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3460566
BK 7957 PG 1047

When recorded, mail to:

Centerville City Recorder
250 North Main Street
Centerville, Utah 84014

E 3460566 B 7957 P 1047-1072
RICHARD T. MAUGHAN
DAVIS COUNTY, UTAH RECORDER
03/02/2022, 02:02 PM
FEE \$0.00 Pgs: 26
DEPT REC'D FOR CENTERVILLE CITY

Affects Parcel No(s): 03-001-0178 and 03-001-0179

03-001-0214

RETURNED

MAR 02 2022

**CENTERVILLE CITY
STORM WATER FACILITIES MAINTENANCE AGREEMENT**

This Storm Water Facilities Maintenance Agreement ("Agreement") is made and entered into this 20th day of January, 2022, by and between Centerville City, a Utah municipal corporation ("the City"), and CW The Lane, LLC, a Utah limited liability company ("Owner").

RECITALS

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters within the City, as set forth in Title 16 of the Centerville City Municipal Code ("the Code"); and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in **Exhibit "A,"** attached hereto and incorporated herein by this reference ("the Property"); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to accommodate and regulate these anticipated changes in existing storm and surface water flow conditions, the Owner desires to build and maintain at Owner's expense a storm and surface water management facility or improvements ("Storm Water Facilities"); and

WHEREAS, the Storm Water Facilities are more particularly described and shown in the final subdivision plans approved by the City for the Property and related engineering drawings, and any amendments thereto, which plans and drawings are on file with the City and are hereby incorporated herein by this reference ("Development Plan"); and

WHEREAS, a description of all Storm Water Facilities, details, and all appurtenances draining to and affecting the Storm Water Facilities and establishing the standard operation and routine maintenance procedures for the Storm Water Facilities, and control measures installed on the Property ("Long-Term Storm Water Management Plan") is more particularly shown in **Exhibit "B;"** and

WHEREAS, as a condition of Development Plan approval, and as required as part of the City's Small MS4 UPDES General Permit from the State of Utah, Owner is required to enter into this Agreement establishing a means of documenting the execution of the Long-Term Storm Water Management Plan; and

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the City's approval of the Long-Term Storm Water Management Plan, and the mutual covenants contained herein, the parties agree as follows:

1. Owner's Obligations to Construct, Maintain, and Inspect Storm Water Facilities. The Owner shall, at its sole cost and expense:

- (a) Construct the Storm Water Facilities in strict accordance with the plans and specifications identified in the Development Plan, and any amendments thereto which have been approved by the City, and in compliance with applicable City, State, and Federal law.
- (b) Adequately maintain the Storm Water Facilities. Owner's maintenance obligations shall include all pipes, underground facilities, and channels built to convey storm water, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance, for purposes of this Agreement, is defined as good working condition so that the Storm Water Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Storm Water Facilities in good working condition.
- (c) Inspect the Storm Water Facilities and submit an inspection report and certification to the City annually. The purpose of the inspection and certification is to assure safe and proper functioning of the Storm Water Facilities. The annual inspection shall cover all aspects of the Storm Water Facilities, including, but not limited to, the structural improvements, berms, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification as to whether adequate maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by June 30th of each year and shall be on forms acceptable to the City.

2. City Oversight Inspection Authority. The Owner hereby grants permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Storm Water Facilities whenever deemed necessary by the City. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Storm Water Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with the City Municipal Code and the Long-Term Storm Water Management Plan.

3. **Notice of Deficiencies.** If the City finds that the Storm Water Facilities contain any defects or are not being maintained adequately, the City shall send Owner written notice of the defects or deficiencies and provide Owner with a reasonable time to cure such defects or deficiencies, but not less than sixty (60) days. Such notice shall be hand-delivered to the Owner or sent certified mail to the Owner.

4. **Owner to Make Repairs.** The Owner shall, at its sole cost and expense, make such repairs, changes or modifications to the Storm Water Facilities as may be determined as reasonably necessary by the City within the required cure period to ensure that the Storm Water Facilities are adequately maintained and continue to operate as designed and approved.

5. **City's Corrective Action Authority.** In the event the Owner fails to adequately maintain the Storm Water Facilities in good working condition acceptable to the City, after due notice of deficiencies as provided herein, the City may enter upon the Property and take whatever steps necessary to correct deficiencies and to charge the costs of such repairs to the Owner. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Storm Water Facilities, and in no event shall this Agreement be construed to impose any such obligation on the City. The actions described in this Section are in addition to and not in lieu of any and all legal remedies available to the City as provided by law for Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

6. **Reimbursement of Costs.** In the event the City, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Owner shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City. After said thirty (30) days, such amount shall be deemed delinquent and shall be subject to interest at the rate of ten percent (10%) per annum. Owner shall also be liable for any collection costs, including attorneys' fees and court costs, incurred by the City in collection of delinquent payments.

7. **Successor and Assigns.** This Agreement shall be recorded in the Davis County Recorder's Office. The covenants and agreements contained herein shall run with the land, and whenever the Property shall be held, sold, conveyed, or otherwise transferred, it shall be subject to the covenants, stipulations, agreements, and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property or any portion thereof described herein.

10. **Severability Clause.** The provisions of this Agreement shall be severable and if any phrase, clause, sentence, or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Agreement shall not be affected thereby.

11. **Utah Law and Venue.** This Agreement shall be interpreted under the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Davis County, Utah.

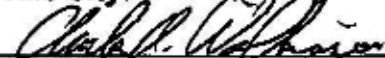
12. Indemnification. This Agreement imposes no liability of any kind whatsoever on the City, and the Owner agrees to hold the City harmless from any liability in the event the Storm Water Facilities fail to operate properly. The Owner shall indemnify and hold the City harmless for any and all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against the City from the construction, presence, existence, or maintenance of the Storm Water Facilities.

13. Amendments. This Agreement shall not be modified except by written instrument executed by the City and the Owner of the Property at the time of modification, and no modification shall be effective until recorded in the Davis County Recorder's Office.

14. The Long-Term Storm Water Management Plan. The Long-Term Storm Water Management Plan must adapt to change in good judgement when site conditions and operations change and when existing programs are ineffective. Revision requests must be filed with the City. Any approved revisions to said plan must be filed with the City and amended into said plan.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first set forth above.

Centerville City:

By: 

Its: Mayor

Owner: CW The Lane, LLC

By: Darlene Carter

Print Name: Darlene Carter

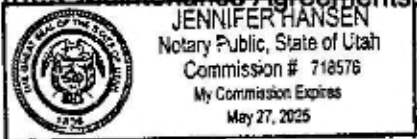
Title: Managing Member

3460566
BK 7957 PG 1051

CITY ACKNOWLEDGMENT

STATE OF UTAH)
)
 : ss.
)
COUNTY OF DAVIS)

On the 20th day of January, 20 22, personally appeared before me Clark Wilkinen, who being duly sworn, did say that he/she is the Mayor of **CENTERVILLE CITY**, a municipal corporation of the State of Utah, and that the foregoing instrument was signed in his/her capacity as land use authority on behalf of the City for approval of Storm Water Facilities Maintenance Agreements.



Jennifer Hansen
Notary Public

My Commission Expires:
May 27, 2025

Residing at:
Davis County

CW THE LANE, LLC ACKNOWLEDGMENT

STATE OF UTAH)
)
 : ss.
)
COUNTY OF DAVIS)

On the 12 day of January, 20 22, personally appeared before me Darlene Carter, who being duly sworn, did say that he/she is the Manager of **CW THE LANE, LLC** and that he/she has executed this Agreement with full authority to do so.

[Signature]
Notary Public

My Commission Expires:
02/11/2023

Residing at:
Layton, UT

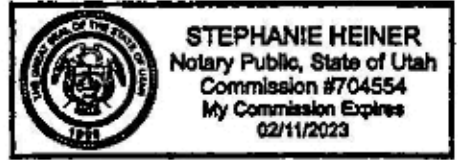


Exhibit "A"

Legal Description

A TRACT OF LAND LOCATED IN THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SECTION 18, SAID POINT BEING NORTH 89°40'15" EAST ALONG SAID SECTION LINE 687.29 FEET FROM THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 00°03'10" EAST 125.40 FEET; THENCE NORTH 89°40'15" EAST 143.75 FEET TO THE WEST LINE OF CENTERVILLE MARKETPLACE SUBDIVISION PHASE 2 AS RECORDED WITH ENTRY NO. 1378702 IN BOOK 2235 AT PAGE 350 DAVIS COUNTY RECORDER'S OFFICE; THENCE SOUTH 00°03'10" WEST ALONG THE WEST LINE 45.40 FEET TO THE NORTHWEST CORNER OF PORTER WALTON TOWNHOMES P.U.D. AS RECORDED WITH ENTRY NO. 2916378 IN BOOK 6434 AT PAGE 783 DAVIS COUNTY RECORDER'S OFFICE; THENCE SOUTH 00°03'06" WEST ALONG THE WEST LINE OF SAID PORTER WALTON TOWNHOMES P.U.D. 645.19 FEET TO THE NORTH RIGHT-OF-WAY LINE OF PORTER LANE; THENCE NORTH 89°52'05" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE 70.35 FEET; THENCE NORTH 00°19'45" WEST 133.00 FEET; THENCE NORTH 89°52'05" WEST 70.00 FEET; THENCE NORTH 00°12'21" WEST 164.23 FEET; THENCE NORTH 00°19'45" WEST 266.81 FEET TO THE POINT OF BEGINNING.

CONTAINS 88,895.79 SQ/FT OR 2.04 ACRES

Exhibit "B"

Long-Term Storm Water Management Plan

Storm Water Facilities Maintenance Plan

for:

The Lane
700 West Porter Lane
Centerville, UT

C.W. Urban
1222 Legacy Crossing Blvd #6
Centerville, UT 84014

PURPOSE AND RESPONSIBILITY

As required by the Clean Water Act and resultant local regulations, those who develop land are required to build and maintain systems to minimize litter and contaminants in stormwater runoff that pollute waters of the State.

This Long-Term Stormwater Management Plan (LTSWMP) describes the systems, operations and the minimum standard operating procedures (SOPs) necessary to manage pollutants originating from or generated on this property. Any activities or site operations at this property that contaminate water entering the City's stormwater system, groundwater and generate loose litter must be prohibited.

CONTENTS

SECTION 1: SITE DESCRIPTION, USE AND IMPACT
SECTION 2: TRAINING
SECTION 3: RECORDKEEPING
SECTION 4 APPENDICES

SECTION 1: SITE DESCRIPTION, USE AND IMPACT

The site infrastructure at our site is limited at controlling and containing pollutants and our operations if managed improperly can contaminate the environment. This LTSWMP includes standard operations procedures (SOP)s that are intended to compensate for the pollution containment limitations of our site infrastructure and direct our maintenance operations to responsibly manage our grounds. SOPs are filed in appendix B.

Parking, Sidewalk and flatwork

Any sediment, leaves, debris, spilt fluids or other waste that collects on our parking areas and sidewalks will be carried by runoff to our flood and water quality control system. These solids will fill in our system requiring future dredging and cleaning. Also any liquids and dissolved solids can contaminate groundwater. During very intense storm events excess runoff can pass through our system increasing risk to downstream storm drain systems.

Landscaping

While unlikely, our landscape operations can result in grass clippings, sticks, branches, dirt, mulch, fertilizers, pesticides and other pollutants to fall or be left on our paved areas. These solids will fill in our system requiring future dredging and cleaning. Also any liquids and dissolved solids can contaminate groundwater.

Flood and Water Quality Control System

Our flood and water quality control system includes directing runoff into landscaping swales and open landscaping areas. This flood control system is a low impact system intended to trap and treat our urban pollutants on the surface to protect downstream water resources. Our system also includes underground retention storage, oil/sediment/trash traps and an underground infiltration system. The infiltration system is design to drain the first ½" of runoff into the ground required by Clean Water Act regulation. This helps keep streams and rivers clean but if we are not careful can contaminate groundwater. In addition, anything we put or allow to be left on our pavements will eventually be carried to our oil/sediment/trash traps and underground infiltration system filling it with sediment and debris increasing maintenance cost. Also any by-passing dissolved or liquid pollutants can increase the risk for contaminating groundwater for which we are responsible. It is important our flood and water quality system is adequately maintained to function properly.

Waste Management

Good waste management systems, if managed improperly, can become the source of the very pollution it was intended to manage. The lids of our dumpster and trash receptacles

are intended to prevent light weight trash carried off by wind and precipitation exposure minimizing liquids that can leak to our pavement and from haul trucks.

Snow and Ice Removal Management

Salt is a necessary pollutant and is vital to ensuring a safe parking and pedestrian walkways. However, salt and other ice management chemicals if improperly managed will unnecessarily increase our salt impact to our own vegetation and local water resources. Much of the runoff drains to our landscape swales. We need to minimize salt maintain healthy root systems needed for optimum infiltration rates.

SECTION 2: TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage and maintain the property. Maintenance contractors must use the stronger of their Company and the LTSWMP SOPs. File all training records in Appendix C.

SECTION 3: RECORDKEEPING

Maintain records of operation and maintenance activities in accordance with SOPs. Mail a copy of the record to Centerville City Stormwater Division annually.

SECTION 4: APPENDICES

Appendix A- Site Drawings and Details

Appendix B- SOPs

Appendix C- Recordkeeping Documents

APPENDIX A – SITE DRAWINGS AND DETAILS

Project Name/Year/Revision

- 1. 8/11/11 N - PRELIMINARY DRAWINGS FOR PERMITS
- 2. 8/11/11 N - PERMITS
- 3. 8/11/11 N - PERMITS
- 4. 8/11/11 N - PERMITS
- 5. 8/11/11 N - PERMITS
- 6. 8/11/11 N - PERMITS
- 7. 8/11/11 N - PERMITS
- 8. 8/11/11 N - PERMITS

AGENCY CONTACTS:

PLANNING:

Centerville City Planning Department
 235 North Main Street
 Centerville, UT 84514
 Contact: Cory Snyder
 Phone: (801) 385-5877

SEWER DISTRICT:

South Davis Sewer District
 1805 West 1260 North
 West Jordan, UT 84087
 Phone: (801) 385-5469

POWER COMPANIES:

Utah Electric Power
 600 West 1200 North
 Salt Lake City, UT 84119
 Phone: (801) 546-1215

TELECOMMUNICATIONS COMPANIES:

Century Link
 Century Link
 Customer Service Line
 Phone: (801) 661-6000

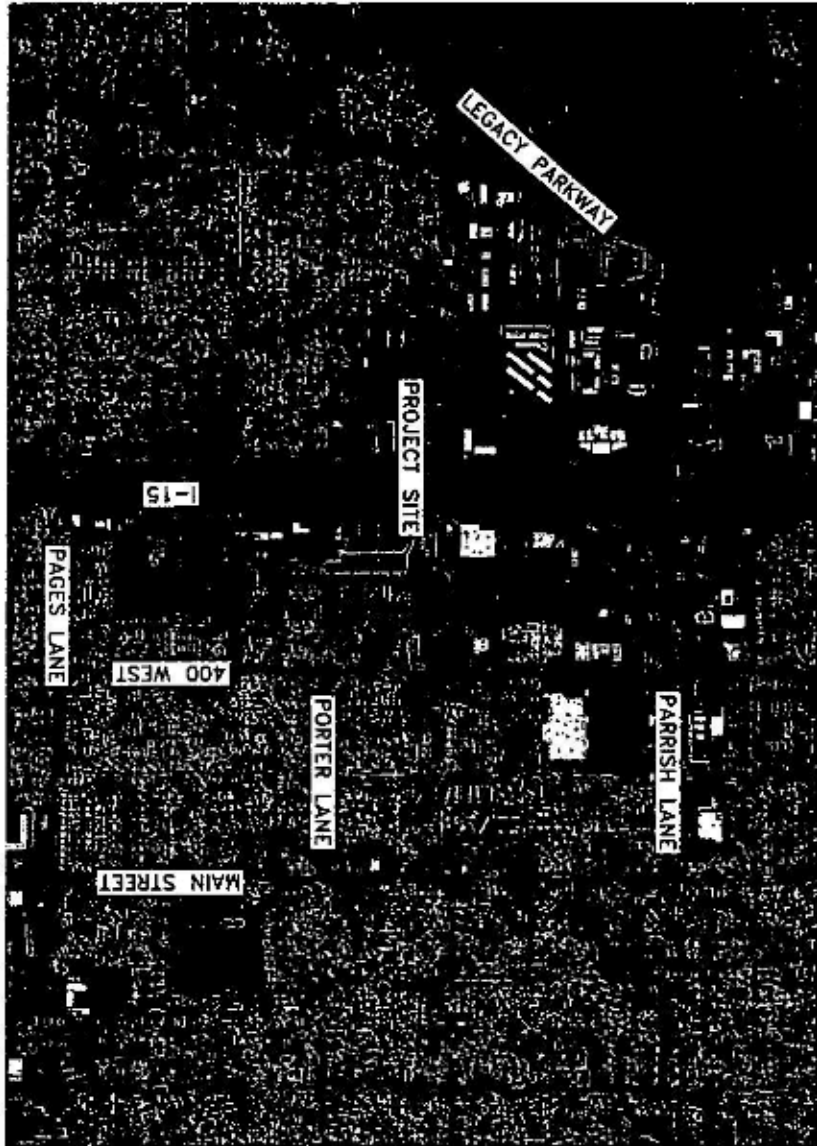
LINE DEPARTMENT:

Utah Department of Transportation
 341 South Main Street
 Centerville, UT 84514
 Phone: (801) 677-2400

GIS SERVICE:

DownTown Express
 1100 West 200 South
 504 West CBY, UT 84119
 Centerville, UT 84514
 Phone: (801) 323-5117

The Lane
Civil Construction Set
 LOCATED IN THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 2 NORTH,
 RANGE 1 EAST, SALT LAKE BASIN AND MERIDIAN
 CENTERVILLE, DAVIS COUNTY, UTAH
 AUGUST, 2021



BENCHMARK
 THE BENCHMARK FOR THE DESIGN AND CONSTRUCTION OF A PROJECT IS THE PROJECT CONTRACT DOCUMENTS AND THE BENCHMARK FOR THE PROJECT CONTRACT DOCUMENTS IS THE PROJECT CONTRACT DOCUMENTS. THE BENCHMARK FOR THE PROJECT CONTRACT DOCUMENTS IS THE PROJECT CONTRACT DOCUMENTS. THE BENCHMARK FOR THE PROJECT CONTRACT DOCUMENTS IS THE PROJECT CONTRACT DOCUMENTS.

Vertical Map
 Scale: 1" = 500'

THIS PROJECT IS LOCATED IN THE FINAL PLANNED ZONE X.

DEVELOPER:
 C.W.
URBAN

1222 Legacy Crossing Drive #4
 Centerville, Utah 84514
 Phone: (801) 794-0299

ENGINEERING:
HUNT
 Hunt Engineering
 4619 Williams Creek Rd
 Mountain Green, UT 84050
 Phone: (801) 964-4724

SURVEYOR:

David L. Lund Surveying
 1414 Williams Creek Rd
 Mountain Green, UT 84050
 Phone: (801) 294-2216

- Sheet Index
- Sheet 1 - Cover Sheet
- Sheet 2 - Notes & Legend Sheet
- Sheet 3 - Demolition Plan
- Sheet 4 - Site Plan
- Sheet 5 - Grading/Utility Plan
- Sheet 6 - Private Road Plan & Profile
- Sheet 7 - Street Light Exhibit
- Sheet 8 - Civil Details
- Sheet 9 - Civil Details
- Sheet 10 - SWPPP Exhibit
- Sheet 11 - SWPPP Details
- Sheet 12 - Landscape Plan

Notice to Contractors:
 The contractor shall be responsible for obtaining all permits and approvals required for the construction of the project. The contractor shall be responsible for obtaining all permits and approvals required for the construction of the project. The contractor shall be responsible for obtaining all permits and approvals required for the construction of the project.

PROJECT SHEET	1	12
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DATE	11/11/21
BY	D.L.

Cover Sheet

The Lane
 700 West Porter Lane
 Centerville, UT

HUNT ENGINEERING, INC.
 4619 Williams Creek Rd
 Mountain Green, UT 84050
 C. 801.964.4724
 thomas.hunt@hunt-engineering.com

GENERAL NOTES

- 1.0. CONFLICT:
 - 1.1. All work is to be done in accordance with the provisions and requirements of the Utah Building Code, the International Building Code and the Utah Building Code Supplement, and the Utah Building Code Supplement Addendum.
 - 1.2. All work is to be done in accordance with the provisions and requirements of the Utah Building Code, the International Building Code and the Utah Building Code Supplement, and the Utah Building Code Supplement Addendum.
 - 1.3. All work is to be done in accordance with the provisions and requirements of the Utah Building Code, the International Building Code and the Utah Building Code Supplement, and the Utah Building Code Supplement Addendum.
 - 1.4. All work is to be done in accordance with the provisions and requirements of the Utah Building Code, the International Building Code and the Utah Building Code Supplement, and the Utah Building Code Supplement Addendum.
- 2.0. PERMITTING AND INSPECTIONS:
 - 2.1. The contractor shall be responsible for obtaining all necessary permits and inspections for the work shown on these plans.
 - 2.2. The contractor shall be responsible for obtaining all necessary permits and inspections for the work shown on these plans.
 - 2.3. The contractor shall be responsible for obtaining all necessary permits and inspections for the work shown on these plans.
 - 2.4. The contractor shall be responsible for obtaining all necessary permits and inspections for the work shown on these plans.
- 3.0. COORDINATION AND VERIFICATION:
 - 3.1. All dimensions, elevations and locations shall be verified by the contractor before construction begins.
 - 3.2. All dimensions, elevations and locations shall be verified by the contractor before construction begins.
 - 3.3. All dimensions, elevations and locations shall be verified by the contractor before construction begins.
 - 3.4. All dimensions, elevations and locations shall be verified by the contractor before construction begins.
- 4.0. SAFETY AND PROTECTION:
 - 4.1. The contractor shall be responsible for providing and maintaining all necessary safety equipment and protection for the work shown on these plans.
 - 4.2. The contractor shall be responsible for providing and maintaining all necessary safety equipment and protection for the work shown on these plans.
 - 4.3. The contractor shall be responsible for providing and maintaining all necessary safety equipment and protection for the work shown on these plans.
 - 4.4. The contractor shall be responsible for providing and maintaining all necessary safety equipment and protection for the work shown on these plans.
- 5.0. MATERIALS:
 - 5.1. All materials shall be of the highest quality and shall be approved by the architect before use.
 - 5.2. All materials shall be of the highest quality and shall be approved by the architect before use.
 - 5.3. All materials shall be of the highest quality and shall be approved by the architect before use.
 - 5.4. All materials shall be of the highest quality and shall be approved by the architect before use.

- 6.0. FINISHES:
 - 6.1. All finishes shall be of the highest quality and shall be approved by the architect before use.
 - 6.2. All finishes shall be of the highest quality and shall be approved by the architect before use.
 - 6.3. All finishes shall be of the highest quality and shall be approved by the architect before use.
 - 6.4. All finishes shall be of the highest quality and shall be approved by the architect before use.
- 7.0. UTILITIES:
 - 7.1. The contractor shall be responsible for locating and protecting all existing utilities.
 - 7.2. The contractor shall be responsible for locating and protecting all existing utilities.
 - 7.3. The contractor shall be responsible for locating and protecting all existing utilities.
 - 7.4. The contractor shall be responsible for locating and protecting all existing utilities.
- 8.0. SINKS AND COUNTERS:
 - 8.1. All sinks and counters shall be of the highest quality and shall be approved by the architect before use.
 - 8.2. All sinks and counters shall be of the highest quality and shall be approved by the architect before use.
 - 8.3. All sinks and counters shall be of the highest quality and shall be approved by the architect before use.
 - 8.4. All sinks and counters shall be of the highest quality and shall be approved by the architect before use.
- 9.0. ARCHITECTURAL DETAILS:
 - 9.1. All architectural details shall be of the highest quality and shall be approved by the architect before use.
 - 9.2. All architectural details shall be of the highest quality and shall be approved by the architect before use.
 - 9.3. All architectural details shall be of the highest quality and shall be approved by the architect before use.
 - 9.4. All architectural details shall be of the highest quality and shall be approved by the architect before use.
- 10.0. FINISHING:
 - 10.1. All finishing work shall be of the highest quality and shall be approved by the architect before use.
 - 10.2. All finishing work shall be of the highest quality and shall be approved by the architect before use.
 - 10.3. All finishing work shall be of the highest quality and shall be approved by the architect before use.
 - 10.4. All finishing work shall be of the highest quality and shall be approved by the architect before use.
- 11.0. MAINTENANCE:
 - 11.1. The contractor shall be responsible for providing and maintaining all necessary maintenance equipment and supplies.
 - 11.2. The contractor shall be responsible for providing and maintaining all necessary maintenance equipment and supplies.
 - 11.3. The contractor shall be responsible for providing and maintaining all necessary maintenance equipment and supplies.
 - 11.4. The contractor shall be responsible for providing and maintaining all necessary maintenance equipment and supplies.

LEGEND

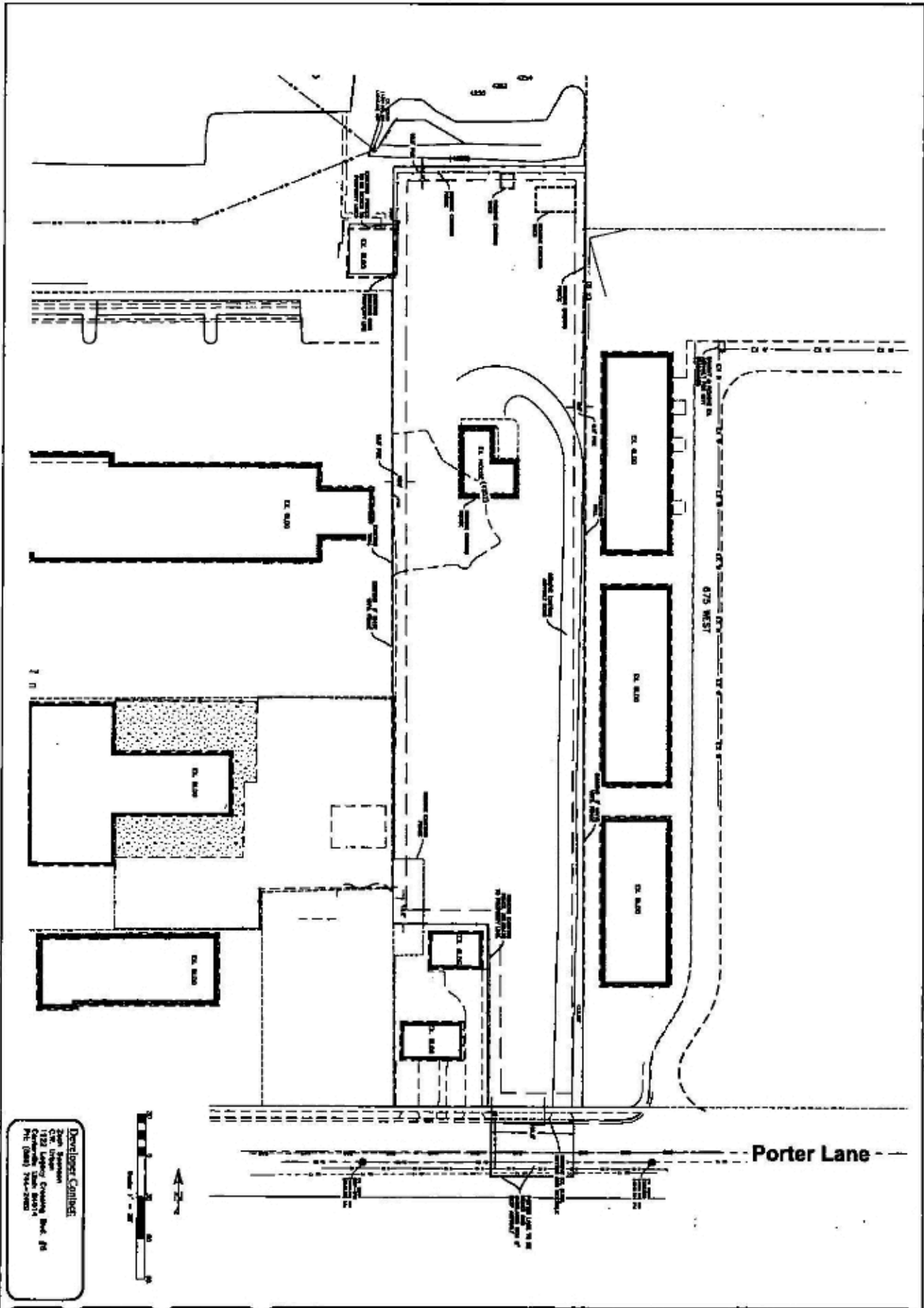
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[Symbol]	EXISTING SUBTRACTIVITY	[Symbol]	PROPOSED SUBTRACTIVITY
[Symbol]	EXISTING DIVISIVITY	[Symbol]	PROPOSED DIVISIVITY

SHEET 2 OF 12 SHEETS

Notes & Legend Sheet

The Lane
700 West Porter Lane
Centerville, UT

HUNT
ENGINEERING, LLC
8619 Wilson Creek Rd.
Mesa Vista, UT 84049
C. 801.884.4794
www.hunt-engineering.com



Developer Contact:
Zach Sorenson
City of Centerville
1220 S. 1000 E. Centerville, UT 84304
Tel: (801) 754-2000



SHEET 3
SHEETS 12

PROJECT NO.	
DATE	
BY	
CHECKED	
SCALE	



DATE	10/21
BY	CH
CHECKED	
SCALE	

Demolition Plan

The Lane
700 West Porter Lane
Centerville, UT

HUNT ENGINEERING, LLC
8018 Willow Creek Rd.
Mountains Green, UT 84030
C. 801.484.4784
www.hunt-engineering.com

Site Information

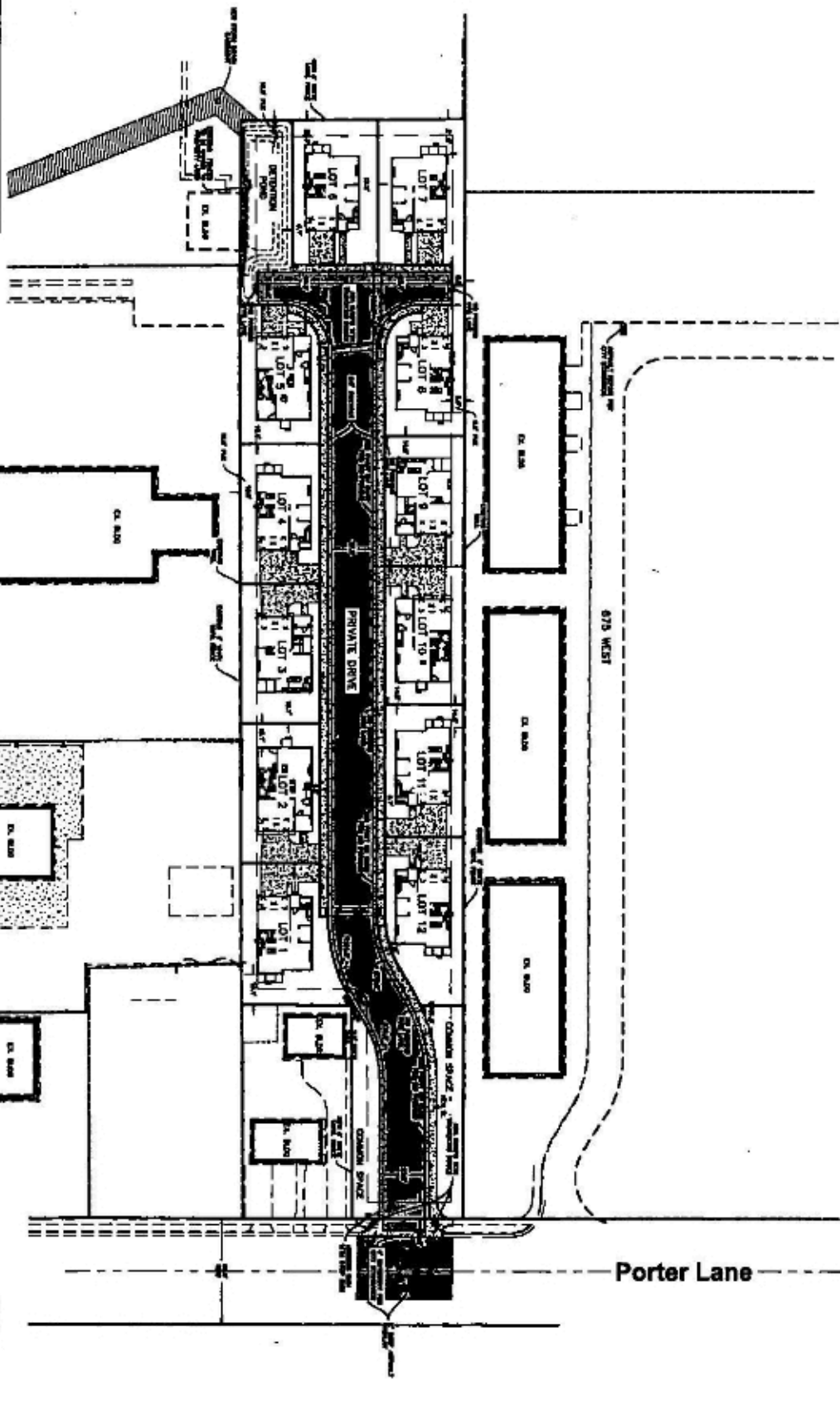
TOTAL LOT AREA: 2.04 ACRES
 ZONING: R-1
 DISTRICT: 12
 PROJECT: 12
 SHEET: 4
 TOTAL SHEETS: 12

ALL LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENCES. THE DEVELOPER SHALL PROVIDE UTILITY SERVICE TO ALL LOTS AND SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL UTILITY LINES AND STRUCTURES. THE DEVELOPER SHALL PROVIDE A MAINTENANCE DRIVE TO ACCESS ALL LOTS FROM PORTER LANE.

THIS PROJECT IS LOCATED IN THE FEMA FLOOD ZONE X.

Developer Contact:
 Hunt Engineering, LLC
 8818 Willow Creek Rd.
 Mountain Green, UT 84050
 P: (801) 244-4200
 F: (801) 244-4200
 E: info@hunteng.com

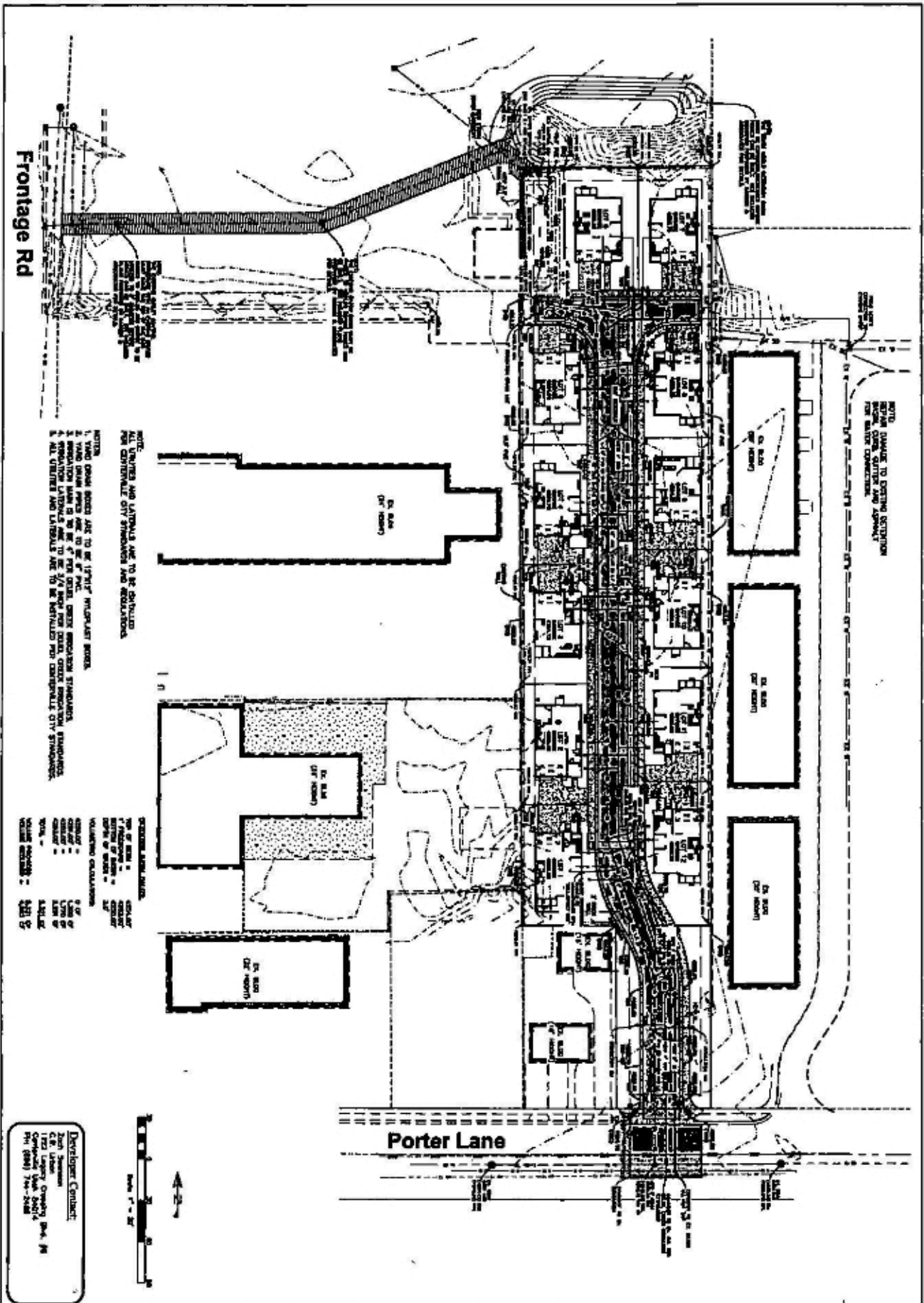
SHEET	4
TOTAL SHEETS	12



Site Plan	
The Lane 700 West Porter Lane Centerville, UT	

HUNT ENGINEERING, LLC
 8818 Willow Creek Rd.
 Mountain Green, UT 84050
 P: (801) 244-4200
 F: (801) 244-4200
 E: info@hunteng.com

HUNT ENGINEERING, LLC
 8818 Willow Creek Rd.
 Mountain Green, UT 84050
 P: (801) 244-4200
 F: (801) 244-4200
 E: info@hunteng.com



NOTE: ALL UTILITIES AND LATERALS ARE TO BE INSTALLED PER CENTREVILLE CITY STANDARDS AND REGULATIONS.

NOTES:
 1. THIRD GRADE SHALL BE TO BE 18\"/>

EXISTING UTILITIES:
 WATER - 18\"/>

Developer Contact:
 Zach Swanson
 C.E. Lister
 Commercial Group, Inc.
 1000 West 1000th St.
 Centerville, UT 84508
 Tel: (801) 754-2444

SHEET	5
SHEETS	12

DATE	10/21
BY	
CHECKED	
SCALE	

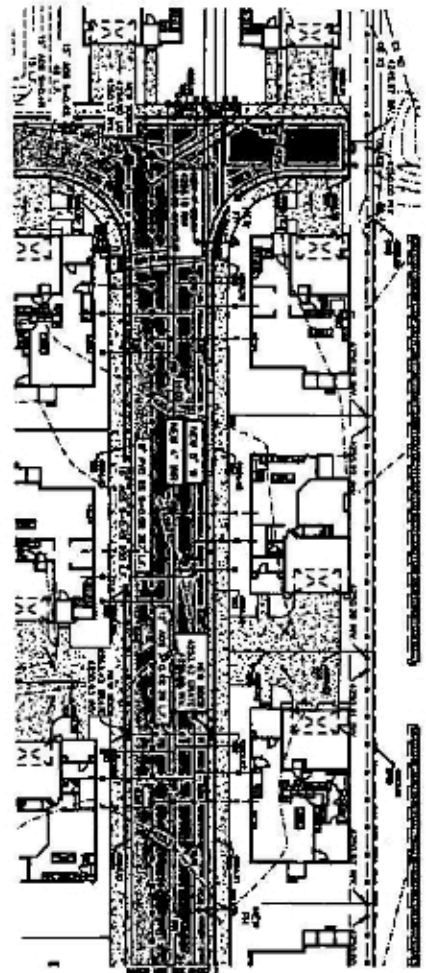
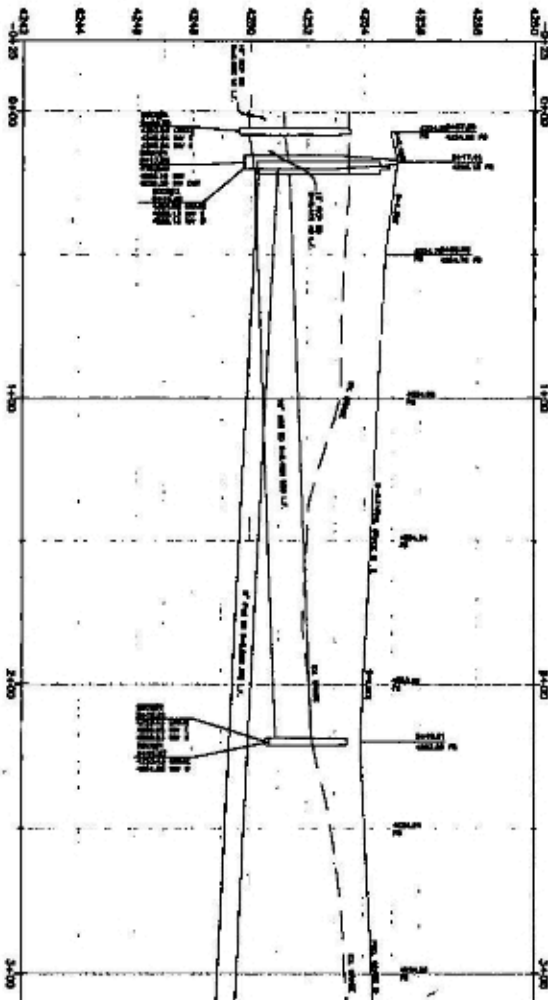


PROJECT NO.	
DATE	10/21
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Grading & Utility Plan

The Lane
 700 West Porter Lane
 Centerville, UT

HUNT ENGINEERING, LLC
 HUNT ENGINEERING, LLC
 8818 Willow Creek Rd.
 Mountain Green, UT 84050
 P. 431.654.4724
 Uta.hunt@hunts-engineering.com



Developer Contact:
John Swanson
City of Centerville, Planning Dept.
1211 S. Main Street, Room 201
Centerville, UT 84304
Tel: (801) 744-3188



SHEET 6 OF 12 SHEETS

PROJECT NO.	
DATE	
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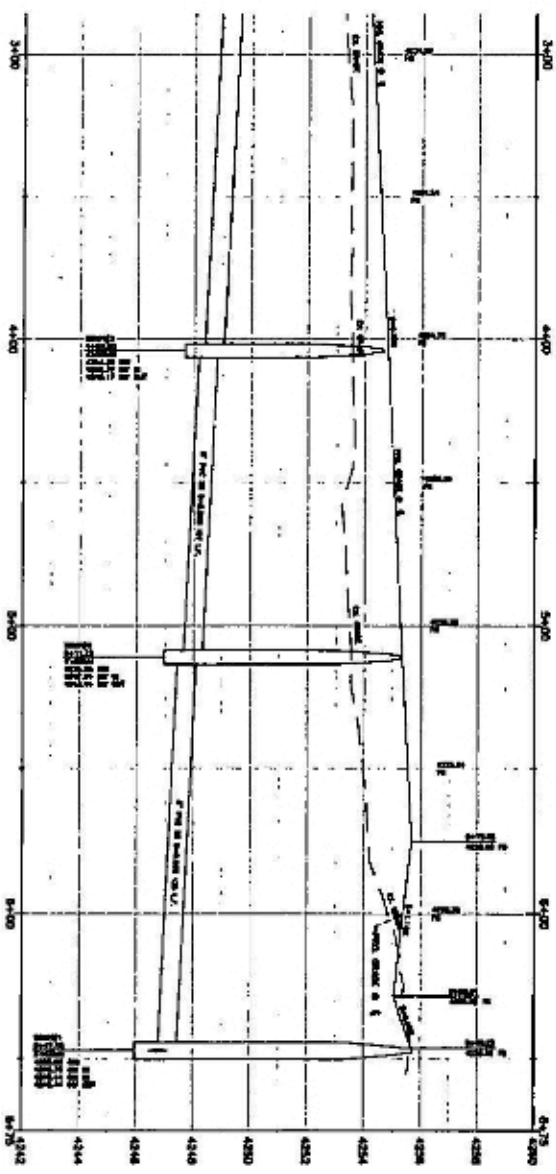
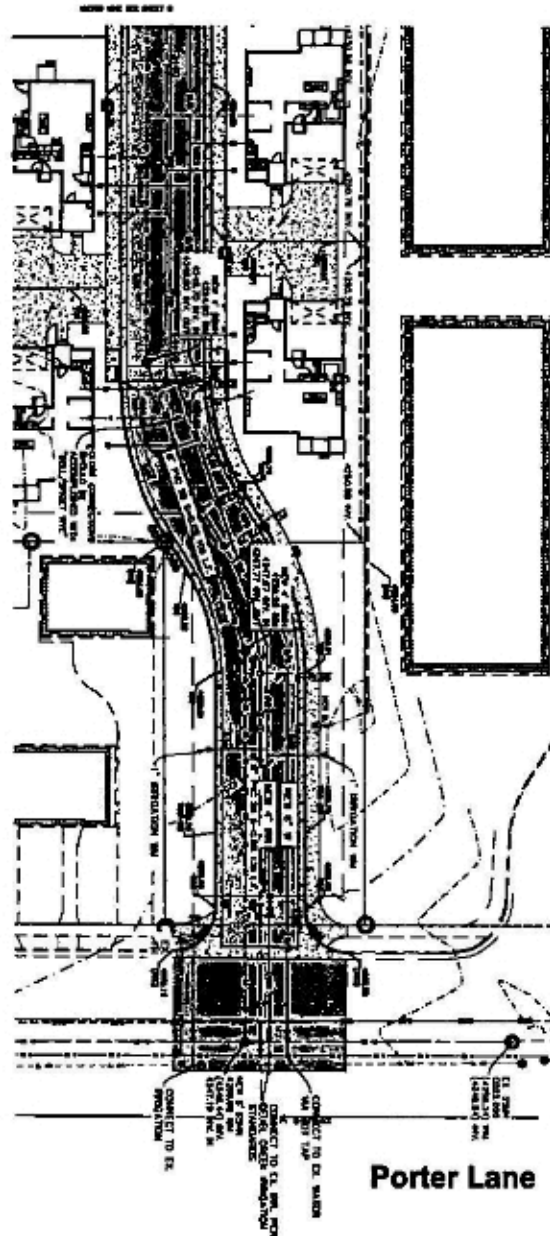


DATE	
BY	
CHECKED	
SCALE	

**Private Road
Plan & Profile
0+00.00-3+00.00**

The Lane
700 West Porter Lane
Centerville, UT

HUNT
ENGINEERING, LLC
5919 Willow Creek Rd.
Maple Grove, UT 84060
C. 801.864.6794
Website: huntllc.com - engineering.com



Developer Contact:
 Zach Swenson
 6250 Canyon Blvd, Suite 200
 Centerville, UT 84505
 (801) 754-7180



SHEET
8
12
SHEETS

Project No.	
Scale	
Date	
Author	
Check	

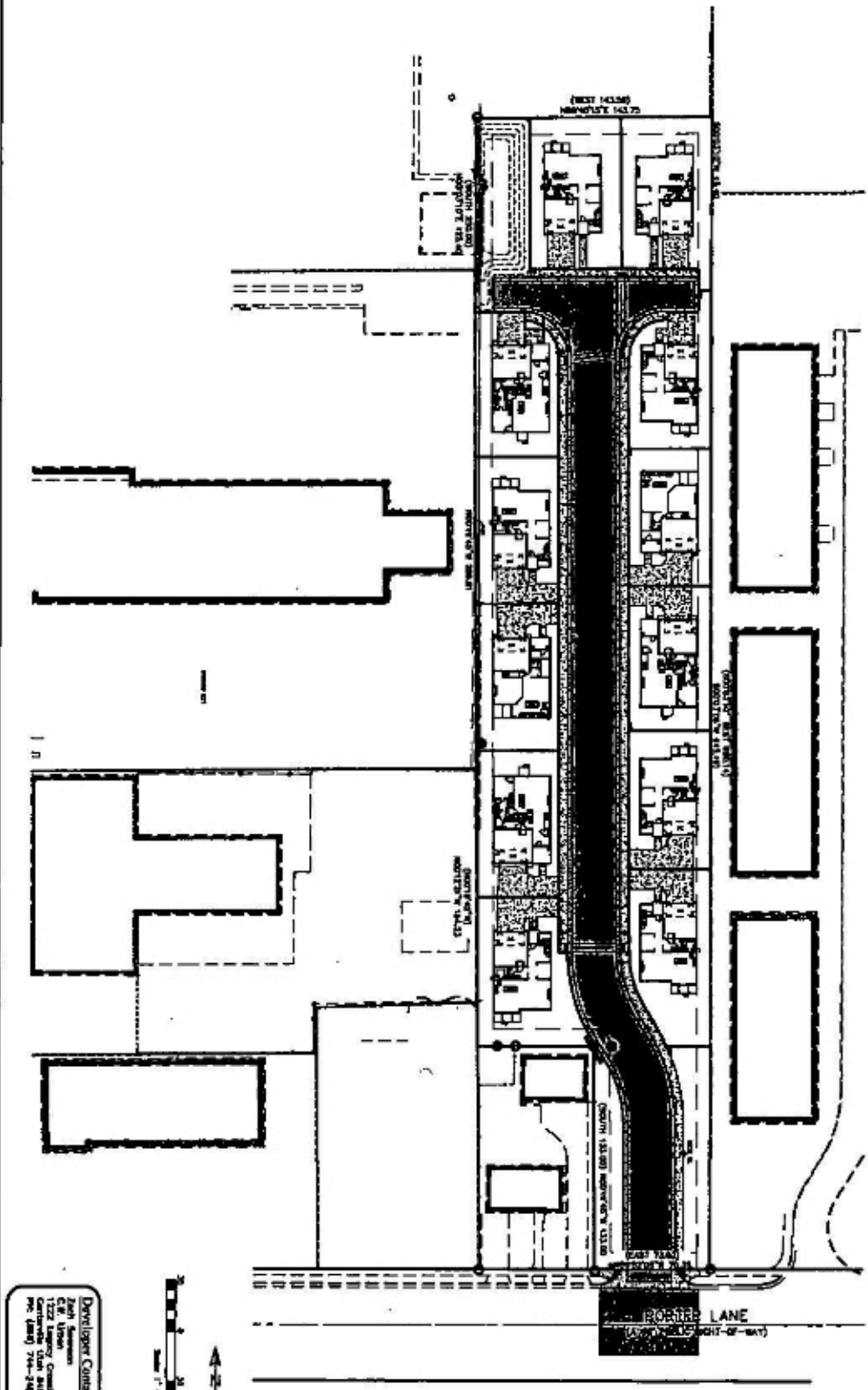


DATE	DESCRIPTION

**Private Road
Plan & Profile
3+00.00-6+75.00**

**The Lane
700 West Porter Lane
Centerville, UT**

HUNT
 CONSULTING, LLC
 CIVIL ENGINEERING, LLC
 6016 Willow Creek Rd.
 Mountain Green, UT 84059
 C. 801.884.6724
www.huntconsulting.com



Developer/Consultant
Zachry Construction
1322 Canyon Crossing Blvd. #4
Centerville, Utah 84304
PH: (801) 754-2400

SHEET 8
12 SHEETS

PROJECT NO.	
DATE	
SCALE	
DESIGNER	
CHECKER	
DATE	

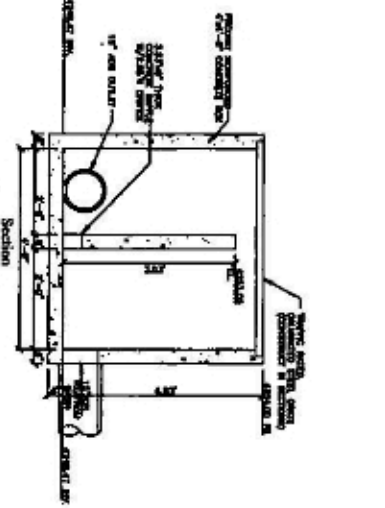
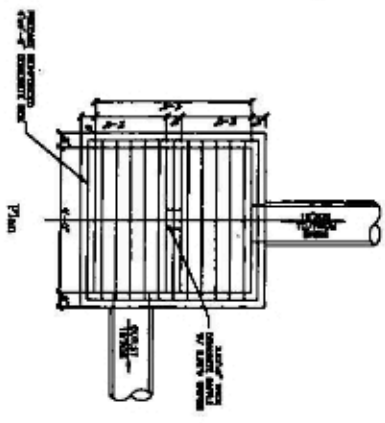
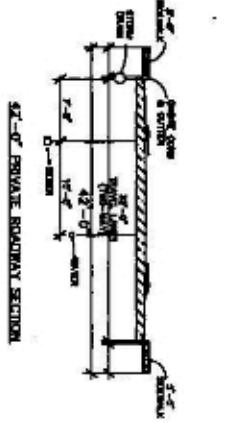
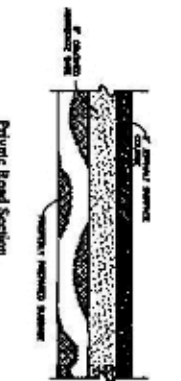
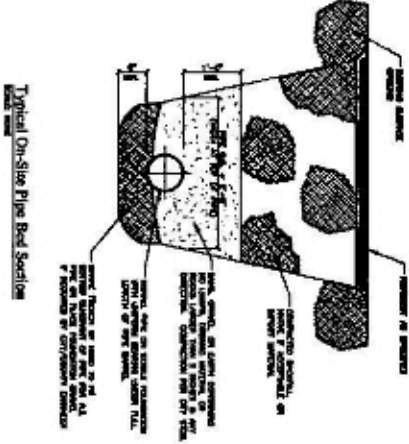
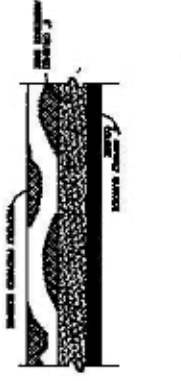
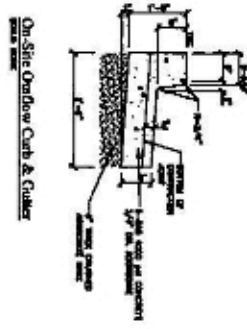
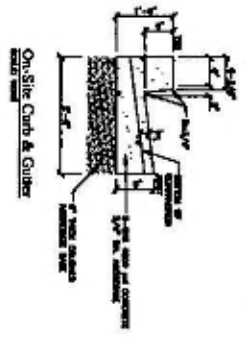


DATE	10/21
BY	
CHECKED	
DATE	

Street Light Exhibit

The Lane
700 West Porter Lane
Centerville, UT

HUNT
ENGINEERING, LLC
6018 Wedder Creek Rd.
Mesa, UT 84050
C. 801.254.4734
Duncan.hunt@hunt-engineering.com



THE HUNT Storm Runoff Calculations

Storm Runoff Calculations
 The following table shows the storm runoff calculations for the site. The calculations are based on the National Weather Service (NWS) 24-hour storm data for the area. The runoff is calculated using the Rational Method. The peak runoff rate is 1.2 cfs. The total runoff volume is 1.2 cfs x 24 hours = 28.8 cfs-hours. The runoff is collected in a 12-inch diameter pipe. The pipe is 100 feet long. The pipe is installed in a trench. The trench is 18 inches deep. The pipe is supported by concrete blocks. The pipe is surrounded by bedding. The bedding is 4 inches thick. The bedding is made of 1/2-inch crushed stone. The pipe is surrounded by a 6-inch layer of 1/2-inch crushed stone. The pipe is surrounded by a 6-inch layer of 1/2-inch crushed stone. The pipe is surrounded by a 6-inch layer of 1/2-inch crushed stone.

Area	Area (sq ft)	Runoff (cfs)	Volume (cfs-hours)
Roof	1000	1.0	24.0
Driveway	500	0.5	12.0
Yard	10000	0.2	4.8
Total	11500	1.7	40.8

NOTICE TO CONTRACTOR:
 ALL CONTRACTING SHALL BE TO THE SITE SPECIFIC GEOTECHNICAL REPORT PROVIDED BY LAND CONTROL CONSULTING, INC. THIS REPORT IS TO CONFORM TO CONTRACT DOCUMENTS BY REFERENCE.

Developer Contact:
 Zach Sorenson
 C&K Urban
 2001 Spring Canyon Blvd. #8
 Provo, UT 84601
 Tel: (801) 348-2488

9 SHEETS
 12 SHEETS

PROJECT INFO

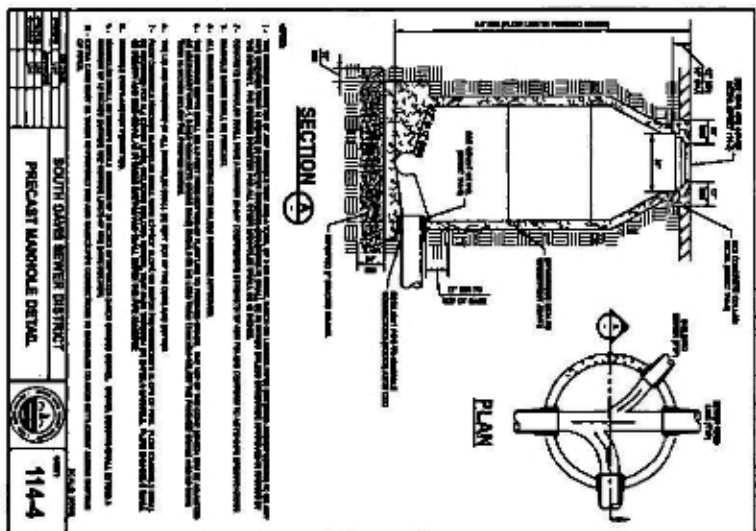
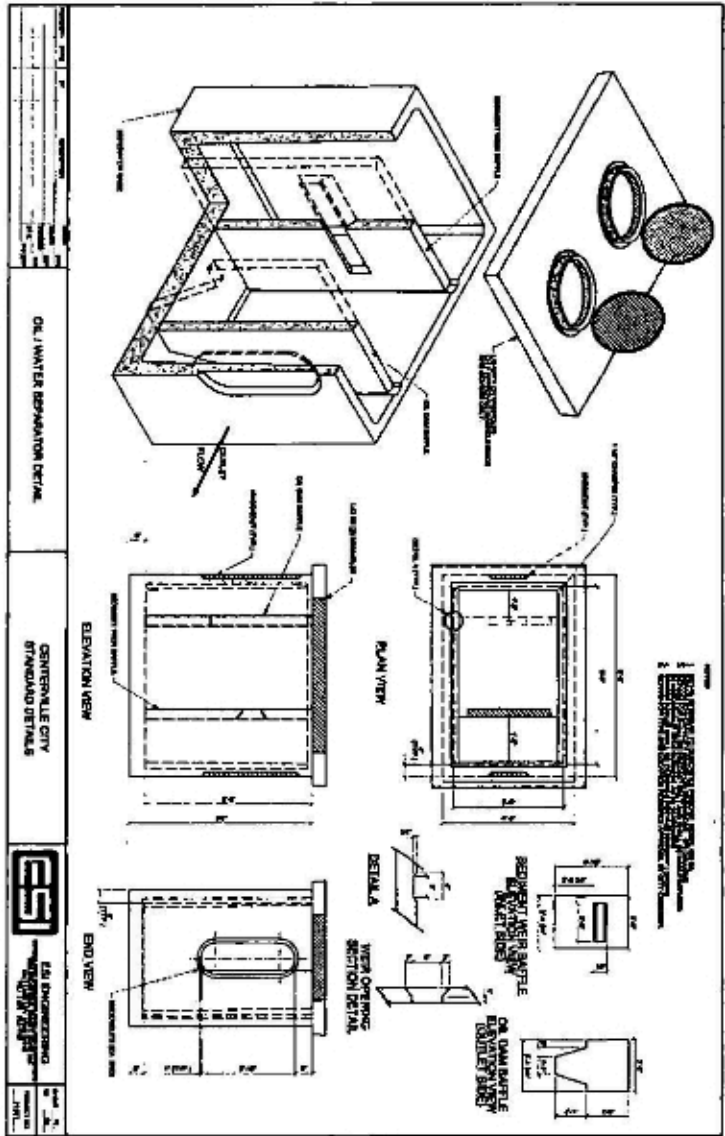


DATE: 10/21/2021
 TIME: 10:00 AM

Civil Details

The Lane
 700 West Porter Lane
 Centerville, UT

THE HUNT ENGINEERING, LLC
 HUNTY ENGINEERING, LLC
 8019 Willow Creek Rd.
 Newcastle Drive, UT 84050
 C. 801.884.8724
 Email: info@thehunt-engineering.com



Developer Contact:
Zachry Construction
1211 West 1000 South
Centerville Utah 84514
Ph: (801) 224-2400

SHEET 9.1
12 SHEETS

PROJECT NO.	
DATE	1/27/11
SCALE	AS SHOWN
DRAWN BY	MM
CHECKED BY	MM

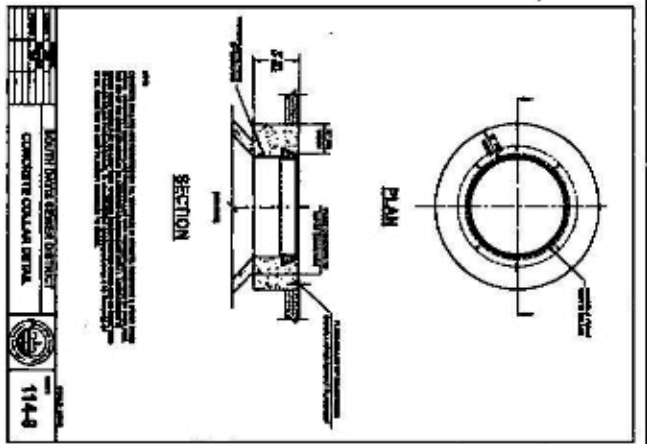
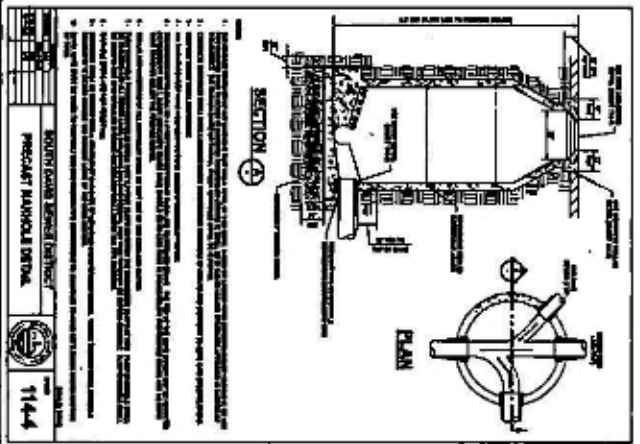
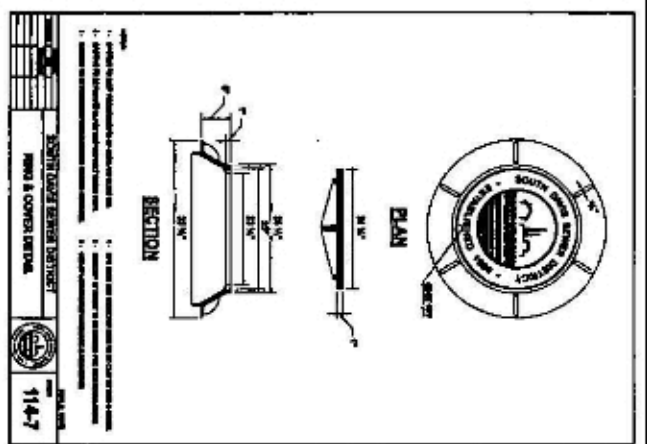
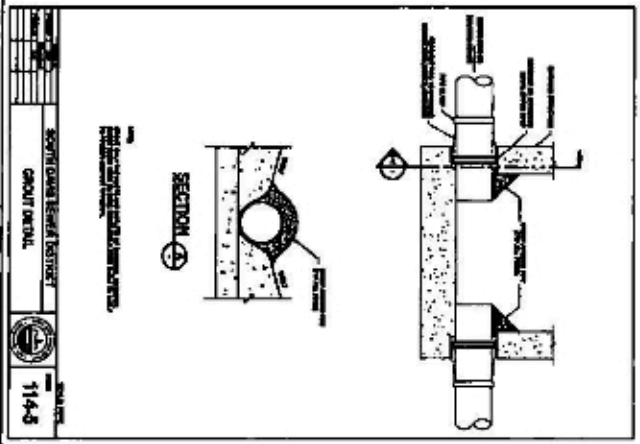
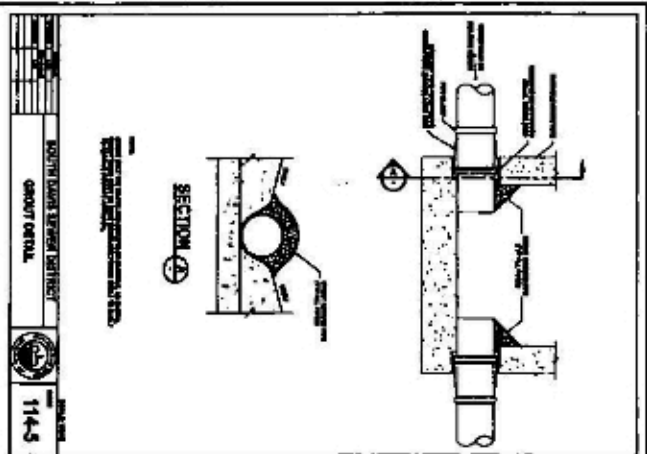
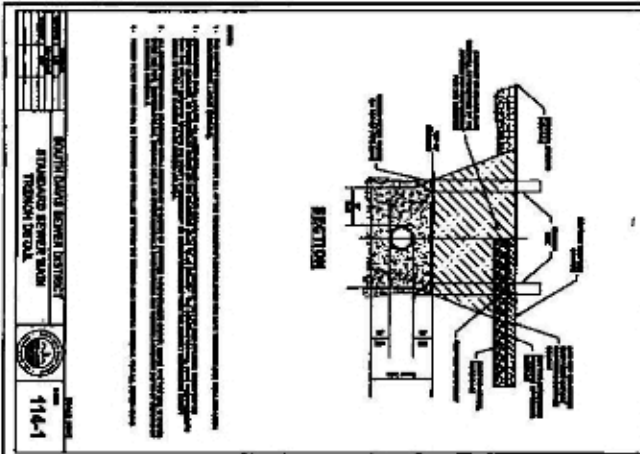


DATE	1/27/11
BY	MM
CHECKED	MM

Civil Details

The Lane
700 West Porter Lane
Centerville, UT

HUNT
ENGINEERING, LLC
5018 Willow Creek Rd.
Mercedale, UT 84050
C. 801.684.4784
www.hunt-engineering.com



Developer Contact:
Zach Johnson
Civil Engineer
Centerville, Utah 84302
Ph: (800) 734-2488

SHEET 9.2 OF 12 SHEETS

PROJECT NO.	
DATE	
BY	
CHECKED	
SCALE	



DATE	
BY	
CHECKED	
SCALE	

Civil Details

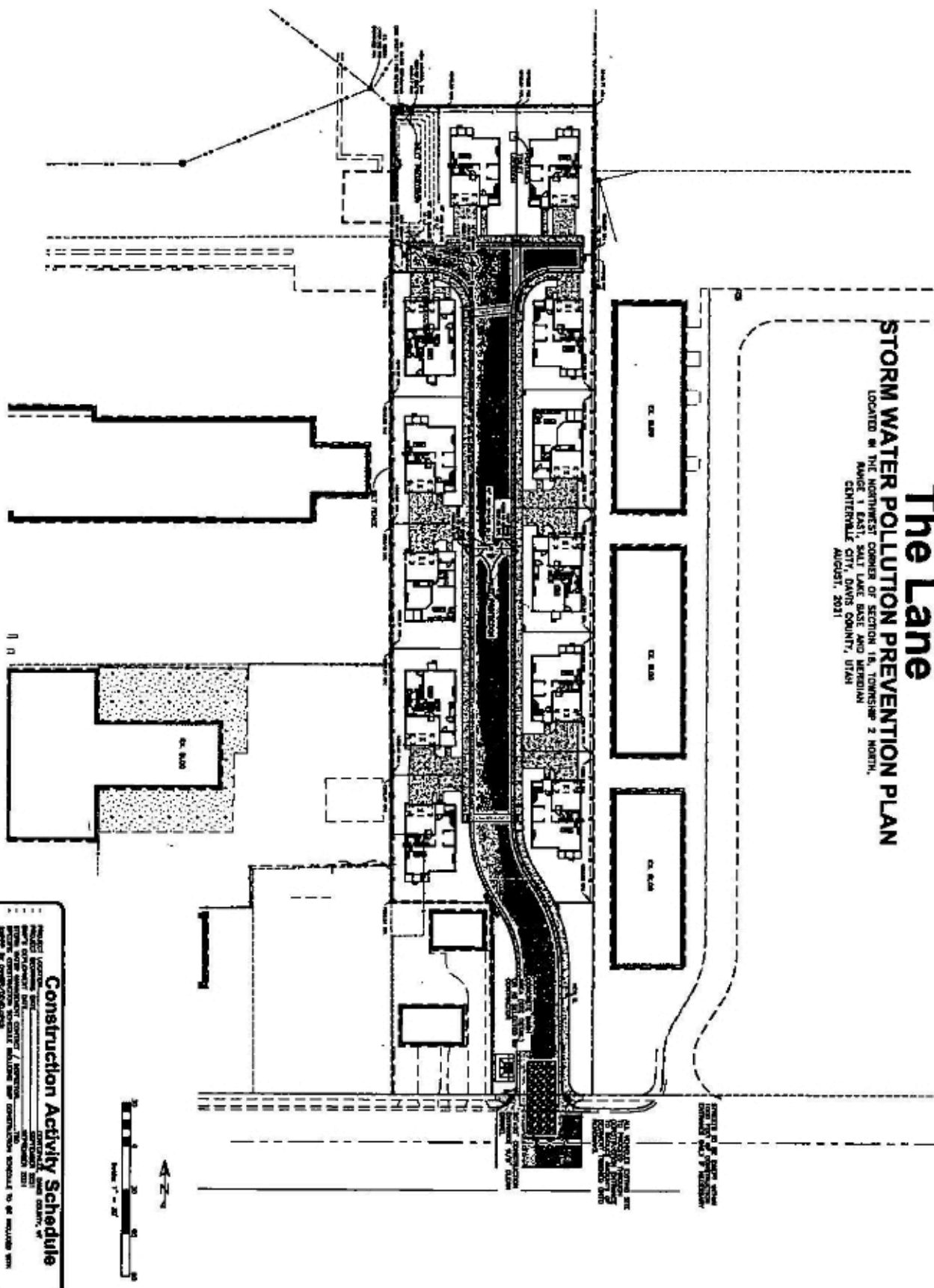
The Lane
700 West Porter Lane
Centerville, UT

HUNT ENGINEERING, LLC
8010 Willow Creek Rd.
Murray, UT 84050
C. 801.864.4794
www.hunt-engineering.com

The Lane

STORM WATER POLLUTION PREVENTION PLAN

LOCATED IN THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 2 NORTH,
RANGE 1 EAST, SALT LAKE BASIN AND MERIDIAN
CENTREVILLE CITY, DAVIS COUNTY, UTAH
AUGUST, 2011



Construction Activity Schedule

PROJECT LOCATION: CENTREVILLE, UTAH
 SHEET NO.: 10
 SHEETS: 12
 DATE: 08/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

SHEET	10
SHEETS	12

PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED	
APPROVED	



DATE	
BY	
CHECKED	
APPROVED	

SWPPP Exhibit

The Lane
700 West Porter Lane
Centerville, UT

HUNT ENGINEERING, LLC
 6819 Willow Creek Rd.
 Marsdale Grove, UT 84008
 C. 801.674.6724
 www.hunt-engineering.com