

STORM WATER FACILITY AGREEMENT

THIS AGREEMENT, is made and entered into this 11 day of July, 2022, by and between Woodside Homes of Utah (hereinafter referred to as "Owner", and American Fork City (hereinafter referred to as the "City"), a Municipal Corporation.

RECITALS

WHEREAS, the Owner desires to improve, develop or redevelop real property located at approximately 1000 S. 350 West in American Fork City, Utah County, State of Utah (hereinafter referred to as the "Property"), which is more particularly described in Exhibit A attached hereto;

WHEREAS, said development requires the installation and maintenance of storm water facilities (hereinafter referred to as "Facilities") to be constructed according to designs and plans approved by the City;

WHEREAS, the Owner, for and in behalf of its administrators, executors, successors, heirs, or assigns, including any homeowners association, recognizes and agrees that the health, safety, and welfare of the citizens of the City require that the Facilities be constructed and adequately maintained on the Property throughout the life of the development; and

NOW, THEREFORE, in consideration of the foregoing, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

SECTION 1 FACILITIES

Facilities include all storm water detention and control structures, flood control devices, or other improvements, which may include, but is not limited to all pipes, channels, or other structures and infrastructure built to convey storm water to the Facilities, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water which are required by the City in the site plan attached hereto as Exhibit B.

SECTION 2 FACILITIES CONSTRUCTION

The Owner shall, at its sole cost and expense, construct the Facilities in accordance with the plans and specifications for the development approved by the City. Owner understands and agrees that modifications may be needed to make the system work properly after the Facilities are installed and agrees to make modifications and adjustments as may be necessary and required by the City.

SECTION 3 MAINTENANCE

The Owner shall, at its sole cost and expense, adequately maintain the Facilities in good working condition acceptable to the City and in accordance with the schedule of long term maintenance activities agreed to by the parties and attached hereto as Exhibit C. Adequate maintenance is herein defined as follows: 1) keeping the Facilities in good working condition so that the Facilities are performing their design functions, 2) performing facility inspections and repairs as may be needed, and 3) replacing and/or modifying portions, or all of the system, as may be needed to maintain the intended function of the facility.

SECTION 4 EASEMENT

The Owner hereby grants permission to the City, its authorized agents, and employees to enter upon the Property and to inspect the Facilities whenever the City deems it necessary. Whenever possible, the City shall provide notice prior to entry. Inspections by the City shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with all laws, regulations, and approved plans and specifications. The Owner hereby grants a twenty-five (25) foot access easement in favor of the City with the midpoint of the easement lying over the midpoint of the Facilities identified in the attached plan. This easement shall be limited in scope to allow only those actions which are necessary to allow the City to inspect, ensure adequate maintenance, and to cause any repairs to be made that the City deems necessary. This easement shall include, but is not be limited to, prohibiting the construction of structures or improvements that would impact or obstruct the intended purposes of the Facilities or restrict the ability of the Owner or the City to inspect, maintain, or repair the Facilities.

SECTION 5 FAILURE TO MAINTAIN FACILITIES

In the event the Owner fails to maintain the Facilities in good working order acceptable to the City and in accordance with the maintenance schedule incorporated in this Agreement, the City, in addition to any other remedies provided by State or City code, may, with due notice as provided in Section 6, enter the property and take whatever steps it deems necessary to return the Facilities to good working order. This provision shall not be construed to allow the City to erect any structure of a permanent nature on the property that is not included in the plans and specifications for the development, or other agreement between the parties. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Facilities. The decision to maintain or repair the Facilities shall be at the City's sole discretion and in no event shall this Agreement be construed to impose any such obligation on the City or to create any liability for the City refusing to undertake such a duty.

**SECTION 6
NOTICE OF DEFICIENCIES**

If the City finds that the Facilities contain any defects or are not being maintained adequately, the City shall provide Owner written notice of the defects or deficiencies and provide Owner with a reasonable time, as determined by the City, to cure such defects or deficiencies.

**SECTION 7
RECOUPMENT OF COSTS**

In the event the City performs work of any nature pursuant to the Agreement, or expends any funds in the performance of said work for labor, use of equipment, supplies, materials, and the like, the Owner shall reimburse the City within thirty (30) days of receipt thereof for all the costs incurred by the City. If not paid within the prescribed time period, the City shall be entitled to record a lien against the real property in the amount of such costs. The actions described in this section are in addition to and not in lieu of any and all legal remedies available to the City as a result of the Owner's failure to maintain the Facilities.

**SECTION 8
LIMITATION OF LIABILITIES**

It is the sole intent of this Agreement to insure the proper construction and maintenance of the Facilities by the Owner. As the Facilities are not part of the City's Storm Water Collection System, this agreement does not create or extend any rights to immunity or liability protections provided by law to municipalities. This Agreement shall not be deemed to create or affect any additional liability of any party for damage alleged to result from or caused by storm water runoff, or to constitute a waiver of any immunity provided to the City through the Utah State Code or Constitution.

**SECTION 9
SEDIMENT ACCUMULATION**

Adequate maintenance shall include control of sediment accumulation resulting from the normal operation of the Facilities. The Owner will make accommodations for the removal and appropriate disposal of all accumulated sediments.

**SECTION 10
REQUIREMENTS AND STANDARDS**

The Parties agree to follow and comply with all requirements applicable to storm water detention and control facilities as by the Utah Department of Environmental Quality, Division of Water Quality, including the Small MS4 General UPDES Permit requirements, and by the City ordinances and Storm Water Management Plan as existing at the time of executing this agreement and as may be amended from time to time. The parties agree that these requirements and regulations are incorporated herein by this reference and that this agreement shall be deemed

automatically amended to incorporate any and all changes and amendments made thereto after the signing of this agreement.

**SECTION 11
INSPECTIONS**

The Owner shall perform an annual inspection of the Facilities. The City may require more frequent inspections should it have reason to believe that such inspections are necessary. All inspections shall be conducted by a qualified inspector and the results shall be reported to the City. The purpose of the inspection and reporting is to assure safe and proper functioning of the Facilities, including but not limited to, the structural improvements, berms, outlet structure, pond areas, access roads, vegetation, landscaping, etc. All annual inspection reports shall be submitted to the City Public Works Department no later than September 1 of any given year and shall be on the Maintenance Inspection Report attached hereto as Exhibit D.

**SECTION 12
INDEMNITY**

The Owner indemnifies and holds harmless the City and its authorized agents and employees for any and all damages, accidents, casualties, occurrences or claims which might arise or be asserted against the City from the construction, presence, existence or maintenance of the facility or facilities by the Owner. In the event a claim is asserted against the City, its authorized agents or employees, the City shall promptly notify the Owner and the Owner shall defend at its own expense any suit based on such claim. If any judgment or claims against the City, its authorized agents or employees shall be allowed, the Owner shall pay for all costs and expenses in connection herewith.

**SECTION 13
COVENANT RUNNING WITH THE LAND**

This Agreement shall be recorded at the Utah County Recorder's Office and shall constitute a covenant running with the land and shall be binding on the Owner, its administrators, executors, heirs, assigns and any other successors in interest, including any homeowners association.

**SECTION 14
REMEDIES**

This Agreement may be enforced by proceedings at law or in equity by or against the parties hereto and their respective successors in interest. Any rights or remedies contained in this Agreement shall be in addition, and non-exclusive, to any rights existing under the Utah Code or that may exist under the common law.

**SECTION 15
ATTORNEYS FEES**

If any party retains, consults, or uses an attorney because of any breach, default, or failure to perform as required by this Agreement, the non-breaching/defaulting party shall be entitled to reasonable attorney's fees incurred before litigation is filed. In the event that any litigation is commenced to enforce or interpret this Agreement the prevailing party shall be entitled to its attorneys fees, expert witness expenses, and litigation related expenses, including but not limited to court costs.

**SECTION 16
THIRD PARTY BENEFICIARIES**

This Agreement shall be binding upon and inure solely to the benefit of the parties herein and is not intended to create contractual rights in any third party.

**SECTION 17
NO PARTNERSHIP**

Nothing contained in this Agreement shall be deemed to create any form of a partnership or joint-venture between the City and Owner.

**SECTION 18
UTAH LAW AND VENUE**

This Agreement shall be interpreted pursuant to the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Utah County, Utah.

**SECTION 19
INTEGRATED AGREEMENT**

This Agreement sets forth the entire agreement of the parties and supersedes all prior agreements, whether written or oral, that exists between the parties regarding the subject matter of this Agreement.

**SECTION 20
SEVERABILITY**

The provisions of this agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the, its successors and assigns, is held invalid, the remainder of this Covenant shall not be affected thereby.

**SECTION 21
AMENDMENTS**

Except as expressly provided elsewhere in this Agreement, no provision of this Agreement may not be modified except in writing agreed to by both parties.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the dates set forth below.

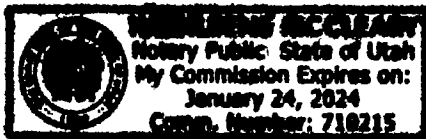
OWNER

Date: July 11, 2022.
By: Matt Loveland
Its: VPOf Land

NOTARIZATION

STATE OF UTAH)
) :ss
COUNTY OF UTAH)

The above Agreement was executed on this 11th day of July, 2022 by Matt Loveland, for and on behalf of Woodside Homes the Owner identified in the above signed Agreement. In executing this Agreement, the signer did swear before me that he is duly authorized to sign the agreement on behalf of the Owner.



Kathleen McClean
NOTARY PUBLIC

AMERICAN FORK CITY

Date: Nov 8, 2022.

Scott Sensenbaugher Susan Goebel-Canning
Director of Public Works

ATTEST:

Devin Lurker

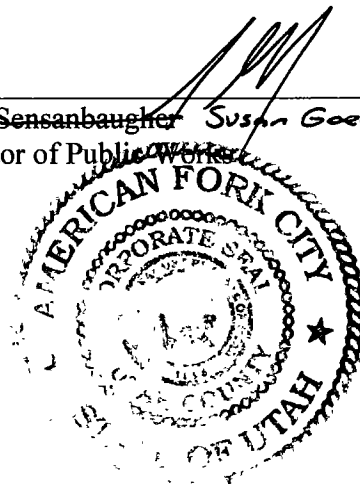


Exhibit A

**STONECREEK PLAT J
LEGAL DESCRIPTION**

BEGINNING AT A POINT WHICH IS N89°48'57"E 822.46 FEET AND SOUTH 1506.09 FEET FROM THE NORTHWEST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN,

THENCE ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT H THE FOLLOWING FIVE (5) COURSES: 1) SOUTH 45°44'08" EAST 101.00 FEET, 2) NORTH 44°37'49" EAST 54.16 FEET, 3) NORTH 68°48'04" EAST 44.00 FEET, 4) SOUTH 89°12'04" EAST 180.00 FEET, AND 5) NORTH 00°49'19" EAST 101.00 FEET TO A POINT ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT G; THENCE ALONG SAID PLAT THE FOLLOWING EIGHT (8) COURSES: 1) SOUTH 89°12'04" EAST 85.99 FEET, 2) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.57 FEET (CURVE HAVING A CENTRAL ANGLE OF 90°01'23" AND A LONG CHORD BEARS S44°11'22"E 21.22 FEET), 3) SOUTH 89°12'44" EAST 62.00 FEET; 4) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.56 FEET (CURVE HAVING A CENTRAL ANGLE OF 89°58'37" AND A LONG CHORD BEARS N45°48'38"E 21.21 FEET), 5) SOUTH 89°12'04" EAST 173.00 FEET, 6) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.57 FEET (CURVE HAVING A CENTRAL ANGLE OF 90°01'23" AND A LONG CHORD BEARS S44°11'22"E 21.22 FEET), 7) NORTH 85°52'36" EAST 62.23 FEET, AND 8) NORTH 00°49'19" EAST 11.09 FEET; THENCE SOUTH 89°10'41" EAST 112.96 FEET; THENCE SOUTH 00°51'25" WEST 85.23 FEET; THENCE SOUTH 00°25'56" WEST 170.20 FEET; THENCE SOUTH 00°54'29" WEST 608.92 FEET; THENCE NORTH 89°59'52" WEST 207.88 FEET; THENCE ALONG THE ARC OF A 331.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 40.72 FEET (CURVE HAVING A CENTRAL ANGLE OF 07°02'53" AND A LONG CHORD BEARS N86°28'26"W 40.69 FEET); THENCE NORTH 10°00'05" EAST 134.43 FEET; THENCE ALONG THE ARC OF A 306.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 10.15 FEET (CURVE HAVING A CENTRAL ANGLE OF 01°54'04" AND A LONG CHORD BEARS N10°57'08"E 10.15 FEET); THENCE NORTH 45°44'08" WEST 906.00 FEET; THENCE NORTH 44°15'54" EAST 15.02 FEET TO THE POINT OF BEGINNING.

CONTAINS: 426,862 SF OR 9.80 AC

BASIS OF BEARING IS NORTH 89°48'57" EAST ALONG SECTION LINE FROM THE NORTHWEST CORNER TO THE NORTH QUARTER CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN (NAD 83)

Exhibit B

Woodside Homes
 WOODSIDE HOMES OF UTAH
 460 West 50 North, Suite 300
 Salt Lake City, UT 84101
 801 868 4000

**STONECREEK
 PLAT J**
 1000 SOUTH
 350 WEST



ben
 CIVIL ENGINEERING
 1014 W. 2000 SOUTH LANE
 SALT LAKE CITY, UT 84119
 (801) 487-1877
 FAX (801) 487-1877

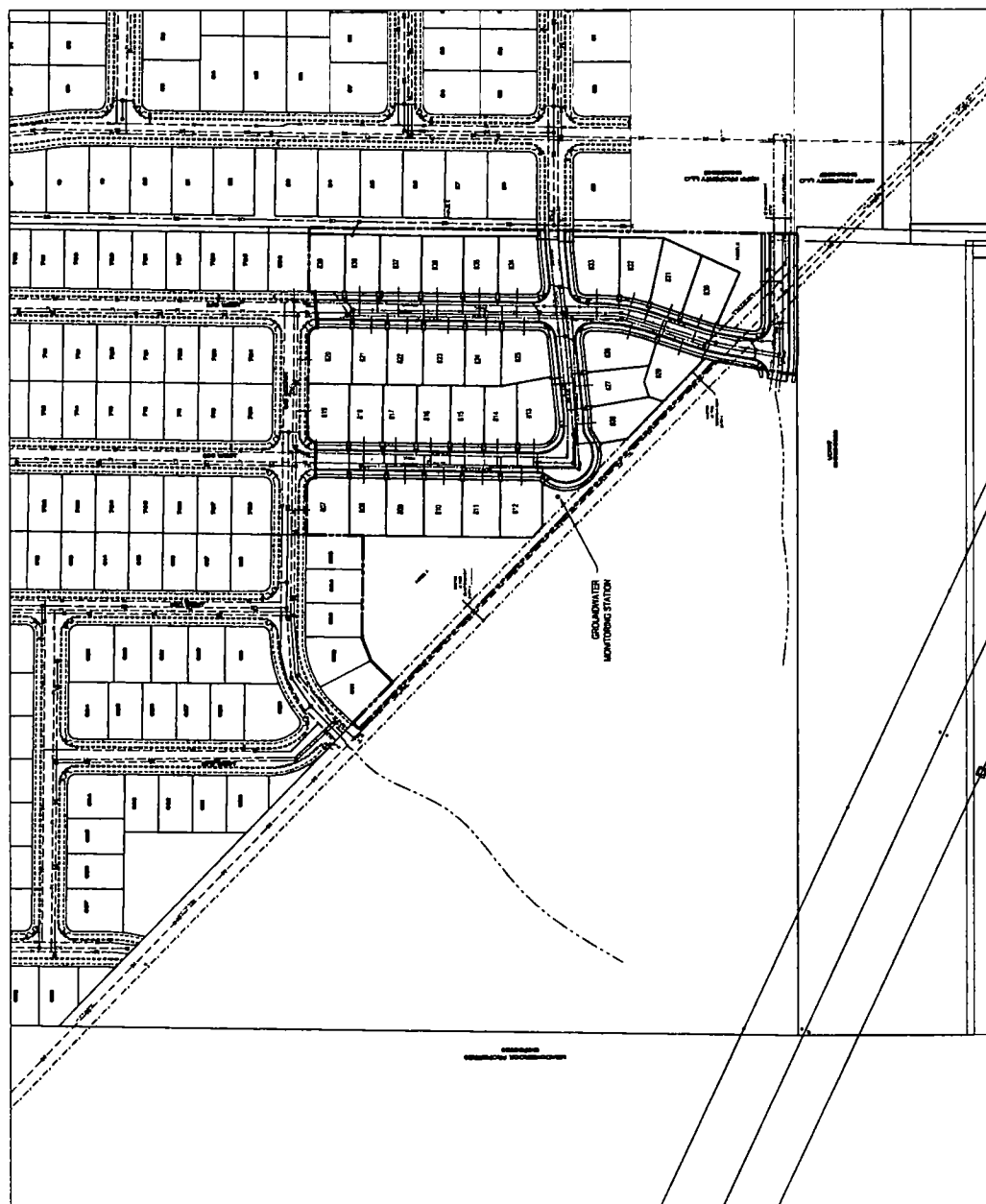


**STONECREEK
 PLAT J**

**FINAL
 CONSTRUCTION
 PLANS**

UTILITY

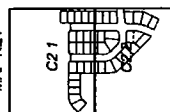
C2



SEWER NOTES

1. ALL SEWER LINES SHALL BE 18\"/>

MAP KEY



Woodside Homes
WOODSIDE HOMES OF UTAH
480 West 80 North, Suite 300
Salt Lake City, UT 84101
801.889.4000

STONECREEK
PLAT J
1000 SOUTH
350 WEST



SCALE 1"=40'

benq
CIVIL ENGINEERING
100 N 2000 WEST LANE
SALT LAKE CITY, UT 84119
PHONE (801) 972-1377
FAX (801) 972-1377



STONECREEK
PLAT J

FINAL
CONSTRUCTION
PLANS

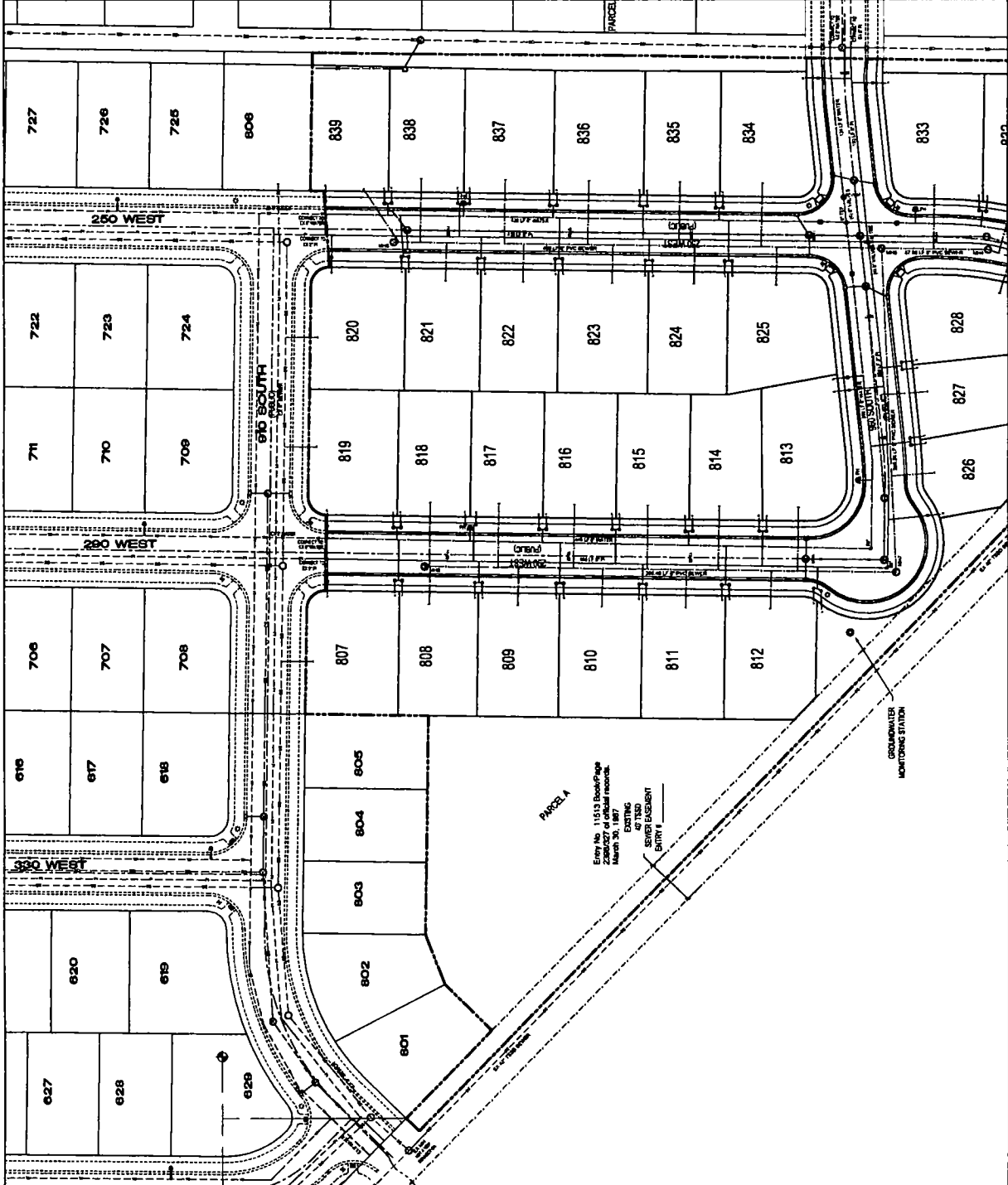
UTILITY
C2.1

MAP KEY



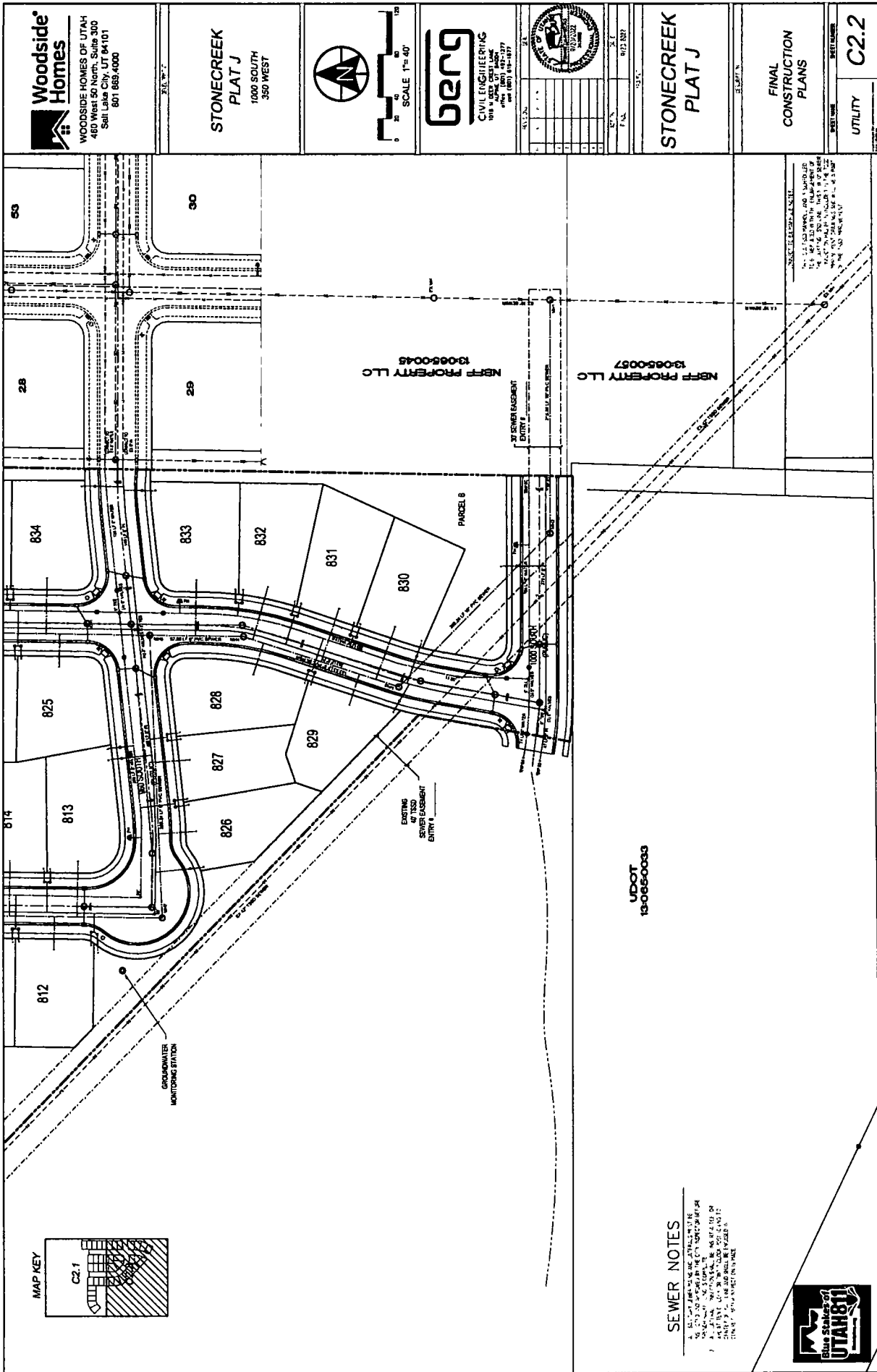
SEWER NOTES

ALL SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SALT LAKE CITY SEWER SPECIFICATIONS. ALL SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SALT LAKE CITY SEWER SPECIFICATIONS. ALL SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SALT LAKE CITY SEWER SPECIFICATIONS.



PARCELA
Entry No. 11513 Book/Page
March 30, 1987
EXISTING
AS SHOWN
SEWER EASEMENT
SHOWN

GROUNDWATER
MONITORING STATION



SEWER NOTES

1. ALL SEWER LINES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED.
2. ALL SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
3. ALL SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
4. ALL SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
5. ALL SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.



Woodside Homes
WOODSIDE HOMES OF UTAH
460 West 50 North, Suite 300
Salt Lake City, UT 84101
801 689 4000

STONECREEK
PLAT J
1000 SOUTH
350 WEST

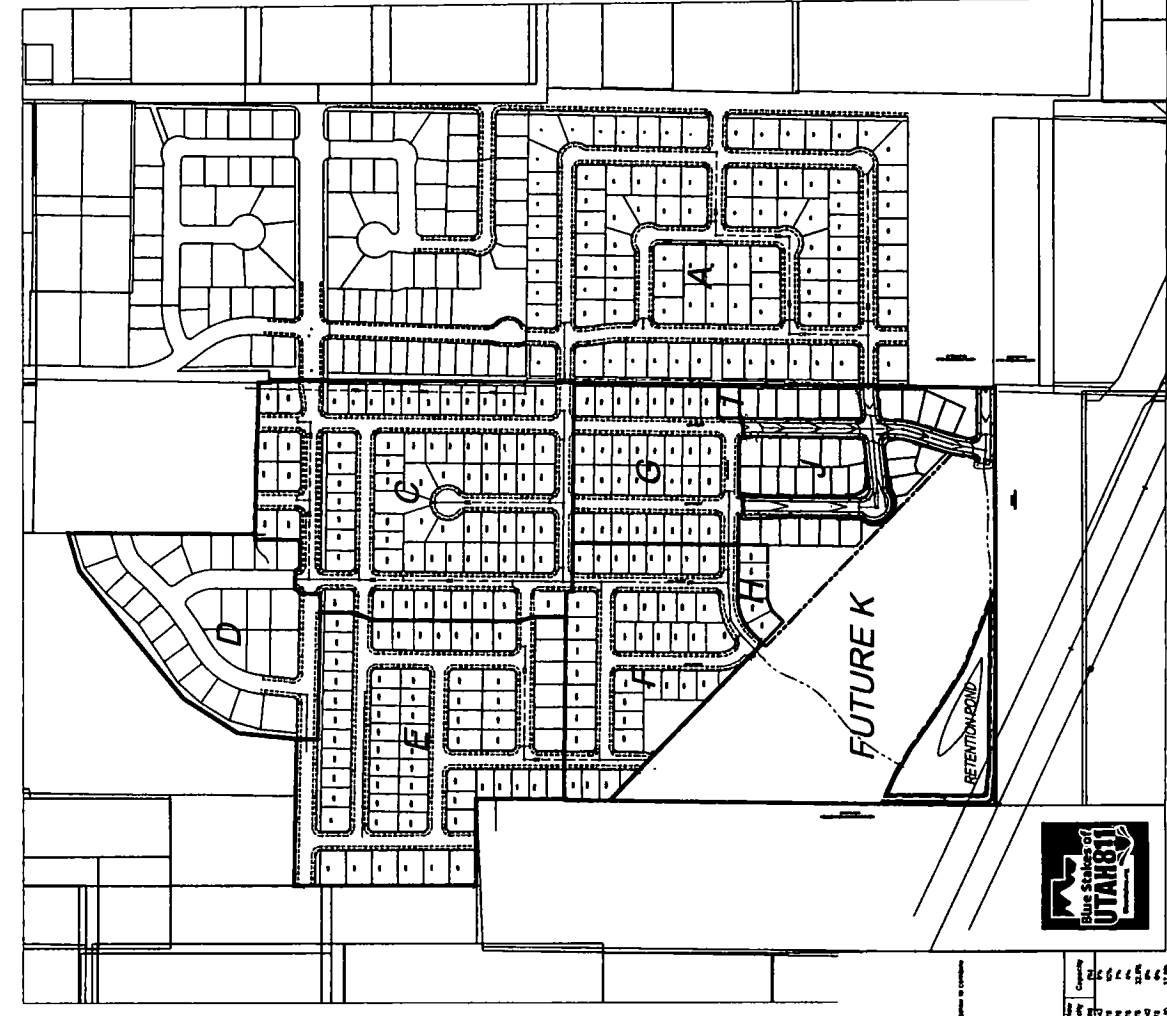
SCALE: 1" = 200'

CIVIL ENGINEERING
104 S 2000 WEST LANE
SALT LAKE CITY, UT 84119
PHONE (801) 941-1377
FAX (801) 941-1377

STONECREEK
PLAT J

FINAL
CONSTRUCTION
PLANS

GRADING
PLAN
C3



STONE CREEK

RETENTION POND CALCULATIONS

American Fork, UT
14-Jun-22

Storm drain calculations were performed using the rational method

RETENTION POND / DETENTION POND

Retention Pond	Area (A)	C	C-A	ELEV (E)	AREA (A)	INCR (I)	TOTAL VOL (V _T)	INCR (I)	OUT (O)	IN (I)	OUT (O)	IN (I)	OUT (O)
Stonecreek Pond C	0.34	783537	267024	4500	130025	0	0	0	0	0	0	0	0
Stonecreek Pond D	0.34	692456	130025	4500	30347	0	0	0	0	0	0	0	0
Stonecreek Pond E	0.34	692456	217855	4500	72644	0	0	0	0	0	0	0	0
Stonecreek Pond F	0.34	302077	127071	4500	57190	0	0	0	0	0	0	0	0
Stonecreek Pond G	0.34	104450	35277	4500	101530	0	0	0	0	0	0	0	0
Stonecreek Pond H	0.34	104450	35277	4500	101530	0	0	0	0	0	0	0	0
Stonecreek Pond I	0.34	104450	35277	4500	101530	0	0	0	0	0	0	0	0
Stonecreek Pond J	0.34	104450	35277	4500	101530	0	0	0	0	0	0	0	0
Stonecreek Pond K	0.34	104450	35277	4500	101530	0	0	0	0	0	0	0	0
Open Storage C.A.	0.10	2547841	1246842	4500	114508	112129	0	0	0	0	0	0	0
Total Areas	0.88	2547841	1246842	4500	114508	112129	0	4500.00	0	4500.00	0	0	0

Retention Volume Calculations

Retention Pond	Required Storage (ft ³)	Available Storage (ft ³)	Required Volume (ft ³)	Available Volume (ft ³)	Required Storage (ft ³)	Available Storage (ft ³)	Required Volume (ft ³)	Available Volume (ft ³)
A	114508	114508	0	114508	0	114508	0	114508
B	114508	114508	0	114508	0	114508	0	114508
C	114508	114508	0	114508	0	114508	0	114508
D	114508	114508	0	114508	0	114508	0	114508
E	114508	114508	0	114508	0	114508	0	114508
F	114508	114508	0	114508	0	114508	0	114508
G	114508	114508	0	114508	0	114508	0	114508
H	114508	114508	0	114508	0	114508	0	114508
I	114508	114508	0	114508	0	114508	0	114508
J	114508	114508	0	114508	0	114508	0	114508
K	114508	114508	0	114508	0	114508	0	114508
Total	114508	114508	0	114508	0	114508	0	114508

Standard Storage = $\frac{3600000}{11.222}$ ft³ or **319815** ft³

Total Pond Volume = **488228** ft³ or **11.222** acre-ft

A, B & C are based upon American Fork Drainage Manual

D = C / (12 inches/ft) x total acreage of site = 43,390 acre-ft

E = an allowable release rate (0.1 inches) x total acreage of site x 60 sec.

F = D - E to determine storage volume

PIPE CAPACITY CALCULATIONS

25 YR PIPE SIZING CALCULATIONS (AF SO TECH MANUAL 8.2.2)

STONECREEK PLAT J

14-Jun-22

Method = Rational Method

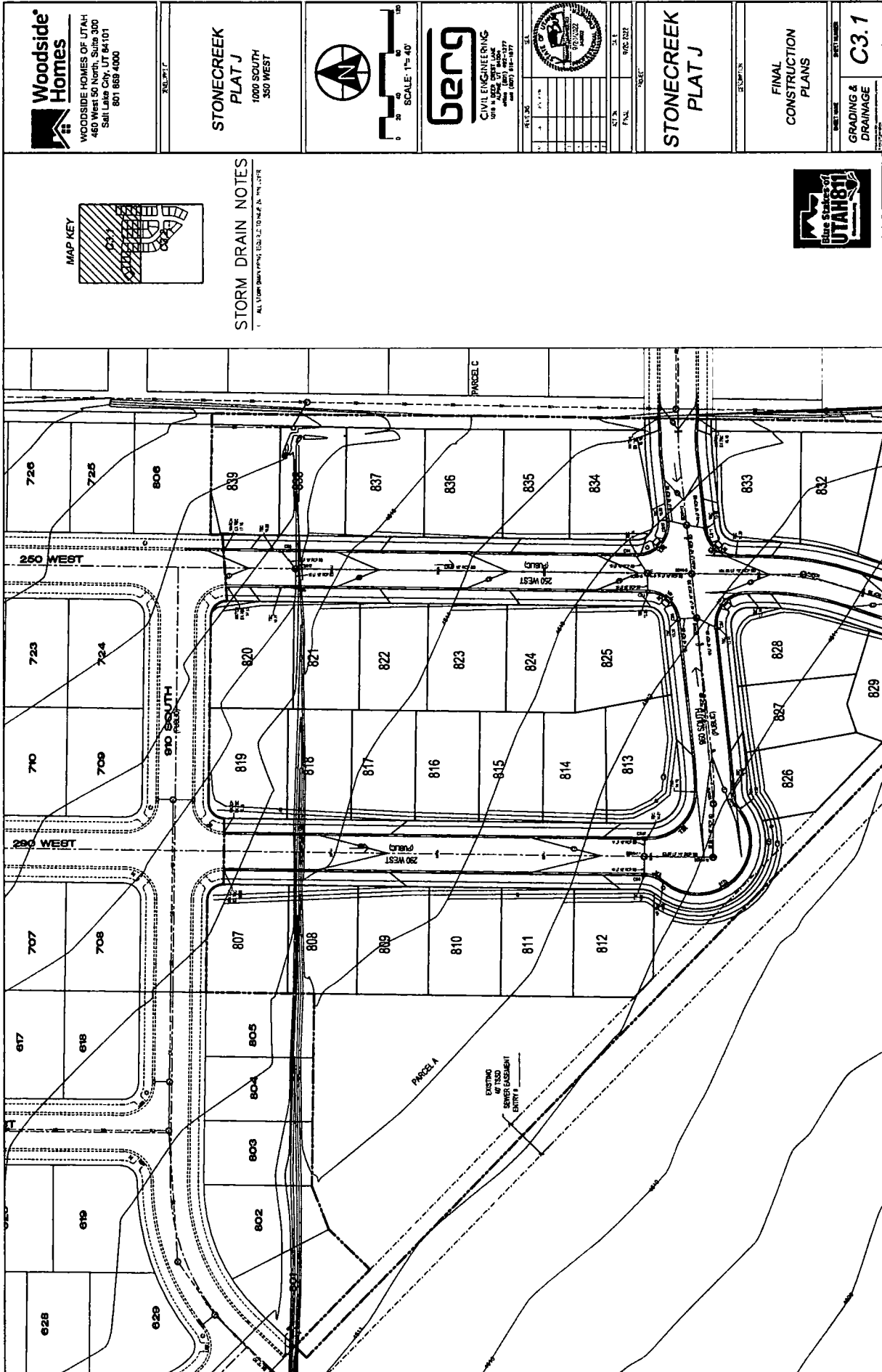
Method's Equation = $Q = C \cdot I \cdot A$

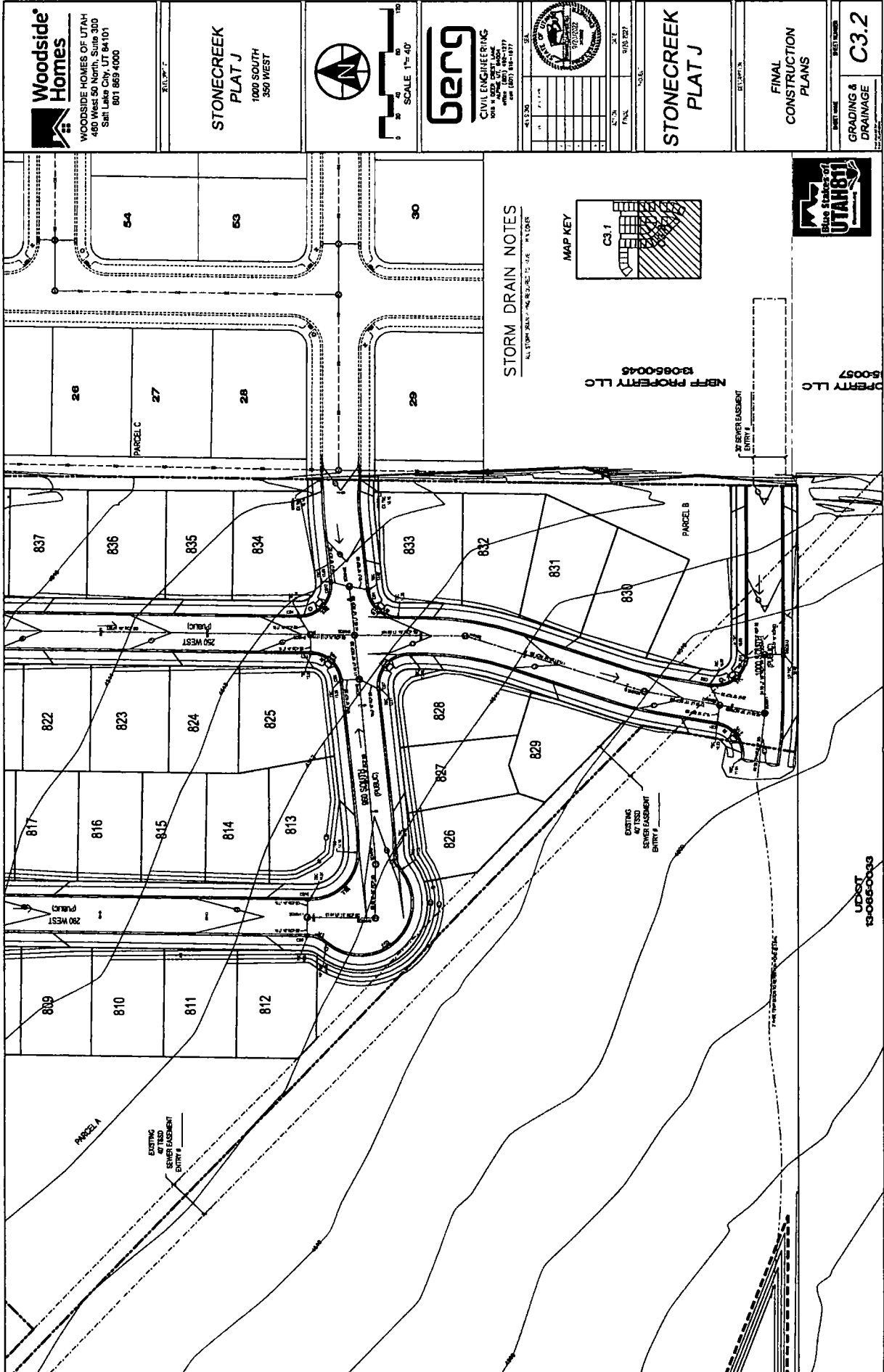
Retention into Pond 2

Retention Pond	Area (A)	C	I	Q (cfs)	Retention Volume (ft ³)	Retention Time (min)	Retention Efficiency (%)
Stonecreek Pond C	0.34	783537	2.0	5472	114508	12	100
Stonecreek Pond D	0.34	692456	2.0	4784	114508	12	100
Stonecreek Pond E	0.34	692456	2.0	4784	114508	12	100
Stonecreek Pond F	0.34	302077	2.0	2123	114508	12	100
Stonecreek Pond G	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond H	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond I	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond J	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond K	0.34	104450	2.0	734	114508	12	100
Total	0.88	2547841	2.0	22422	114508	12	100

Retention into Pond 2

Retention Pond	Area (A)	C	I	Q (cfs)	Retention Volume (ft ³)	Retention Time (min)	Retention Efficiency (%)
Stonecreek Pond C	0.34	783537	2.0	5472	114508	12	100
Stonecreek Pond D	0.34	692456	2.0	4784	114508	12	100
Stonecreek Pond E	0.34	692456	2.0	4784	114508	12	100
Stonecreek Pond F	0.34	302077	2.0	2123	114508	12	100
Stonecreek Pond G	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond H	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond I	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond J	0.34	104450	2.0	734	114508	12	100
Stonecreek Pond K	0.34	104450	2.0	734	114508	12	100
Total	0.88	2547841	2.0	22422	114508	12	100





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 Salt Lake City, UT 84101
 801 869 4000

**STONECREEK
 PLAT J**
 1000 SOUTH
 350 WEST



SCALE 1"=40'

benq
 CIVIL ENGINEERING
 1000 SOUTH 350 WEST
 SALT LAKE CITY, UT 84101
 (801) 844-1877

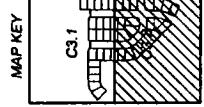
NO.	DATE	DESCRIPTION
1	11/11/20	PRELIMINARY
2	01/14/21	REVISED
3	03/05/21	REVISED
4	03/05/21	REVISED
5	03/05/21	REVISED
6	03/05/21	REVISED
7	03/05/21	REVISED
8	03/05/21	REVISED
9	03/05/21	REVISED
10	03/05/21	REVISED

**STONECREEK
 PLAT J**

**FINAL
 CONSTRUCTION
 PLANS**

**GRADING &
 DRAINAGE**
C3.2

STORM DRAIN NOTES
 ALL STORM DRAINAGE SHALL BE 12" DIA. 4" COVER



NRFF PROPERTY LLC
 130960045



PROPERTY LLC
 130960045

UDIST
 1309650033

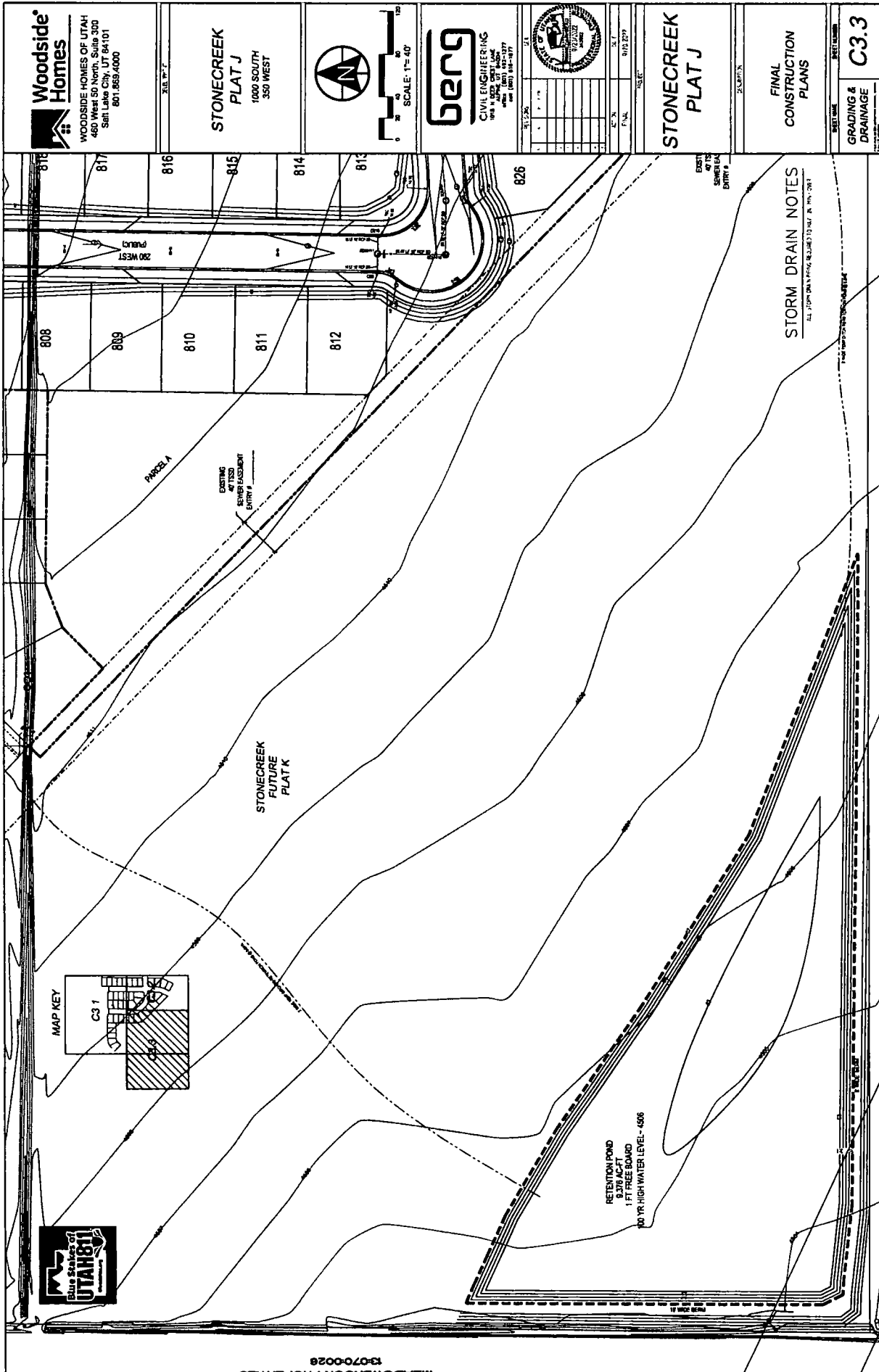


EXHIBIT 'C'

When recorded, mail to:
American Fork City Recorder's Office
51 East Main Street
American Fork, UT 84003

Affects Parcel No(s): Parcel Number(s)

LONG TERM STORMWATER MANAGEMENT AGREEMENT

This Long Term Stormwater Management Agreement ("Agreement") is made and entered into this 13 day of September, 2022, by and between American Fork City, a Utah municipal corporation ("City"), and Woodard Homes of Utah, an LLC ("Owner").

RECITALS

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters within the MS4, as set forth in the American Fork City Stormwater Ordinance, as amended ("Ordinance"), adopted pursuant to the Utah Water Quality Act, as set forth in *Utah Code Ann. §§ 19-5-101, et seq.*, as amended ("Act"); and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in Exhibit "A," attached hereto and incorporated herein by this reference ("Property"); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to accommodate and regulate these anticipated changes in existing storm and surface water flow conditions, the Owner is required to build and maintain at Owner's expense a storm and surface water management facility or improvements ("Stormwater Facilities"); and

WHEREAS, the Stormwater Facilities are more particularly described and shown in the final site plan or subdivision approved for the Property and related engineering

drawings, and any amendments thereto, which plans and drawings are on file with the City and are hereby incorporated herein by this reference (“Development Plan”); and

WHEREAS, summary description of all Stormwater Facilities, details and all appurtenance draining to and affecting the Stormwater Facilities and establishing the standard operation and routine maintenance procedures for the Stormwater Facilities, and control measures installed on the Property, (“Long Term Stormwater Management Plan”) more particularly shown in Exhibit “B” on file with the City Recorder and,

WHEREAS, a condition of Development Plan approval, and as required as part of the City’s Small MS4 UPDES General Permit from the State of Utah, Owner is required to enter into this Agreement establishing a means of documenting the execution of the Long Term Stormwater Management Plan and,

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the City’s approval of the Long Term Stormwater Management Plan, and the mutual covenants contained herein, the parties agree as follows:

Section 1

Construction of Stormwater Facilities. The Owner shall, at its sole cost and expense, construct the Stormwater Facilities in accordance with the Development Plans and specifications, and any amendments thereto which have been approved by the City.

Section 2

Maintenance of Stormwater Facilities. The Owner shall, at its sole cost and expense, adequately maintain the Stormwater Facilities. Owner’s maintenance obligations shall include all system and appurtenance built to convey stormwater, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance, for purposes of this Agreement, is defined as good working condition so that the Stormwater Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Stormwater Facilities in good working condition.

Section 3

Annual Maintenance Report of Stormwater Facilities. The Owner shall, at its sole cost and expense, inspect the Stormwater Facilities and submit an inspection report and certification to the MS4 annually. The purpose of the inspection and certification is to assure safe and proper functioning of the Stormwater Facilities. The annual inspection shall cover all aspects of the Stormwater Facilities, including, but not limited to, the parking lots, structural improvements, berms, channels, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification as to whether adequate maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by June 30th of each year and shall be on forms acceptable to the City.

Section 4

City Oversight Inspection Authority. The Owner hereby grants permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Stormwater Facilities upon reasonable notice not less than three business days to the Owner. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Stormwater Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with the Act, the Ordinance, and the Stormwater Facilities Maintenance Plan.

Section 5

Notice of Deficiencies. If the City finds that the Stormwater Facilities contain any defects or are not being maintained adequately, the City shall send Owner written notice of the defects or deficiencies and provide Owner with a reasonable time, but not less than sixty (60) days, to cure such defects or deficiencies. Such notice shall be confirmed delivery to the Owner or sent certified mail to the Owner at the address listed on the County Tax Assessor.

Section 6

Owner to Make Repairs. The Owner shall, at its sole cost and expense, make such repairs, changes or modifications to the Stormwater Facilities as may be determined as reasonably necessary by the City within the required cure period to ensure that the Stormwater Facilities are adequately maintained and continue to operate as designed and approved.

Section 7

City's Corrective Action Authority. In the event the Owner fails to adequately maintain the Stormwater Facilities in good working condition acceptable to the City, after due notice of deficiencies as provided in Section 5 and failure to cure, then, upon Owner's failure to cure or correct within thirty days following a second notice delivered to Owner, the City may issue a Citation punishable as a Misdemeanor in addition to any State or EPA fine. The City may also give written notice that the facility storm drain connection will be disconnected. Any damage resulting from the disconnection is subject to the foregoing cure periods. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Stormwater Facilities, and in no event shall this Agreement be construed to impose any such obligation on the City. The actions described in this Section are in addition to and not in lieu of any and all equitable remedies available to the City as provided by law for Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

Section 8

Reimbursement of Costs. In the event the City, pursuant to this Agreement, incurs any costs, or expends any funds resulting from enforcement or cost for labor, use of equipment, supplies, materials, and the like related to storm drain disconnection from

the City system, the Owner shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City. After said thirty (30) days, such amount shall be deemed delinquent and shall be subject to interest at the rate of ten percent (10%) per annum. Owner shall also be liable for any collection costs, including attorneys' fees and court costs, incurred by the City in collection of delinquent payments.

Section 9

Successor and Assigns. This Agreement shall be recorded in the County Recorder's Office and the covenants and agreements contained herein shall run with the land and whenever the Property shall be held, sold, conveyed or otherwise transferred, it shall be subject to the covenants, stipulations, agreements and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property described herein.

Section 10

Severability Clause. The provisions of this Agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Covenant shall not be affected thereby.

Section 11

Utah Law and Venue. This Agreement shall be interpreted under the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in American Fork City, Utah.

Section 12

Indemnification. This Agreement imposes no liability of any kind whatsoever on the City, and the Owner agrees to hold the City harmless from any liability in the event the Stormwater Facilities fail to operate properly. The Owner shall indemnify and hold the City harmless for any and all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against the City from failure of Owner to comply with its obligations under this agreement relating to the Stormwater Facilities.

Section 13

Amendments. This Agreement shall not be modified except by written instrument executed by the City and the Owner of the Property at the time of modification, and no modification shall be effective until recorded in the Utah County Recorder's Office.

Section 14

Subordination Requirement. If there is a lien, trust deed or other property interest recorded against the Property, the trustee, lien holder, etc., shall be required to execute a subordination agreement or other acceptable recorded document agreeing to subordinate their interest to the Agreement.

Section 15

Exhibit B. The Long Term Stormwater Management Plan (LTSWMP) must adapt to change in good judgment when site conditions and operations change and when existing programs are ineffective. Exhibit B will not be filed with the agreement at County Recorder but is included by reference and kept on file with the City Recorder. Revision applications must be filed with the City American Fork City and amended into the LTSWMP on file with the American Fork City recorder.

LONG TERM STORMWATER MANAGEMENT PLAN AGREEMENT

SO AGREED this 13th day of September 20 22.

PROPERTY OWNER

By: [Signature] Title: Project Manager

By: Ginger Romrielle Title: _____

STATE OF UTAH)

:ss.

COUNTY OF UTAH)

The above instrument was acknowledged before me by Ginger Romrielle, this 13 day of September, 20 22. AUTHORIZED AGENT FOR WOODSIDE HOMES OF UTAH, LLC

[Signature]
Notary Public
Residing in: SLC, UT
My commission expires: 9.29.25

AMERICAN FORK CITY

By: _____ Date: _____
Mayor _____

Attest: _____
City Recorder

STATE OF UTAH)

:ss.

COUNTY OF UTAH)

The above instrument was acknowledged before me by _____, this _____ day of _____, 20_____.

Notary Public
Residing in: _____
My commission expires: _____

pcmp_____

Attachments:

Exhibit A: Legal Description

Exhibit B: Long Term Stormwater Management Plan; Filed with American Fork City Recorder

**STONECREEK PLAT J
LEGAL DESCRIPTION**

BEGINNING AT A POINT WHICH IS N89°48'57"E 822.46 FEET AND SOUTH 1506.09 FEET FROM THE NORTHWEST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN,

THENCE ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT H THE FOLLOWING FIVE (5) COURSES: 1) SOUTH 45°44'08" EAST 101.00 FEET, 2) NORTH 44°37'49" EAST 54.16 FEET, 3) NORTH 68°48'04" EAST 44.00 FEET, 4) SOUTH 89°12'04" EAST 180.00 FEET, AND 5) NORTH 00°49'19" EAST 101.00 FEET TO A POINT ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT G; THENCE ALONG SAID PLAT THE FOLLOWING EIGHT (8) COURSES: 1) SOUTH 89°12'04" EAST 85.99 FEET, 2) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.57 FEET (CURVE HAVING A CENTRAL ANGLE OF 90°01'23" AND A LONG CHORD BEARS S44°11'22"E 21.22 FEET), 3) SOUTH 89°12'44" EAST 62.00 FEET; 4) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.56 FEET (CURVE HAVING A CENTRAL ANGLE OF 89°58'37" AND A LONG CHORD BEARS N45°48'38"E 21.21 FEET), 5) SOUTH 89°12'04" EAST 173.00 FEET, 6) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.57 FEET (CURVE HAVING A CENTRAL ANGLE OF 90°01'23" AND A LONG CHORD BEARS S44°11'22"E 21.22 FEET), 7) NORTH 85°52'36" EAST 62.23 FEET, AND 8) NORTH 00°49'19" EAST 11.09 FEET; THENCE SOUTH 89°10'41" EAST 112.96 FEET; THENCE SOUTH 00°51'25" WEST 85.23 FEET; THENCE SOUTH 00°25'56" WEST 170.20 FEET; THENCE SOUTH 00°54'29" WEST 608.92 FEET; THENCE NORTH 89°59'52" WEST 207.88 FEET; THENCE ALONG THE ARC OF A 331.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 40.72 FEET (CURVE HAVING A CENTRAL ANGLE OF 07°02'53" AND A LONG CHORD BEARS N86°28'26"W 40.69 FEET); THENCE NORTH 10°00'05" EAST 134.43 FEET; THENCE ALONG THE ARC OF A 306.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 10.15 FEET (CURVE HAVING A CENTRAL ANGLE OF 01°54'04" AND A LONG CHORD BEARS N10°57'08"E 10.15 FEET); THENCE NORTH 45°44'08" WEST 906.00 FEET; THENCE NORTH 44°15'54" EAST 15.02 FEET TO THE POINT OF BEGINNING.

CONTAINS: 426,862 SF OR 9.80 AC


BASIS OF BEARING IS NORTH 89°48'57" EAST ALONG SECTION LINE FROM THE NORTHWEST CORNER TO THE NORTH QUARTER CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN (NAD 83)

STONECREEK PLAT J FINAL PLAT

1000 SOUTH 350 WEST
AMERICAN FORK, UT

OWNER / DEVELOPER
 **Woodside®
Homes**

WOODSIDE HOMES OF UTAH
460 West 50 North, Suite 300
Salt Lake City, UT 84101
801.869.4000

ENGINEER
 **BERG**
CIVIL ENGINEERING
1018 N. DEER CREST LANE
ALPINE UT, 84004
office (801) 492-1277
cell (801) 616-1677

 **Woodside®
Homes**
WOODSIDE HOMES OF UTAH
460 West 50 North, Suite 300
Salt Lake City, UT 84101
801.869.4000

24E-746
**STONECREEK
PLAT J**
1000 SOUTH
350 WEST



 **BERG**
CIVIL ENGINEERING
1018 N. DEER CREST LANE
ALPINE UT, 84004
office (801) 492-1277
cell (801) 616-1677

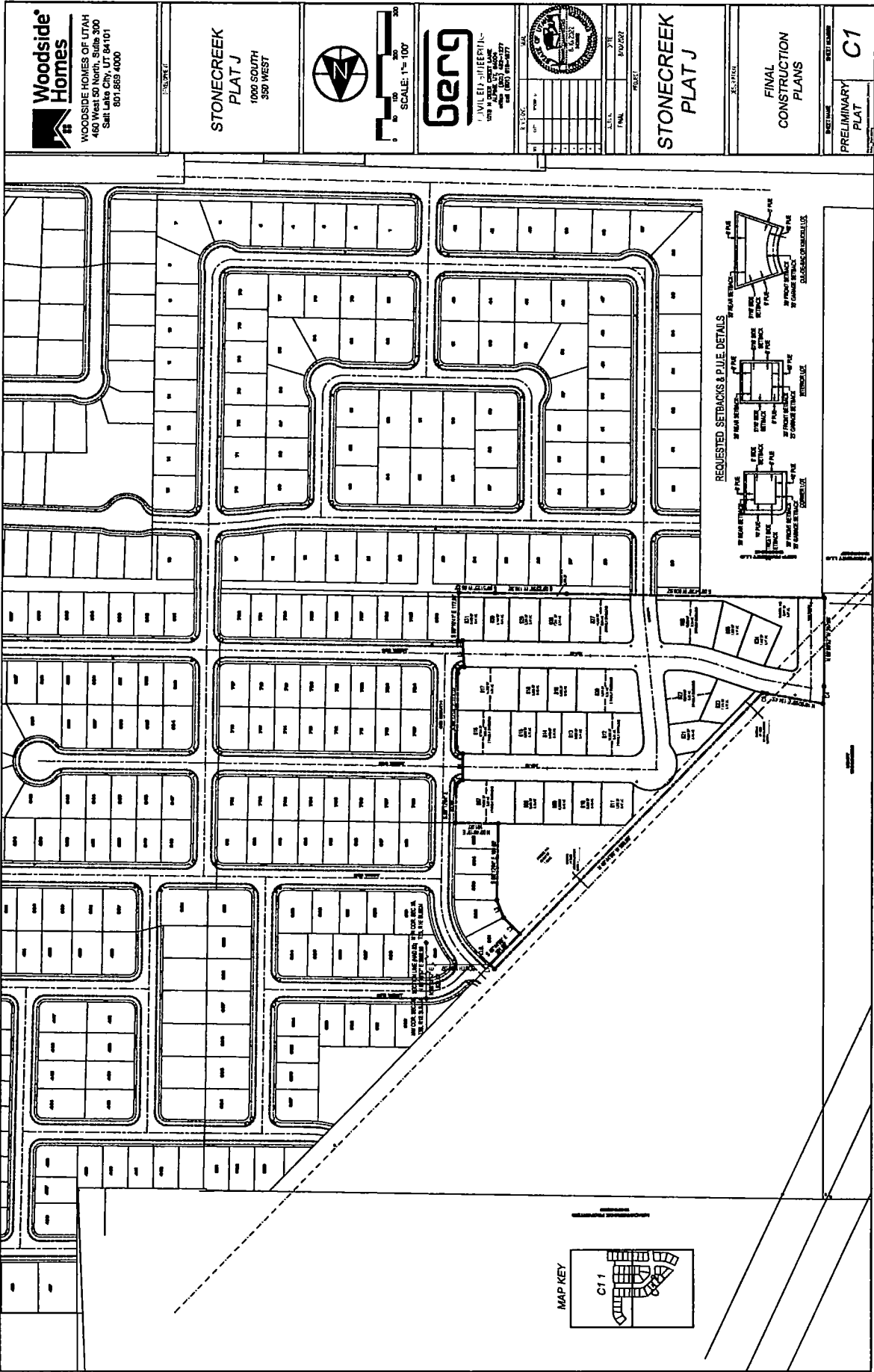
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STATE OF UTAH
PLAT
DATE 5/10/2022
11.8/7

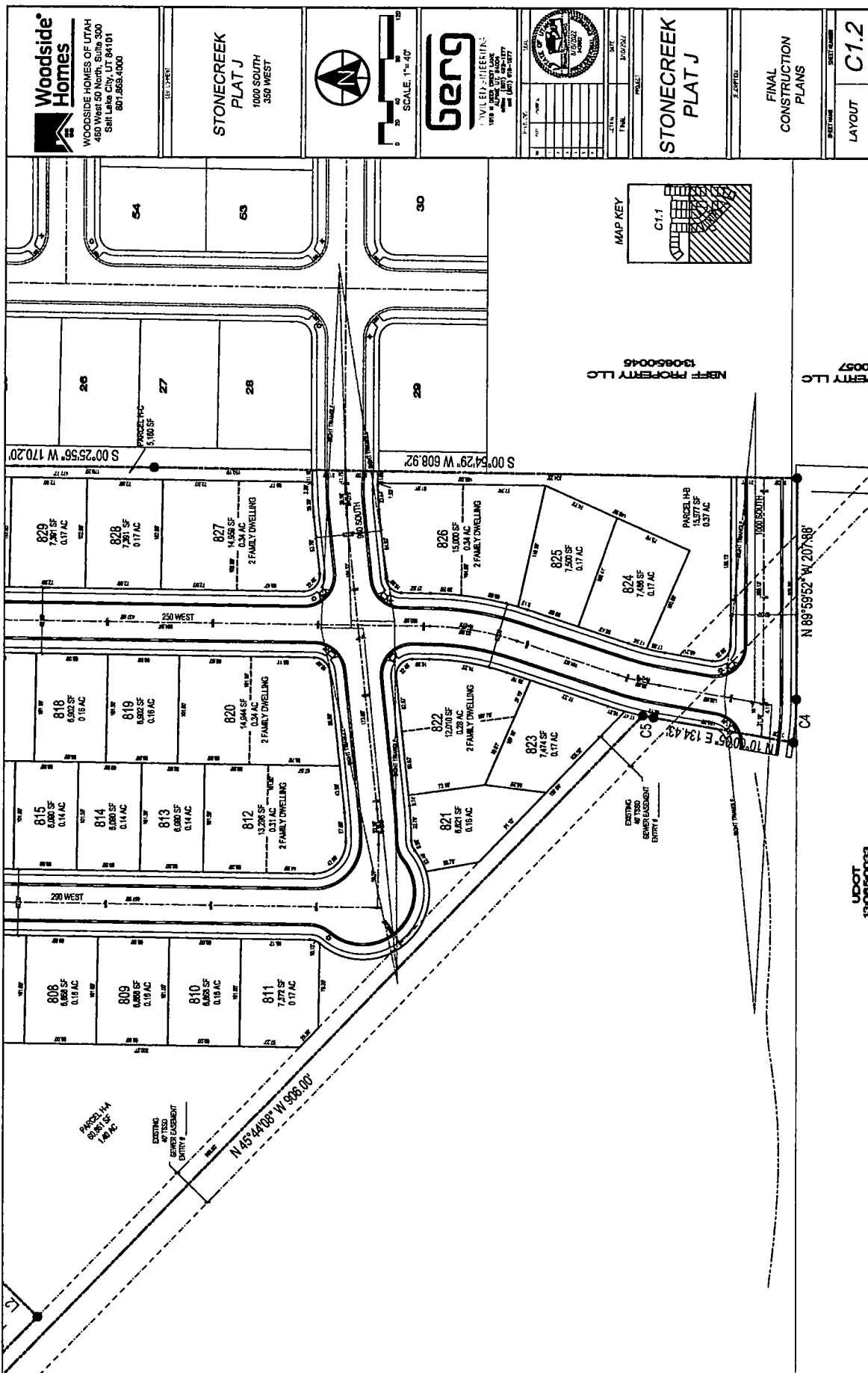
**STONECREEK
PLAT J**

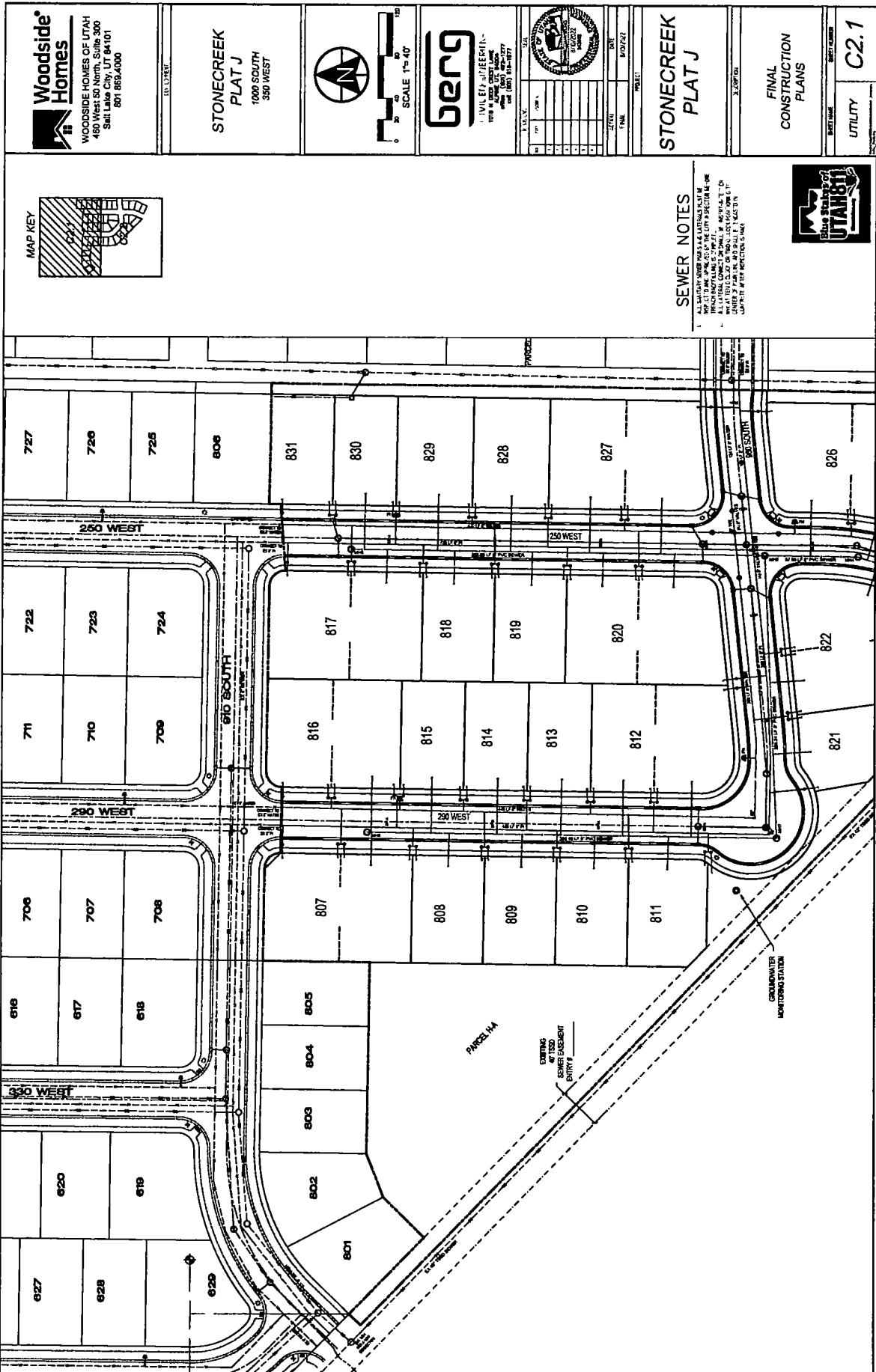
24E-746
FINAL
CONSTRUCTION
PLANS

24E-746
SUBMITTAL #3



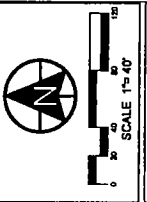






Woodside Homes
 WOODSIDE HOMES OF UTAH
 450 West 50 North, Suite 300
 Salt Lake City, UT 84101
 801 588-4000

STONECREEK
 PLAT J
 1000 SOUTH
 350 WEST

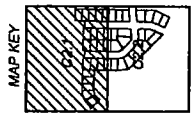


BERG
 CIVIL ENGINEERING
 100 N. 2000 E. SUITE 100
 SALT LAKE CITY, UT 84143
 (801) 466-2777
 FAX (801) 466-2777

DATE	DESCRIPTION
10/24/22	ISSUE FOR PERMIT
11/15/22	ISSUE FOR CONSTRUCTION
12/15/22	ISSUE FOR FINAL

STONECREEK
 PLAT J

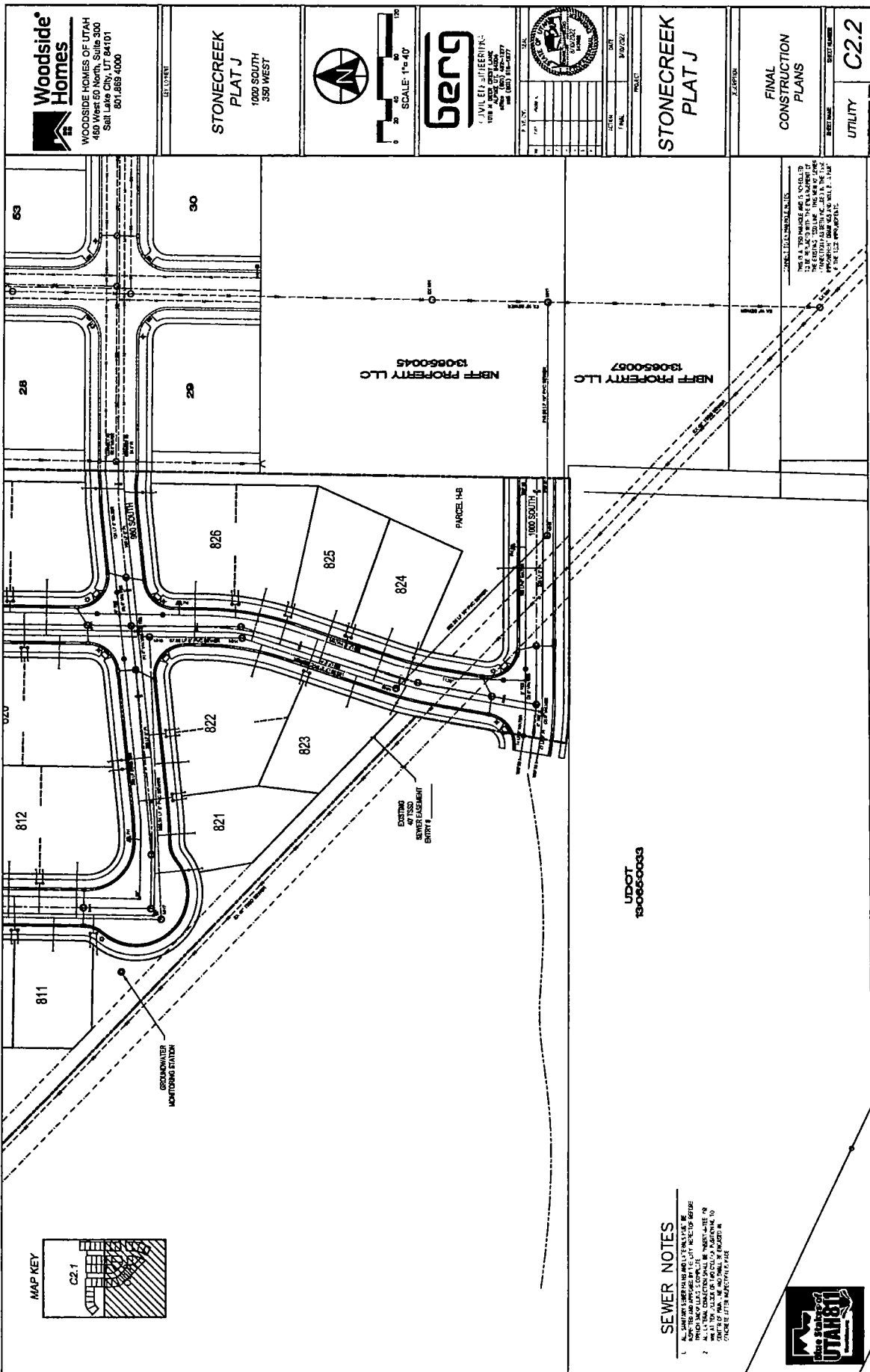
FINAL
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 PLANS
 SHEET NAME: UTILITY
 SHEET NUMBER: C2.1



SEWER NOTES

- ALL SANITARY SEWER PIPES SHALL BE 4" MINIMUM DUCT IRON PIPE TO BE INSTALLED AT THE CITY'S EXPENSE FOR THE ENTIRE LENGTH OF THE LIFT SECTION UNLESS OTHERWISE NOTED.
- ALL LATERAL CONNECTIONS SHALL BE 4" MINIMUM DUCT IRON PIPE TO BE INSTALLED AT THE CITY'S EXPENSE UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER PIPES SHALL BE 4" MINIMUM DUCT IRON PIPE TO BE INSTALLED AT THE CITY'S EXPENSE UNLESS OTHERWISE NOTED.





Woodside[®] Homes
 WOODSIDE HOMES OF UTAH
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 801.858.0000

STONECREEK
 PLAT J
 1000 SOUTH
 350 WEST



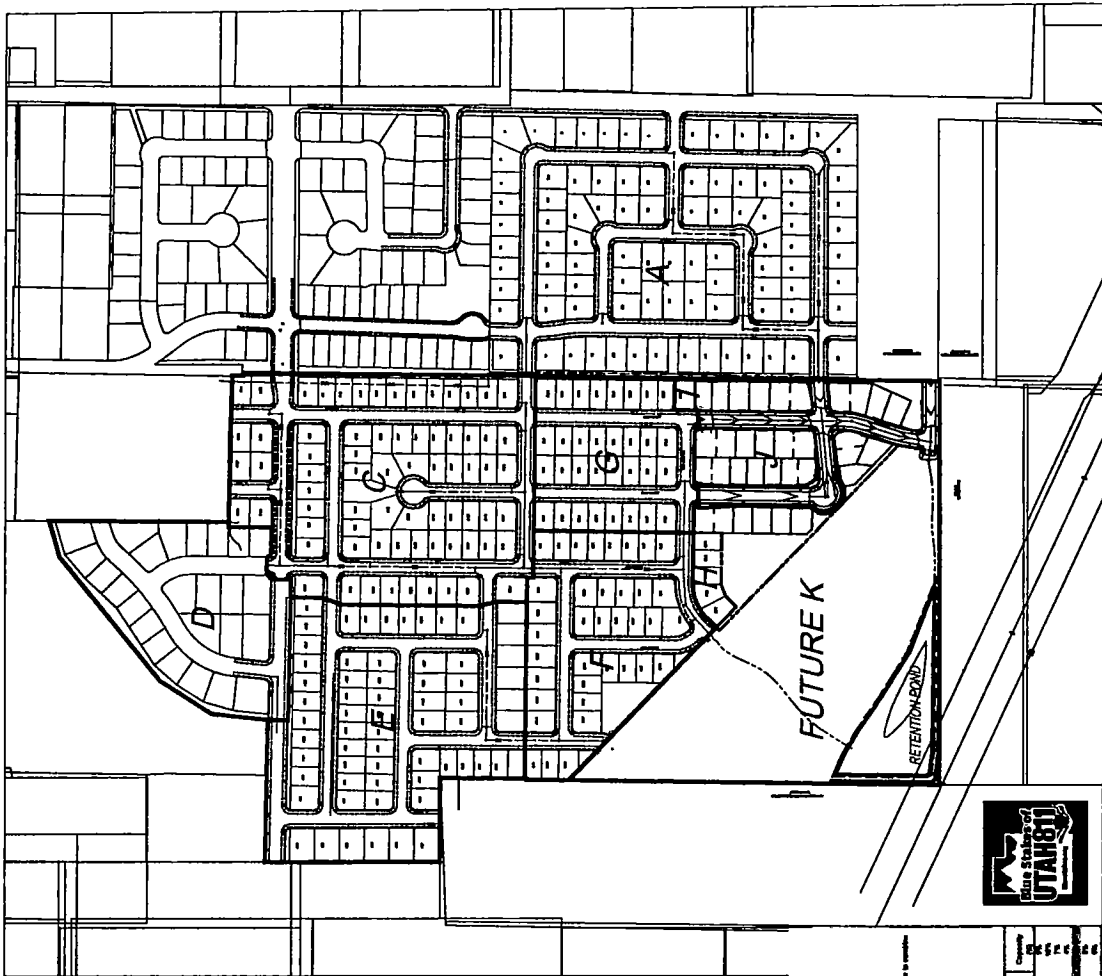
BERG
 CIVIL ENGINEERS
 1000 S. JORDAN AVENUE
 SUITE 100
 SALT LAKE CITY, UT 84119
 (801) 488-1317

DATE	2/20/22
PROJECT	STONECREEK PLAT J
DESIGNER	
CHECKER	
DATE	
PROJECT	

STONECREEK
 PLAT J

FINAL
 CONSTRUCTION
 PLANS

GRADING
 PLAN
 C-3



**STONE CREEK
 RETENTION POND CALCULATIONS**
 American Fork, UT
 14-Jun-22

Stone detail calculations were performed using the rational method.

**RETENTION POND / DETENTION POND
 CALCULATION**

Retention Pond C	Area (A _F)	0.857	4.862	INCH	TOTAL
Retention Pond D	Area (A _F)	0.53	2.926	INCH	
Retention Pond E	Area (A _F)	0.34	1.902	INCH	
Retention Pond F	Area (A _F)	0.34	1.902	INCH	
Retention Pond G	Area (A _F)	0.34	1.902	INCH	
Retention Pond H	Area (A _F)	0.34	1.902	INCH	
Retention Pond I	Area (A _F)	0.34	1.902	INCH	
Retention Pond J	Area (A _F)	0.34	1.902	INCH	
Retention Pond K	Area (A _F)	0.34	1.902	INCH	
Retention Pond L	Area (A _F)	0.34	1.902	INCH	
Retention Pond M	Area (A _F)	0.34	1.902	INCH	
Retention Pond N	Area (A _F)	0.34	1.902	INCH	
Retention Pond O	Area (A _F)	0.34	1.902	INCH	
Retention Pond P	Area (A _F)	0.34	1.902	INCH	
Retention Pond Q	Area (A _F)	0.34	1.902	INCH	
Retention Pond R	Area (A _F)	0.34	1.902	INCH	
Retention Pond S	Area (A _F)	0.34	1.902	INCH	
Retention Pond T	Area (A _F)	0.34	1.902	INCH	
Retention Pond U	Area (A _F)	0.34	1.902	INCH	
Retention Pond V	Area (A _F)	0.34	1.902	INCH	
Retention Pond W	Area (A _F)	0.34	1.902	INCH	
Retention Pond X	Area (A _F)	0.34	1.902	INCH	
Retention Pond Y	Area (A _F)	0.34	1.902	INCH	
Retention Pond Z	Area (A _F)	0.34	1.902	INCH	
Total Retention Pond Area	Area (A _T)	5.81	32.47	SQ. FT.	
Total Retention Pond Volume	Volume (V _T)	1163.4	6494.4	CUBIC FEET	
Retention Pond Depth	Depth (D)	2.0	2.0	FEET	
Retention Pond Slope	Slope (S)	0.005	0.005	FEET PER FOOT	
Retention Pond Inlet	Inlet (I)	18"	18"	DIAMETER	
Retention Pond Outlet	Outlet (O)	18"	18"	DIAMETER	
Retention Pond Material	Material (M)	1.5	1.5	FEET	
Retention Pond Construction	Construction (C)	1.0	1.0	FEET	
Retention Pond Foundation	Foundation (F)	1.0	1.0	FEET	
Retention Pond Wall	Wall (W)	1.0	1.0	FEET	
Retention Pond Floor	Floor (FL)	1.0	1.0	FEET	
Retention Pond Ceiling	Ceiling (CE)	1.0	1.0	FEET	
Retention Pond Roof	Roof (R)	1.0	1.0	FEET	
Retention Pond Sides	Sides (S)	1.0	1.0	FEET	
Retention Pond Total Height	Total Height (H _T)	1.5	1.5	FEET	
Retention Pond Total Volume	Total Volume (V _T)	1163.4	6494.4	CUBIC FEET	
Retention Pond Total Area	Total Area (A _T)	5.81	32.47	SQ. FT.	
Retention Pond Total Length	Total Length (L _T)	1.0	1.0	FEET	
Retention Pond Total Width	Total Width (W _T)	1.0	1.0	FEET	
Retention Pond Total Depth	Total Depth (D _T)	1.0	1.0	FEET	
Retention Pond Total Slope	Total Slope (S _T)	0.005	0.005	FEET PER FOOT	
Retention Pond Total Inlet	Total Inlet (I _T)	18"	18"	DIAMETER	
Retention Pond Total Outlet	Total Outlet (O _T)	18"	18"	DIAMETER	
Retention Pond Total Material	Total Material (M _T)	1.5	1.5	FEET	
Retention Pond Total Construction	Total Construction (C _T)	1.0	1.0	FEET	
Retention Pond Total Foundation	Total Foundation (F _T)	1.0	1.0	FEET	
Retention Pond Total Wall	Total Wall (W _T)	1.0	1.0	FEET	
Retention Pond Total Floor	Total Floor (FL _T)	1.0	1.0	FEET	
Retention Pond Total Ceiling	Total Ceiling (CE _T)	1.0	1.0	FEET	
Retention Pond Total Roof	Total Roof (R _T)	1.0	1.0	FEET	
Retention Pond Total Sides	Total Sides (S _T)	1.0	1.0	FEET	

RETENTION POND CALCULATION

Retention Pond Volume = 1163.4 cu ft
 Retention Pond Area = 5.81 sq ft
 Retention Pond Depth = 2.0 ft
 Retention Pond Slope = 0.005 ft/ft
 Retention Pond Inlet = 18" diameter
 Retention Pond Outlet = 18" diameter
 Retention Pond Material = 1.5 ft
 Retention Pond Construction = 1.0 ft
 Retention Pond Foundation = 1.0 ft
 Retention Pond Wall = 1.0 ft
 Retention Pond Floor = 1.0 ft
 Retention Pond Ceiling = 1.0 ft
 Retention Pond Roof = 1.0 ft
 Retention Pond Sides = 1.0 ft

**STONECREEK PLAT J
 25 YR PIPE SIZING CALCULATIONS (AS PER TECH MANUAL 8.2.2)**

Pipe Capacity Calculations

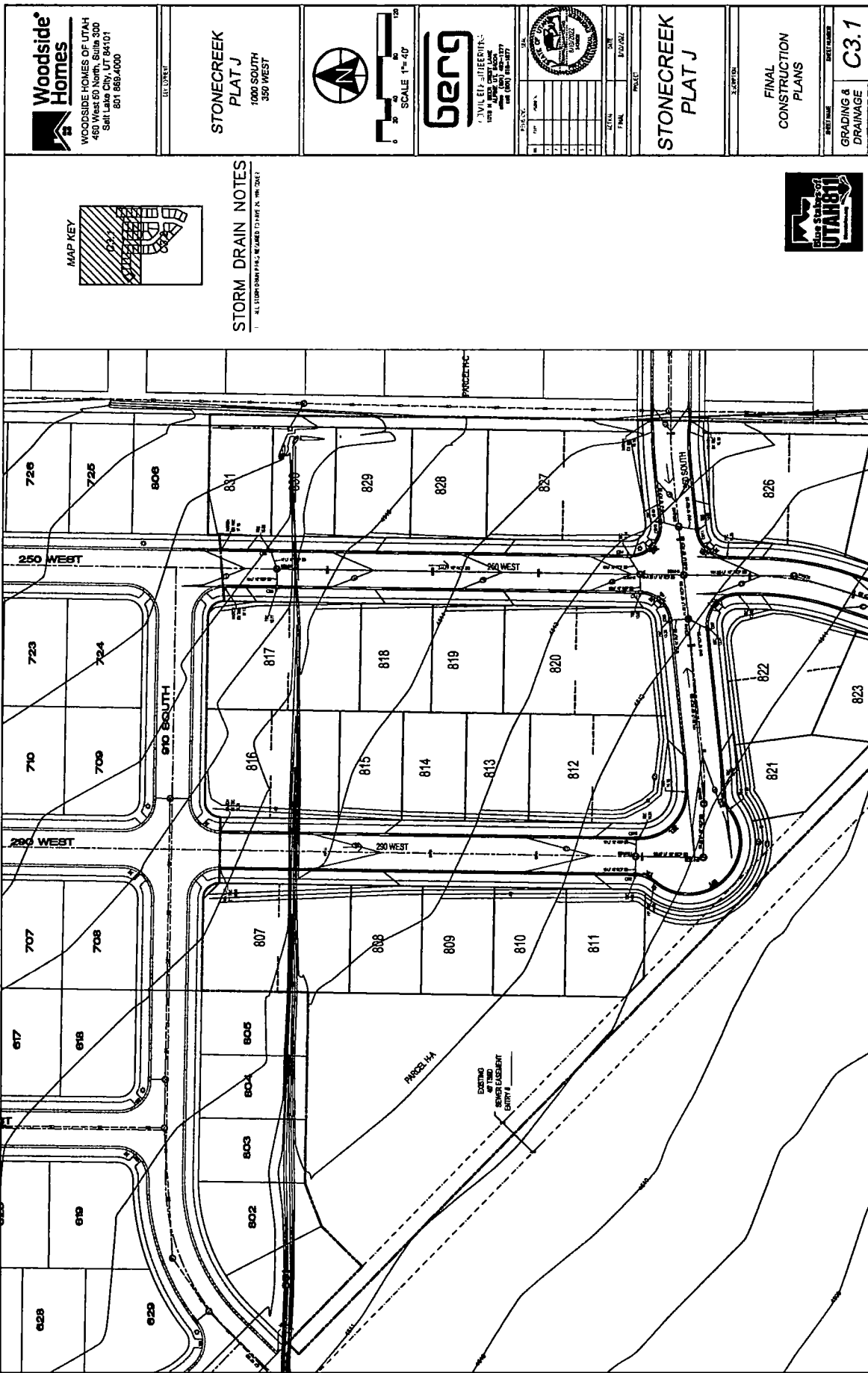
NARRATIVE
 The 24" pipe was sized based on the maximum of the peak runoff from the 25-year storm event. The design flow rate was determined based on the peak runoff from the 25-year storm event. The design flow rate was determined based on the peak runoff from the 25-year storm event. The design flow rate was determined based on the peak runoff from the 25-year storm event. The design flow rate was determined based on the peak runoff from the 25-year storm event.

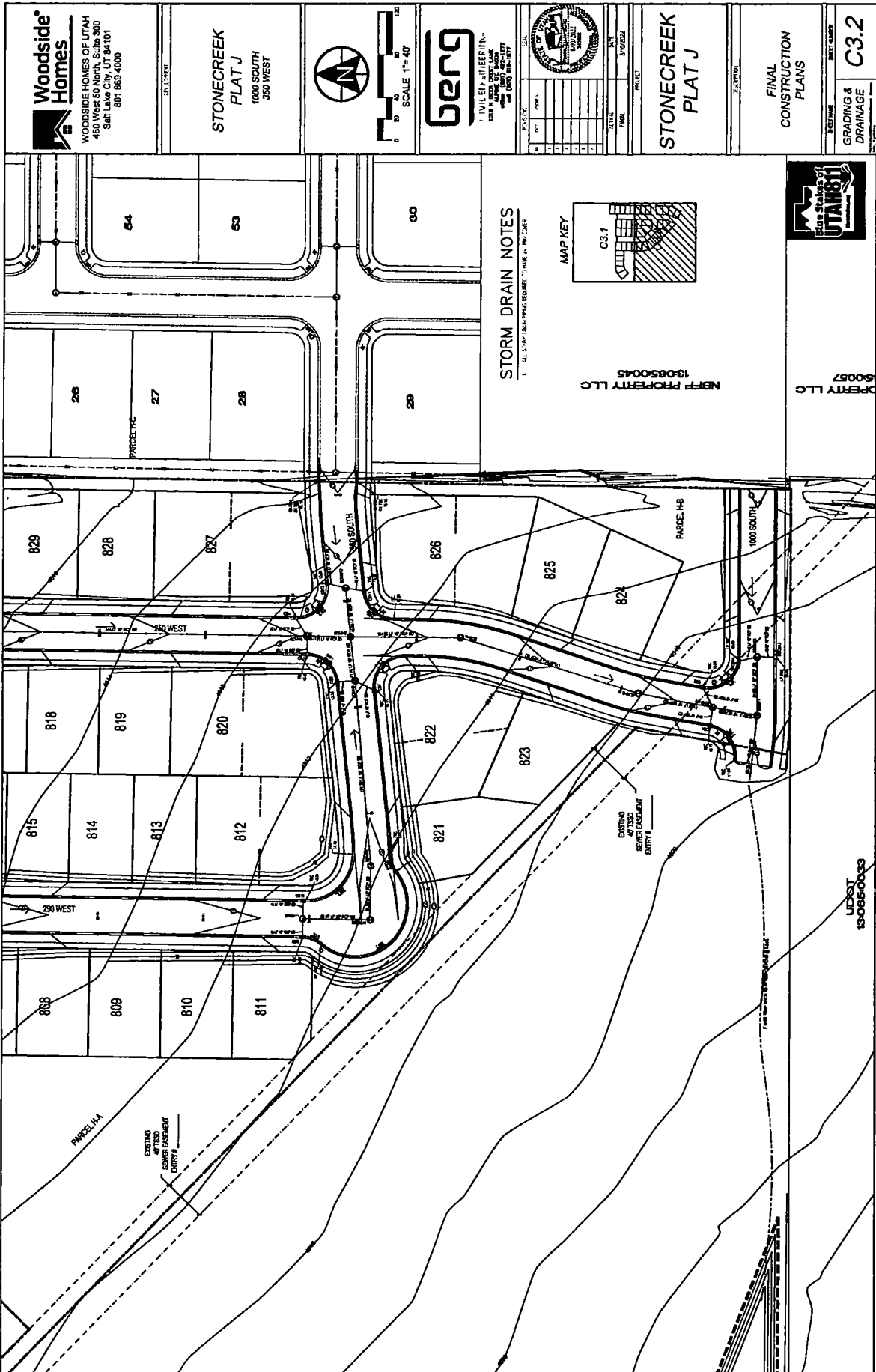
Flow Rate (gpm)	Flow Rate (cfs)	Flow Rate (MGD)
15.0	0.417	0.0046
20.0	0.556	0.0062
30.0	0.833	0.0093
40.0	1.111	0.0124
50.0	1.389	0.0156
60.0	1.667	0.0188
70.0	1.944	0.0219
80.0	2.222	0.0250
90.0	2.500	0.0281
100.0	2.778	0.0313
110.0	3.056	0.0344
120.0	3.333	0.0375
130.0	3.611	0.0406
140.0	3.889	0.0438
150.0	4.167	0.0469
160.0	4.444	0.0500
170.0	4.722	0.0531
180.0	5.000	0.0562
190.0	5.278	0.0594
200.0	5.556	0.0625
210.0	5.833	0.0656
220.0	6.111	0.0688
230.0	6.389	0.0719
240.0	6.667	0.0750
250.0	6.944	0.0781
260.0	7.222	0.0813
270.0	7.500	0.0844
280.0	7.778	0.0875
290.0	8.056	0.0906
300.0	8.333	0.0938
310.0	8.611	0.0969
320.0	8.889	0.1000
330.0	9.167	0.1031
340.0	9.444	0.1062
350.0	9.722	0.1094
360.0	10.000	0.1125
370.0	10.278	0.1156
380.0	10.556	0.1188
390.0	10.833	0.1219
400.0	11.111	0.1250
410.0	11.389	0.1281
420.0	11.667	0.1313
430.0	11.944	0.1344
440.0	12.222	0.1375
450.0	12.500	0.1406
460.0	12.778	0.1438
470.0	13.056	0.1469
480.0	13.333	0.1500
490.0	13.611	0.1531
500.0	13.889	0.1562
510.0	14.167	0.1594
520.0	14.444	0.1625
530.0	14.722	0.1656
540.0	15.000	0.1688
550.0	15.278	0.1719
560.0	15.556	0.1750
570.0	15.833	0.1781
580.0	16.111	0.1813
590.0	16.389	0.1844
600.0	16.667	0.1875
610.0	16.944	0.1906
620.0	17.222	0.1938
630.0	17.500	0.1969
640.0	17.778	0.2000
650.0	18.056	0.2031
660.0	18.333	0.2062
670.0	18.611	0.2094
680.0	18.889	0.2125
690.0	19.167	0.2156
700.0	19.444	0.2188
710.0	19.722	0.2219
720.0	20.000	0.2250
730.0	20.278	0.2281
740.0	20.556	0.2313
750.0	20.833	0.2344
760.0	21.111	0.2375
770.0	21.389	0.2406
780.0	21.667	0.2438
790.0	21.944	0.2469
800.0	22.222	0.2500
810.0	22.500	0.2531
820.0	22.778	0.2562
830.0	23.056	0.2594
840.0	23.333	0.2625
850.0	23.611	0.2656
860.0	23.889	0.2688
870.0	24.167	0.2719
880.0	24.444	0.2750
890.0	24.722	0.2781
900.0	25.000	0.2813
910.0	25.278	0.2844
920.0	25.556	0.2875
930.0	25.833	0.2906
940.0	26.111	0.2938
950.0	26.389	0.2969
960.0	26.667	0.3000
970.0	26.944	0.3031
980.0	27.222	0.3062
990.0	27.500	0.3094
1000.0	27.778	0.3125

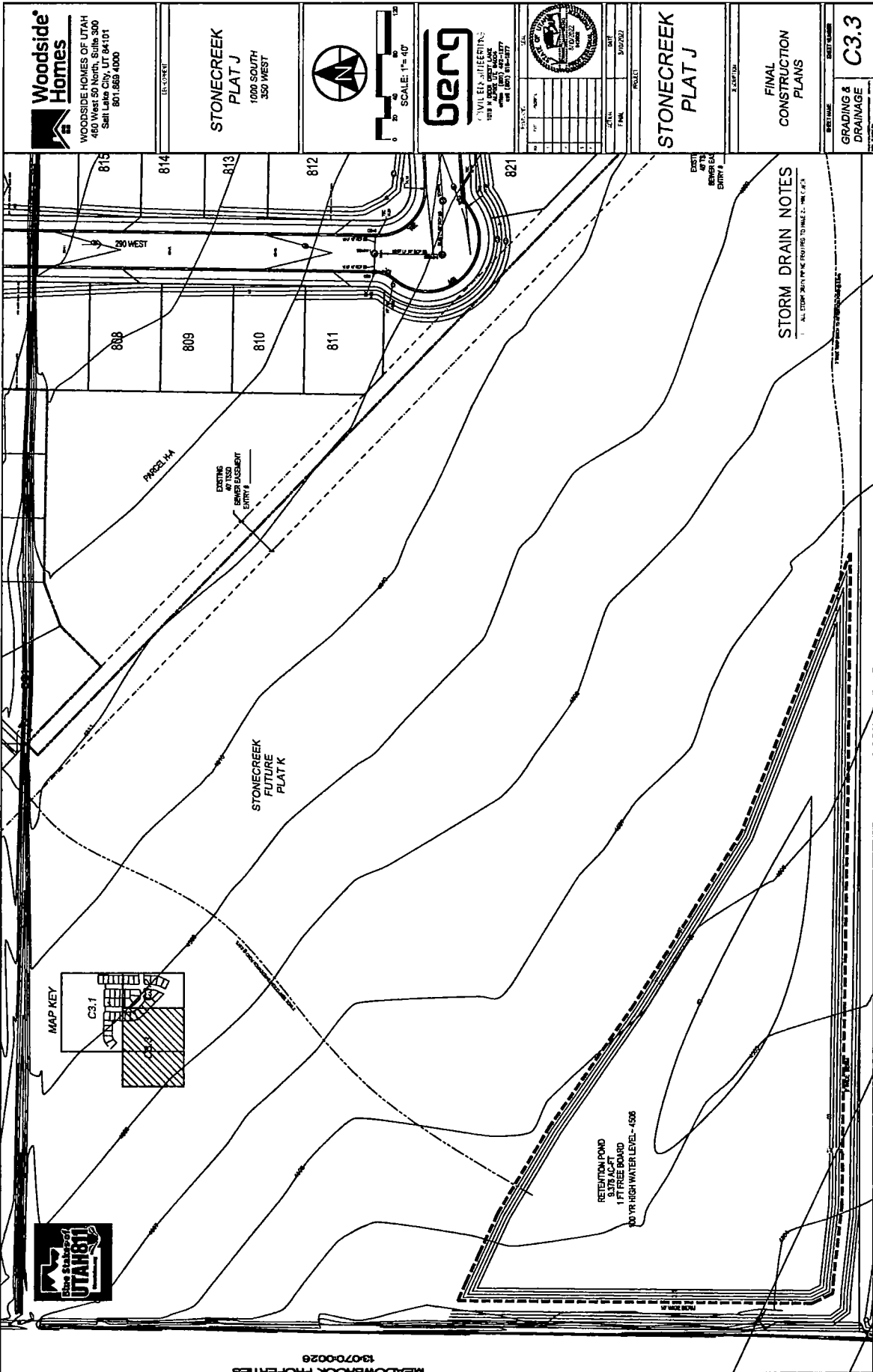
Method
 Rational Method

Method's Equation
 $Q = C \cdot I \cdot A$

Method's Units
 Q - gpm
 C - runoff coefficient
 I - intensity (in/hr)
 A - area (sq ft)







Woodside Homes
WOODSIDE HOMES OF UTAH
480 West 50 North, Suite 300
Salt Lake City, UT 84101
801.869.4000

STONECREEK
PLAT J
1000 SOUTH
350 WEST



SCALE: 1" = 40'

berg
CIVIL ENGINEERING
1019 N. 4000 WEST LAKESIDE
SALT LAKE CITY, UT 84119
TEL: (801) 487-2177
FAX: (801) 487-2177

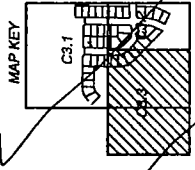


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2	10/20/22	ISSUED FOR PERMITS
3	10/20/22	ISSUED FOR PERMITS
4	10/20/22	ISSUED FOR PERMITS
5	10/20/22	ISSUED FOR PERMITS
6	10/20/22	ISSUED FOR PERMITS


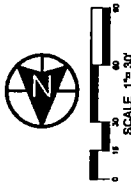


STONECREEK
PLAT J

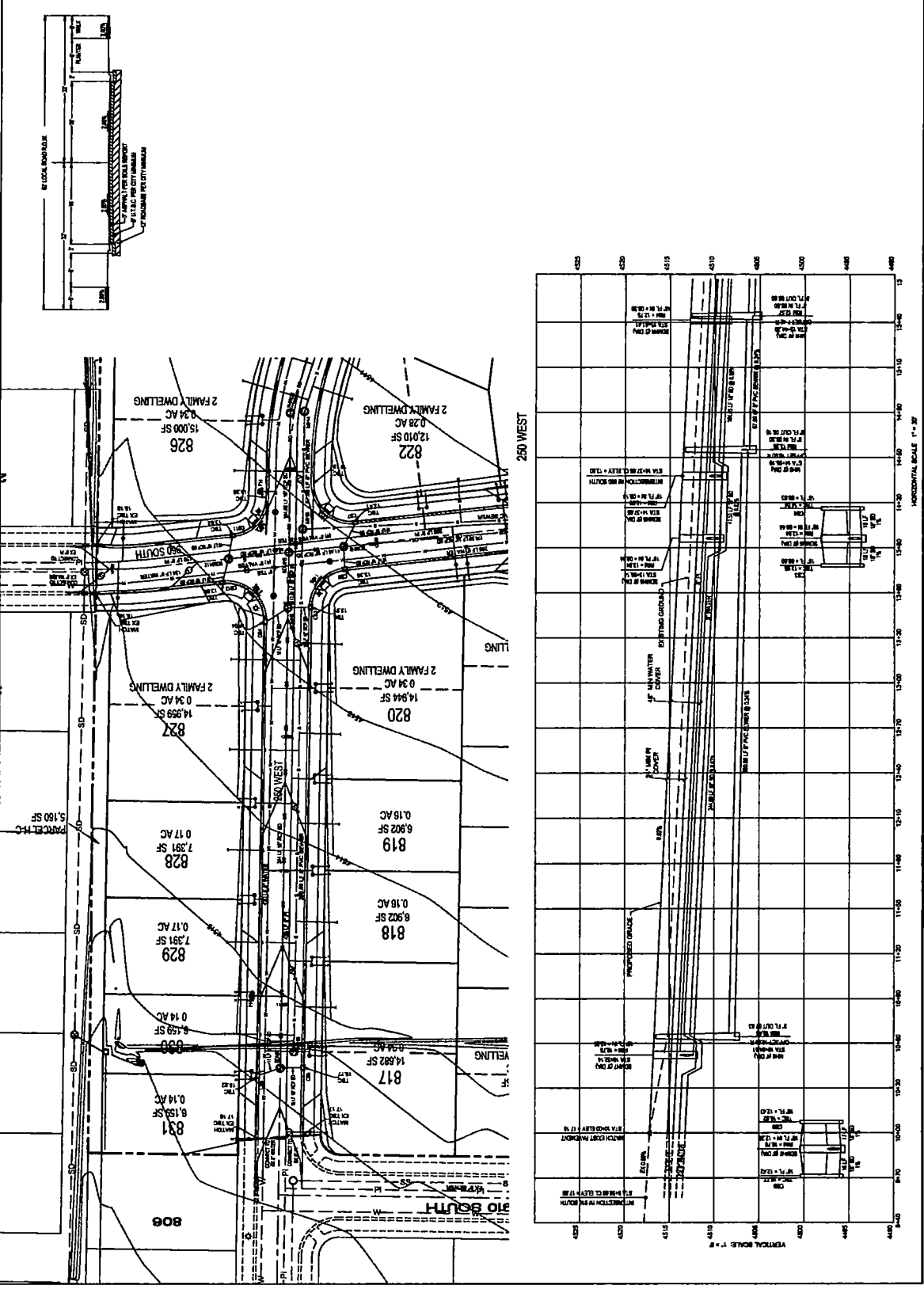
FINAL
CONSTRUCTION
PLANS


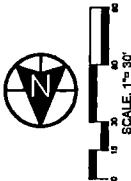

PROJECT NO. 10248:2023
SHEET NUMBER
C3.3

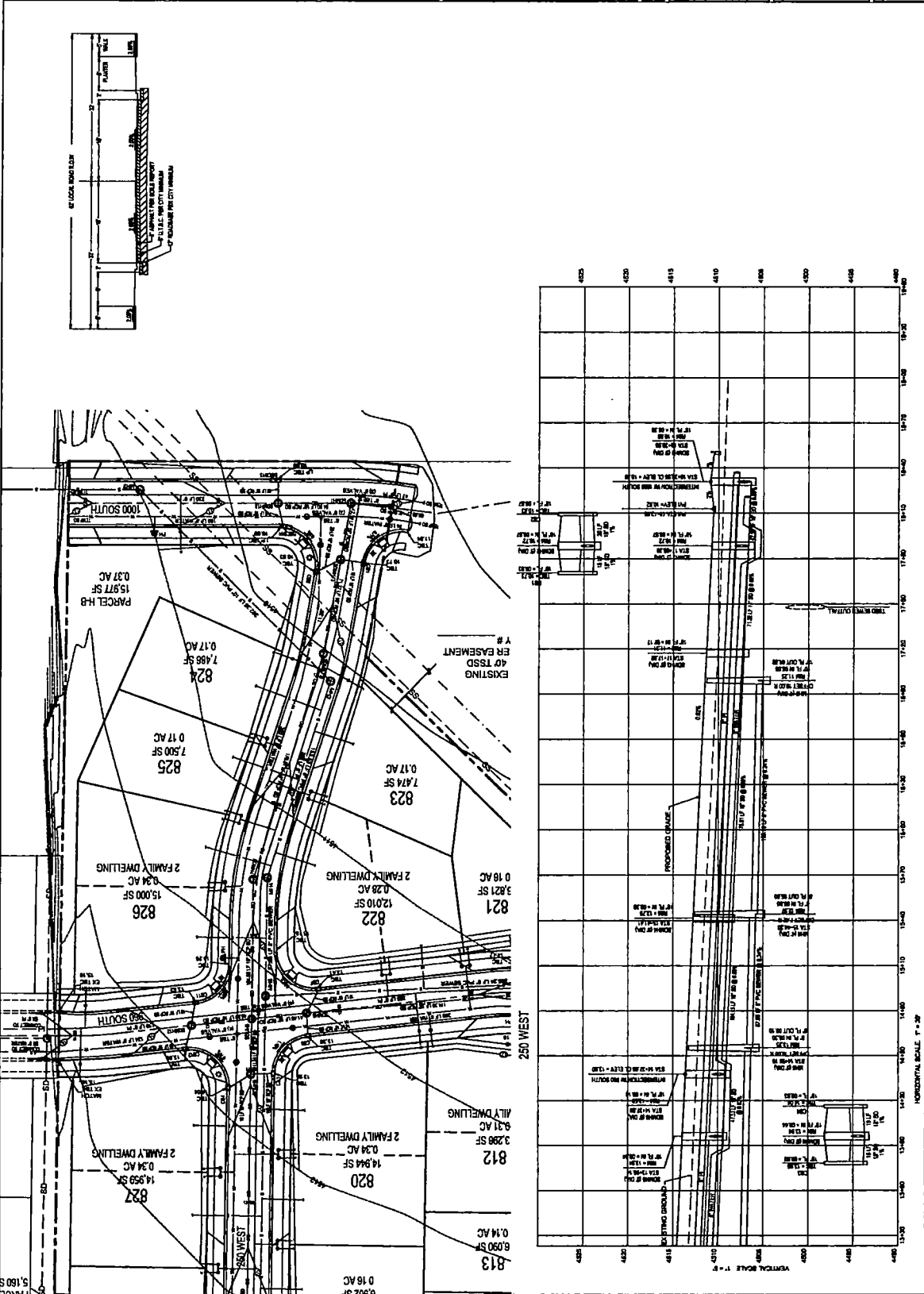


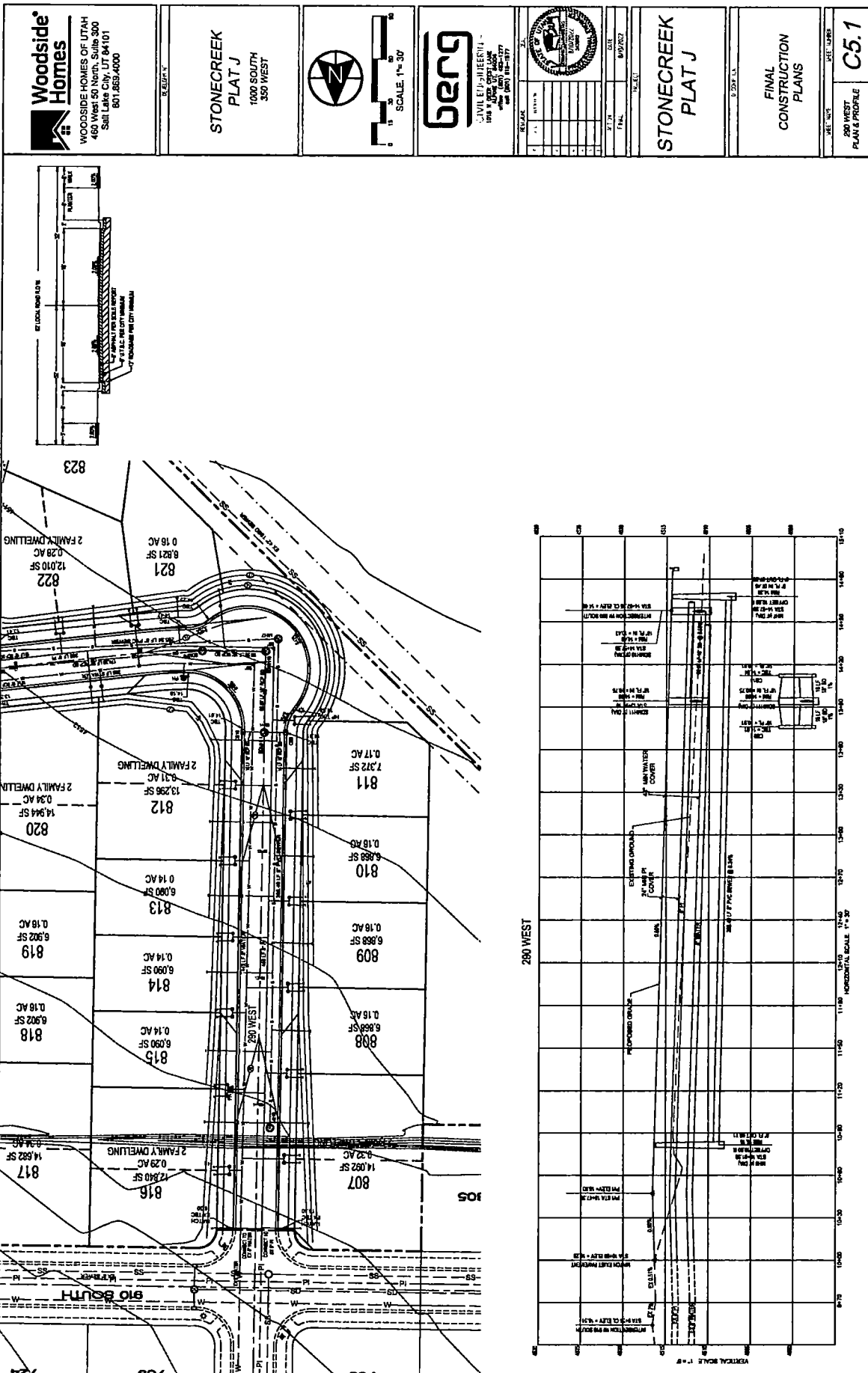
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 <p>Woodside Homes WOODSIDE HOMES OF UTAH 400 West 50 North, Suite 300 Salt Lake City, UT 84101 801.563.4000</p>	<p>STONECREEK PLAT J 1000 SOUTH 350 WEST</p>		 <p>BERG ENGINEERING 1000 S. 1000 E. SUITE 100 SALT LAKE CITY, UT 84143 PHONE: (801) 466-1177 FAX: (801) 466-1177</p>	 <p>DATE: 08/02/23 PROJECT: STONECREEK PLAT J SHEET: 37 OF 38</p>	<p>STONECREEK PLAT J</p>	<p>FINAL CONSTRUCTION PLANS</p>	<p>C4.1</p>
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 <p>Woodside Homes WOODSIDE HOMES OF UTAH 4600 W. 1400 S. SUITE 300 SALT LAKE CITY, UT 84119 801.868.4000</p>	<p>STONECREEK PLAT J 1000 SOUTH 350 WEST</p>	 <p>SCALE 1" = 30'</p>	 <p>Berg ENGINEERING 100 N. 1000 WEST, SUITE 200 SALT LAKE CITY, UT 84119 801.487.1177</p>	<p>STONECREEK PLAT J</p>	<p>FINAL CONSTRUCTION PLANS</p>	<p>C4.2</p>
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Woodside Homes
WOODSIDE HOMES OF UTAH
460 West 60 North, Suite 300
Salt Lake City, UT 84101
801.385.4400


STONECREEK
PLAT J
1000 SOUTH
360 WEST



SCALE: 1" = 30'



BERG
JAVIL EIN-JURECHT'S
100 W. 100 S. SUITE 200
SALT LAKE CITY, UT 84111
PHONE: (801) 464-1177
WWW.BERGUTAH.COM

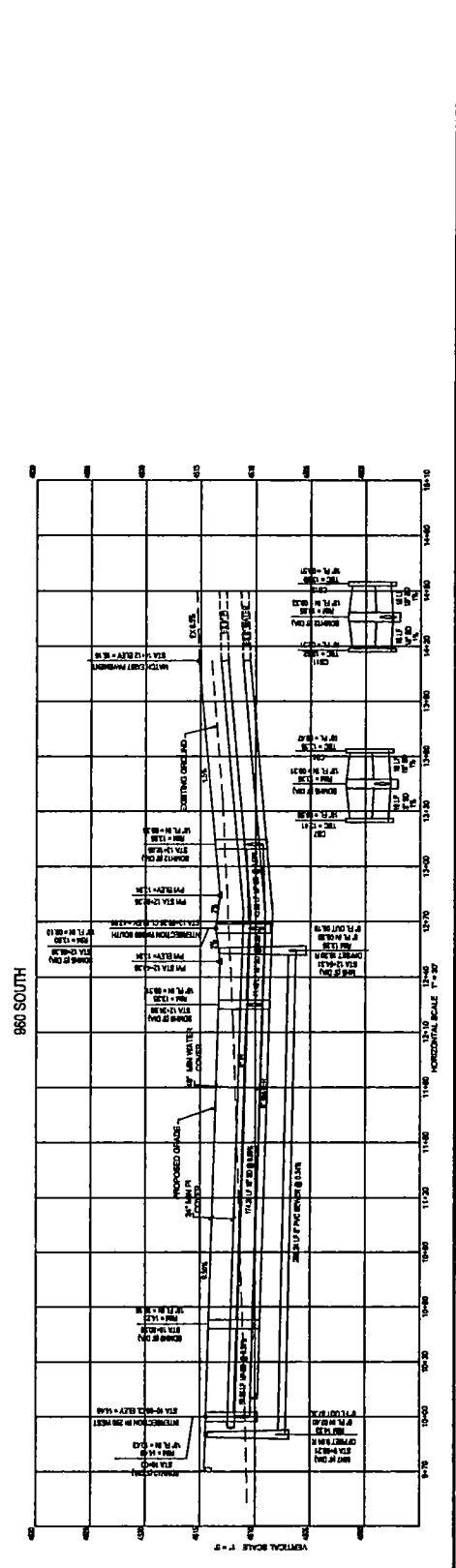
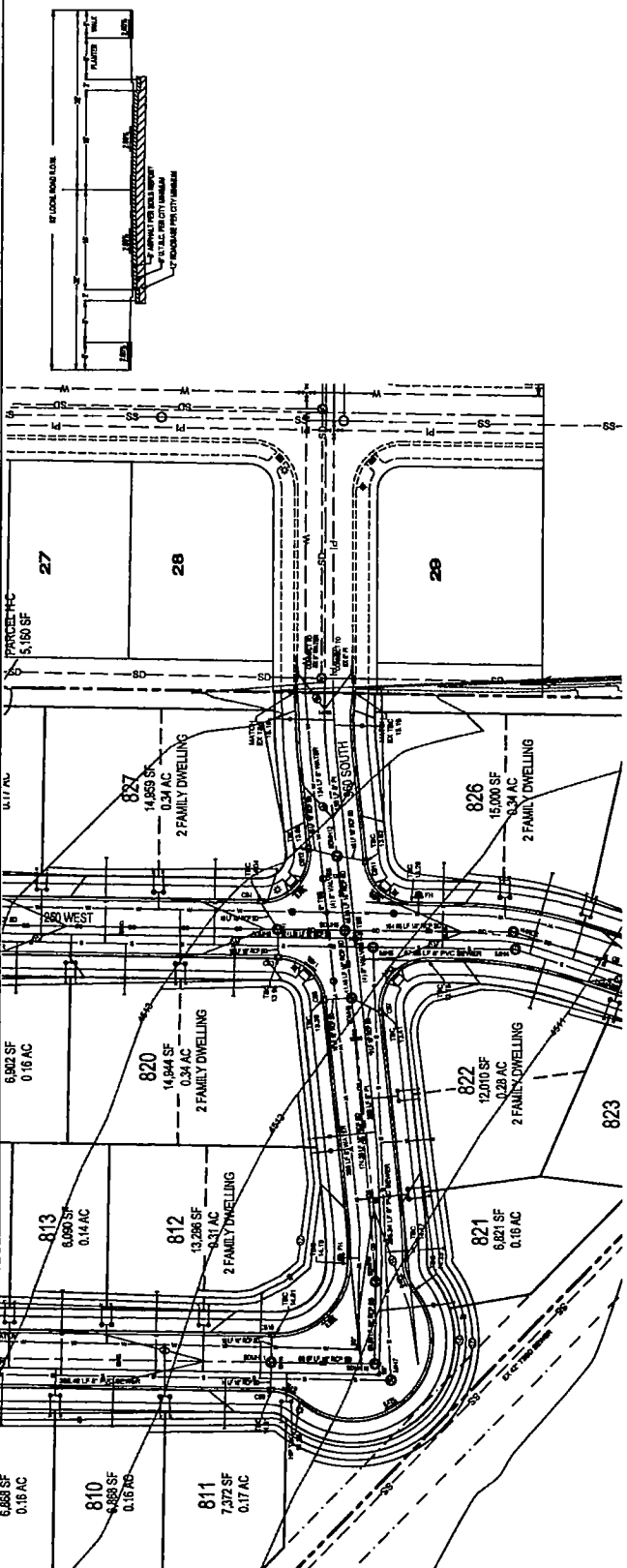



STATE OF UTAH
PROFESSIONAL ENGINEER
No. 12345
Exp. 12/31/2024

STONECREEK
PLAT J

FINAL
CONSTRUCTION
PLANS

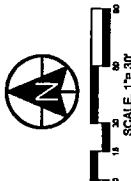
SEE LISTS
860 SOUTH
PLANS & PROFILE
C6.1






Woodside Homes
WOODSIDE HOMES OF UTAH
480 West 50 North, Suite 300
Salt Lake City, UT 84101
801.853.1000


STONECREEK
PLAT J
1000 SOUTH
350 WEST



SCALE: 1" = 30'



BERG
CIVIL ENGINEERING, P.C.
1000 SOUTH 350 WEST
SALT LAKE CITY, UT 84101
801.487.1977

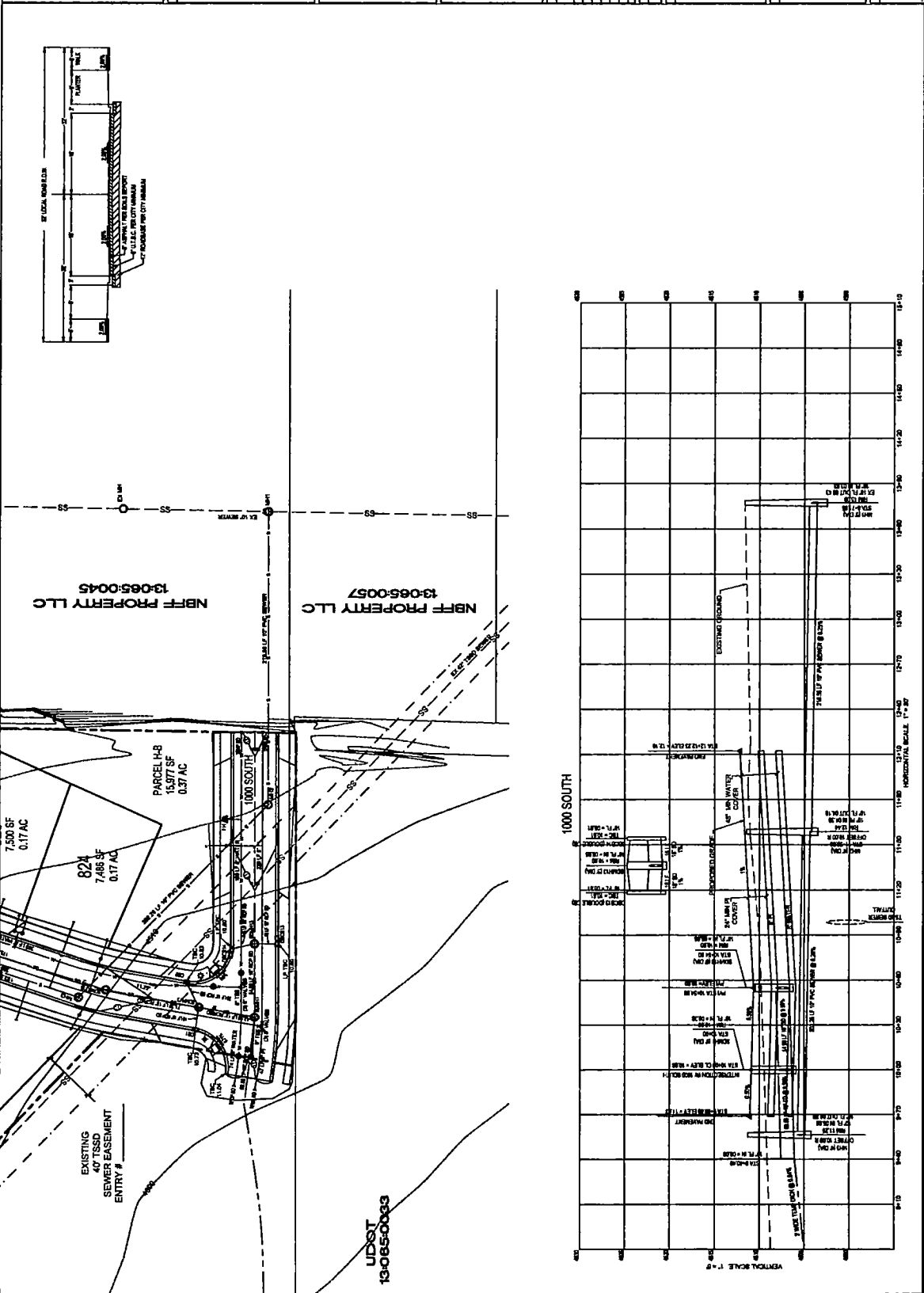



STATE OF UTAH
PROFESSIONAL ENGINEER
No. 13065-0057
Exp. 12/31/2023

STONECREEK
PLAT J

FINAL
CONSTRUCTION
PLANS


1000 SOUTH
PLAN & PROFILE






Woodside Homes
WOODSIDE HOMES OF UTAH
480 West 50 North, Suite 300
Salt Lake City, UT 84101
801.268.4000


STONECREEK
PLAT J
1000 SOUTH
350 WEST



SCALE: 1" = 100'



BERG
CIVIL ENGINEERING
1708 S. ALTA, SUITE 100
SALT LAKE CITY, UT 84119
PHONE (801) 466-1277
WWW.BERG-UTAH.COM

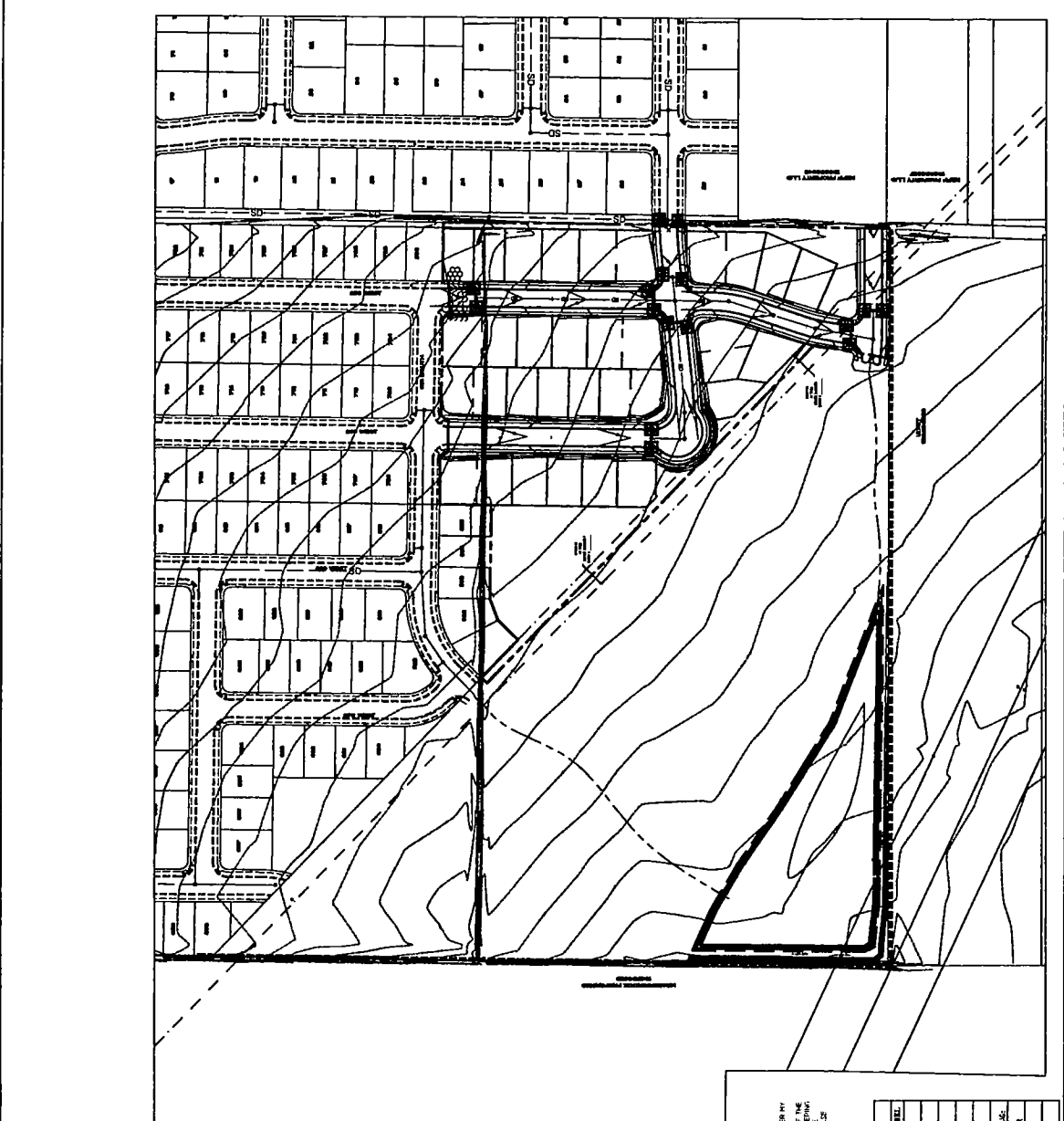



DATE: 07/20/23
SCALE: N.E.

STONECREEK
PLAT J

FINAL
CONSTRUCTION
PLANS

SWPPP
C8





CONSTRUCTION NOTES

NOTE: CITY ENGINEER OF ROUTING / MAPPING, INCLUDING: MARK, CONSTRUCTION ACTIVITIES.

SWPPP CERTIFICATION STATEMENT

I, the undersigned, certify that this SWPPP was prepared and approved under my direct supervision and I am a duly licensed Professional Engineer in the State of Utah. I have reviewed the information submitted and I am satisfied that the information submitted is to the best of my knowledge and belief true and correct. I understand that the information submitted is for the purpose of obtaining a permit and I am not liable for any consequences resulting from the use of the information submitted for any other purpose.

DATE: _____

MAPPING LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Symbol)	EXISTING STREET	(Symbol)	PROPOSED STREET
(Symbol)	EXISTING DRIVE	(Symbol)	PROPOSED DRIVE
(Symbol)	EXISTING ALLEY	(Symbol)	PROPOSED ALLEY
(Symbol)	EXISTING SIDEWALK	(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXISTING CURB	(Symbol)	PROPOSED CURB
(Symbol)	EXISTING DRIVEWAY	(Symbol)	PROPOSED DRIVEWAY
(Symbol)	EXISTING UTILITY	(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING FENCE	(Symbol)	PROPOSED FENCE
(Symbol)	EXISTING WALL	(Symbol)	PROPOSED WALL
(Symbol)	EXISTING SIGN	(Symbol)	PROPOSED SIGN
(Symbol)	EXISTING LIGHT	(Symbol)	PROPOSED LIGHT
(Symbol)	EXISTING TREE	(Symbol)	PROPOSED TREE
(Symbol)	EXISTING PLANT	(Symbol)	PROPOSED PLANT
(Symbol)	EXISTING LANDSCAPE	(Symbol)	PROPOSED LANDSCAPE
(Symbol)	EXISTING STAIRS	(Symbol)	PROPOSED STAIRS
(Symbol)	EXISTING RAMP	(Symbol)	PROPOSED RAMP
(Symbol)	EXISTING ELEVATOR	(Symbol)	PROPOSED ELEVATOR
(Symbol)	EXISTING ESCALATOR	(Symbol)	PROPOSED ESCALATOR
(Symbol)	EXISTING MECHANICAL	(Symbol)	PROPOSED MECHANICAL
(Symbol)	EXISTING ELECTRICAL	(Symbol)	PROPOSED ELECTRICAL
(Symbol)	EXISTING PLUMBING	(Symbol)	PROPOSED PLUMBING
(Symbol)	EXISTING HVAC	(Symbol)	PROPOSED HVAC
(Symbol)	EXISTING ROOFING	(Symbol)	PROPOSED ROOFING
(Symbol)	EXISTING EXTERIOR FINISH	(Symbol)	PROPOSED EXTERIOR FINISH
(Symbol)	EXISTING INTERIOR FINISH	(Symbol)	PROPOSED INTERIOR FINISH
(Symbol)	EXISTING FLOORING	(Symbol)	PROPOSED FLOORING
(Symbol)	EXISTING WALL FINISH	(Symbol)	PROPOSED WALL FINISH
(Symbol)	EXISTING CEILING FINISH	(Symbol)	PROPOSED CEILING FINISH
(Symbol)	EXISTING PAINT	(Symbol)	PROPOSED PAINT
(Symbol)	EXISTING GLASS	(Symbol)	PROPOSED GLASS
(Symbol)	EXISTING METAL	(Symbol)	PROPOSED METAL
(Symbol)	EXISTING WOOD	(Symbol)	PROPOSED WOOD
(Symbol)	EXISTING STONE	(Symbol)	PROPOSED STONE
(Symbol)	EXISTING BRICK	(Symbol)	PROPOSED BRICK
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(Symbol)	EXISTING CARPET	(Symbol)	PROPOSED CARPET
(Symbol)	EXISTING LINOLEUM	(Symbol)	PROPOSED LINOLEUM
(Symbol)	EXISTING VINYL	(Symbol)	PROPOSED VINYL
(Symbol)	EXISTING CONCRETE	(Symbol)	PROPOSED CONCRETE
(Symbol)	EXISTING GYPSUM BOARD	(Symbol)	PROPOSED GYPSUM BOARD
(Symbol)	EXISTING INSULATION	(Symbol)	PROPOSED INSULATION
(Symbol)	EXISTING ROOFING	(Symbol)	PROPOSED ROOFING
(Symbol)	EXISTING Siding	(Symbol)	PROPOSED Siding
(Symbol)	EXISTING Shingles	(Symbol)	PROPOSED Shingles
(Symbol)	EXISTING Gutters	(Symbol)	PROPOSED Gutters
(Symbol)	EXISTING Downspouts	(Symbol)	PROPOSED Downspouts
(Symbol)	EXISTING Soffits	(Symbol)	PROPOSED Soffits
(Symbol)	EXISTING Fascia	(Symbol)	PROPOSED Fascia
(Symbol)	EXISTING Trim	(Symbol)	PROPOSED Trim
(Symbol)	EXISTING Baseboards	(Symbol)	PROPOSED Baseboards
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(Symbol)	EXISTING Walkways	(Symbol)	PROPOSED Walkways
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(Symbol)	EXISTING Decks	(Symbol)	PROPOSED Decks
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(Symbol)	EXISTING Sunrooms	(Symbol)	PROPOSED Sunrooms
(Symbol)	EXISTING Additions	(Symbol)	PROPOSED Additions
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(Symbol)	EXISTING Replacements	(Symbol)	PROPOSED Replacements
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(Symbol)	EXISTING Modifications	(Symbol)	PROPOSED Modifications
(Symbol)	EXISTING Adjustments	(Symbol)	PROPOSED Adjustments
(Symbol)	EXISTING Repairs	(Symbol)	PROPOSED Repairs
(Symbol)	EXISTING Replacements	(Symbol)	PROPOSED Replacements
(Symbol)	EXISTING Renovations	(Symbol)	PROPOSED Renovations
(Symbol)	EXISTING Restorations	(Symbol)	PROPOSED Restorations
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(Symbol)	EXISTING Alterations	(Symbol)	PROPOSED Alterations
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(Symbol)	EXISTING Adjustments	(Symbol)	PROPOSED Adjustments



STONECREEK
PLAT J
1000 SOUTH
350 WEST



180 S. 400 W. SALT LAKE
UTAH 84115
PH: (801) 481-7777
WWW.BERG.COM

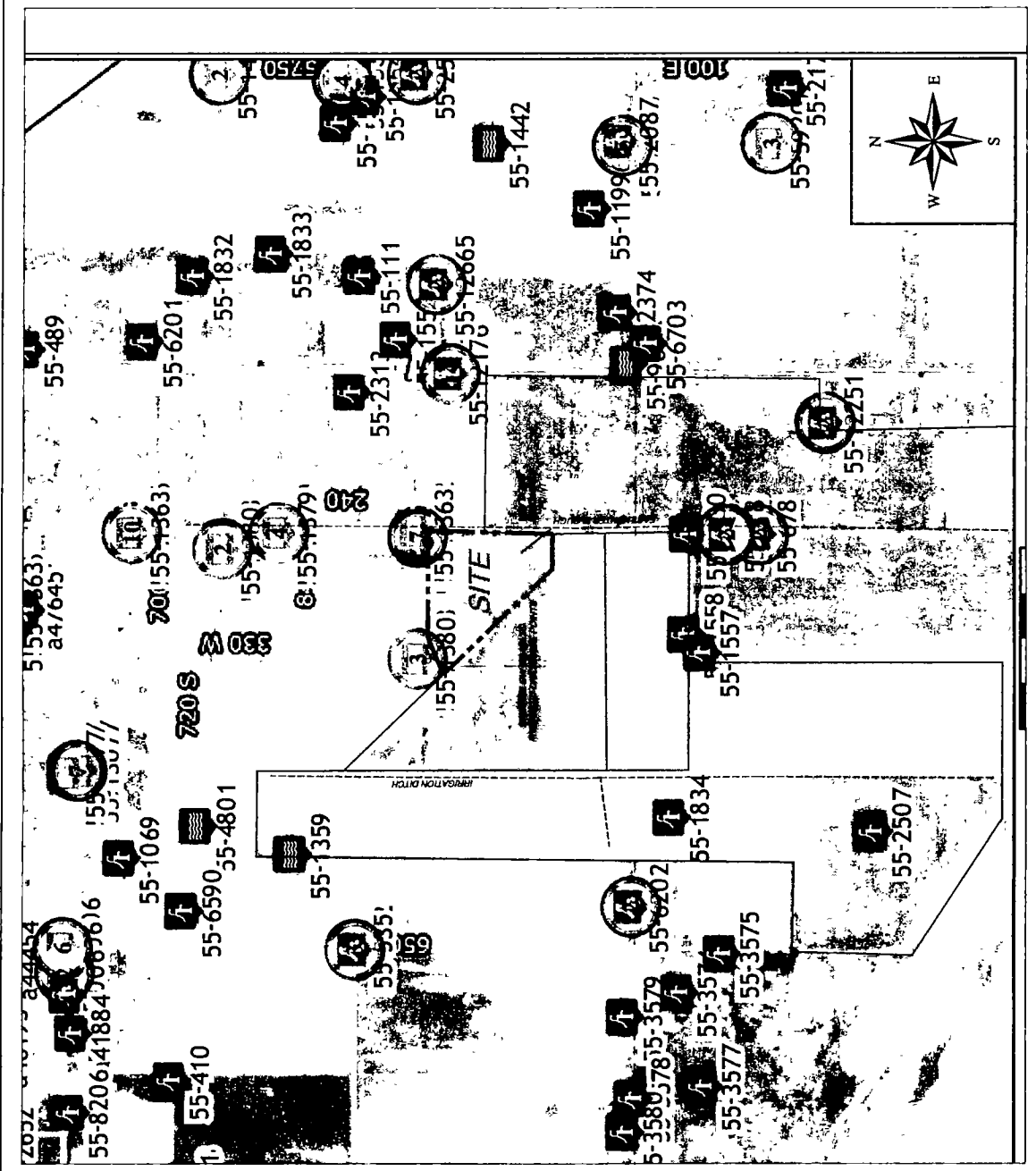


STONECREEK
PLAT J

FINAL
CONSTRUCTION
PLANS

WATER
RIGHTS &
WELLS

C9





WOODSIDE HOMES OF UTAH
 480 West 80 North, Suite 300
 Salt Lake City, UT 84101
 801.588.4600

LEGEND

STONECREEK
 PLAT J
 1000 SOUTH
 350 WEST



CIVIL ENGINEERING
 1000 SOUTH
 350 WEST
 SALT LAKE CITY, UT 84101
 801.462.1277

NO.	DATE	DESCRIPTION
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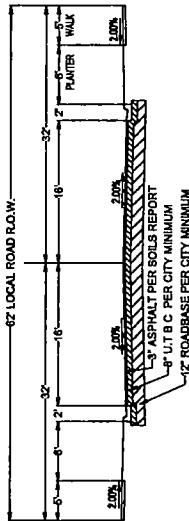
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10/11/23	1"=20'
DESIGNED BY	DRAWN BY
CHKD BY	DATE
PROJECT NO.	PROJECT NAME
10248	STONECREEK PLAT J

STONECREEK
 PLAT J

LEGEND

FINAL
 CONSTRUCTION
 PLANS

GENERAL
 DETAILS
 D0



CONSTRUCTION NOTE:
 NOTIFY CITY ENGINEER IF ANY TYPING OR RAMPING OCCURS
 DURING CONSTRUCTION ACTIVITIES

Woodside Homes
WOODSIDE HOMES OF UTAH
460 West 60 North, Suite 300
Salt Lake City, UT 84101
801.868.4000

STONECREEK PLAT J
1000 SOUTH 350 WEST

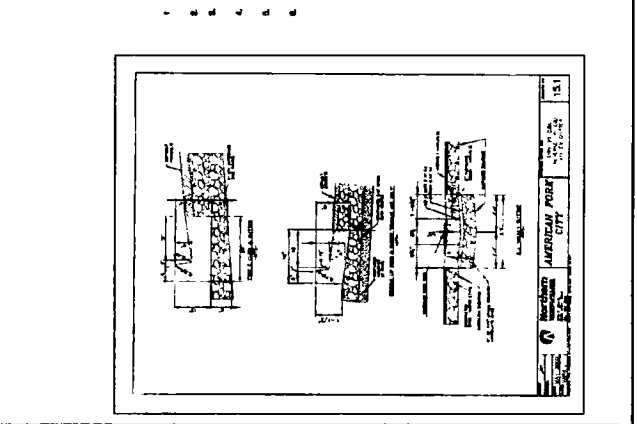
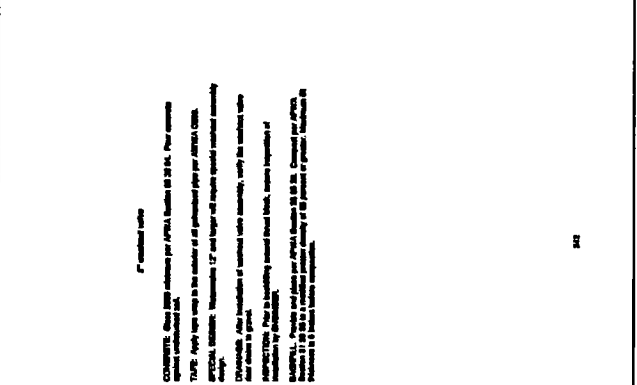
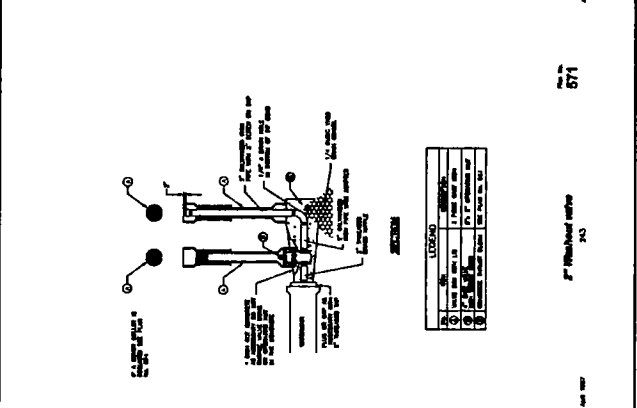
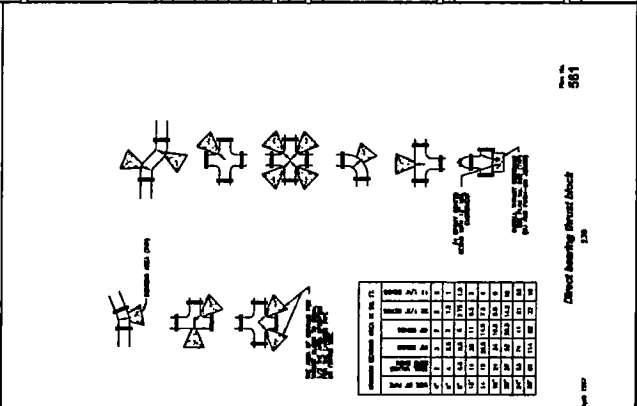
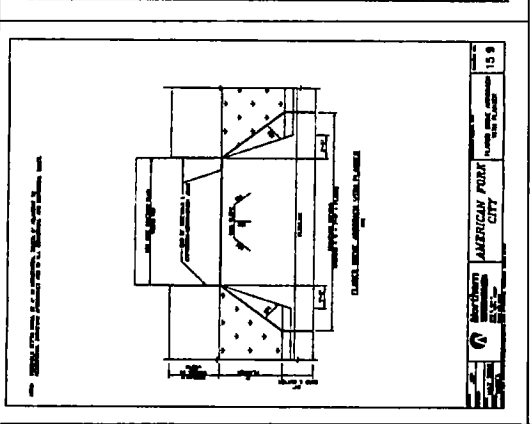
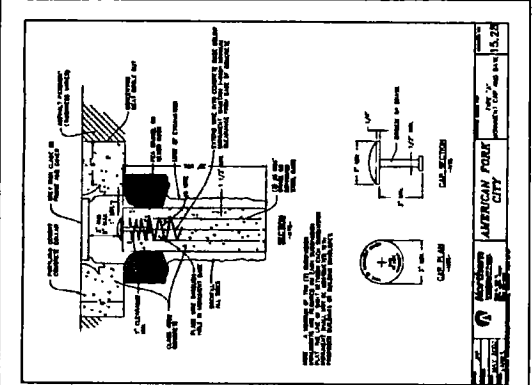
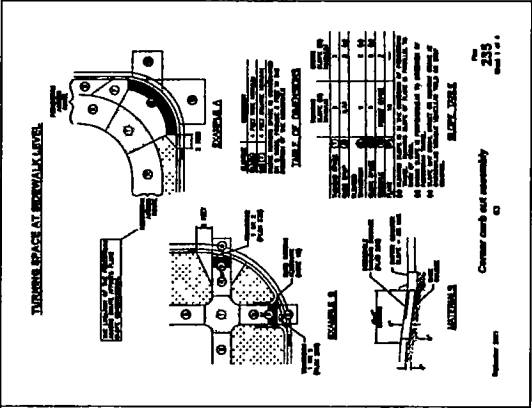
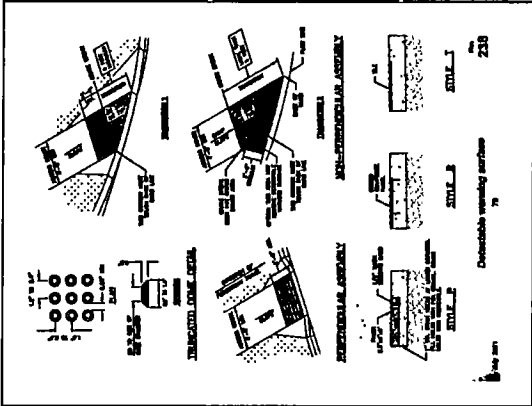
BERG
CIVIL ENGINEERING
100 S. 2000 W. SUITE 200
SALT LAKE CITY, UT 84119
PHONE: (801) 486-1777
FAX: (801) 486-1777

DATE		
BY		
CHECKED		
APPROVED		
SCALE		
PROJECT		
DESCRIPTION		
REVISIONS		
NO.	DATE	DESCRIPTION
1		
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STONECREEK PLAT J

FINAL CONSTRUCTION PLANS

3-15-2023
GENERAL DETAILS
D1



- NOTES:**
1. CONCRETE: Refer to notes per AIAA, Section 05 20 14. Pour concrete.
 2. TYPIC: Apply note only to the outside of all pavement for per AIAA, 05 20 14.
 3. FINISH: 1/2" minimum, 1/4" and larger will require special treatment assembly.
 4. DRAINAGE: After installation of curbs and gutters, verify the finished grade does not drain to gutter.
 5. INSTALLATION: Prior to installing, inspect ground block, ensure topography of installation is suitable.
 6. FINISH: The top surface of the curb and gutter shall be 1/8" above the adjacent pavement surface.
 7. FINISH: The top surface of the gutter shall be 1/8" below the adjacent pavement surface.

561




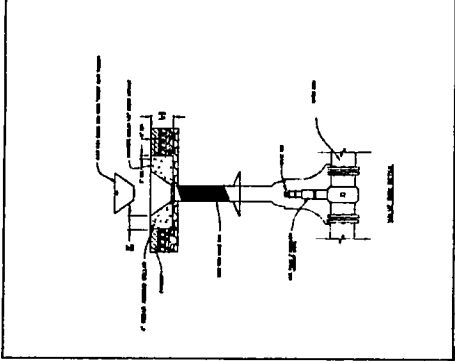
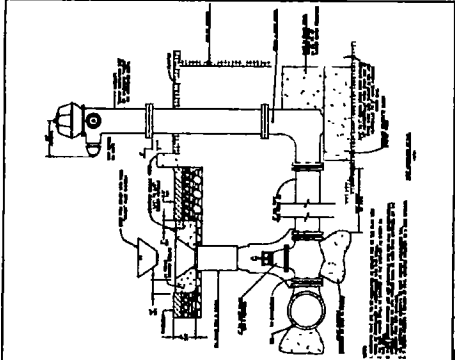
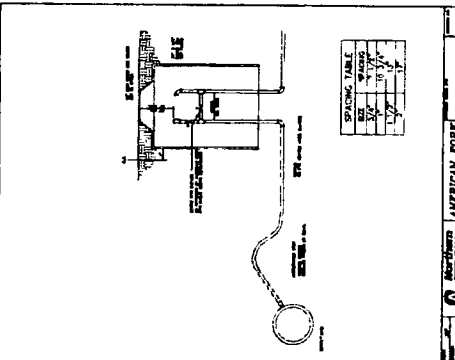
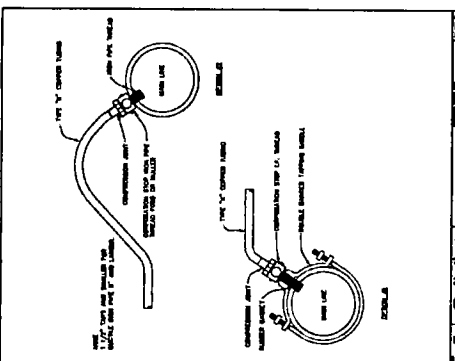
561

571

543

543

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 <p>WOODSIDE HOMES OF UTAH 480 WEST 50 NORTH, SUITE 300 SALT LAKE CITY, UT 84101 801.868.1000</p>	<p>STONECREEK PLAT J 1000 SOUTH 550 WEST</p>	 <p>BERG CIVIL ENGINEERING 1011 W. 1000 S. SUITE 1000 SALT LAKE CITY, UT 84143 PHONE: (801) 487-1777 FAX: (801) 487-1777</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>NO.</td><td>DATE</td></tr> <tr><td>1</td><td>10/1/2023</td></tr> <tr><td>2</td><td>10/1/2023</td></tr> <tr><td>3</td><td>10/1/2023</td></tr> <tr><td>4</td><td>10/1/2023</td></tr> <tr><td>5</td><td>10/1/2023</td></tr> <tr><td>6</td><td>10/1/2023</td></tr> <tr><td>7</td><td>10/1/2023</td></tr> <tr><td>8</td><td>10/1/2023</td></tr> <tr><td>9</td><td>10/1/2023</td></tr> <tr><td>10</td><td>10/1/2023</td></tr> <tr><td>11</td><td>10/1/2023</td></tr> <tr><td>12</td><td>10/1/2023</td></tr> <tr><td>13</td><td>10/1/2023</td></tr> <tr><td>14</td><td>10/1/2023</td></tr> <tr><td>15</td><td>10/1/2023</td></tr> <tr><td>16</td><td>10/1/2023</td></tr> <tr><td>17</td><td>10/1/2023</td></tr> <tr><td>18</td><td>10/1/2023</td></tr> <tr><td>19</td><td>10/1/2023</td></tr> <tr><td>20</td><td>10/1/2023</td></tr> <tr><td>21</td><td>10/1/2023</td></tr> <tr><td>22</td><td>10/1/2023</td></tr> <tr><td>23</td><td>10/1/2023</td></tr> <tr><td>24</td><td>10/1/2023</td></tr> <tr><td>25</td><td>10/1/2023</td></tr> <tr><td>26</td><td>10/1/2023</td></tr> <tr><td>27</td><td>10/1/2023</td></tr> <tr><td>28</td><td>10/1/2023</td></tr> <tr><td>29</td><td>10/1/2023</td></tr> <tr><td>30</td><td>10/1/2023</td></tr> <tr><td>31</td><td>10/1/2023</td></tr> <tr><td>32</td><td>10/1/2023</td></tr> <tr><td>33</td><td>10/1/2023</td></tr> <tr><td>34</td><td>10/1/2023</td></tr> <tr><td>35</td><td>10/1/2023</td></tr> <tr><td>36</td><td>10/1/2023</td></tr> <tr><td>37</td><td>10/1/2023</td></tr> <tr><td>38</td><td>10/1/2023</td></tr> <tr><td>39</td><td>10/1/2023</td></tr> <tr><td>40</td><td>10/1/2023</td></tr> <tr><td>41</td><td>10/1/2023</td></tr> <tr><td>42</td><td>10/1/2023</td></tr> <tr><td>43</td><td>10/1/2023</td></tr> <tr><td>44</td><td>10/1/2023</td></tr> <tr><td>45</td><td>10/1/2023</td></tr> <tr><td>46</td><td>10/1/2023</td></tr> <tr><td>47</td><td>10/1/2023</td></tr> <tr><td>48</td><td>10/1/2023</td></tr> <tr><td>49</td><td>10/1/2023</td></tr> <tr><td>50</td><td>10/1/2023</td></tr> <tr><td>51</td><td>10/1/2023</td></tr> <tr><td>52</td><td>10/1/2023</td></tr> <tr><td>53</td><td>10/1/2023</td></tr> <tr><td>54</td><td>10/1/2023</td></tr> <tr><td>55</td><td>10/1/2023</td></tr> <tr><td>56</td><td>10/1/2023</td></tr> <tr><td>57</td><td>10/1/2023</td></tr> <tr><td>58</td><td>10/1/2023</td></tr> <tr><td>59</td><td>10/1/2023</td></tr> <tr><td>60</td><td>10/1/2023</td></tr> <tr><td>61</td><td>10/1/2023</td></tr> <tr><td>62</td><td>10/1/2023</td></tr> <tr><td>63</td><td>10/1/2023</td></tr> <tr><td>64</td><td>10/1/2023</td></tr> <tr><td>65</td><td>10/1/2023</td></tr> <tr><td>66</td><td>10/1/2023</td></tr> <tr><td>67</td><td>10/1/2023</td></tr> <tr><td>68</td><td>10/1/2023</td></tr> <tr><td>69</td><td>10/1/2023</td></tr> <tr><td>70</td><td>10/1/2023</td></tr> <tr><td>71</td><td>10/1/2023</td></tr> <tr><td>72</td><td>10/1/2023</td></tr> <tr><td>73</td><td>10/1/2023</td></tr> <tr><td>74</td><td>10/1/2023</td></tr> <tr><td>75</td><td>10/1/2023</td></tr> <tr><td>76</td><td>10/1/2023</td></tr> <tr><td>77</td><td>10/1/2023</td></tr> <tr><td>78</td><td>10/1/2023</td></tr> <tr><td>79</td><td>10/1/2023</td></tr> <tr><td>80</td><td>10/1/2023</td></tr> <tr><td>81</td><td>10/1/2023</td></tr> <tr><td>82</td><td>10/1/2023</td></tr> <tr><td>83</td><td>10/1/2023</td></tr> <tr><td>84</td><td>10/1/2023</td></tr> <tr><td>85</td><td>10/1/2023</td></tr> <tr><td>86</td><td>10/1/2023</td></tr> <tr><td>87</td><td>10/1/2023</td></tr> <tr><td>88</td><td>10/1/2023</td></tr> <tr><td>89</td><td>10/1/2023</td></tr> <tr><td>90</td><td>10/1/2023</td></tr> <tr><td>91</td><td>10/1/2023</td></tr> <tr><td>92</td><td>10/1/2023</td></tr> <tr><td>93</td><td>10/1/2023</td></tr> <tr><td>94</td><td>10/1/2023</td></tr> <tr><td>95</td><td>10/1/2023</td></tr> <tr><td>96</td><td>10/1/2023</td></tr> <tr><td>97</td><td>10/1/2023</td></tr> <tr><td>98</td><td>10/1/2023</td></tr> <tr><td>99</td><td>10/1/2023</td></tr> <tr><td>100</td><td>10/1/2023</td></tr> </table>	NO.	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Woodside Homes
WOODSIDE HOMES OF UTAH
480 West 60 North, Suite 300
Salt Lake City, UT 84101
801.629.4000

**STONECREEK
PLAT J**
1000 SOUTH
350 WEST

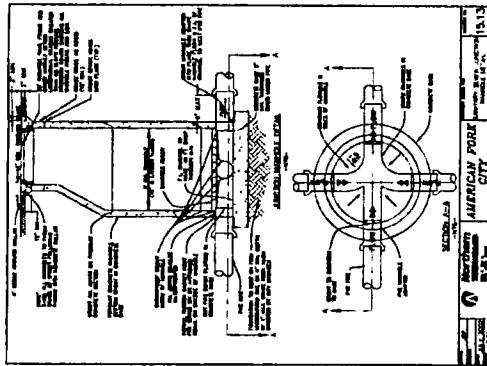
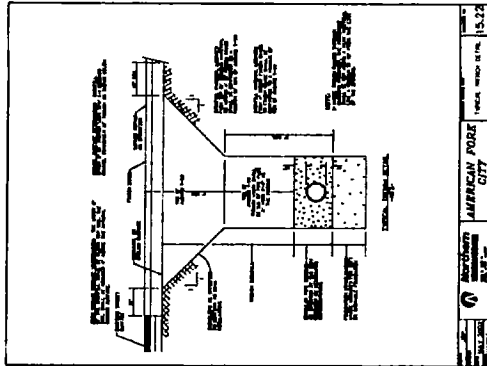
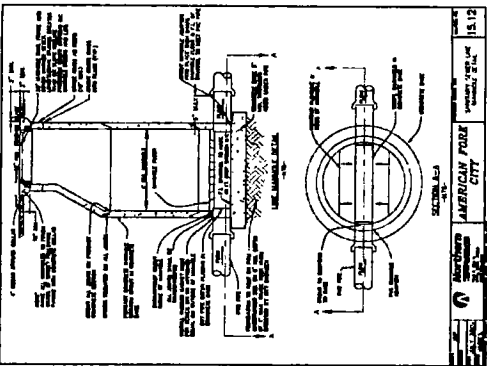
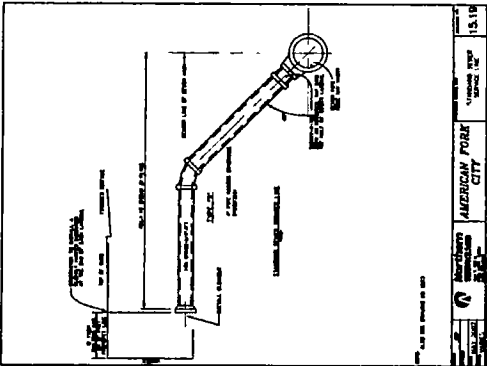
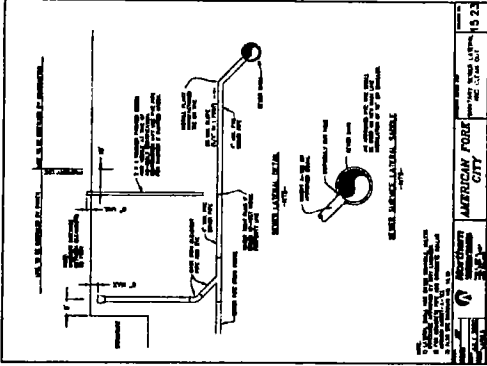
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CIVIL ENGINEERING
100 N. ALTA, SUITE 200
SALT LAKE CITY, UT 84101
PHONE: (801) 467-1177
FAX: (801) 467-1178

NO.	DATE	REVISION
1	03/20/23	ISSUE FOR PERMITS
2	03/20/23	ISSUE FOR PERMITS
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19	03/20/23	ISSUE FOR PERMITS
20	03/20/23	ISSUE FOR PERMITS

**STONECREEK
PLAT J**

**FINAL
CONSTRUCTION
PLANS**

3-21-2023
**SEWER &
STORM DRAIN
DETAILS**
15111803.0
D3






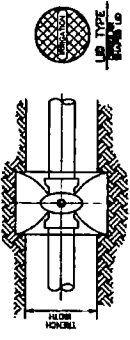
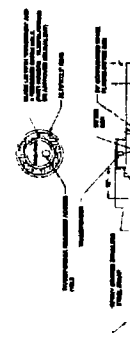
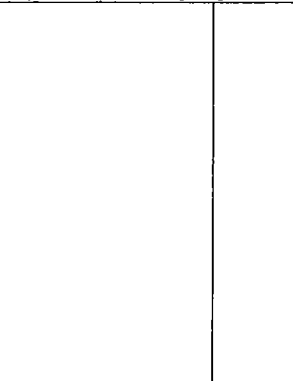
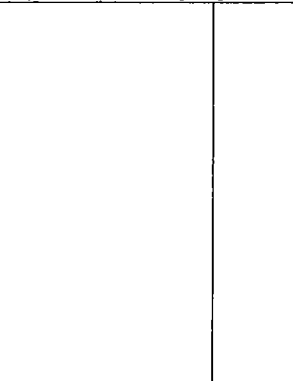

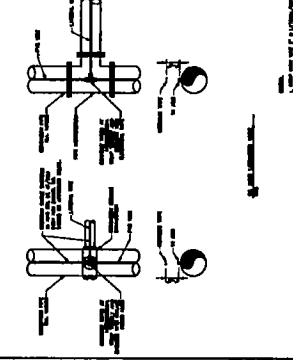
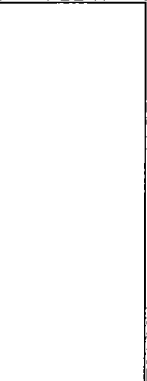
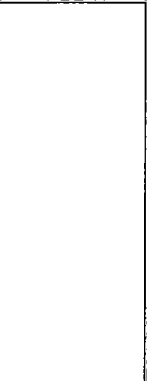

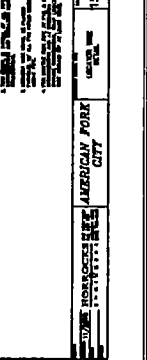
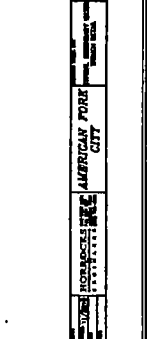
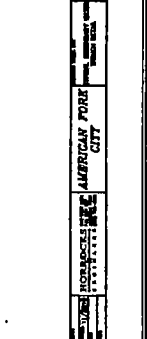
 <p>WOODSIDE HOMES OF UTAH 480 West 50 North, Suite 300 Salt Lake City, UT 84101 801.869.4000</p>	<p>PROJECT</p> <p>STONECREEK PLAT J 1000 SOUTH 350 WEST</p>	 <p>IRVING J. BERG 1018 W. JEFFERSON BLVD. SALT LAKE CITY, UT 84119 (801) 462-2177</p>		<p>DATE: 10/27/23</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: STONECREEK PLAT J</p>	<p>DATE: 10/27/23</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: STONECREEK PLAT J</p>	<p>DATE: 10/27/23</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: STONECREEK PLAT J</p>	<p>DATE: 10/27/23</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: STONECREEK PLAT J</p>	<p>DATE: 10/27/23</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: STONECREEK PLAT J</p>	<p>DATE: 10/27/23</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: STONECREEK PLAT J</p>	<p>DATE: 10/27/23</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: STONECREEK PLAT J</p>	
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<p>THIS DRAWING IS THE PROPERTY OF BERG ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF BERG ENGINEERING.</p>											
<p>AMERICAN FORK CITY</p>											

Exhibit A

STONECREEK PLAT 'A'

Legal Description:

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

AMERICAN FORK CITY, UTAH, UTAH COUNTY, UTAH

STONECREEK PLAT 'B'

Legal Description:

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

AMERICAN FORK CITY, UTAH, UTAH COUNTY, UTAH

STONECREEK PLAT 'C'

Legal Description:

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

AMERICAN FORK CITY, UTAH, UTAH COUNTY, UTAH

STONECREEK PLAT 'D'**Legal Description:**

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

AMERICAN FORK CITY, UTAH, UTAH COUNTY, UTAH

STONECREEK PLAT 'E'

Parcel # - 13:065:0067

Legal Description:

COM AT SW COR. SEC. 23, T5S, R1E, SLB&M.; N 0 DEG 3' 42" E 93.4 FT; S 88 DEG 53' 7" E 499.08 FT; N 5 DEG 54' 46" E 35.62 FT; N 81 DEG 54' 36" E 679.51 FT; S 0 DEG 35' 17" W 143.29 FT; N 89 DEG 16' 52" W 89.3 FT; ALONG A CURVE TO R (CHORD BEARS: N 44 DEG 20' 52" W 21.19 FT, RADIUS = 15 FT); N 88 DEG 55' 15" W 62 FT; ALONG A CURVE TO R (CHORD BEARS: S 45 DEG 51' 0" W 21.31 FT, RADIUS = 15 FT); S 1 DEG 6' 53" W 72 FT; N 88 DEG 53' 7" W 61.9 FT; S 1 DEG 8' 1" W 114.6 FT; S 21 DEG 8' 57" W 65.99 FT; S 0 DEG 35' 7" W 492.73 FT; S 13 DEG 46' 31" E 63.98 FT; S 0 DEG 31' 47" W 106 FT; S 89 DEG 28' 13" E 86.01 FT; S 0 DEG 35' 3" W 8.04 FT; N 88 DEG 30' 9" W 3.88 FT; N 18 DEG 0' 0" E 3.17 FT; N 89 DEG 29' 0" W 702.48 FT; N 0 DEG 28' 0" E 306.31 FT; W 294.57 FT; N 0 DEG 6' 15" W 526.75 FT TO BEG

STONECREEK PLAT 'F'

Parcel # - 13:065:0067

Legal Description:

COM S 833.02 FT & E 289.82 FT FR NW COR. SEC. 26, T5S, R1E, SLB&M.; S 89 DEG 29' 0" E 500.6 FT; S 0 DEG 51' 29" W 250.03 FT; S 89 DEG 29' 0" E 914.78 FT; S 0 DEG 51' 29" W 245.37 FT; S 0 DEG 51' 30" W 170.51 FT; N 88 DEG 50' 49" W 514.59 FT; N 89 DEG 15' 14" W 568.69 FT; N 89 DEG 48' 53" W 331.22 FT; N 0 DEG 47' 0" E 659.83 FT TO BEG. AREA 16.193 AC.

Parcel # - 13:065:0068

Legal Description:

COM S 837.53 FT & E 790.4 FT FR NW COR. SEC. 26, T5S, R1E, SLB&M.; S 89 DEG 29' 0" E 205.1 FT; S 18 DEG 0' 0" W 3.17 FT; S 88 DEG 29' 49" E 3.91 FT; S 0 DEG 35' 4" W 12.8 FT; S 89 DEG 23' 10" E 706.64 FT; S 0 DEG 51' 31" W 157.63 FT; S 0 DEG 51' 29" W 75.28 FT; N 89 DEG 29' 0" W 914.78 FT; N 0 DEG 51' 29" E 250 FT TO BEG. AREA 4.979 AC.

STONECREEK PLAT 'H'

Parcel #

Part of 13:065:0078

Legal Description:

BEGINNING AT A POINT LOCATED NORTH 89°48'57" EAST ALONG THE SECTION LINE 822.46 FEET AND SOUTH 15116.09 FEET FROM THE NORTHWEST CORNER OF SECTION 26)OWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN;

THENCE NORTH 44°15'52" EAST 47.31 FEET; THENCE ALONG THE ARC OF A 169,00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 131.26 FEET (CURVE HAVING A CENTRAL ANGLE OF 46°32'04" AND LONG CHORD BEARS N67°31'54"E 133.52 FEET); THENCE SOUTH 89°12'04" EAST 176.45 FEET; THENCE SOUTH 00°49'19" WEST 101.00 FEET; THENCE NORTH 89°12'04" WEST 180.00 FEET; THENCE SOUTH 68°48'04" WEST 44.00 FEET; THENCE SOUTH 44°37'49" WEST 54.18 FEET; THENCE NORTH 45°44'08" WEST 101-00 FEET TO THE POINT OF BEGINNING.

STONECREEK PLAT 'I'

Parcel #

Part of 13:065:0078

Long Term Stormwater Management Plan (LTSMP)

Legal Description:

BEGINNING AT A POINT LOCATED NORTH 89°48'57" EAST ALONG THE SECTION LINE 1584.31 FEET AND SOUTH 1358.64 FEET FROM THE NORTHWEST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN;

THENCE SOUTH 89°10'41" EAST 113.00 FEET; THENCE SOUTH 00°51'25" WEST 72.00 FEET; THENCE NORTH 89°10'41" WEST 112.96 FEET; THENCE NORTH 00°49'19" EAST 72.00 FEET TO THE POINT OF BEGINNING.

STONECREEK PLAT 'J'

Parcel

Part of 13:065:0077 & 13:065:0078

Legal Description:

BEGINNING AT A POINT WHICH IS N89°48'57"E 822.46 FEET AND SOUTH 1506.09 FEET FROM THE NORTHWEST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN,

THENCE ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT H THE FOLLOWING FIVE (5) COURSES: 1) SOUTH 45°44'08" EAST 101.00 FEET, 2) NORTH 44°37'49" EAST 54.19 FEET, 3) NORTH 68°48'04" EAST 44.00 FEET, 4) SOUTH 89°12'04" EAST 180.00 FEET, AND 5) NORTH 00°49'19" EAST 101.00 FEET TO A POINT ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT G; THENCE ALONG SAID PLAT THE FOLLOWING EIGHT (8) COURSES: 1) SOUTH 89°12'04" EAST 85.99 FEET, 2) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.57 FEET (CURVE HAVING A CENTRAL ANGLE OF 90°01'23" AND A LONG CHORD BEARS S44°11'22"E 21.22 FEET), 3) SOUTH 89°12'44" EAST 62.00 FEET; 4) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.56 FEET (CURVE HAVING A CENTRAL ANGLE OF 89°58'37" AND A LONG CHORD BEARS N45°48'38"E 21.21 FEET), 5) SOUTH 89°12'04" EAST 173.00 FEET, 6) ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.57 FEET (CURVE HAVING A CENTRAL ANGLE OF 90°01'23" AND A LONG CHORD BEARS S44°11'22"E 21.22 FEET), 7) NORTH 85°52'36" EAST 62.23 FEET, AND 8) NORTH 00°49'19" EAST 11.09 FEET;

Long Term Stormwater Management Plan (LTSMP)

THENCE SOUTH 89°10'41" EAST 112.96 FEET; THENCE SOUTH 00°51'25" WEST 85.23 FEET;
 THENCE SOUTH 00°25'56" WEST 170.20 FEET; THENCE SOUTH 00°54'29" WEST 608.92 FEET;
 THENCE NORTH 89°59'52" WEST 207.88 FEET;

THENCE ALONG THE ARC OF A 331.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF
 40.72 FEET (CURVE HAVING A CENTRAL ANGLE OF 07°02'53" AND A LONG CHORD BEARS
 N86°28'26"W 40.69 FEET); THENCE NORTH 10°00'05" EAST 134.43 FEET; THENCE ALONG
 THE ARC OF A 306.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 10.15 FEET (CURVE
 HAVING A CENTRAL ANGLE OF 01°54'04" AND A LONG CHORD BEARS N10°57'08"E 10.15
 FEET); THENCE NORTH 45°44'08" WEST 906.00 FEET; THENCE NORTH

44°15'54" EAST 15.02 FEET TO THE POINT OF BEGINNING.

STONECREEK PLAT 'K'

Parcel #

Part of 13:065:73 & 13:065:0077

Legal Description:

BEGINNING AT A POINT WHICH IS N89°48'57"E 287.73 FEET AND SOUTH 983.21 FEET FROM
 THE NORTHWEST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE
 BASE & MERIDIAN,

THENCE ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT F THE FOLLOWING TWO (2)
 COURSES: 1) SOUTH 45°44'08" EAST 736.78 FEET, AND 2) SOUTH 89°15'06" EAST 13.66 FEET
 TO A POINT ALONG THE SOUTH BOUNDARY OF STONECREEK PLAT J; THENCE ALONG SAID PLAT
 THE FOLLOWING FIVE (5) COURSES: 1) SOUTH 44°15'52" WEST 24.41 FEET, 2) SOUTH 45°44'08"
 EAST 906.00 FEET, 3) ALONG THE ARC OF A 306.00 FOOT RADIUS CURVE TO THE LEFT A
 DISTANCE OF 10.15 FEET (CURVE HAVING A CENTRAL ANGLE OF 01°54'04" AND A LONG CHORD
 BEARS S10°57'07"W 10.15 FEET), 4) SOUTH 10°00'05" WEST 134.43 FEET, AND 5) ALONG THE
 ARC OF A 331.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 40.72 FEET (CURVE
 HAVING A CENTRAL ANGLE OF 07°02'53" AND A LONG CHORD BEARS S86°28'26"E 40.69 FEET);
 THENCE NORTH 89°59'52" WEST 1206.35 FEET; THENCE NORTH 00°47'08" EAST 1309.20 FEET
 TO THE POINT OF BEGINNING.

Exhibit B

Introduction

This Long-Term Stormwater Management Plan (LTSMP) is being implemented in order to protect water quality. Post construction Stormwater controls are required to be installed and maintained under the Utah Pollution Discharge Elimination System and the Clean Water Act to keep water clean. Installing post construction controls will prevent the discharge of pollutants into the local streams, rivers, and lakes. In recent years, contaminated Stormwater from various construction sites and commercial facilities has been polluting water bodies throughout the state of Utah. By properly installing and maintaining post construction Stormwater controls pollutants will be contained and water quality will be improved.

This management plan is designed to prevent pollutants from entering the storm drain system and polluting our waters. This facility is responsible for ensuring that any water discharged from the facility is free of harmful pollutants, thereby assisting in the health and protection of waters in our community. This plan will address Stormwater controls at this facility. These controls will be monitored, maintained, and improved if needed to prevent pollutants from being discharged from this facility into the storm drain system or local waters. Additionally, the patrons or employees of this facility will be trained or made aware of the aforementioned issues and controls.

General Site Use and Description

The Stonecreek Subdivision is a single-family housing development consisting of Plats A, B, C, D, E, F, H, I, J, and K, landscaped common areas, and Open Space.

TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage the property. Report any variances to the LTSMP contact listed on the Facility Map. File all training records in Exhibit C.

RECORDKEEPING

Maintain records of operation activities in accordance with SOPs.
Mail a copy of the record to the city stormwater division annually.

SOPs: Facility Long Term Stormwater BMPs Information

SOPs for the Long Term BMPs referenced on the map can be downloaded and viewed from the following site:

Pavement Maintenance Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Purpose and Selection:

- a) Reduce stormwater pollution by sweeping and removing pollutants that will be carried to City stormwater systems during stormwater runoff or by non-stormwater runoff.
- b) The sweeper is intended for removing material that collect on pavements by use and the natural degradation of pavements, ie. material that collect, drop from vehicles and the natural erosion and breaking up of pavements.

2. Regular Procedure:

- a) Remain aware of debris and sweep minor debris is needed by hand.
- b) Generally sweeping machinery should be used during autumn when leaf fall is heavy and early spring after winter thaw. Sometimes sweeping machinery will be necessary when accumulations are spread over a large area of the pavement.
- c) Manage outside activities that leave waste or drain pollutants to our pavements. This involves outside functions including but not limited to: Yard sales, yard storage, fund raisers, etc. Do not allow car wash fund raiser or other activities that allow detergents or other pollutants to be washed into the storm drain systems. Residents are allowed to wash their own cars.

4. Disposal Procedure:

- a) Service contractor dispose at licensed facilities
- b) Dispose of hand collected material in dumpster

5. Training:

- a) Annually and at hire

Landscape Maintenance Operations

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Rule: Prevent any solids, liquids or any light weight material from being carried away from the construction or maintenance envelop by wind or water.

1. Application:

- a) This SOP should provide sufficient direction for many of the general landscaping operations, e.g., fertilizer and pesticide applications, mowing, weeding, tree trimming, digging, sprinkler repairs, varying landscape cover management, etc.

2. Maintenance Procedure:

- a) Grooming
 - Lawn Mowing – Immediately following operation sweep or blow clippings onto vegetated ground. It is not permitted to blow onto streets or paved areas where runoff could carry away clipping and fertilizers into storm drain systems.
 - Fertilizer Operation – Prevent overspray. Sweep or blow fertilizer onto vegetated ground immediately following operation.
 - Pesticide Operations – Prevent overspray, use spot treatment, sweep or blow dry pesticide onto vegetated ground immediately following pesticide operations.
- b) Remove or contain all erodible or loose material prior forecast wind and precipitation events, before any non-stormwater will pass through and over the project site and at end of work period. Light weight debris and landscape materials can require immediately attention when wind expected.
- c) Landscape project materials and waste can usually be contained or controlled by operational best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement
 - Avoiding multiple day staging of landscaping backfill and spoil on pavements
 - Haul off spoil as generated or daily – dispose waste at the North Pointe Solid Waste Special Service District
 - Scheduling work when weather forecasts are clear.
 -

d) Cleanup:

- Use dry cleanup methods, e.g. square nose shovel and broom and it is usually sufficient when no more material can be swept onto the square nosed shovel.
- Power blowing tools

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP (see SOP below), unless superseded by specific SOPs for the operation.

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

5. Training:

- a) Annually and at hire
- b) Landscape Service Contractors must have equal or better SOPs.

Waste Management Operations

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

1. Application:

- a) This SOP is intended for all Staff, intended for the proper disposal of common everyday waste.

2. Waste Collection Devices (Exposed units):

- a) The site contains 2 types of waste management containers.
 - 6yd dumpster with lid
 - Receptacles with lids

3. Waste Disposal Restrictions for all waste Scheduled for the North Pointe Solid Waste Special Service District:

- a) Generally, most waste generated at this property, and waste from spill and clean-up operations can be disposed in our dumpsters under the conditions listed in this SOP. Unless other disposal requirements are specifically identified by the product SDS or otherwise specified in other SOPs.
- b) Know the facility disposal requirements and restrictions. It should not be assumed that all waste disposed in collection devices will be disposed at the North Pointe Solid Waste Special Service District.
- c) Review North Pointe Solid Waste Special Service District regulations for additional restrictions and understand what waste is prohibited in the North Pointe Solid Waste Special Service District. Ensure the SDS and North Pointe Solid Waste Special Service District Landfill regulations are not contradictory.

Generally, the waste prohibited by the North Pointe Solid Waste Special Service District is:

- Liquid:
 - paint
 - pesticides/fertilizers
 - oil (all types)
 - antifreeze

Long Term Stormwater Management Plan (LTSMP)

- batteries
- liquid chemicals
- etc.

(Generally, all the above hazardous waste when involved in minor spill cleanup operations can be disposed in covered dumpsters and our waste bays, if the liquid is contained in absorbent material, e.g. sand, dirt, loose absorbent, pads, booms etc., and transformed or dried such that it will not drip. This is not intended for wholesale disposal of out dated or spent liquid hazardous waste. When disposal of out dated or spent liquid is needed or for questions of how to dispose of other waste, contact the Utah County Health Department for instructions and locations, (801) 851-3000.

4. Waste Disposal Required for North Pointe Solid Waste Special Service District or other:

- a) Generally, for waste not accepted by the North Pointe Solid Waste Special Service District. Follow SDS for disposal requirements. Review North Pointe Solid Waste Special Service District regulations for additional restrictions and understand what waste is prohibited in the North Pointe Solid Waste Special Service District. Ensure the SDS and North Pointe Solid Waste Special Service District regulations are not contradictory
General rules are:
 - Get approval prior to delivery.
 - Transport waste in secure leak proof containers that are clearly labeled.
- b) Lookup and follow disposal procedures for disposal of waste at other EPA approved sites, the North Pointe Solid Waste Special Service District is a good resource, (801) 225-8538

5. General Staff Maintenance Practices:

- a) Prevent dumpsters and receptacles from becoming a pollution source by:
 1. Closing lids
 2. Reposition tipped receptacles upright.
 3. Report full or leaking and unsecured dumpsters and receptacles to the company provider or repair it in house. Determine source liquids and prevent it.
 4. Report any eminent pollutant hazard related to dumpsters and receptacles to the owner.

6. Training:

- a) Annually and at hire

Storm Drain Maintenance Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Procedure:

- a) Inspect for need:
 - 1. Schedule cleaning for boxes and pipe that contain 2” or more of sediment and debris.
 - 2. Remove debris by vacuum with North Pointe Solid Waste Special Service District operated machinery.
 - 3. When accumulations are mostly floating debris this material can be removed with a net.
 - 4. Inspect standing water for mosquito larvae and contact the Utah County Health Department - Mosquito Abatement when necessary.

2. Disposal Procedure:

- a) Dispose of waste collected by machinery at regulated facilities.
- b) Floating materials and floating absorbent materials may be disposed in dumpster when dried out. Dry dirt and slurry may also be disposed in the dumpster.
- c) Disposal of hazardous waste
 - 1. Dispose of hazardous waste at regulated disposal facilities, see Waste Management and Spill Control SOP
- d) Disposal of waste collected from sanitary sewer device at regulated facilities.

3. Training:

- a) Annually and at hire

Pavement Washing Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Procedure:

- a) Prevent waste fluids and any detergents if used from entering storm drain system. The following methods are acceptable for this operation.
 - Dam the inlet using a boom material that seals itself to the pavement and pick up the wastewater with shop-vacuum or absorbent materials.
 - Collect wastewater with shop-vacuum simultaneous with the washing operation.
 - Collect wastewater with vacuum truck or trailer simultaneous with the washing operation.
- b) This procedure must not be used to clean the initial spills. First apply the Spill Containment and cleanup SOP.

2. Disposal Procedure:

- a) Small volumes can usually be drained to the local sanitary sewer. Contact the Timpanogos Special Service District.
- b) Large volumes must be disposed at regulated facilities.

2. Pavement Cleaning Frequency:

- a) There is no regular pavement washing regimen. Pavement washing is determined by conditions that warrant it, including but not limited to: prevention of slick or other hazardous conditions or restore acceptable appearance of pavements. Apartment management will educate residents so they understand their responsibilities for spills that occur ie: how and when to report spills, and the resources available for their use to clean up spills such as a spill it on site.

3. Training:

- a) Annually and at hire

Snow and Ice Removal Management

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

1. Application:

- a) Parking and sidewalk winter management operations.

2. De-Icing Procedure:

- a) Do not store or allow salt or equivalent compounds and chemicals to be stored on outside paved surfaces.
- b) Minimize salt use by varying salt amounts relative to hazard potential.
- c) Sweep excessive piles left by the spreader on parking lots and sidewalks. Dispose of excess per the Waste Management Operations SOP above.
- d) Watch forecast and adjust salt amounts when warm ups are expected the same day.
- e) Determine best sites for snow storage and notify the snow removal contractor where these sites are.
- f) Inspect snow storage sites immediately after snow melt has occurred for any debris and pollutants that need to be cleaned up per the Waste Management Operations SOP above.
- g) All operations are to comply with City Resolution 2005-12-61R. Do not push snow into public streets.

3. Training:

- a) Annually and at hire.
- b) Require snow and ice service contractors to follow the stronger between this SOP and their company SOPs.

General Construction Maintenance

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Rule: Prevent any solids, *liquids or any light weight material from being carried away from the construction or maintenance envelop by wind or water.

***liquids - including culinary water and irrigation water that are polluted with material that will damage the environment.**

1. Application:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., building maintenance, curb/sidewalk/flatwork, overlay/patching, landscape renovations, misc. maintenance/repairs, etc.

2. Construction Procedure:

- a) Remove or contain all erodible or loose material prior forecast wind and precipitation events or before non-stormwater will pass through the project site. For light weight debris maintenance can require immediately attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- b) Project materials and waste can be contained or controlled by operational or structural best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement
 - Avoiding multiple day staging of backfill and spoil
 - Haul off spoil as generated or daily
 - Schedule work during clear forecast
 - Structural; including but not limited to:
 - Inlet protection, e.g. wattles, filter fabric, drop inlet bags, boards, planks
 - Gutter dams, e.g. wattles, sandbags, dirt dams
 - Boundary containment, e.g. wattles, silt fence
 - Dust control, e.g. water hose,

Long Term Stormwater Management Plan (LTSMP)

- Waste control, e.g. construction solid or liquid waste containment, dumpster, receptacles
- c) Inspection often to insure the structural best management practices are in good operating condition and at least prior to the workday end. Promptly repair damaged best management practices achieving effective containment.
- d) Cleanup:
 - Use dry cleanup methods, e.g. square nose shove and broom.
 - Wet methods are allowed if wastewater is prevented from entering the stormwater system, e.g. wet/dry vacuum, disposal to our landscaped areas.
- e) Cleanup Standard:
 - When a broom and a square nosed shovel cannot pick any appreciable amount of material.

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.
- b) Never discharge waste material to storm drains

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

5. Training:

- b) Annually and at hire.

Spill Control

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

1. Rational:

- a) All properties are susceptible to spills whether it is a result of operations or by customers. Insufficient response, inadequate containment materials and improper spill cleanup methods will result in pollutants in our waterways. Once the pollutants reach our storm drain system, or even the detention pond, they are difficult and expensive to remove.

2. Containment Procedure:

- a) Priority is to dam and contain flowing spills.
- b) Use spill kits booms if available or use any material available; including but not limited to, nearby sand, dirt, landscaping materials, etc.
- c) Hazardous or unknown waste material spills
 1. Critical Emergency constitutes large quantities of flowing uncontained liquid that will affect areas with people or reach storm drain systems. Generally, burst or tipped tanks. Call HAZMAT, DWQ, Utah County Health Department, American Fork City.
 2. Minor Emergency constitutes a spill that has reached a storm drain but is no longer flowing. Call Utah County Health Department, American Fork City
 3. Spills that are contained on the surface and do not meet the criteria for Critical and minor emergencies may be managed by the responsible implementation of this SOP.
 4. Contact Numbers:
 - HAZMAT - 911
 - DWQ – 801-231-1769, 801-536-4123
 - Utah County Health Department – 801-851-3000
 - American Fork City – 801-763-3040

3. Cleanup Procedure:

- a) NEVER WASH SPILLS TO THE STORM DRAIN SYSTEMS.
- b) Clean per SDS requirements but generally most spills can be cleaned up according to the following:

Long Term Stormwater Management Plan (LTSMP)

- Absorb liquid spills with spill kit absorbent material, sand or dirt until liquid is sufficiently converted to solid material.
- Remove immediately using dry cleanup methods, e.g. broom and shovel, or vacuum operations.
- Cleanup with water and detergents may also be necessary depending on the spilled material. However, the waste from this operation must be vacuumed or effectively picked up by dry methods. See Pavement Washing SOP.
- Repeat process when residue material remains.
- Notify employees where spill kits are located on site.

4. DISPOSAL:

- a) Follow SDS requirements but usually most spills can be disposed per the following b. & c.
- b) Generally, most spills absorbed into solid forms can be disposed to the dumpster and receptacles. Follow Waste Management SOP.
- c) Generally Liquid waste from surface cleansing processes may be disposed to the sanitary sewer system after the following conditions have been met:
 - Dry cleanup methods have been used to remove the bulk of the spill and disposed per the Waste Management SOP.
 - The liquid waste amounts are small and diluted with water. This is intended for spill cleanup waste only and never for the disposal of unused or spent liquids.

5. Documentation:

- a) Document all spills in Appendix C.

6. SDS sheets:

- a) SDS Manual is filed in break room.

7. Materials:

- a) Generally, sand or dirt will work for most clean-up operations and for containment. However, it is the responsibility of the owner to select the absorbent materials and cleanup methods that are required by the SDS Manuals for chemicals used by the company.

8. Training:

- a) Annually and at hire.

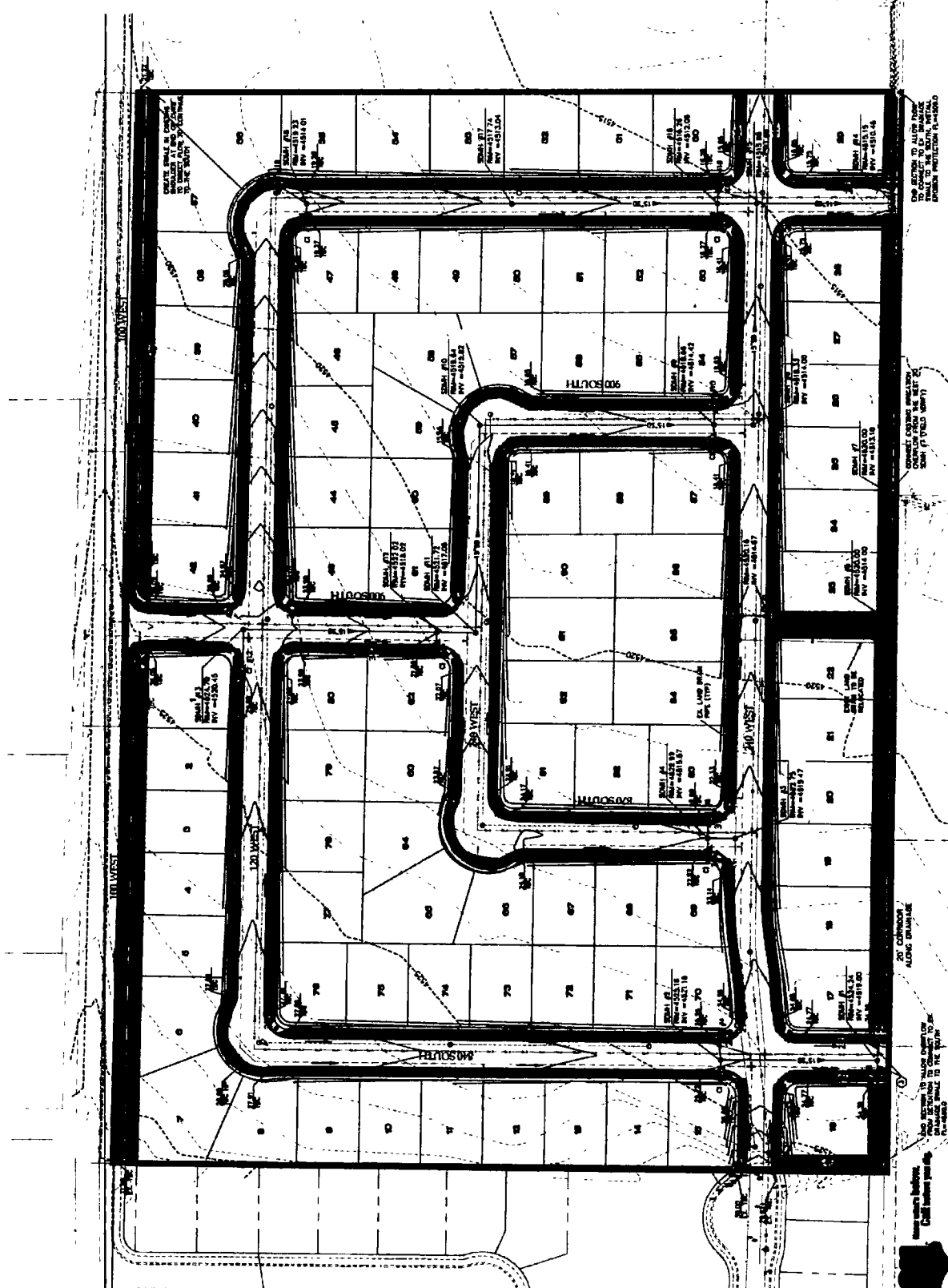
Long Term Stormwater Management Plan (LTSMP)

Facility Maps

Include the overview of the facility with the location of all Long Term Stormwater BMPs

GENERAL NOTES

- 1 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY PLANNING AND SPECIFICATIONS.
- 2 THE CONTRACTOR SHALL OBTAIN A PERMITS AND NECESSARY APPROVALS FROM THE PUBLIC WORKS DEPARTMENT FOR APPROVAL.
- 3 THE CONTRACTOR SHALL OBTAIN A PERMITS AND NECESSARY APPROVALS FROM THE PUBLIC WORKS DEPARTMENT FOR APPROVAL.
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- 7 THE CONTRACTOR SHALL OBTAIN A PERMITS AND NECESSARY APPROVALS FROM THE PUBLIC WORKS DEPARTMENT FOR APPROVAL.



JOB NO. 10248
SHEET NO. 3

GRADING AND DRAINAGE

STONECREEK
A RESIDENTIAL SUBDIVISION

AMERICAN FORK, UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

NO.	DATE	BY	DESCRIPTION





FOR REVIEW TO ALL APPLICABLE AGENCIES TO VERIFY ALL INFORMATION IS CORRECT AND ACCURATE. ENGINEER'S PROFESSIONAL SEAL AND SIGNATURE REQUIRED.

CONTRACTOR TO VERIFY ALL INFORMATION TO VERIFY ALL INFORMATION IS CORRECT AND ACCURATE. ENGINEER'S PROFESSIONAL SEAL AND SIGNATURE REQUIRED.

20' CONCRETE CURB ALONG DRAINAGE

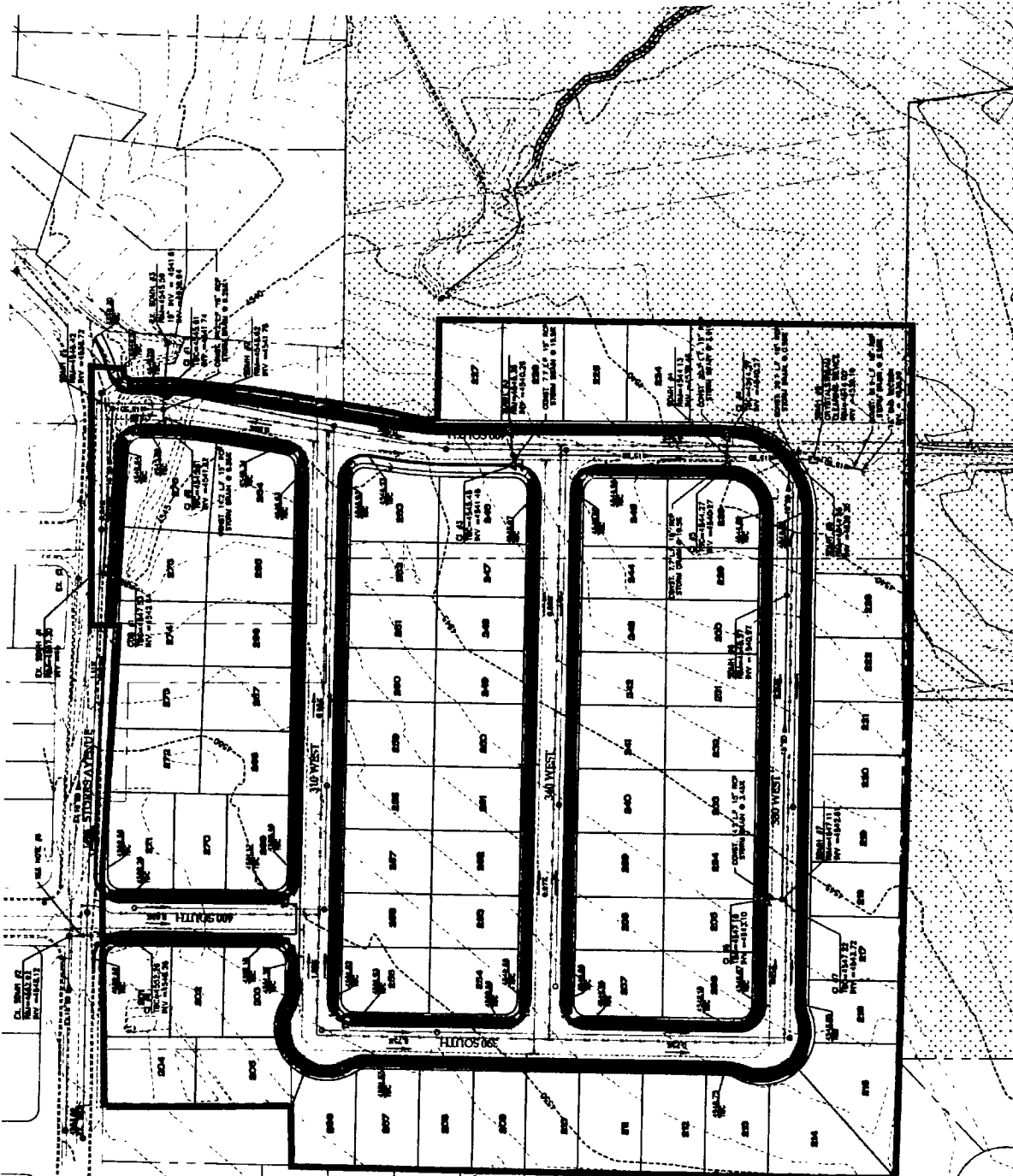
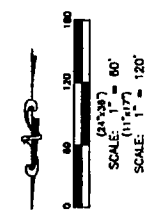
FOR REVIEW TO ALL APPLICABLE AGENCIES TO VERIFY ALL INFORMATION IS CORRECT AND ACCURATE. ENGINEER'S PROFESSIONAL SEAL AND SIGNATURE REQUIRED.



-  Landscaping (29)
-  North (1)
-  Property Boundary (1)
-  Storm Drain Inlet (18)

GENERAL NOTES

- 1 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- 2 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR WATER SUPPLY AND SEWERAGE CONSTRUCTION, LATEST EDITION.
- 3 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR STORM DRAINAGE CONSTRUCTION, LATEST EDITION.
- 4 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR ELECTRICAL CONSTRUCTION, LATEST EDITION.
- 5 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR TELEPHONE AND CABLE CONSTRUCTION, LATEST EDITION.
- 6 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE, LATEST EDITION.
- 7 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 8 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION.
- 9 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR UTILITIES, LATEST EDITION.
- 10 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
- 11 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
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- 19 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
- 20 ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.



GRADING AND DRAINAGE

STONECREEK PLAT "B"
A RESIDENTIAL SUBDIVISION




AMERICAN FORK, UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
37 EAST MAIN LEHI, UTAH 84043 (801) 768-4844

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-  Landscaping (11)
-  Property Boundary (1)
-  Storm Drain Inlet (8)



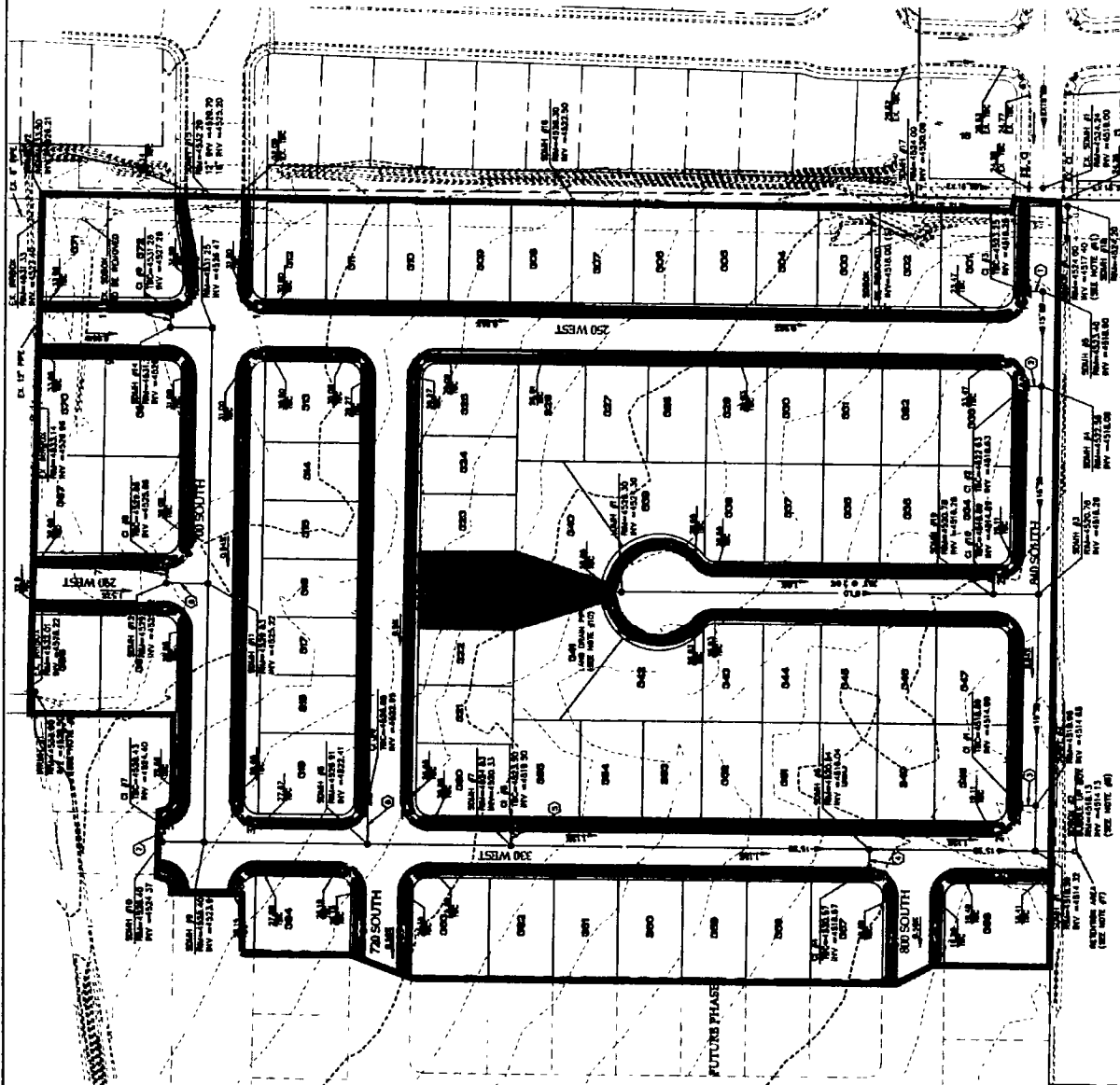
JOB NO. 10248-2023
SHEET NO. 3

GRADING AND DRAINAGE

STONECREEK PLAT "C"
A RESIDENTIAL SUBDIVISION

AMERICAN FORK, UTAH

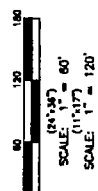
TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
37 EAST MAIN LEHI, UTAH 84043 (801) 768-1544



GENERAL NOTES




1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY...
2. PLOTTING TO BE DONE ACCORDING TO THE AMERICAN FORK CITY...
3. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIVISION FOR APPROVAL...
4. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIVISION, CITY BUILDING OFFICE...
5. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIVISION, CITY BUILDING OFFICE...
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11. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIVISION, CITY BUILDING OFFICE...

- ① CORNER 12.7' ON 15' 50" PACE @ 2.000
- ② CORNER 12.7' ON 15' 50" PACE @ 0.415
- ③ CORNER 12.7' ON 15' 50" PACE @ 1.178
- ④ CORNER 12.7' ON 15' 50" PACE @ 2.128
- ⑤ CORNER 12.7' ON 15' 50" PACE @ 3.248
- ⑥ CORNER 12.7' ON 15' 50" PACE @ 4.500
- ⑦ CORNER 12.7' ON 15' 50" PACE @ 5.850
- ⑧ CORNER 12.7' ON 15' 50" PACE @ 7.350
- ⑨ CORNER 12.7' ON 15' 50" PACE @ 8.950
- ⑩ CORNER 12.7' ON 15' 50" PACE @ 10.650
- ⑪ CORNER 12.7' ON 15' 50" PACE @ 12.400
- ⑫ CORNER 12.7' ON 15' 50" PACE @ 14.200



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1	11/17/23	JL	ISSUED FOR PERMITTING
2	11/17/23	JL	ISSUED FOR PERMITTING
3	11/17/23	JL	ISSUED FOR PERMITTING
4	11/17/23	JL	ISSUED FOR PERMITTING



-  Landscaping (30)
-  Property Boundary (1)
-  Storm Drain Inlet (10)

JOB
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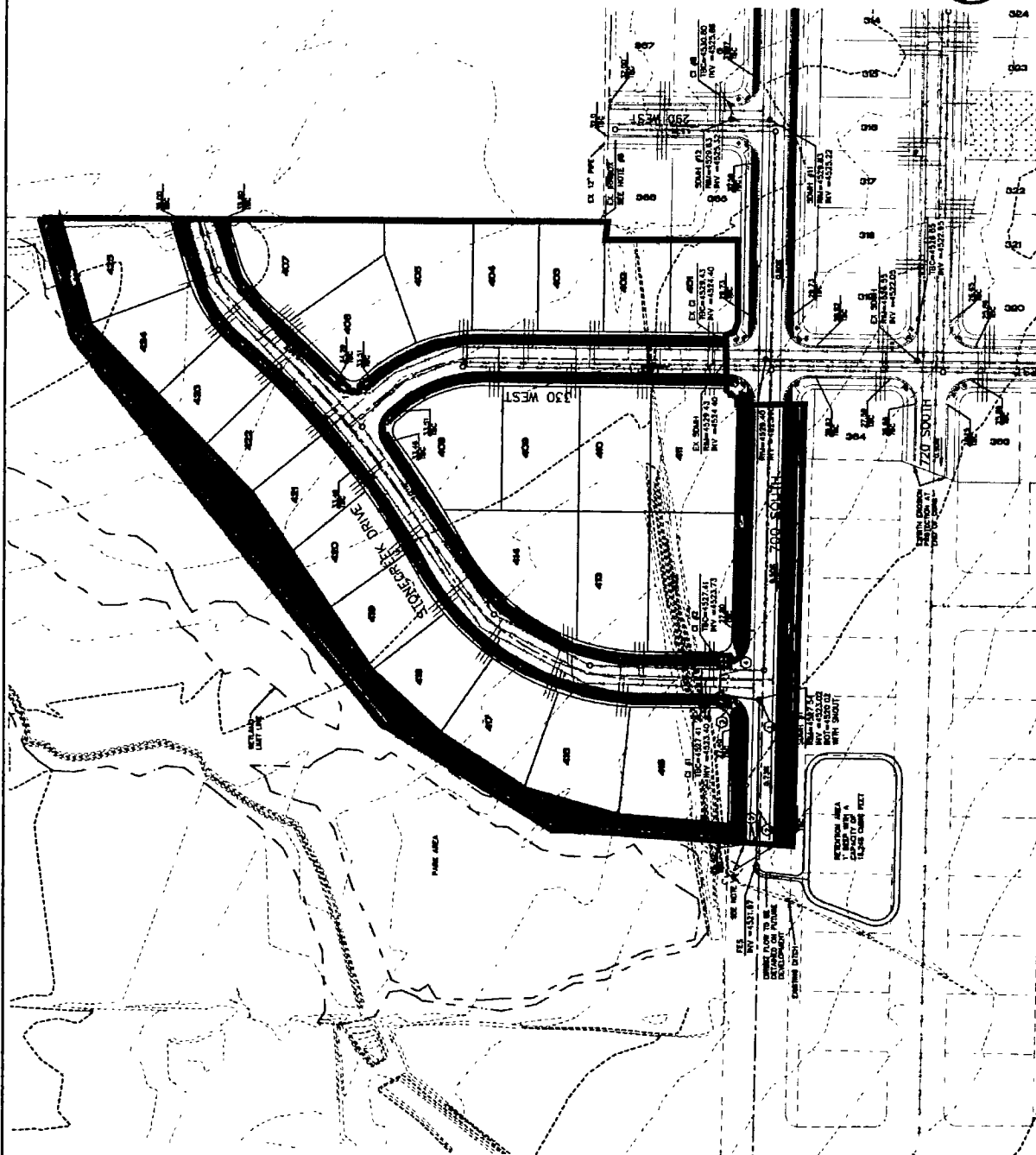


GRADING AND DRAINAGE

STONECREEK PLAT "D"
A RESIDENTIAL SUBDIVISION

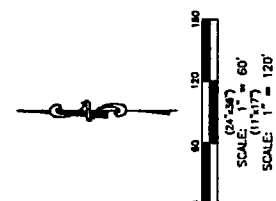
AMERICAN FORK, UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 765-1844



- GENERAL NOTES**
1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY PLANNING DEPARTMENT'S DESIGN & SUBDIVISION CONTROL PLAN.
 2. ALL CONSTRUCTION SHALL BE UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR.
 3. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.
 4. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICE.
 5. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICE.
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 10. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICE.




- KEY NOTES**
1. CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICE.
 2. CONSTRUCTION SHALL BE SUBJECT TO THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICE.
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-  Landscaping (9)
-  Property Boundary (1)
-  Storm Drain Inlet (2)



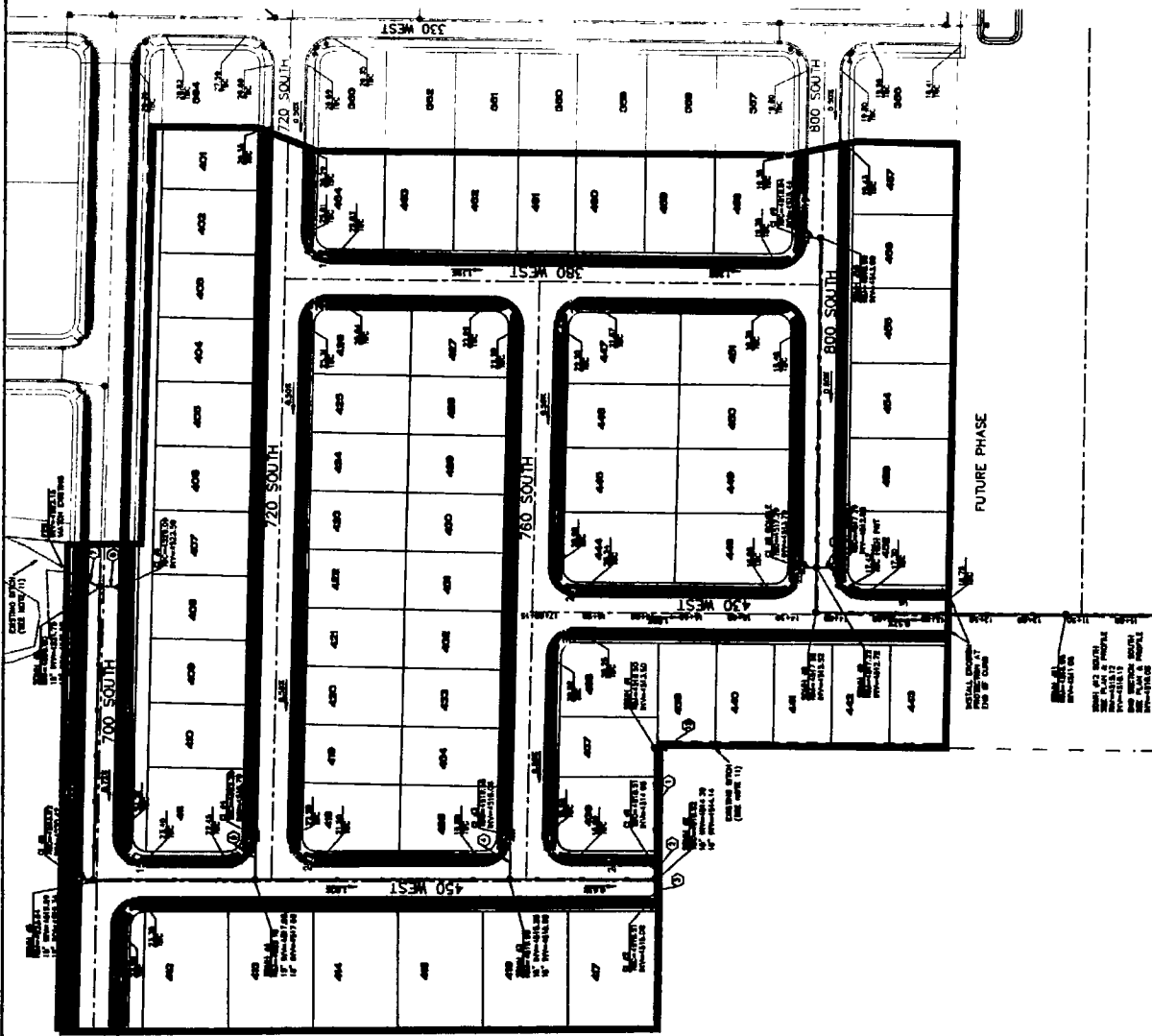
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SHEET NO. 3

GRADING AND DRAINAGE

STONECREEK PLAT "E"
A RESIDENTIAL SUBDIVISION

AMERICAN FORK, UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
37 EAST MAIN LEHI, UTAH 84043 (801) 768-4944



GENERAL NOTES

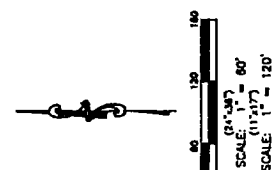
1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN PINK CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, AN EROSION & SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE PUBLIC WORKS DIVISION, CITY OF AMERICAN FORK, UTAH.
3. THE PUBLIC WORKS DIVISION, CITY OF AMERICAN FORK, UTAH, WILL BE HELD WITH RESPONSIBILITY FOR THE PROTECTION OF THE PUBLIC WORKS DIVISION, CITY OF AMERICAN FORK, UTAH, FROM CONSTRUCTION DAMAGE.
4. ALL ADJACENT PROPERTY OWNERS WILL BE NOTIFIED BY THE CONTRACTOR AND CITY ENGINEER OF ANY CONSTRUCTION TO BE CONDUCTED IN ACCORDANCE WITH THE AMERICAN PINK CITY STANDARDS AND SPECIFICATIONS, CONTRACTOR TO FURNISH ALL ADA STANDARDS AND SPECIFICATIONS.
5. ALL STORM DRAIN TO BE 15" RCP UNLESS OTHERWISE NOTED.
6. ALL CURB MULT BOMES TO BE 2.5' DEEP UNLESS OTHERWISE NOTED.
7. ALL CONSTRUCTION SHALL BE RETAINED ON THE PROPERTY TO THE SOUTH UNTIL FUTURE DEVELOPMENT AND WILL BE RETAINED ON THE PROPERTY TO THE SOUTH UNTIL FUTURE DEVELOPMENT.
8. CONTRACTOR TO INSTALL A TEMPORARY RETENTION BASIN WITH A LARGE SCALE PARTICLE CAPTURE AT THE POINT OF ENTRY TO THE DITCH AND SHALL BE MAINTAINED TO ALLOW SOIL TO BE WASHED AWAY FROM THE DITCH AND TO BE MAINTAINED TO ALLOW SOIL TO BE WASHED AWAY FROM THE DITCH.
9. CONTRACTOR TO COORDINATE EXPLORATION OF WATER IN THIS AREA BEFORE CONSTRUCTION WITH THE AMERICAN PINK CITY STANDARDS AND SPECIFICATIONS, CONTRACTOR TO FURNISH ALL ADA STANDARDS AND SPECIFICATIONS.
10. CONTRACTOR TO INSTALL COLLECTION SYSTEM ONCE FLOW IS DETERMINED.
11. THE EXISTING DITCH FLOW APPROXIMATELY 2 CFS FROM FIELD MEASUREMENTS. THE DITCH FLOW IS APPROXIMATELY 2 CFS FROM FIELD MEASUREMENTS. THE DITCH FLOW IS APPROXIMATELY 2 CFS FROM FIELD MEASUREMENTS. THE DITCH FLOW IS APPROXIMATELY 2 CFS FROM FIELD MEASUREMENTS.

KEY NOTES

1. DIST. 10.0' OF 15" RCP @ 2.0% SLOPE
2. DIST. 11.0' OF 15" RCP @ 2.0% SLOPE
3. DIST. 12.0' OF 15" RCP @ 2.0% SLOPE
4. DIST. 13.0' OF 15" RCP @ 2.0% SLOPE
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6. DIST. 15.0' OF 15" RCP @ 2.0% SLOPE
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14. DIST. 23.0' OF 15" RCP @ 2.0% SLOPE
15. DIST. 24.0' OF 15" RCP @ 2.0% SLOPE
16. DIST. 25.0' OF 15" RCP @ 2.0% SLOPE
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36. DIST. 45.0' OF 15" RCP @ 2.0% SLOPE
37. DIST. 46.0' OF 15" RCP @ 2.0% SLOPE
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39. DIST. 48.0' OF 15" RCP @ 2.0% SLOPE
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90. DIST. 99.0' OF 15" RCP @ 2.0% SLOPE
91. DIST. 100.0' OF 15" RCP @ 2.0% SLOPE

DRAINAGE NARRATIVE




The property for Stonecreek Plat "E" of 16.33 acres located at 400 West and 700 South is proposing a development for residential use. The overall Stonecreek project is approximately 167 acres of the property and has been divided into 167 lots. The zoning for this property is to conform with the city for a planned development that included a large scale park component of the residential subdivision area. The vision of the open space is to create a park-like setting for the Stonecreek Plat "E". The drainage plan is proposed to be collected in a storm drain system with catch basins and pipe to the street along the western portion of the property. The drainage system will be installed with the construction of the lots and ultimately be directed to the permanent detention area at the northern portion of the overall development by the power line corridor. The detention area is located on the eastern side of the property. The property to the north of the detention area is approximately 2.5 acres and is currently undeveloped. The detention area is located on the eastern side of the property. The project requirement of approximately 31,654 ccf of storage would be less than 14 inch on the 20 year. The overall project detention area to the south along the finer Vineyard connector will be coordinated with the LPOD project and future road design. This area is shown on the overall conceptual plan for the 167 acres.



NO.	DATE	DESCRIPTION	BY	CHKD.
1	10/15/23	ISSUED FOR PERMIT	JL	ML
2	10/15/23	ISSUED FOR PERMIT	JL	ML
3	10/15/23	ISSUED FOR PERMIT	JL	ML
4	10/15/23	ISSUED FOR PERMIT	JL	ML
5	10/15/23	ISSUED FOR PERMIT	JL	ML











-
-  Landscaping (22)
 -  Property Boundary (1)
 -  Storm Drain Inlet (9)

LEGEND






-  Landscaped Areas (14)
-  Property Boundary (1)
-  Storm drain Inlet (4)

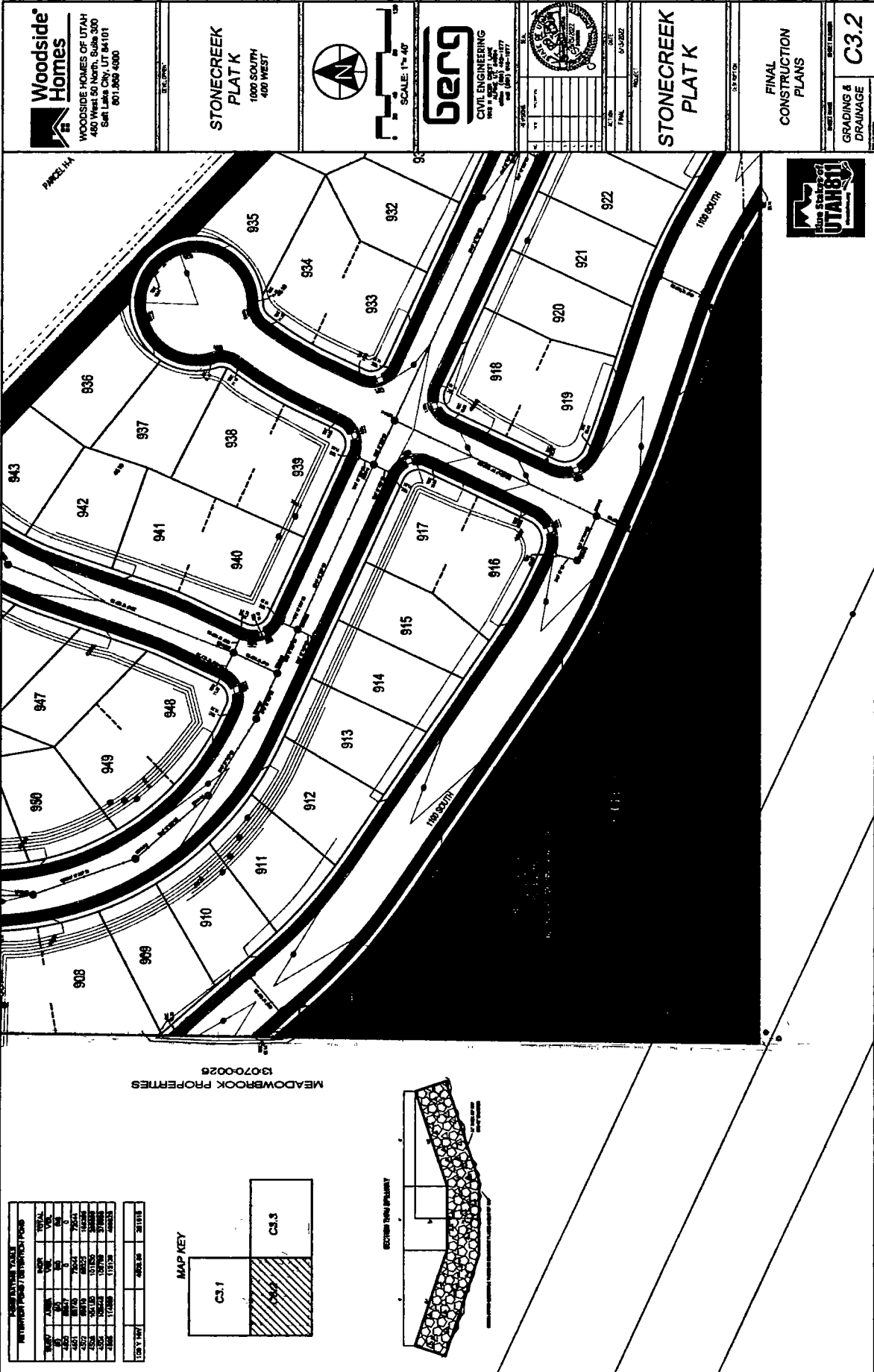


-  Landscaping (14)
-  Property Boundary (2)
-  Storm Drain Inlet (13)

LEGEND



-  Landscaping (11)
-  Property Boundary (1)
-  Storm Drain Inlet (7)



Woodside Homes
 WOODSIDE HOMES OF UTAH
 480 W. 1500 S. SUITE 100
 SALT LAKE CITY, UT 84119
 801.968.4800

**STONECREEK
 PLAT K**
 1000 SOUTH
 400 WEST



SCALE: 1"=40'

BERG
 CIVIL ENGINEERING
 100 S. 1000 W. SUITE 100
 SALT LAKE CITY, UT 84119
 801.466.1177



**STONECREEK
 PLAT K**

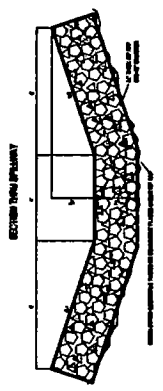
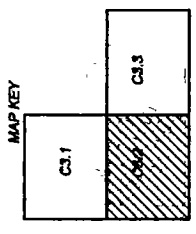
FINAL
 CONSTRUCTION
 PLANS

GRADING &
 DRAINAGE
C3.2



MEADOWBROOK PROPERTIES
 13070-0026

NO.	DATE	REVISION	BY	CHKD.	TOTAL
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MEADOWBROOK PROPERTIES
 13070-0026



-  Landscaping (16)
-  Retention Basin (1)
-  Property Boundary (2)
-  Storm Drain Inlet (20)
-  Outfall (3)
-  Rip Rap (3)

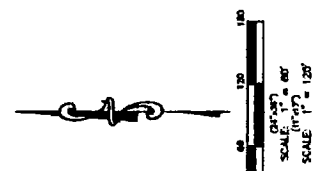
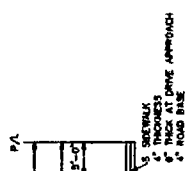
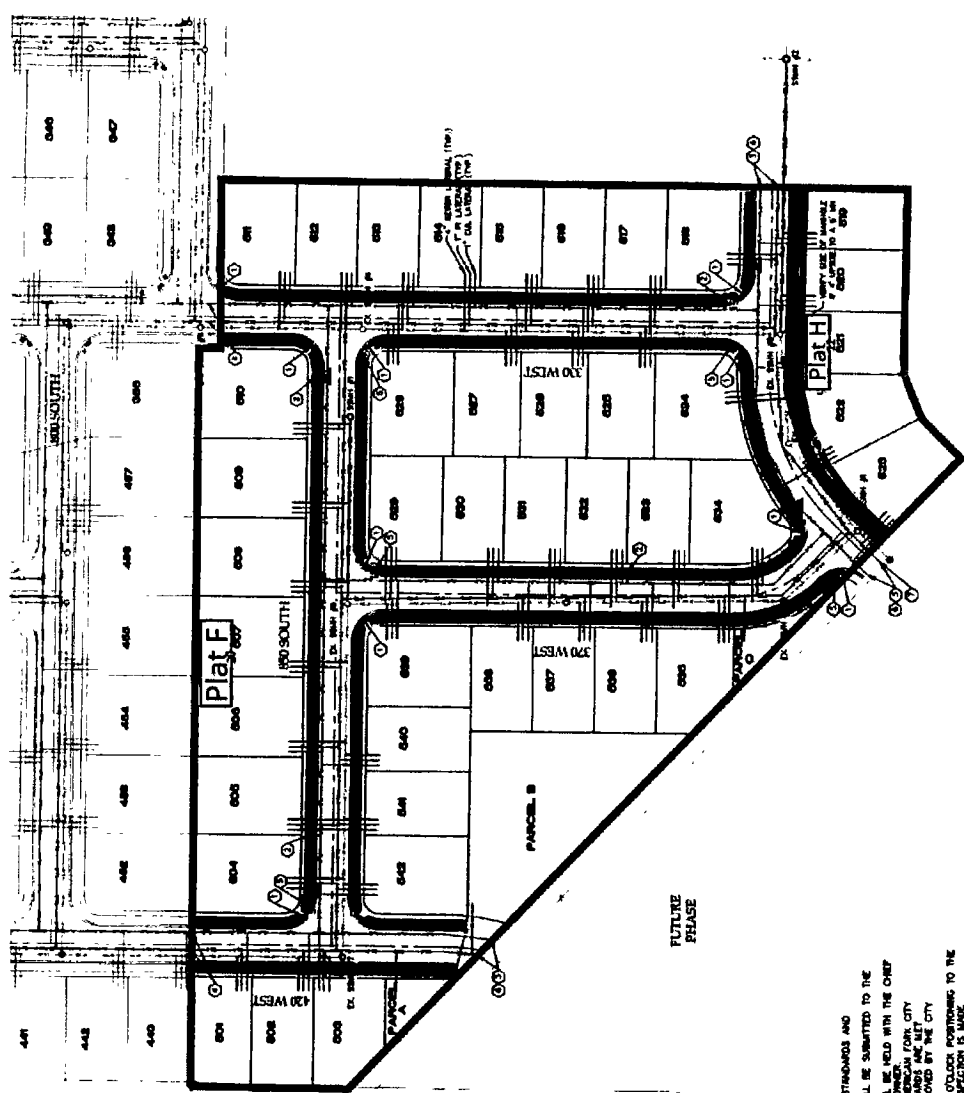
JOB NO. 10-10
SHEET NO. 2

UTILITY

STONECREEK PLAT "F"
A RESIDENTIAL SUBDIVISION

AMERICAN FORK, UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 765-1844



- LEGEND**
- PROPERTY BOUNDARY LINE
 - EXISTING FENCE LINE
 - EDGE OF PARCELS
 - CENTERLINE
 - EXISTENT LINE
 - PROPOSED 8" C-900 PVC PRESSURE MAINLINE WATERLINE
 - PROPOSED 8" C-900 PVC COLLECTOR WATERLINE
 - PROPOSED 8" C-900 PVC STORM DRAIN 8"/IN
 - PROPOSED 8" C-900 PVC STORM DRAIN 8"/IN
 - EXISTING STORM DRAIN 8"/IN
 - EXISTING SANITARY SEWER 8"/IN
 - EXISTING 8" C-900 PVC WATERLINE
 - EXISTING 8" C-900 PVC PIPE WATERLINE
 - FIRE HYDRANT
 - WATER VALVE
 - STREET LIGHT
 - STREET SIGN/STOP SIGN




1. COMST ADA FIDELITY RAMP AS PER AMERICAN FORK CITY STANDARDS (TYP)
2. COMST ADA FIDELITY ASSEMBLY AS PER AMERICAN FORK CITY STANDARDS
3. STUB AND CAP WATER LINES FOR FUTURE CONNECTION
4. CONNECT INTO EXISTING WATER LINES CONTRACTOR TO VERIFY SIZE & LOCATION
5. INSTALL STOP/STREET SIGN PER AMERICAN FORK CITY STANDARDS
6. INSTALL 5" BLOW-OFF AT END OF UTILITY LINES
7. INSTALL A DRAIN CONNECT TO STORM DRAIN

- GENERAL NOTES**
1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARDS AND
 2. PRIOR TO CONSTRUCTION, AN EROSION & SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.
 3. RECONSTRUCTION WORKING SHALL BE HELD WITH THE CHIEF INSPECTOR, CITY ENGINEERS, THE CONTRACTOR AND THE PROPERTY OWNER.
 4. ALL ADA REQUIREMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS AND THE AMERICAN WITH AND APPROVED BY THE CITY ENGINEER.
 5. ALL SANITARY SEWER MAINS AND LATERALS MUST BE INSPECTED AND APPROVED BY THE CITY INSPECTOR BEFORE TRENCH BACKFILLING IS COMPLETED.
 6. CENTER OF THE MAIN LINE AND SHALL BE ENCLOSED IN CONCRETE AFTER INSPECTION IS MADE.
 7. ALL COLLECTOR WATER LINES MUST HAVE A MINIMUM 4" OF COVER.
 8. SEWER LINES TO BE 4" AT DRIVE APPROACHES.



NO.	DATE	BY	DESCRIPTION
1	10/10/23	TR	ISSUED FOR PERMIT
2	10/10/23	TR	ISSUED FOR PERMIT
3	10/10/23	TR	ISSUED FOR PERMIT
4	10/10/23	TR	ISSUED FOR PERMIT

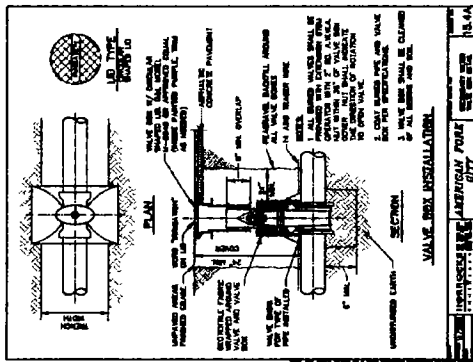
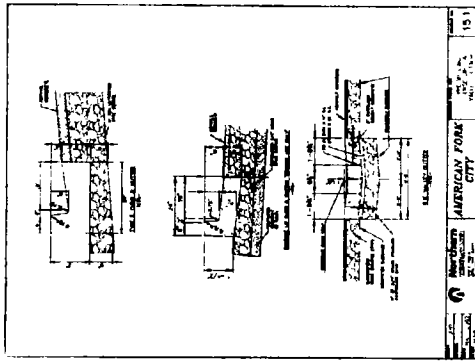
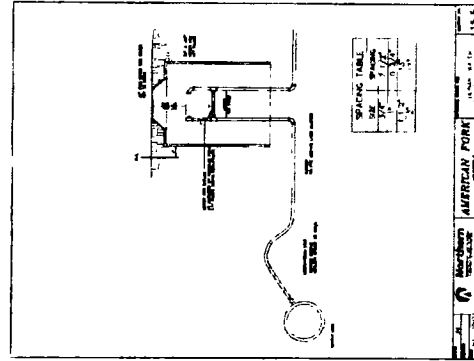
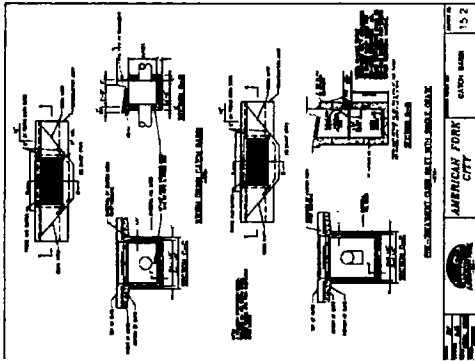
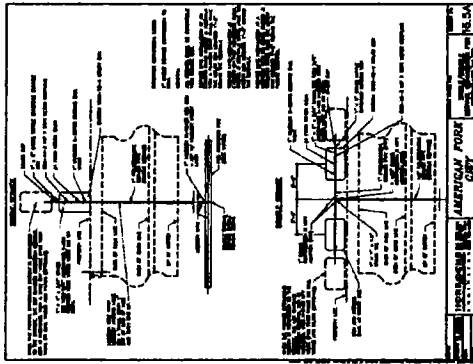
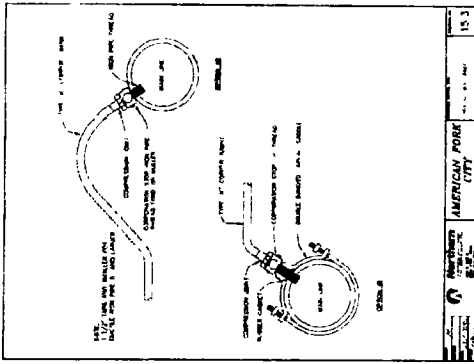
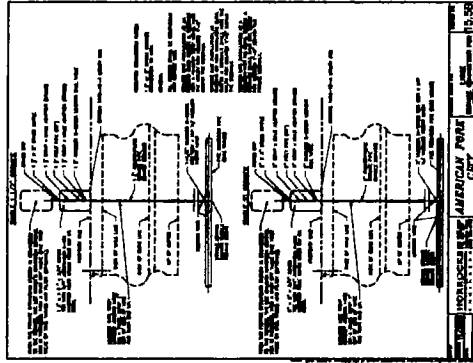
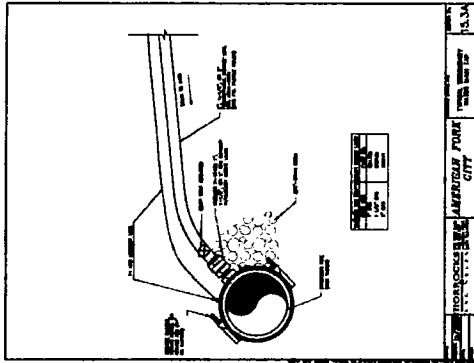
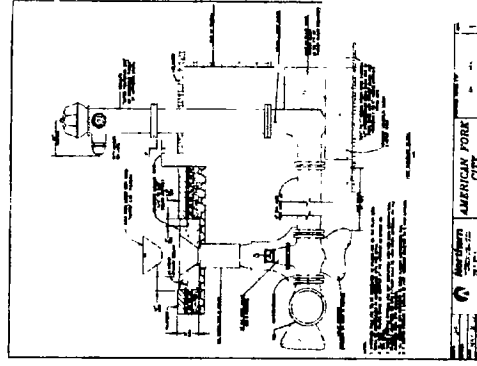
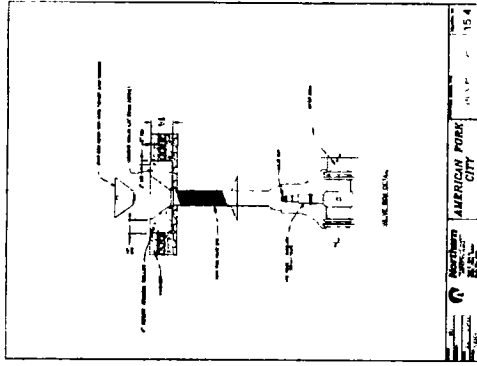


-  Landscaped Areas (14)
-  Property Boundary (2)
-  Storm drain Inlet (4)

Long Term Stormwater Management Plan (LTSMP)

Long Term Stormwater BMP Details

Include all details of the Long Term Stormwater BMPs



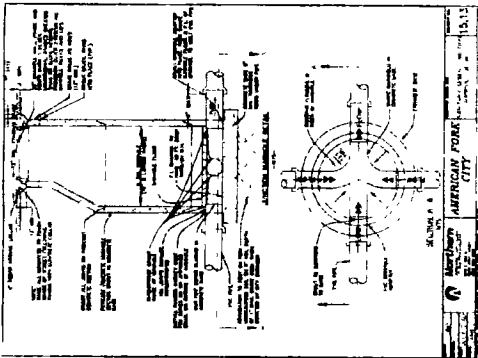
TRANE ENGINEERING, P.C.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 27 EAST MAIN, LEHI, UTAH, 84043 (801) 768-4844

AMERICAN FORK, UTAH

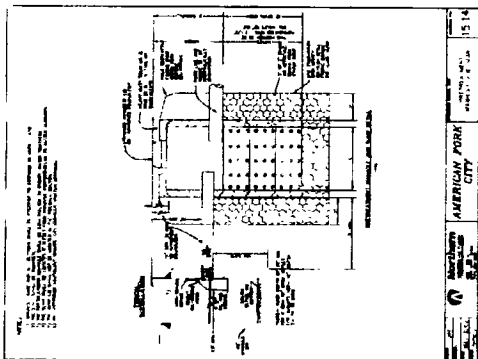
STONECREEK
 A RESIDENTIAL SUBDIVISION

DETAIL SHEET 1

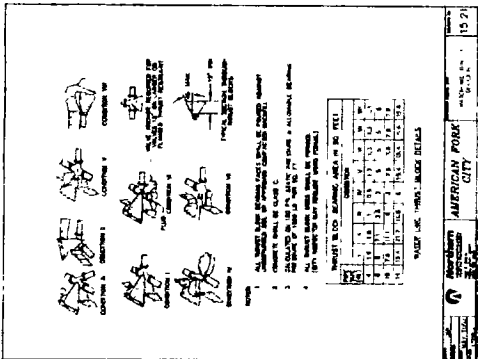
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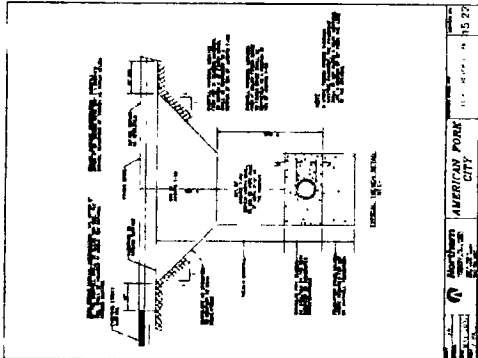
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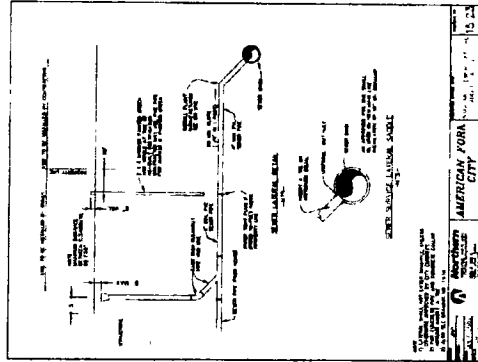
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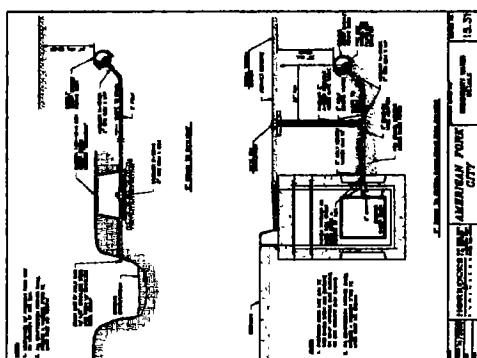
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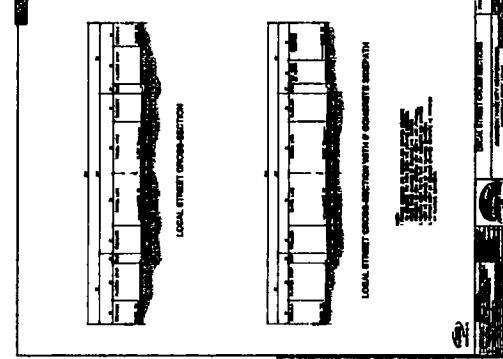
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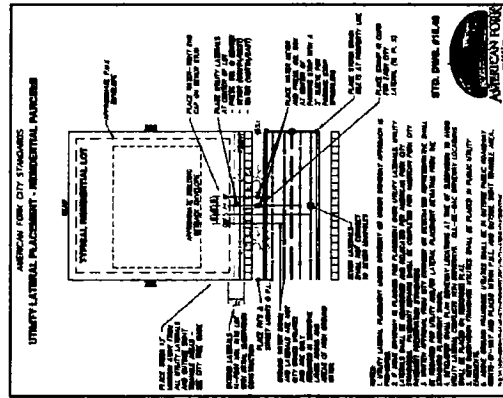
AMERICAN FORK CITY
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AMERICAN FORK CITY
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LOCAL STREET CROSS-SECTION WITH 8' CURBWIDTH (DEPTH)
LOCAL STREET CROSS-SECTION



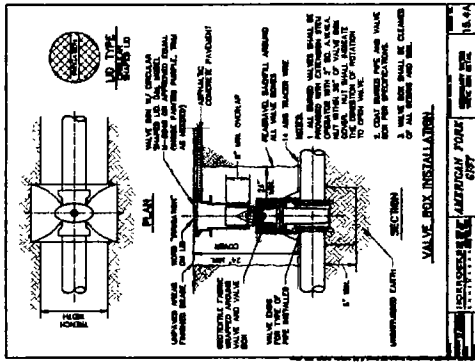
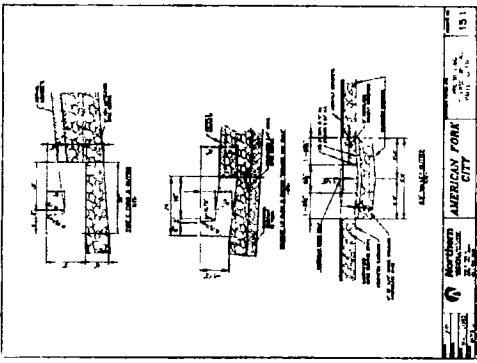
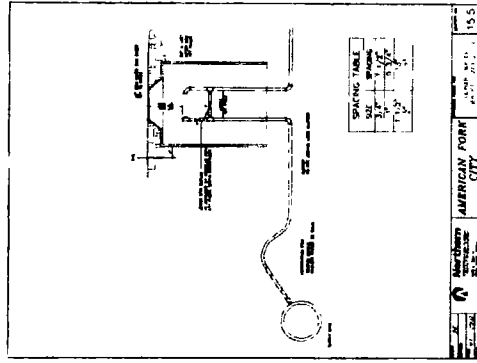
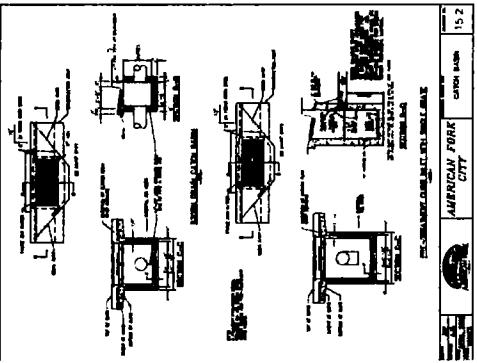
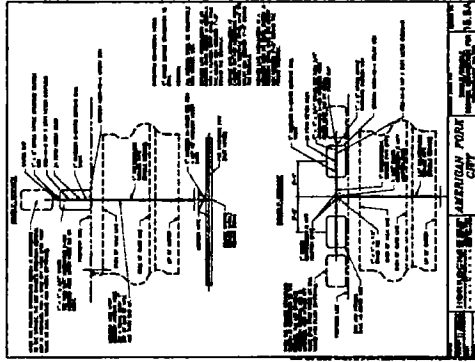
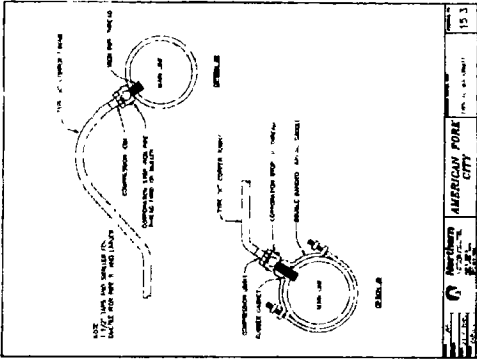
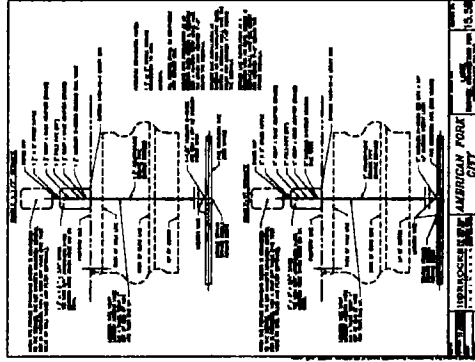
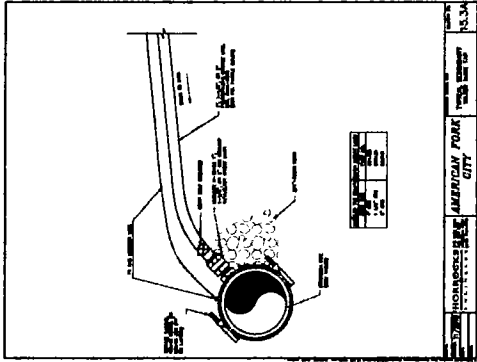
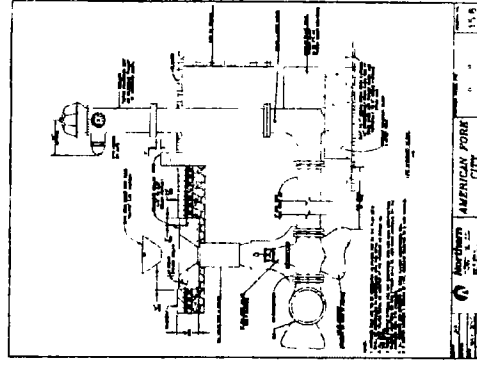
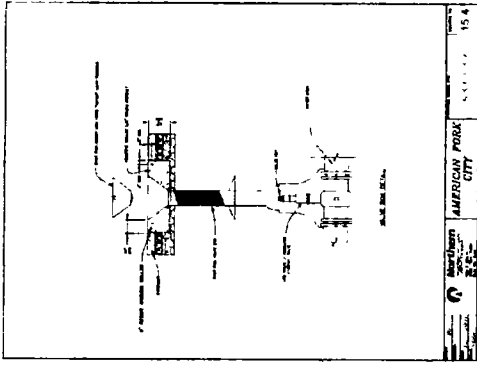
AMERICAN FORK CITY STANARDS
UTILITY/LATHEAL PLACEMENT - RESIDENTIAL PARCHING
TYPICAL RESIDENTIAL LOT
AMERICAN FORK CITY

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27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

AMERICAN FORK, UTAH

STONECREEK
A RESIDENTIAL SUBDIVISION

DETAIL SHEET 2



DETAIL SHEET 1

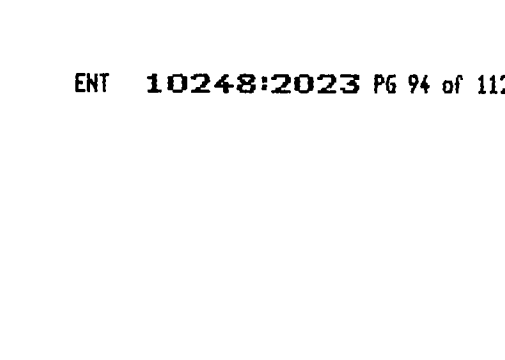
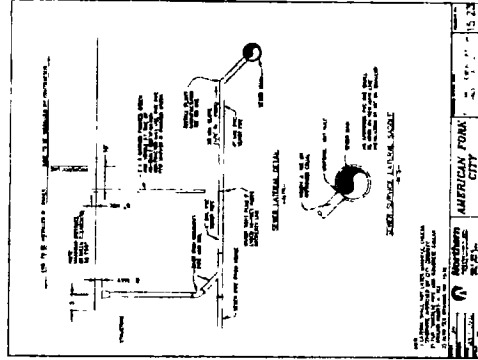
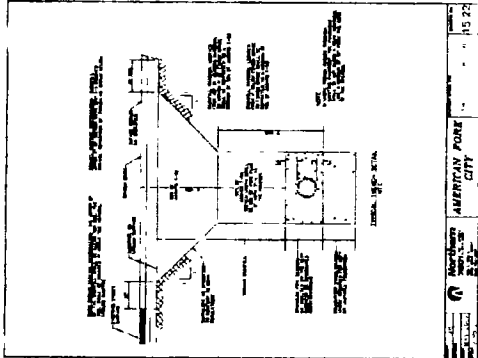
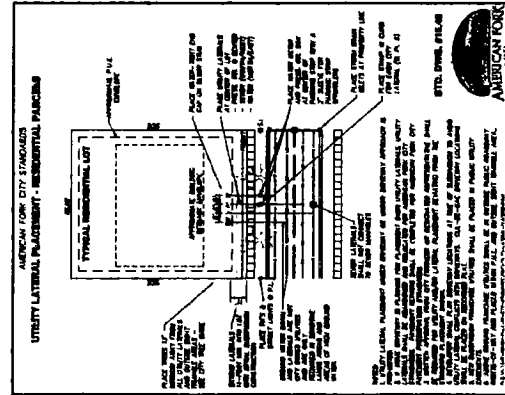
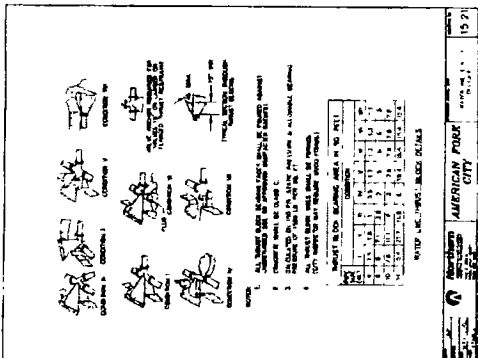
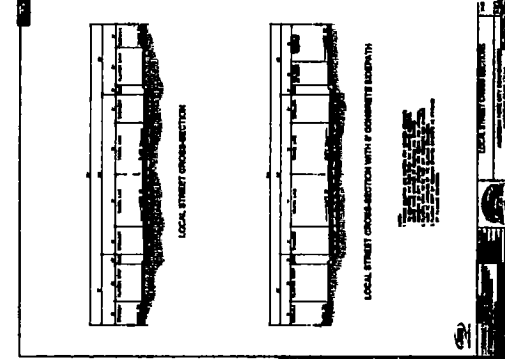
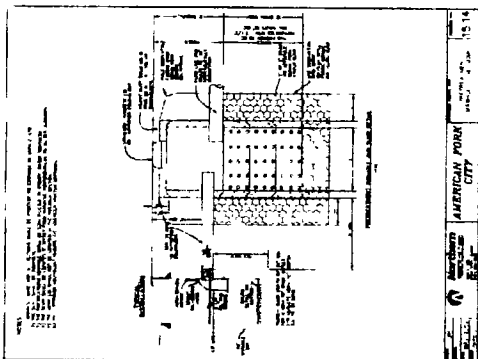
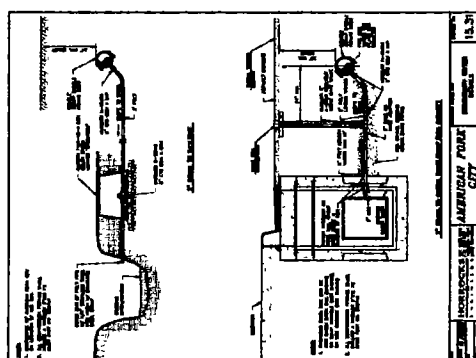
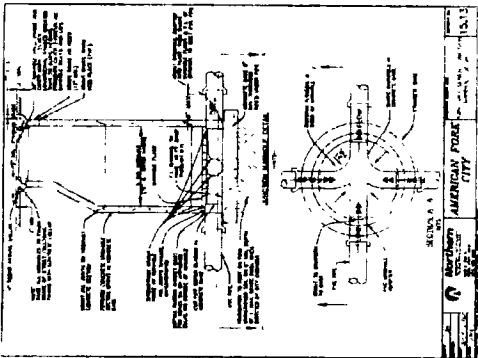
STONECREEK PLAT "B"
A RESIDENTIAL SUBDIVISION

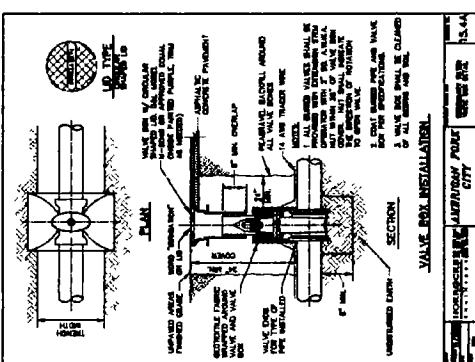
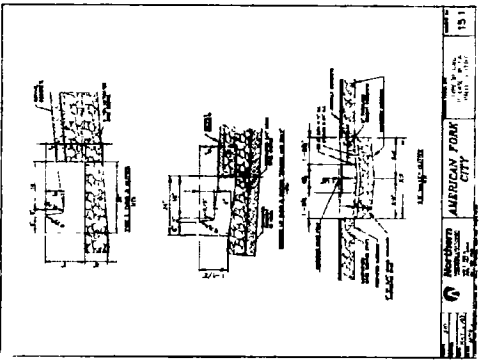
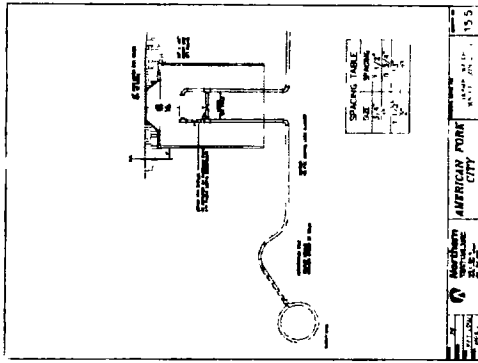
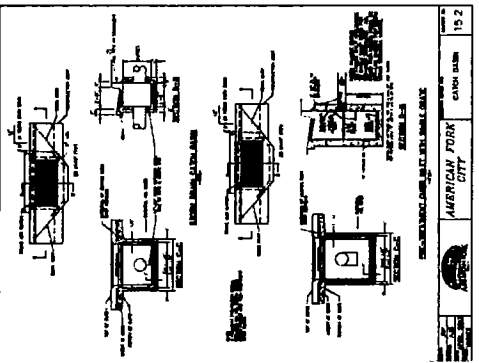
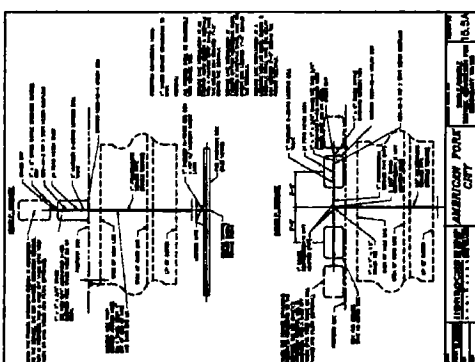
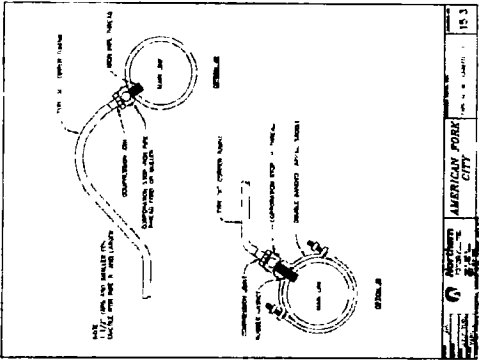
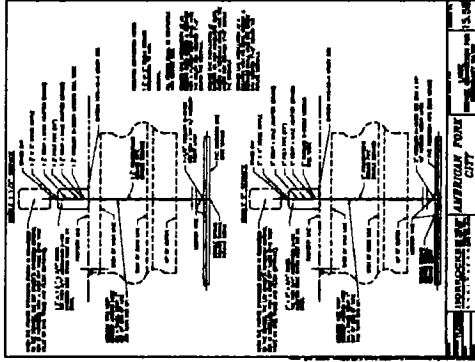
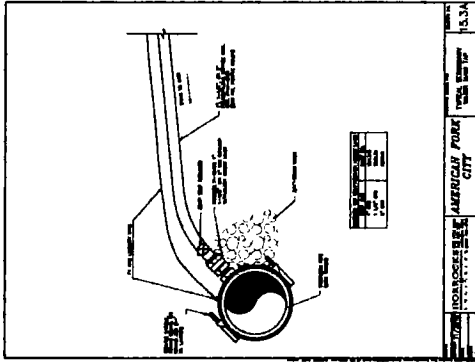
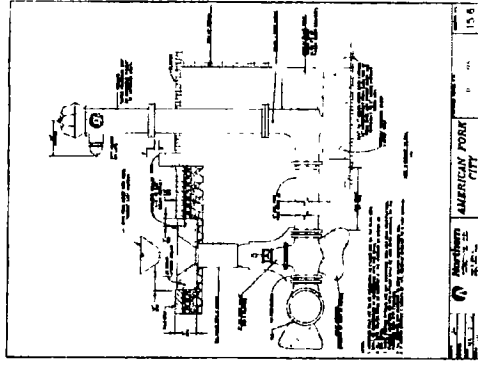
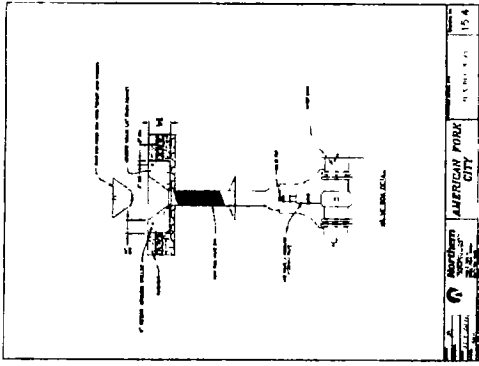
AMERICAN FORK, UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

DATE	BY	REVISION

DATE	BY	REVISION





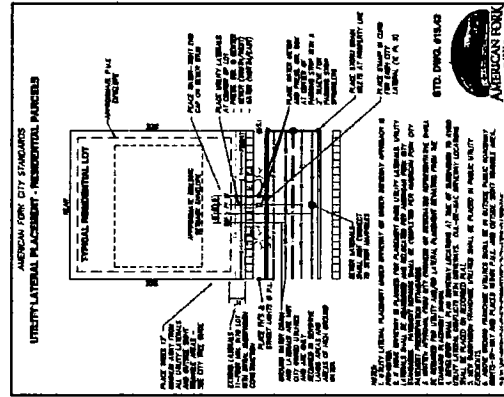
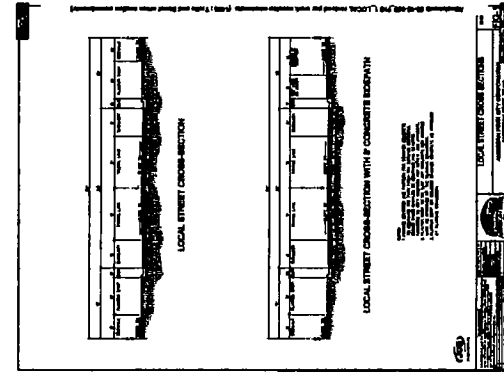
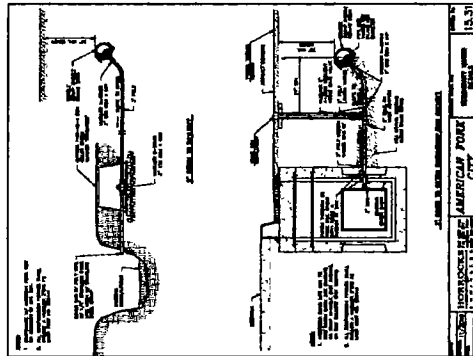
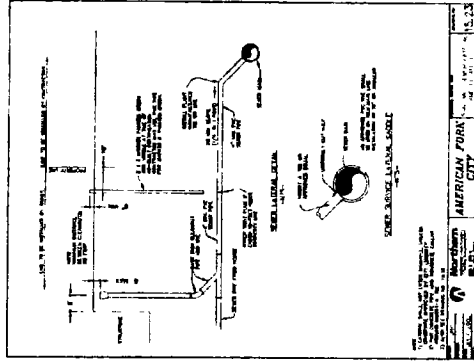
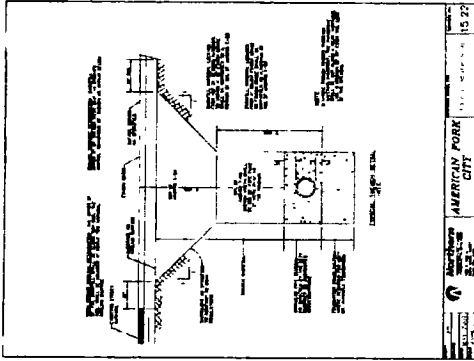
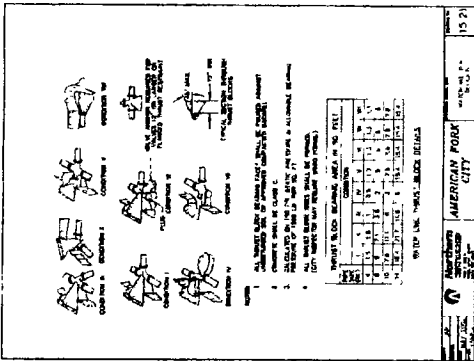
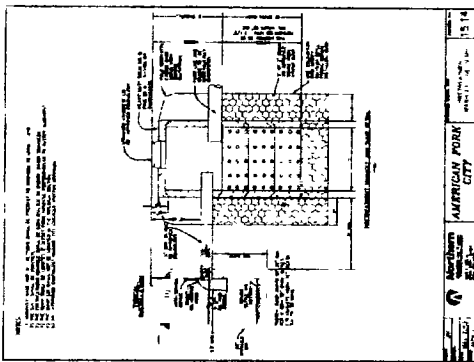
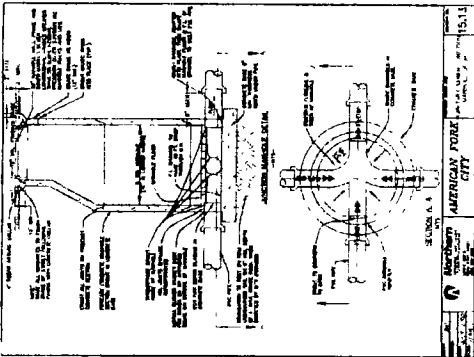
DETAIL SHEET 1

STONECREEK PLAT "C"
A RESIDENTIAL SUBDIVISION

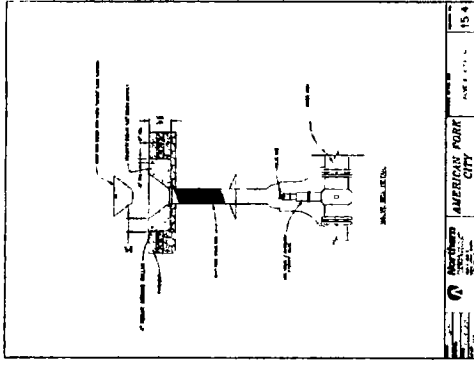
AMERICAN FORK, UTAH

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27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

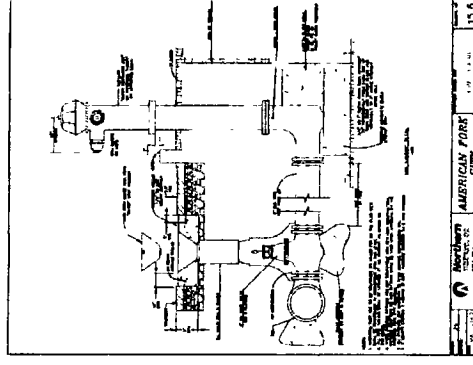
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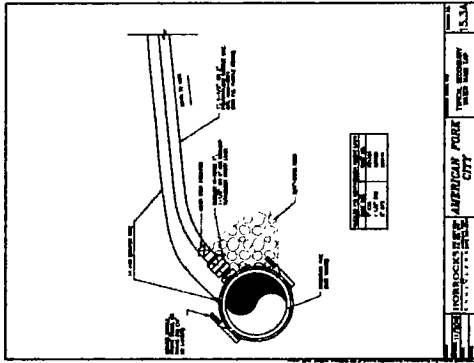
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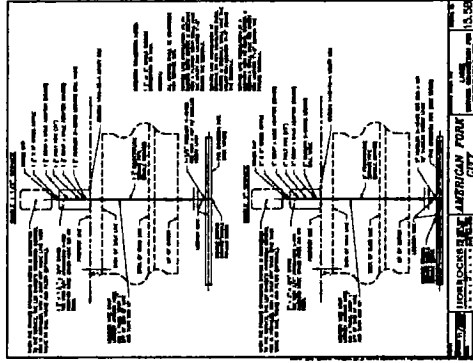
AMERICAN FORK CITY
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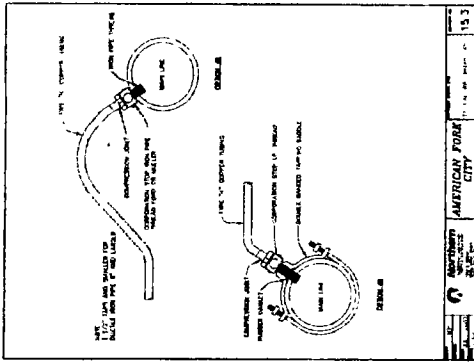
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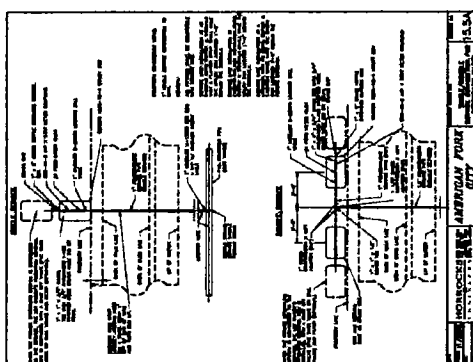
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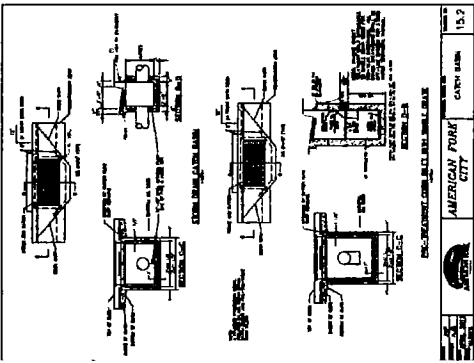
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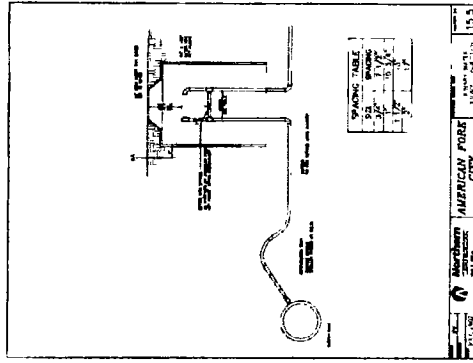
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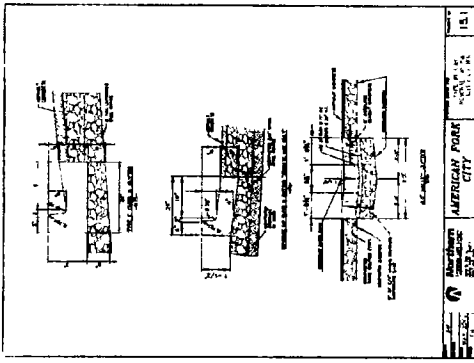
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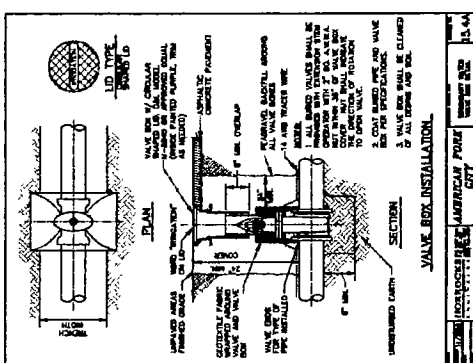
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AMERICAN FORK CITY
15.5



AMERICAN FORK CITY
15.1



AMERICAN FORK CITY
15.4

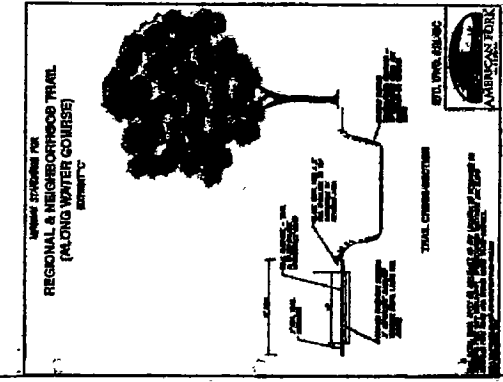
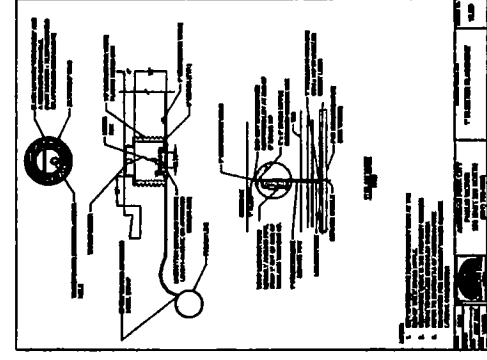
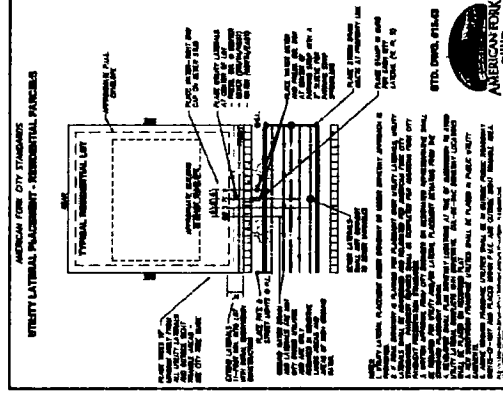
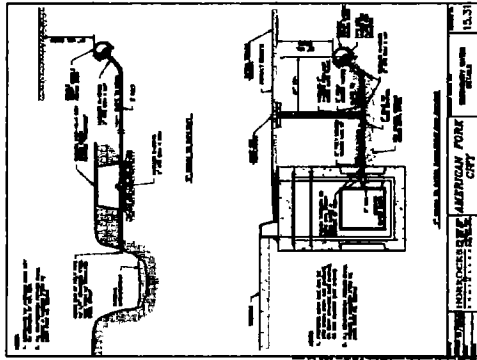
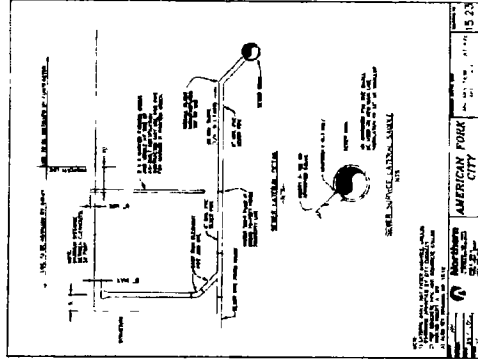
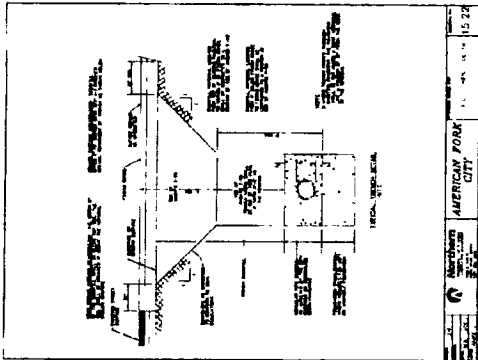
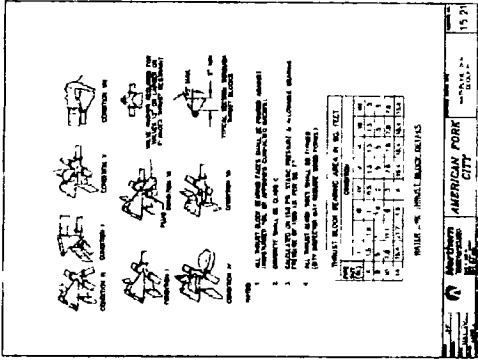
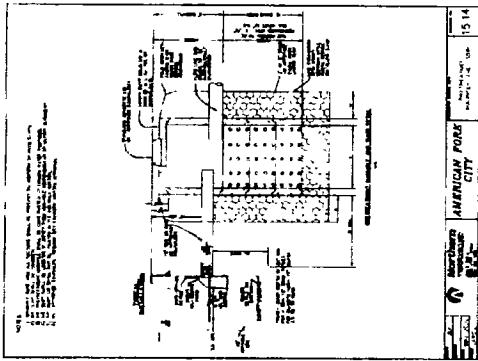
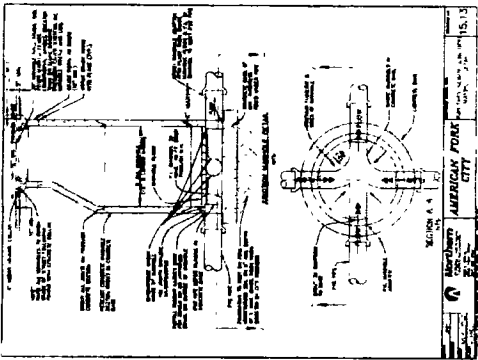
DETAIL SHEET 1

STONECREEK PLAT "D"
A RESIDENTIAL SUBDIVISION

AMERICAN FORK, UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

NO.	DATE	REVISION	BY	CHECKED BY	DATE	SCALE
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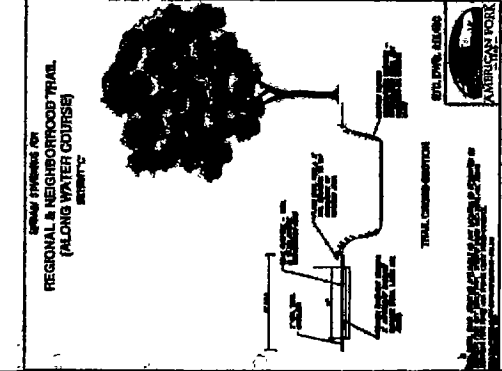
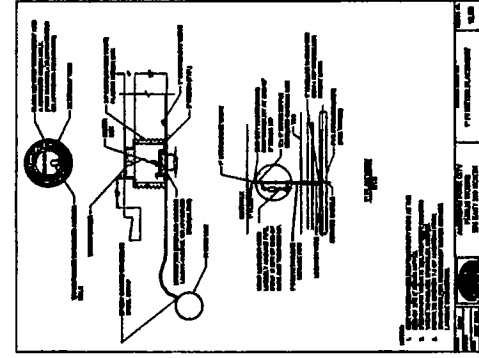
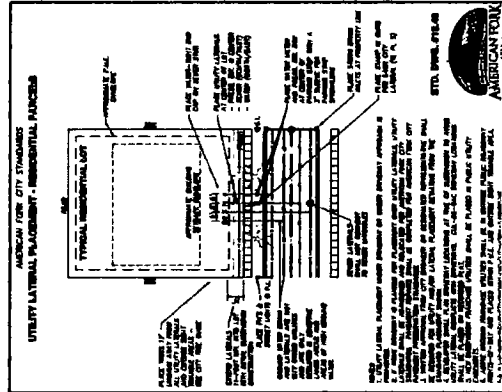
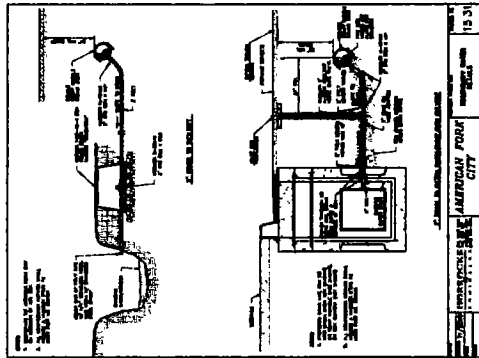
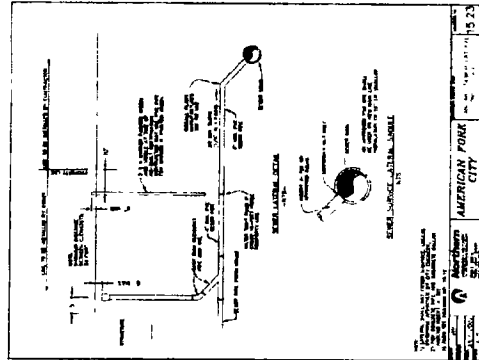
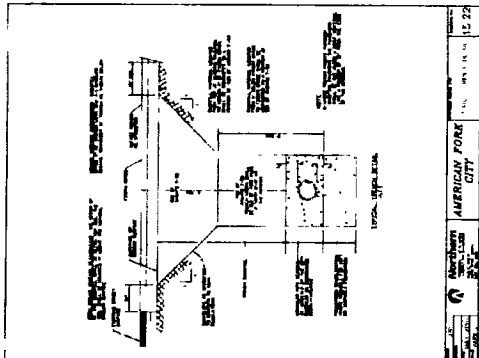
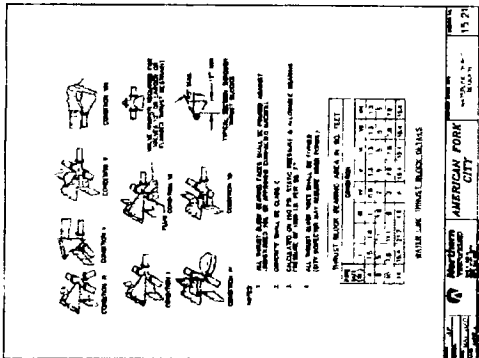
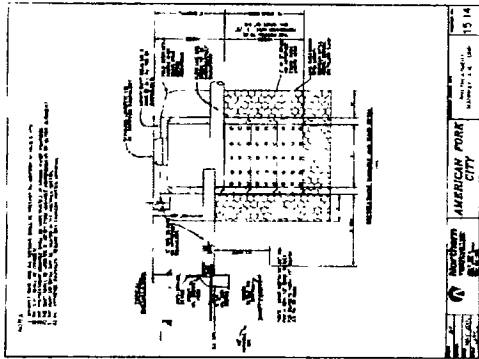
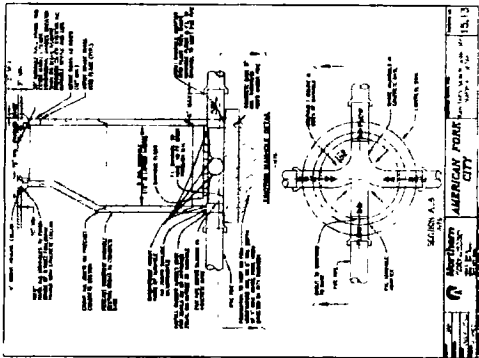
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AMERICAN FORK, UTAH

STONECREEK PLAT "D"
 A RESIDENTIAL SUBDIVISION

DETAIL SHEET 2



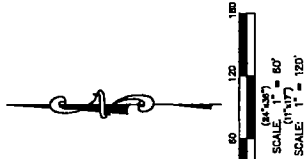
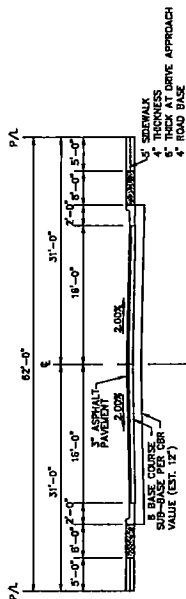
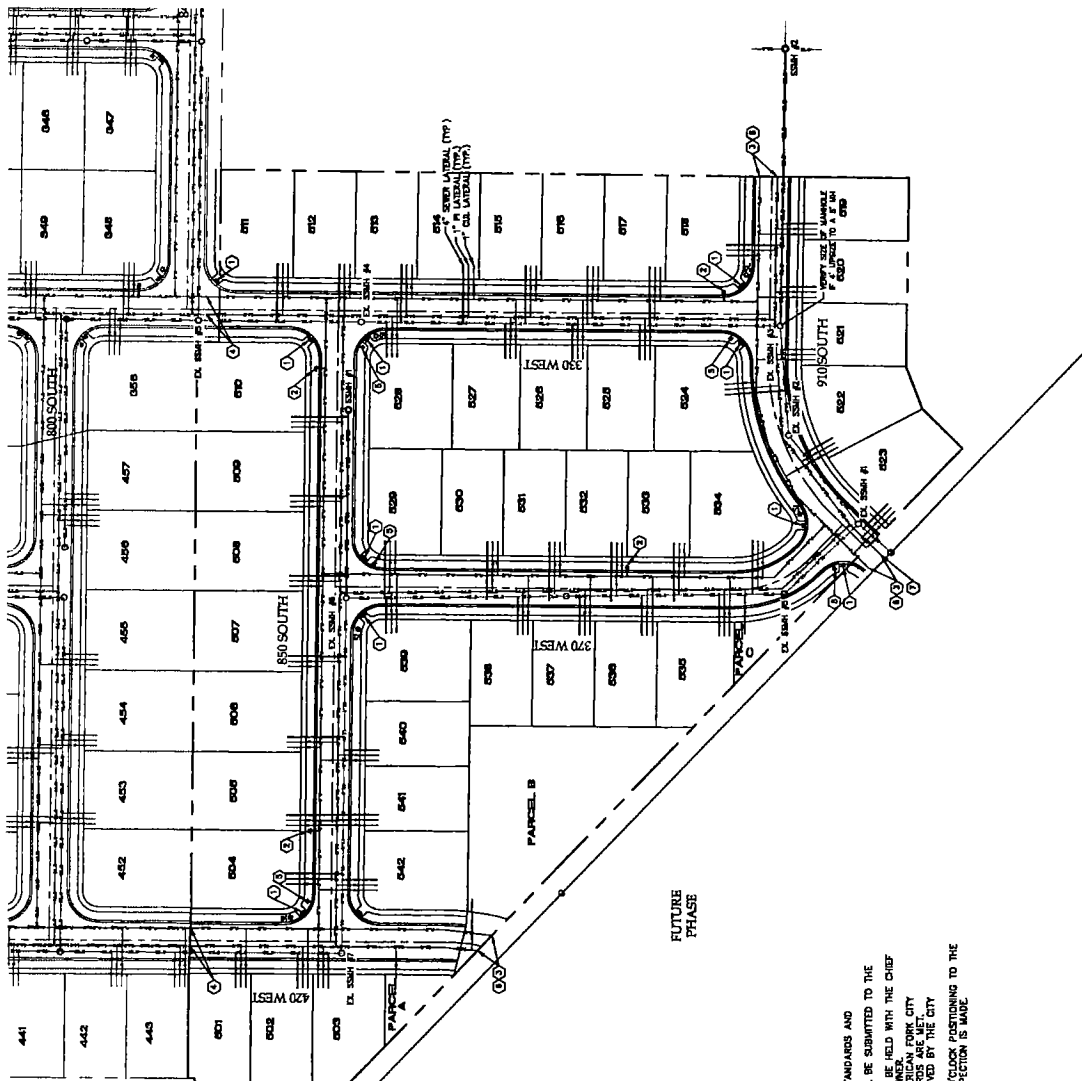
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3	REVISED PER PERMITS	08/15/23	TRANE	TRANE	TRANE
4	REVISED PER PERMITS	08/15/23	TRANE	TRANE	TRANE

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AMERICAN FORK, UTAH

STONECREEK PLAT "E"
 A RESIDENTIAL SUBDIVISION

DETAIL SHEET 2



LEGEND

- X --- PROPERTY BOUNDARY LINE
- X --- EXISTING FENCE LINE
- X --- EDGE OF PAVEMENT
- X --- CENTERLINE
- X --- CASING LINE
- X --- 8" PVC PRESSURE IRRIGATION WATERLINE
- X --- PROPOSED 8" C-800 PVC CULINARY WATERLINE
- X --- PROPOSED 8" C-800 PVC STORM DRAIN W/ MH
- X --- PROPOSED 8" C-800 PVC SANITARY SEWER W/ MH
- X --- EXISTING 8" C-800 PVC PIPE WATERLINE
- X --- EXISTING 8" C-800 PVC PIPE WATERLINE
- X --- FIRE HYDRANT
- X --- STREET LIGHT
- X --- STREET SIGN/STOP SIGN

1. CONST. ADA PEDESTRIAN RAMP AS PER AMERICAN FORK CITY STANDARDS (TYP)
2. CONST. FIRE HYDRANT ASSEMBLY AS PER AMERICAN FORK CITY STANDARDS
3. STUB AND CAP WATER LINES FOR FUTURE CONNECTION
4. CONNECT INTO EXISTING WATER LINES. CONTRACTOR TO VERIFY SIZE & LOCATION.
5. INSTALL STOP/STREET SIGN PER AMERICAN FORK CITY STANDARDS
6. INSTALL 2" BLOW-OFF AT END OF UTILITY LINES
7. INSTALL PI DRAIN CONNECT TO STORM DRAIN

GENERAL NOTES

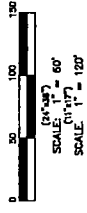
1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, AN EROSION & SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE CITY.
3. PRIOR TO COMMENCEMENT OF ANY WORK, A RECONSTRUCTION MEETING WILL BE HELD WITH THE CHIEF ENGINEER AND THE CITY ENGINEER TO DISCUSS ANY AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR TO ENSURE ALL ADA STANDARDS ARE MET.
4. INSPECTION BEFORE TRENCH BACKFILLING IS COMPLETED.
5. ALL LATERAL CONNECTIONS SHALL INSERT-A-TIE OR WYE AT TEN OR TWO O'CLOCK POSITIONING TO THE CENTER OF THE MAIN LINE AND SHALL BE ENCASED IN CONCRETE. AFTER INSPECTION IS MADE.
6. SEE STANDARD DRAWING #E-43 FOR UTILITY LATERAL PLACEMENT DETAILS.
7. SIDEWALKS TO BE 8" AT DRIVE APPROACHES.



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 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

NO.	DATE	BY	DESCRIPTION
1	12/15/23	PL	DESIGNED BY
2	12/15/23	PL	DRAWN BY
3	12/15/23	PL	CHECKED BY
4	12/15/23	PL	DATE PLOTTED
5	12/15/23	PL	SCALE

AMERICAN FORK, UTAH
STONECREEK PLAT "F"
 A RESIDENTIAL SUBDIVISION



LEGEND

--- PROPERTY BOUNDARY LINE

⊙ DECIDUOUS TREE - 2" CAL

GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO INSTALL STREET TREES ALONG STREET AT A SPACING OF 40' APART.
3. NO TREES TO BE PLANTED INSIDE THE SITE TRIANGLE AS SHOWN IN SECTION 13.01.010.

JOB NO. WS-AF SHEET NO. 10

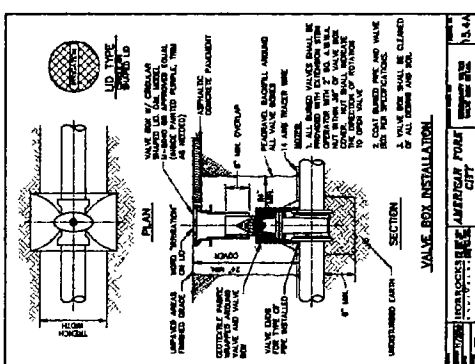
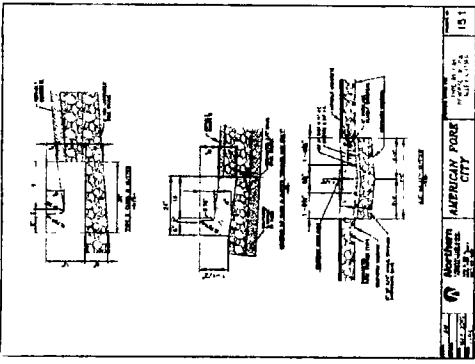
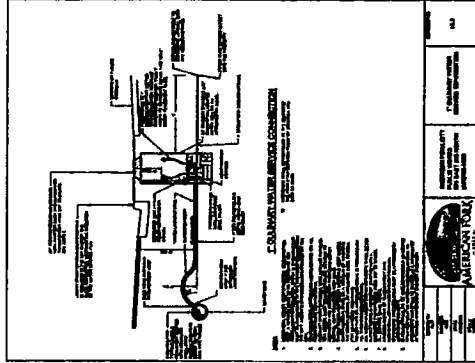
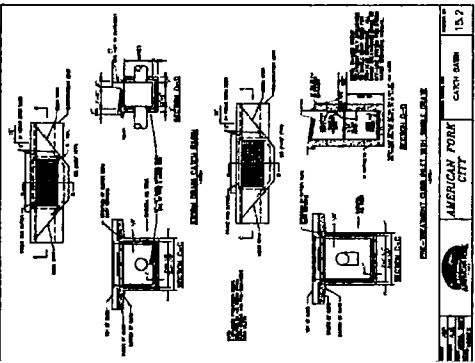
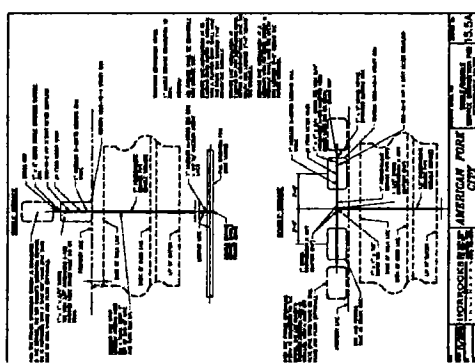
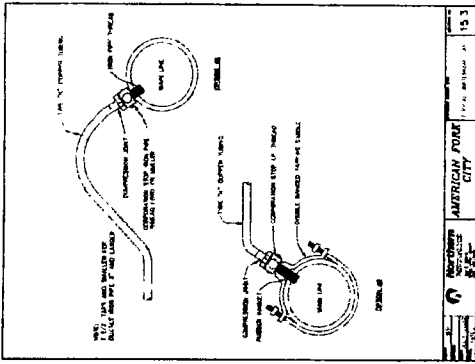
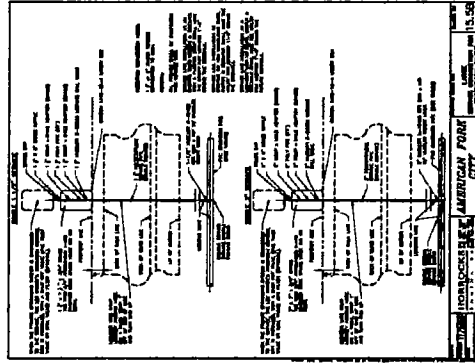
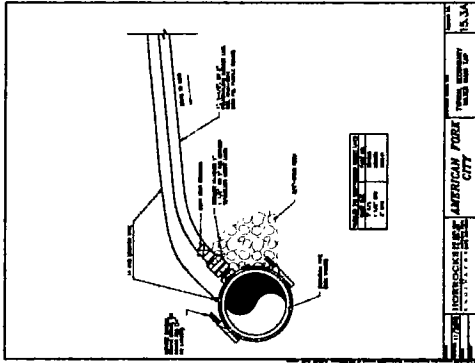
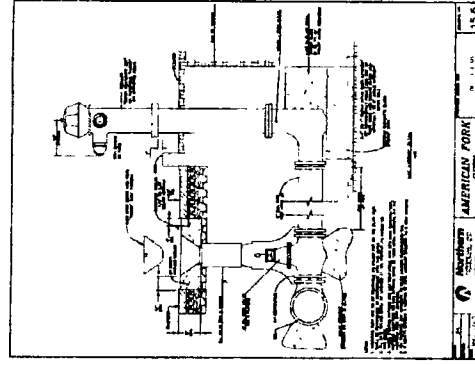
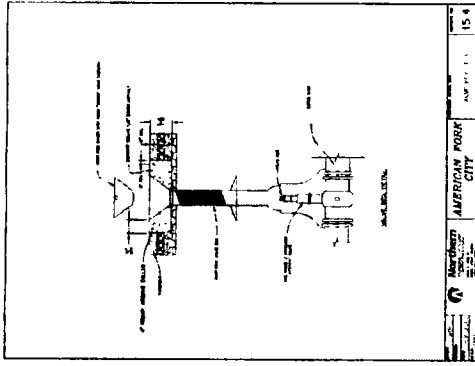
TREE EXHIBIT

STONECREEK PLAT "E"
A RESIDENTIAL SUBDIVISION

AMERICAN FORK,
UTAH

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

NO.	DATE	DESCRIPTION	BY	CHECKED BY	DATE
1					
2					
3					
4					



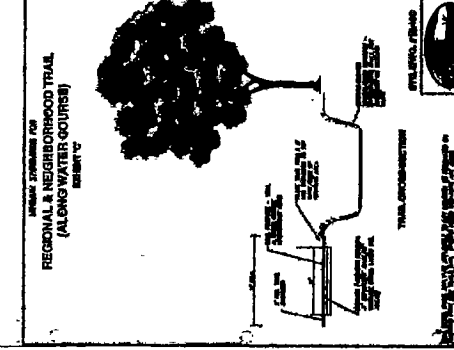
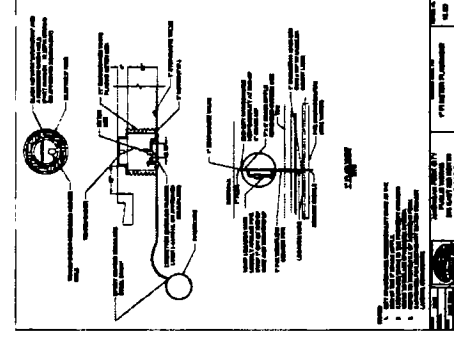
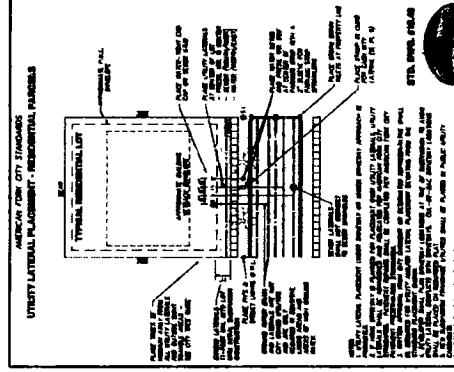
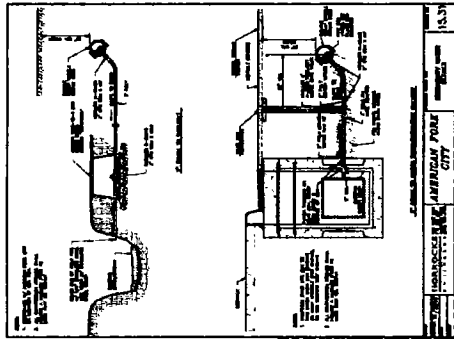
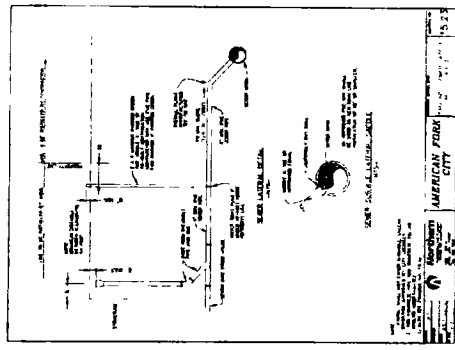
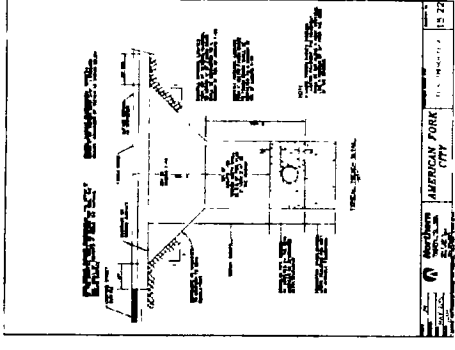
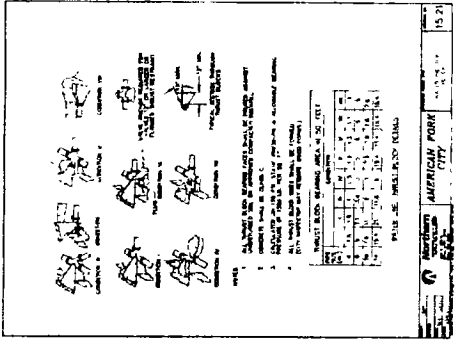
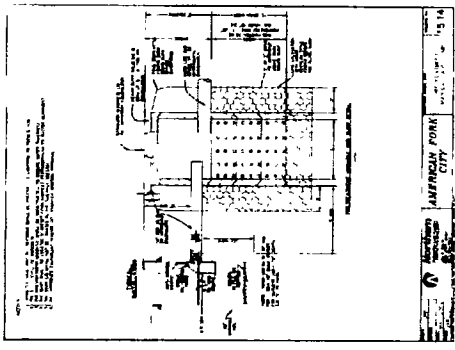
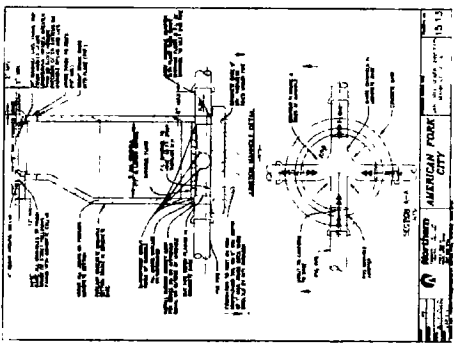
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 CONSULTING ENGINEERS AND LAND SURVEYORS
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

NO.	DATE	DESCRIPTION	BY	CHECKED BY
1				
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AMERICAN FORK CITY
 DETAIL SHEET 1

STONECREEK PLAT "F"
 A RESIDENTIAL SUBDIVISION

AMERICAN FORK, UTAH



NO.	DATE	BY	CHKD. BY
1	10/20/23	JL	JL
2	10/20/23	JL	JL
3	10/20/23	JL	JL
4	10/20/23	JL	JL
5	10/20/23	JL	JL

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4844

AMERICAN FORK, UTAH

STONECREEK PLAT "F"
A RESIDENTIAL SUBDIVISION

DETAIL SHEET 2

JOB NO.-AF
SHEET NO.
9

Exhibit C: Inspections/Maintenance

Inspections will be located on complianceGO

1. Inspections will be performed by:

Name: Derek Terry

Title: Project Manager

Company: Woodside Homes of Utah, LLC

Telephone Number: 801-869-3981

Email: derekt@woodsidehomes.com

Name: Robbie Thompson

Title: Project Manager

Company: Woodside Homes of Utah, LLC

Telephone Number: 801-243-4998

Email: robbie.thomson@woodsidehomes.com

2. Maintenance will be performed by:

Name: Derek Terry

Title: Project Manager

Company: Woodside Homes of Utah, LLC

Telephone Number: 801-869-3981

Email: derekt@woodsidehomes.com

Name: Robbie Thompson

Title: Project Manager

Company: Woodside Homes of Utah, LLC

Telephone Number: 801-243-4998

Email: robbie.thomson@woodsidehomes.com

3. Long Term Stormwater BMPs need to be inspected by a qualified person during installation to ensure the control is properly installed. This will be performed by a qualified person from the City or the design engineer.

Long Term Stormwater Management Plan (LTSMP)

4. List below the schedule for inspections of each of the BMPs listed in Exhibit B:

List of BMPs	Describe the inspection and maintenance schedule
Parking Lots Cleaning and Maintenance	Weekly walk-through and twice annual comprehensive
Winter Snow and Ice Controls and Salt Storage	Weekly during winter months, and once annually in the spring during cleanup (after termination of snow conditions)
Trash and Debris	Twice Annually
Mulches and Soils	Twice Annually
Mowing and Trimming	Walkthrough and cleanup following regular maintenance
Leaves – Autumn Cleanup	Once annually, in the fall (prior to cold weather conditions)
Fertilizer	Walkthrough and cleanup following each application
Storm Inlets & pipes	Twice Annually
Retention Basin	Twice Annually

Long Term Stormwater Management Plan (LTSMP)

Inspection Report

Site Name:		Date of Evaluation					
Site Address:							
Facility Contact information							
	NAME and MAILING ADDRESS			Phone		E- MAIL ADDRESS	
SITE CONTACT:							
INSPECTOR CONTACT:							
Controls Inspected:							
Are SOP's for Stormwater Post Construction Inspections Implemented and available for review? YES NO Circle Answer							
Orifice Required forsite YES Circle Answers		NO		Orifice Size:		Hooded outlet cover (snout) Required forsite YES NO	
Items Inspected	Checked		Maintenance Required?		Is there excessive accumulation of		Observations and Remarks
	Yes	No	Yes	No	Yes	No	
1. Dumping Evidence							
2. Spill Evidence							
3. General Site Exposure							
4. Other Pollution Sources							
5. Stormwater Storage condition and capacity (detention/retention ponds)							
6. Inlets and catch basins							
7. Conveyance System							
8. Manholes							
9. Parking							
10. Waste Collection							
11. Landscaping							
12. Pre-Treatment devices							
13. Sumps							
14. Flow Control devices							
15. Site Specific SOP Items							
16. Other							
Notes:							
Print Name:				Date:			
Signature:				Title or Position			

Long Term Stormwater Management Plan (LTSMP)

BMP Measurement Log

These logs are for BMPs that depend on measurement for cleanout and for Stormwater capacity.

<u>Control Name and Number</u>	<u>Date</u>	<u>Inspection Method</u>	<u>Result</u>

LTSMP Certification

For LTSMPs that are being managed on compliance|**GO** the LTSMP Certification will be located in the documents tab in compliance|**GO**.

Long Term Stormwater Management Plan (LTSMP)

Common Pollutants from Stormwater Discharges

Pollutants	Sources	Consequences of Pollutant
Sediment	Erosion of soils that are not stabilized.	Destruction of aquatic habitat for fish and plants, transportation of attached oils, nutrients and other chemical contamination, increased flooding. Sediment can transport other pollutants that are attached to it including nutrients, trace metals, and hydrocarbons. Sediment is the primary component of total suspended solids (TSS), a common water quality analytical parameter.
Nutrients (Phosphorus, Nitrogen Potassium, Ammonia)	Fertilizers; Plant Debris (grass clippings, leaves); Animal Waste; Sediment	Harmful algal blooms, reduced oxygen in the water, changes in water chemistry and pH. Nutrients can result in excessive or accelerated growth of vegetation, resulting in impaired use of water in lakes and other receiving waters.
Hydrocarbons (Petroleum Products, Benzene, Toluene, Ethyl benzene, Xylene)	Oils; Gasoline; Diesel Fuel; Antifreeze; Plant and Animal Oils;	These pollutants are toxic to humans and wildlife at very low levels. Carcinogenic. Teratogenic.
Heavy Metals	Manufacturing; Industrial Wastes; Vehicles and Equipment; Storage; Batteries; Paints	Metals including lead, zinc, cadmium, copper, chromium and nickel are commonly found in storm water. Metals are of concern because they are toxic to all life at very low levels. Carcinogenic. Teratogenic
Toxic Chemicals (Chlorides) – including Pesticides & Herbicides, Detergents, Soaps	Industrial Chemicals; Pesticides; Herbicides; Detergents; Soaps;	Chemicals are of concern because they are toxic to all life at very low levels. Carcinogenic. Teratogenic.
Trash, Debris, Solids	Wastes	Aesthetically unpleasant. Risk of decay product toxicity. Risk of aquatic animal entrapment or ingestion and death.
Pathogens – Bacteria and Viruses	Animal Waste; Human Waste	Human health risks due to disease and toxic contamination of aquatic life.
Salt	Salt Piles; Car Washing; Snow Removal	Salt can infiltrate into groundwater and contaminate it. Vegetation is damage or killed by salt causing oxygen to be taken out of the water. Aquatic life can be killed or have stunted growth due to salt. Salt also traps food and nutrients preventing fish and animal life from accessing those nutrients
Temperature (Thermal Pollution)	Industrial Waste Water; Removal of Vegetation near streams; lack of vegetation surrounding roads and parking lots	High water temperatures can kill or harm cold water fish. This occurs by slowing of metabolism in fish which causes malnutrition; oxygen depletion in the water; forced migration of the aquatic life.

Amendment Log

Date	Description of the Amendment	PCMP Section	Amendment Prepared by

Training Log

Date	Description of the Training	Attendees Name

Exhibit D: Annual report

Site Name:		Annual Report for Dates:		
Site Address:				
Facility Contact Information				
	NAME and MAILING ADDRESS	Phone	E- MAIL ADDRESS	
SITE CONTACT:				
INSPECTOR CONTACT:				
Inspection Dates:				
1 st Inspection	2 nd Inspection	3 rd Inspection	4 th Inspection	5 th Inspection
Pollutants Found:	Found During Inspection #:	How were Pollutants controlled/disposed?		
Are Controls Functioning Properly?		Yes	No	
Notes:				
Print Name:		Date:		
Signature:		Title or Position		
*Include Training Logs and Inspection Reports with Annual Report when submitting.				