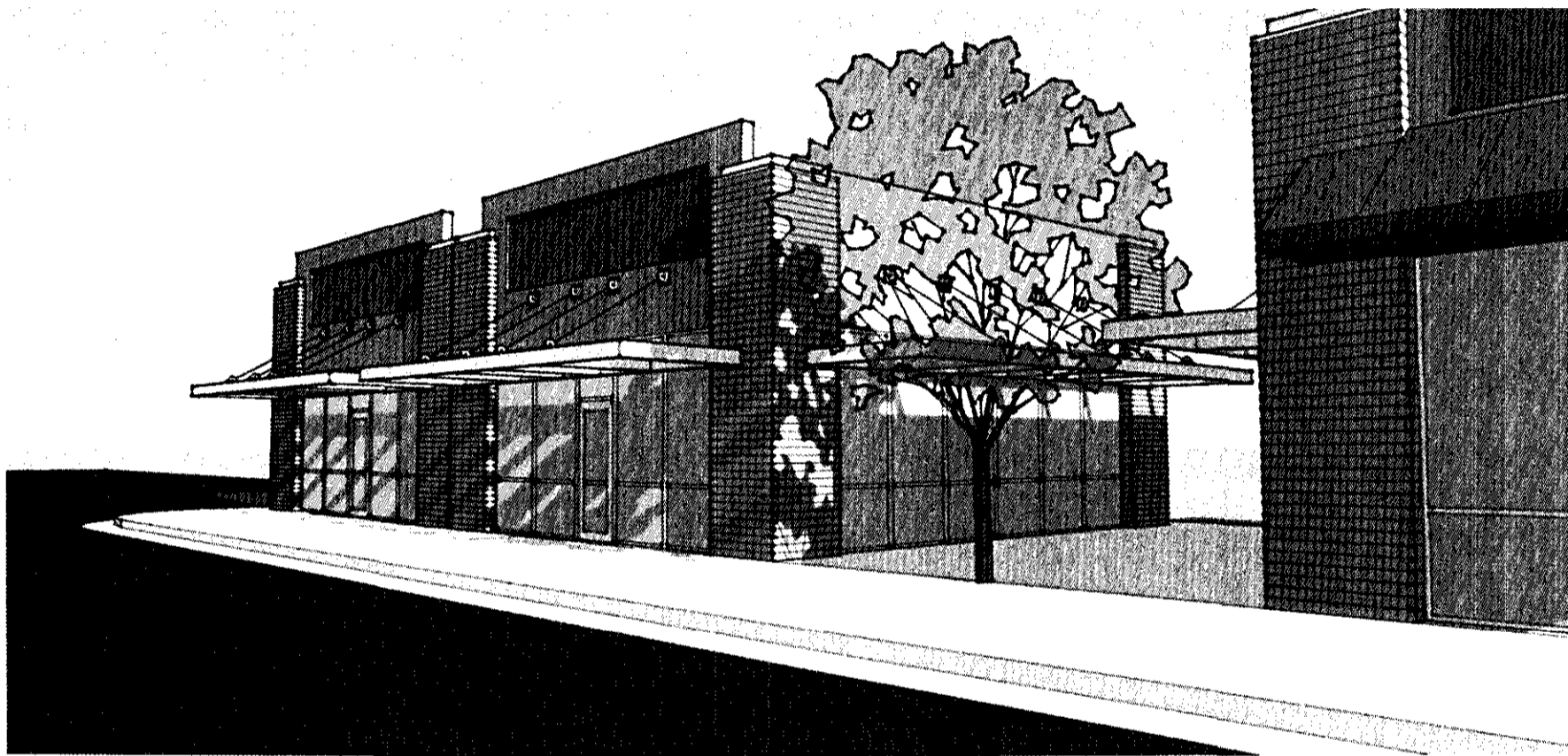


Architect's Concept of Smaller Commercial Building

WYATT  
ARCHITECTS

**TREMONT CENTER DESIGN GUIDELINES & STANDARDS**


Commercial Buildings with transparent street fronts and metal awnings



Artist's concept for smaller commercial buildings

#### 4. Larger Commercial Building Standards (buildings greater than 20,001 square feet)

1. In order to create unique architecture the building design shall meet 4 of 7 options below; per building side that faces the street, as determined by the DRC. The final building design shall be approved by the DRC. The entrance doors and surrounding area shall be predominantly glass for larger buildings.
  - i. **Option 1: Change in roofline or parapet.** This feature is intended to make noticeable changes in the roofline. The roofline or parapet shall go up or down and alter in a significant way that improves the design of the building which shall occur at a minimum of every 50 feet. Vertical height change shall be noticeable from the views from the sidewalk and street.

- ii. **Option 2: Change in material.** The building sides that face the street shall have a change in material (minimum surface 20%, submitted plans for the DRC shall have a tabulation table that identifies percentage of change in material). Change in materials may include, but not limited to: stucco, concrete siding, stone, manufactured stone, metal, stone, block, wood, architectural concrete, and other approved materials by DRC. Change in material shall be obvious and contribute to an improved design.
- iii. **Option 3: Change in color.** The building sides that face the street shall have a change in color (minimum surface 20%, submitted plans for the DRC shall have a tabulation table that identifies percentage of change in color). Change in color shall improve the quality of the design and provide unique features. Change in material shall be obvious and contribute to an improved overall building design. The colors of the building shall be approved by the DRC and compatible with the project color palette.
- iv. **Option 4: Awnings.** The building sides that face the street and other sides shall include awnings. Awnings on retail buildings provide needed cover from the weather for customers. Awnings shall be metal (preferred for this project), fabric or other materials. The awning design and selection shall be integrated into the overall building design.
- v. **Option 5: Columns.** For the building sides that face the street adding columns is a great way to enhance the architecture. Columns may be used to draw attention to the entrance and make it a significant focal point. Columns may also be used to break up large facades. For this option to be applicable the building design must have multiple columns per side (minimum of 1 column per total 25 feet of building side length).
- vi. **Option 6: Windows.** Adding windows on large facades that face the street can be a great way to enhance the design. This option for large buildings would include adding glass or windows of minimum 20% per building side. Submitted plans for the DRC shall have a tabulation table that identifies percentage of windows.
- vii. **Option 7: Variation of Plane.** This option includes doing bump outs or altering the building massing in a way to change a flat plane or wall. The specific variation of plane shall be determined by the DRC.

## 5. Scaling Guideline and Standard.

1. The designer shall incorporate the use of other scaling features including horizontal banding, columns, sills, lintels, and other features to emphasize

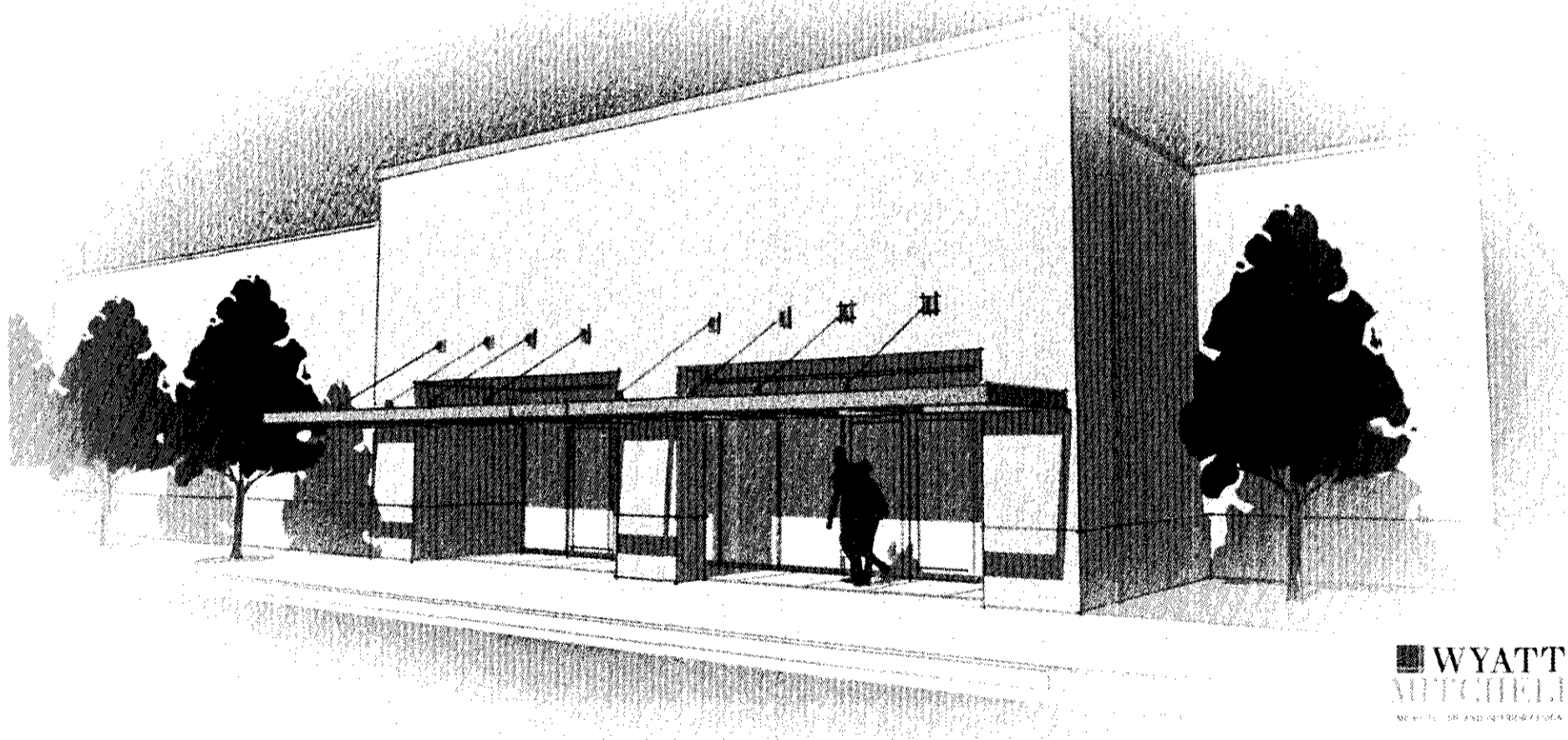
window openings, changes in color, material, or texture. Scaling is used to in design to relate the building to the size of humans.

#### **6. Flat Roof Guideline and Standard.**

1. Flat roofs are acceptable on commercial and larger buildings when done in conjunction with gabled roofs, dormer or articulated parapet walls. If a long roof paralleling the street is unavoidable, large gables or similar treatments, as determined by the DRC facing the street shall be required.



Large Commercial Example of Awning, Roof line, Material and Color



Architect's Concept Design for Larger Commercial (mid box)

**7. Separate Entrance Guidelines and Standard.**

1. Smaller retail stores that are part of a larger principal building shall have display windows and separate outside entrances

## 8. Residential Building Guidelines and Standards

1. For residential buildings no building next to each other and across the street may have the same front façade design. The façade design of residential buildings shall vary in 4 of the following 6 options (different than below): (1) building color(s), (2) material selection and layout of materials, (3) building roof line design, (4) window style and or locations, (5) building exterior trim and (6) architecture style. The goal is to not have an “apartment complex look” but to create a series of unique buildings that establish a neighborhood feel.
2. In order to create quality architecture each building design shall meet 3 of 5 options below, per building side that faces the street, as determined by the DRC. The final building design shall be approved by the DRC.
  - i. **Option 1: Change in roofline or parapet.** This feature is intended to make noticeable changes in the roofline. The roofline or parapet shall go up or down and alter in a significant way that improves the design of the building. Vertical height change shall be noticeable from the edge of property.
  - ii. **Option 2: Change in material.** The building sides that face the street shall have a change in material (minimum surface 20%, submitted plans for the DRC shall have a tabulation table that identifies percentage of change in material). Change in materials may include, but not limited to: stucco, concrete siding, stone, manufactured stone, stone, block, wood, architectural concrete, and other approved materials by DRC. The change in material shall occur at an inside corner created by another architectural feature such as a column. Change in material shall be obvious and contribute to an improved design.
  - iii. **Option 3: Change in color.** The building sides that face the street shall have a change in color (minimum surface 20%, submitted plans for the DRC shall have a tabulation table that identifies percentage of change in color). Change in color shall improve the quality of the design and provide unique features. Change in material shall be obvious and contribute to an improved overall building design.
  - iv. **Option 4: Columns.** For the building sides that face the street adding columns is a great way to enhance the architecture. Columns may be used to draw attention to the entrance and make it a significant focal point. Columns shall also be used to break up large facades. For this option to be applicable the building design shall have multiple columns

**TREMONT CENTER DESIGN GUIDELINES & STANDARDS**

per side (minimum of 1 column per total 25 feet of building side length).

- v. **Option 5: Windows.** Windows are an important element and shall be required for residential architecture. Window openings shall have lintels and other features to emphasize window openings. This option shall be achieved by having windows that cover approximately 20% of the façade that faces the street. Submitted plans for the DRC shall have a tabulation table that identifies percentage of windows.



Apartment example (left). Townhome example (right).

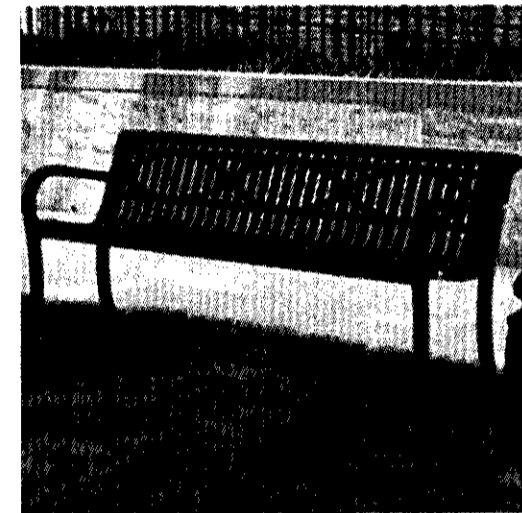
# SITE FURNISHINGS

Since Tremont Center shall encompass a variety of areas, each with its own distinct feel, it is important that standard site furnishings be provided to unite the entire project. This shall be accomplished using a coordinated family of streetscape and site amenities such as lighting, pavement materials, benches, trash receptacles, signage, etc.

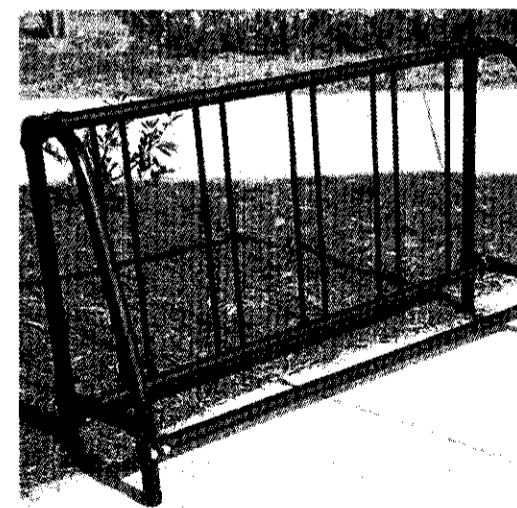
## 1. Benches, Tables, Chairs, Bike Rack, and Trash Receptacles Standards

1. The sub-developer is responsible for providing site furnishings as required in this document. All site furnishings shall be as specified on the plans.
2. **Benches.** Sub developers shall provide 1 bench per small building (buildings 20,000 square feet or smaller) and 1 bench per 2 residential buildings. Benches are encouraged in places where people congregate and at pedestrian intersections and nodes. On larger buildings (20,001 square feet or more) benches shall be placed symmetrical 1 on each side of the main entrance.

Benches shall be Ultra Site 6' 954-S6 Black Lexington series slat die formed steel. In the event that the manufacturer of the Lexington series discontinues this bench the DRC shall determine a new bench that best matches the Lexington series as a substitute.



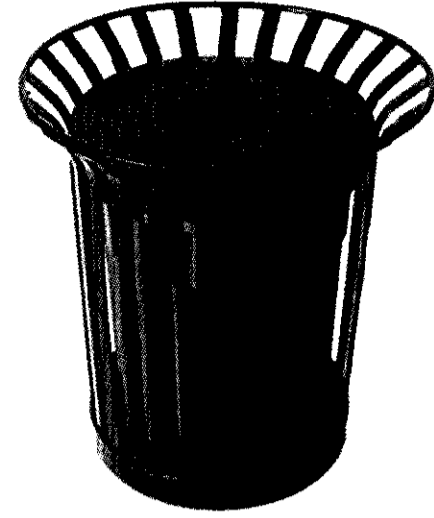
3. **Table and Seating.** The sub developer for restaurants shall provide outdoor dining.
4. **Bike Rack.** Bike racks are required to be provided by the sub-developer at a minimum of 3 bike stalls per 50 vehicle parking stalls. Bike racks should be located near the entrance to the building and visible from the street or drive. Bike rack areas should also be lit areas and etc. Bike racks shall be black 5700 series Traditional Single-Sided, powder coated black. In the event that the manufacturer of the series discontinues this bench the DRC shall determine a new bench that best matches the 5700 series as a substitute.





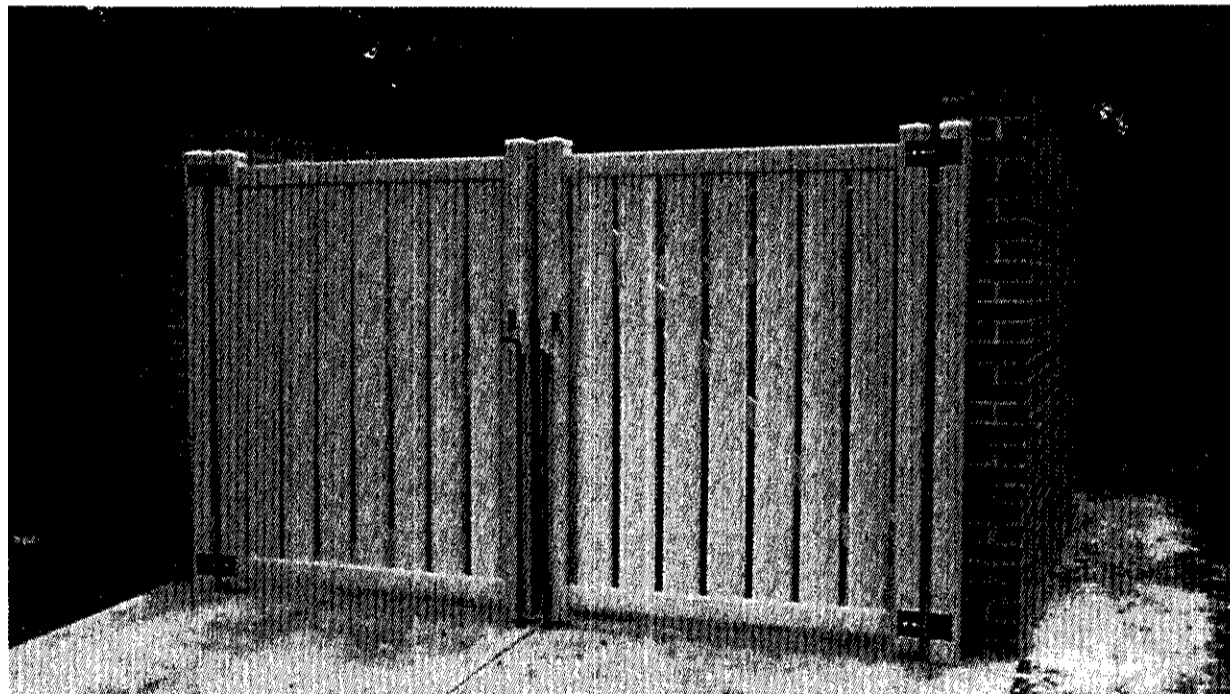
**TREMONT CENTER DESIGN GUIDELINES & STANDARDS**

5. **Trash Receptacles.** Trash receptacles are required to be provided by the sub-developer at a minimum of 1 per public entrance at commercial buildings. Trash receptacles shall be black LX-36 Lexington series. In the event that the manufacturer of the Lexington series discontinues this bench the DRC shall determine a new bench that best matches the Lexington series as a substitute. .



## 2. Trash Enclosure Standards

1. In order to enhance the aesthetic appeal of the Tremont Center, all garbage dumpsters shall be enclosed by a masonry wall and gate that meet the architectural standards in color, material, and style. Wall and gate shall be minimum 12" higher than trash receptacle. See Tremont City ordinance 1.19.045.



## 3. Tree Grates Standards

1. Where trees are located along a street with no park strip, a minimum 4' x 4' grate or planter bed shall be provided for each tree.
2. Tree grate shall be Square Tree Grate from D&L Foundry and Supply # 0-8644
3. Planter beds shall be planted with dense ground cover (not turf) or perennials with 4" bark mulch.



# LANDSCAPE

## 1. Tree Types and Sizes Standards

1. Successful landscape plans take careful consideration in planting the right tree in the right place. This site has 3 main categories of trees: Street trees, Parking lot trees, and General Landscape trees.
2. Buildings are required to have street trees in either the public street or private drive in front of the building. The sub-developer shall install trees along frontage of public roads, frontage of buildings, sides, and rear at the following size and rate: trees shall be a minimum of 2" caliper at 48" above ground and shall be placed every 40-50 feet along the streets. Trees shall be selected from the list in this document to create a common tree palette for the Tremont Center. Tree plantings required by this section shall count towards meeting the minimum required trees enumerated in the Tremont City Land Use Code.

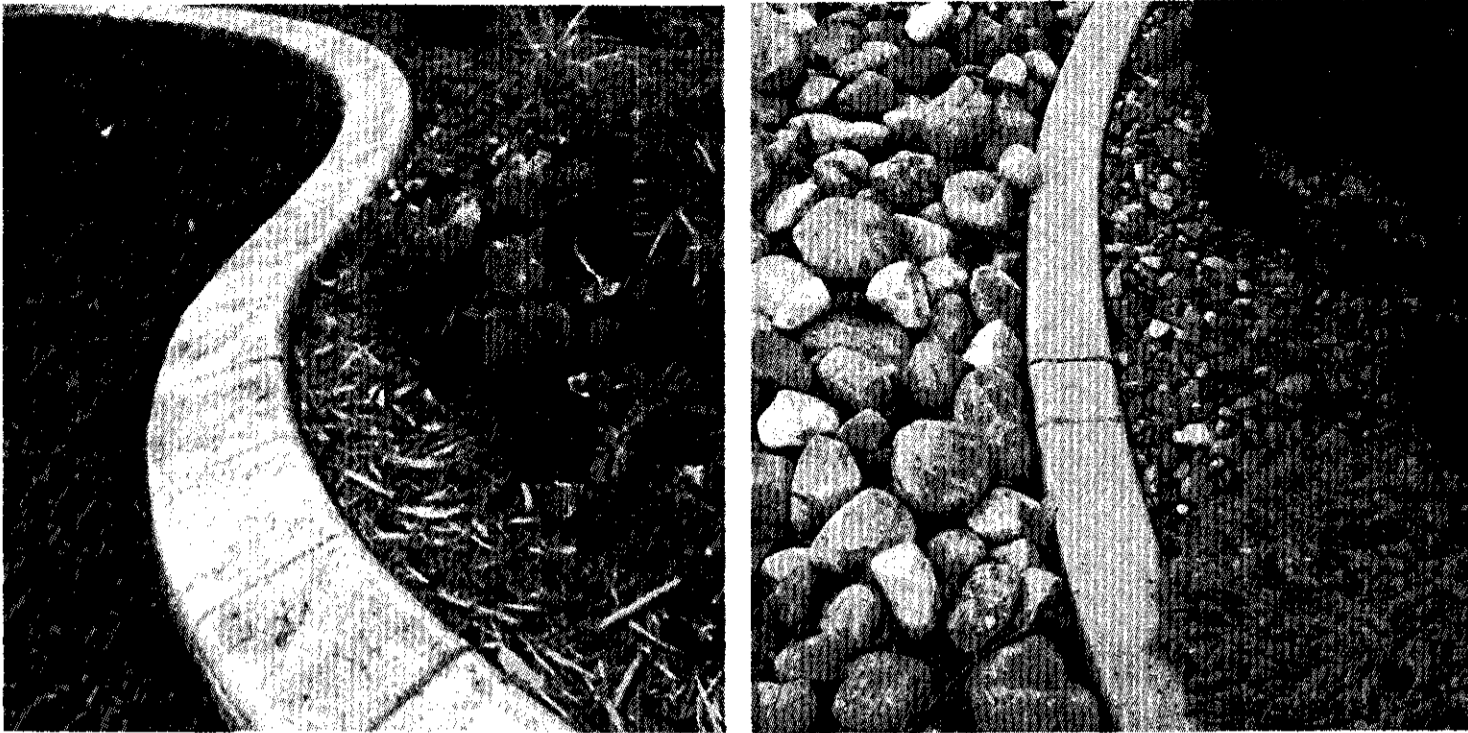


**TREMONT CENTER DESIGN GUIDELINES & STANDARDS**

Common Name	Botanical Name	Size (H x W)	Use
Emerald Queen Maple	<i>Acer platanoides</i> 'Emerald Queen'	50' x 40'	Landscape; deciduous
Parkway Maple	<i>Acer platanoides</i> 'Parkway'	40' x 25'	Street, Parking; deciduous
Blue Atlas Cedar	<i>Cedrus atlantica</i> <i>glauca</i>	30' x 15'	Landscape; evergreen
Green Ash	<i>Fraxinus</i> <i>pennsylvanica</i> 'Cimmaron'	60' x 30'	Parking, Landscape; deciduous; seedless
Honey Locust	<i>Gleditsia</i> <i>triacanthos</i> 'Shade Master'	45' x 35'	Street, Parking; deciduous
Spring Snow Crab Apple	<i>Malus</i> x 'Spring Snow'	25' x 20'	Street, Parking, Landscape; deciduous; fruitless
Black Hills Spruce	<i>Picea glauca</i> <i>densata</i>	40' x 17'	Landscape; evergreen
Indian Magic	<i>Malus</i> x 'Indian Magic'	15' x 15'	Landscape; deciduous
Flowering Pear	<i>Pyrus calleryana</i> 'Aristocrat'	40' x 28'	Street, Parking, Landscape; deciduous
Flowering Pear	<i>Pyrus calleryana</i> 'Capital'	35' x 12'	Street, Parking Landscape; deciduous
Burr Oak	<i>Quercus</i> <i>macrocarpa</i>	55' x 45'	Landscape; deciduous
Corinthian Linden	<i>Tilia cordata</i> 'Corinthian'	45' x 15'	Street, Parking; deciduous

## 2. Edging/Curbing Standard

1. Wherever a ground cover meets a different type of ground cover, 6" concrete landscape edging shall be provided as a divider between the two ground covers. This requirement to construct a 6" width concrete landscape edging includes, but is not limited to where:
  - i. Grass meets planter bed
  - ii. Grass meets gravel area
  - iii. Gravel area meets mulch area
  - iv. Gravel of one color meets gravel of another color
  - v. Any of the previous meets asphalt

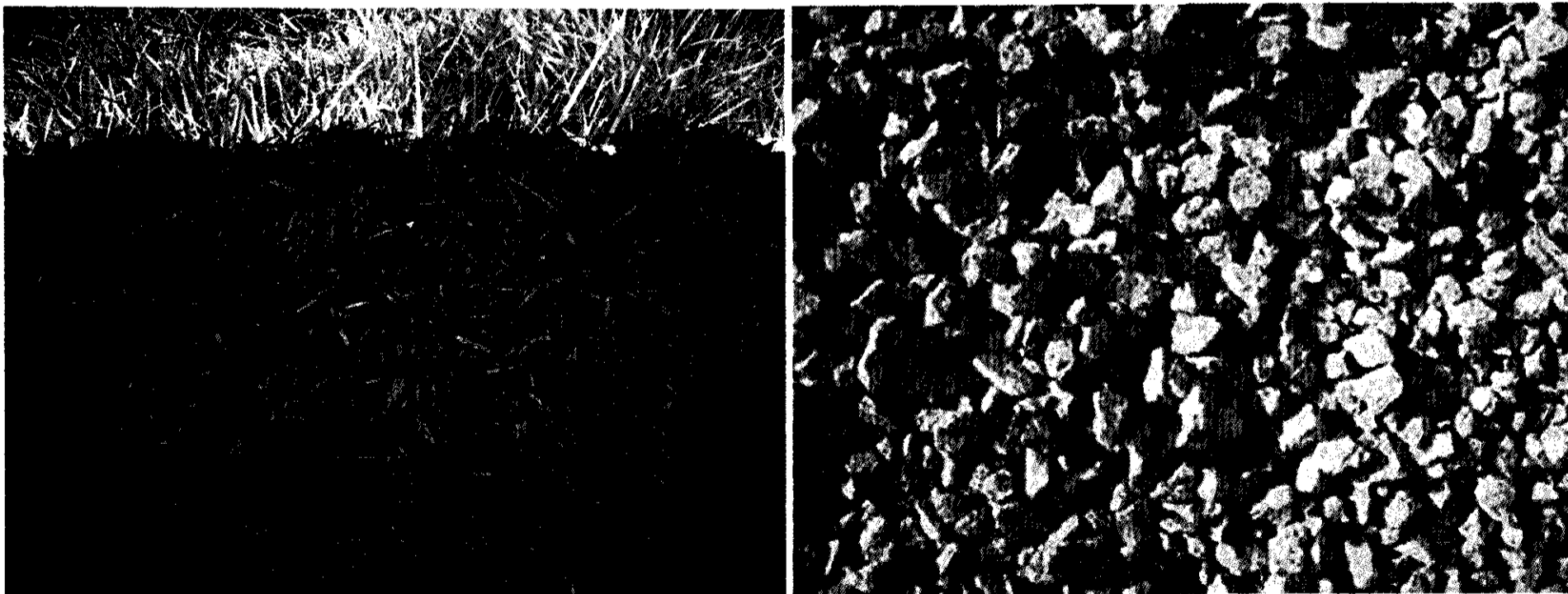


### 3. Cross walks Guidelines

1. All cross walks shall be painted and clearly marked. It is also recommended that the sub developer consider change in material in cross walks such as concrete or stamped asphalt. The change in material acts as an additional signal to motorists to watch for pedestrians and drive accordingly.

### 4. Rock or Mulch Guidelines and Standards

1. All planter beds shall be covered in high quality weed fabric and covered with 4" of mulch. Mulch color and type are specified below.
2. Bark Mulch shall be dark brown
3. Rock Mulch shall be Light tan 3/8" minus gravel



Examples of rock and mulch

## 5. Boulders

1. Boulders are encouraged to be used to add variety to planter beds.
2. Boulders may also be used strategically as seating
3. Boulders shall be a minimum of 24" x 24" and match closely to the rock mulch color on site.

## 6. Lighting Guidelines and Standards

1. All lighting shall be downward aimed.
2. All lighting shall be in accordance with Tremonton City standards and ordinances.

## 7. Landscape Water Guidelines and Standards

1. All landscaped areas shall be irrigated per Tremonton City's standards for irrigation.
2. Irrigation design shall use water-wise components.
3. Landscaping shall use water-wise, drought tolerant shrubs and perennials to decrease landscape water demand.



Water wise irrigation and landscaping