

12-921-0008 -> 0024  
0128 -> 0140  
0221 -> 0240  
0321 - 0341

When recorded return to:  
West Square, LLC  
50 East 2500 North, Suite 101  
North Logan, Utah 84341

AMENDMENT NO. 1  
TO  
DECLARATION OF CONDOMINIUM  
FOR  
WEST SQUARE CONDOMINIUMS

E 3132701 B 7155 P 95-98  
RICHARD T. MAUGHAN  
DAVIS COUNTY, UTAH RECORDER  
12/7/2018 9:09:00 AM  
FEE \$86.00 Pgs: 4  
DEP eCASH REC'D FOR ADVANCED TITLE INS

Reference is made to that certain Declaration of Condominium for West Square Condominiums located in Clearfield, Davis County, State of Utah, recorded with the Davis County Recorder's Office on July 19, 2018 as Entry No. 3106058, Book 7060, Pages 1150-1209 (the "Declaration").

Pursuant to Article 15.1(a) of the Declaration, the Declarant West Square, LLC hereby amends the Declaration as follows:

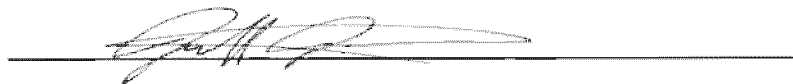
1. Period of Declarant Control. Article 1.22 of the Declaration is hereby deleted in its entirety and replaced with the following:

1.22 "Period of Declarant Control" shall mean and refer to a period of time commencing on the date this Declaration is recorded and terminating on the earlier of (1) the seventh (7th) anniversary of the date this Declaration is recorded or (2) the Declarant executes and records a written waiver of its right to control.

Except as amended by this document, all other provisions of the Declaration shall remain in full force and effect.

DATED this 5 day of December 2018.

WEST SQUARE, LLC



By: Jeff Jackson  
Its: Manager



EXHIBIT "A

PROPERTY

Lot 1, West Square Subdivision according to the official plat recorded in the Davis County Court House under Entry 2943537 on June 6, 2016 also located in Part of the Northwest Quarter of Section 12, Township 4 North, Range 2 West of the Salt Lake Base and Meridian described as follows:

Commencing at a Brass Cap monumenting the North Quarter Corner of Section 12, Township 4 North, Range 2 West of the Salt Lake Base and Meridian from which the Northwest Corner of said Section 12 bears N89°48'25"W 2648.35 feet (Basis of Bearing), thence S00°09'18" W 798.44 feet to the POINT OF BEGINNING and running

thence S 00°09'18" W 631.20 feet;  
thence S 89°50'43" E 314.56 feet along the south line of Hamblin Park Townhomes P.U.D.;  
thence N 00°09'17" E 19.96 feet along the east line of Hamblin Park Townhomes P.U.D.;  
thence S 89°50'43" E 82.41 feet to the west right of way line of 550 East Street;  
thence S 01°16'30" W 79.03 feet along said west right of way line;  
thence N 89°50'43" W 80.87 feet;  
thence N 00°09'17" E 11.61 feet;  
thence N 89°50'43" W 82.50 feet;  
thence N 00°09'17" E 14.44 feet;  
thence N 89°50'43" W 232.06 feet;  
thence S 00°09'18" W 283.79 feet;

thence Northwesterly, a distance of 30.79 feet along a non tangent curve to the left of which the radius point lies S 45°44'51" W, with a radius of 230.00 feet, having a central angle of 07°40'14" and a chord that bears N 48°05'16" W 30.77 feet;

thence Northwesterly, a distance of 64.81 feet along a reverse curve to the right having a radius of 170.00 feet and a central angle of 21°50'33" and a chord that bears N 41°00'07" W 64.42 feet;

thence N 30°04'50" W 957.98 feet;

thence Northerly, 133.10 feet along a curve to the right having a radius of 252.00 feet, a central angle of 30°15'46" and a chord that bears N 14°56'57" W 131.56 feet;

thence N 00°10'56" E 396.18 feet;

thence S 89°48'25" E 120.45 feet

thence S 00°11'35" W 183.00 feet to the boundary line of Clearfield Meadows Phase 5 recorded February 3, 2009 under Entry No. 2420775;

thence along said boundary the next seven courses:

- 1) thence N 89°48'25" W 23.84 feet;
- 2) thence S 00°07'00" E 268.49 feet;
- 3) thence N 89°59'31" E 5.63 feet;
- 4) thence S 00°00'22" E 96.48 feet;
- 5) thence N 89°43'23" E 446.17 feet;
- 6) thence N 00°09'18" E 72.74 feet;
- 7) thence S 89°57'15" E 32.02 feet to the point of beginning,  
containing 7.34 acres or 319,731 square feet.

Tax ID No. 12-850-0001