



ENT 109850:2019 PG 1 of 43
JEFFERY SMITH
UTAH COUNTY RECORDER
2019 Oct 24 10:44 am FEE 40.00 BY NG
RECORDED FOR BYBEE, RYAN

When recorded, mail to:

Lehi City Recorder
153 North 100 East
Lehi City, UT 84043

Affects Parcel No(s): 58:027:0056

LONG-TERM STORMWATER MANAGEMENT AGREEMENT

This Long-Term Stormwater Management Agreement ("Agreement") is made and entered into this 26th day of September, 2019, by and between Lehi City, a Utah municipal corporation ("City"), and Cadenca Homes Bldg. Corp., a Utah Corporation ("Owner").

RECITALS

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters within the City, as set forth in the Lehi City Stormwater Ordinance, as amended ("Ordinance"), adopted pursuant to the Utah Water Quality Act, as set forth in *Utah Code Ann.* §§ 19-5-101, *et seq.*, as amended ("Act"); and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in Exhibit "A," attached hereto and incorporated herein by this reference ("Property"); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to accommodate and regulate these anticipated changes in existing storm and surface water flow conditions, the Owner is required to build and maintain at Owner's expense a storm and surface water management facility or improvements ("Stormwater Facilities"); and

WHEREAS, the Stormwater Facilities are more particularly described and shown in the final site plan or subdivision approved for the Property and related engineering drawings, and any amendments thereto, which plans and drawings are on file with the City and are hereby incorporated herein by this reference ("Development Plan"); and

WHEREAS, a summary description of all Stormwater Facilities, details and all appurtenance draining to and affecting the Stormwater Facilities and establishing the standard operation and routine maintenance procedures for the Stormwater Facilities, and control measures installed on the Property, ("Long-Term Stormwater Management Plan" or "LTSWMP") are more particularly shown in Exhibit "B" on file with the Lehi City Recorder and,

WHEREAS, as a condition of Development Plan approval, and as required as part of the City's Small MS4 UPDES General Permit from the State of Utah, the Owner is required to enter into this Agreement establishing a means of documenting the execution of the Long-Term Stormwater Management Plan;

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the City's approval of the Long-Term Stormwater Management Plan, and the mutual covenants contained herein, the parties agree as follows:

Section 1

Construction of Stormwater Facilities. The Owner shall, at its sole cost and expense, construct the Stormwater Facilities in accordance with the Development Plans and specifications, and any amendments thereto which have been approved by the City.

Section 2

Maintenance of Stormwater Facilities. The Owner shall, at its sole cost and expense, adequately maintain the Stormwater Facilities. Owner's maintenance obligations shall include all system and appurtenance built to convey stormwater, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance, for purposes of this Agreement, is defined as good working condition so that the Stormwater Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Stormwater Facilities in good working condition.

Section 3

Annual Maintenance Report of Stormwater Facilities. The Owner shall, at its sole cost and expense, inspect the Stormwater Facilities and submit an inspection report and certification to the City annually. The purpose of the inspection and certification is to assure safe and proper functioning of the Stormwater Facilities. The annual inspection shall cover all aspects of the Stormwater Facilities, including, but not limited to, the parking lots, structural improvements, berms, channels, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification as to whether adequate

maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by June 30th of each year and shall be on forms acceptable to the City.

Section 4

City Oversight Inspection Authority. The Owner hereby grants permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Stormwater Facilities upon reasonable notice not less than three (3) business days to the Owner. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Stormwater Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with the Act, the Ordinance, and the Long-Term Stormwater Management Plan.

Section 5

Notice of Deficiencies. If the City finds that the Stormwater Facilities contain any defects or are not being maintained adequately, the City shall send the Owner written notice of the defects or deficiencies and provide Owner with a reasonable time, but not less than sixty (60) days, to cure such defects or deficiencies. Such notice shall be confirmed delivery to the Owner or sent certified mail to the Owner at the address listed on the records of the Utah County Tax Assessor.

Section 6

Owner to Make Repairs. The Owner shall, at its sole cost and expense, make such repairs, changes or modifications to the Stormwater Facilities as may be determined as reasonably necessary by the City within the required cure period to ensure that the Stormwater Facilities are adequately maintained and continue to operate as designed and approved.

Section 7

City's Corrective Action Authority. In the event the Owner fails to adequately maintain the Stormwater Facilities in good working condition acceptable to the City, after due notice of the deficiencies as provided in Section 5 and failure to cure, then, upon Owner's failure to cure or correct within thirty (30) days following a second notice delivered to Owner, the City may issue a Citation punishable as a Misdemeanor in addition to any EPA fine. The City may also give written notice that the facility storm drain connection will be disconnected. Any damage resulting from the disconnection is subject to the foregoing cure periods. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Stormwater Facilities, and in no event shall this Agreement be construed to impose any such obligation on the City. The actions described in this Section are in addition to and not in lieu of any and all equitable remedies available to the City as provided by law for the Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

Section 8

Reimbursement of Costs. In the event the City, pursuant to this Agreement, incurs any costs, or expends any funds resulting from enforcement or cost for labor, use of equipment, supplies, materials, and the like related to storm drain disconnection from the city system, the Owner shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City. After the thirty (30) days, such amount shall be deemed delinquent and shall be subject to interest at the rate of ten percent (10%) per annum. The Owner shall also be liable for any collection costs, including attorneys' fees and court costs, incurred by the City in collection of delinquent payments.

Section 9

Successor and Assigns. This Agreement shall be recorded in the Utah County Recorder's Office and the covenants and agreements contained herein shall run with the land. Whenever the Property shall be held, sold, conveyed or otherwise transferred, it shall be subject to the covenants, stipulations, agreements and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property described herein.

Section 10

Severability Clause. The provisions of this Agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Agreement shall not be affected thereby.

Section 11

Utah Law and Venue. This Agreement shall be interpreted under the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Utah County, Utah.

Section 12

Indemnification. This Agreement imposes no liability of any kind whatsoever on the City, and the Owner agrees to hold the City harmless from any liability in the event the Stormwater Facilities fail to operate properly. The Owner shall indemnify and hold the City harmless for any and all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against the City from failure of the Owner to comply with its obligations under this Agreement relating to the Stormwater Facilities.

Section 13

Amendments. This Agreement shall not be modified except by written instrument executed by the City and the Owner of the Property at the time of modification. No modification shall be effective until recorded in the Utah County Recorder's Office.

Section 14

Subordination Requirement. If there is a lien, trust deed or other property interest recorded against the Property, the trustee, lien holder, etc., shall be required to execute a subordination agreement or other acceptable recorded document agreeing to subordinate their interest to this Agreement.

Section 15

Exhibit B. The Long-Term Stormwater Management Plan (LTSWMP) must adapt to change in good judgment when site conditions and operations change and when existing programs are ineffective. Exhibit B will not be filed with this Agreement at the County Recorder but is included by this reference and shall kept on file with the City Recorder. Revision applications must be filed with the City Stormwater Division and amended into the LTSWMP on file with the Lehi City recorder.

STORMWATER FACILITIES MAINTENANCE AGREEMENT

SO AGREED this 26th day of September 20 19

PROPERTY OWNER

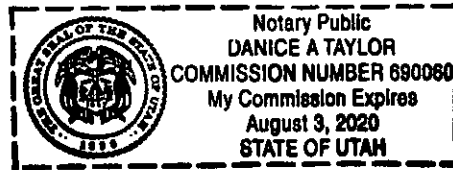
By: [Signature] Title: President

By: _____ Title: _____

STATE OF UTAH)
:SS.
COUNTY OF UTAH)

The above instrument was acknowledged before me by Ryan Bybee, this 26 day of September, 2019.

[Signature]
Notary Public
Residing in: Utah County
My commission expires: 8/31/2020

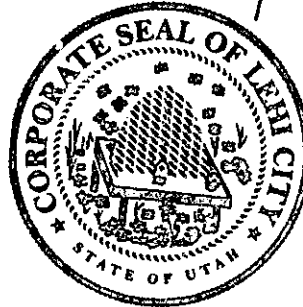


LEHI CITY

By: [Signature] Mayor

Date: 9/30/2019

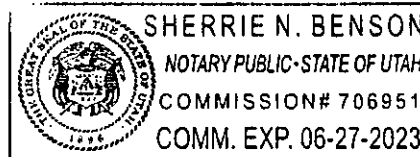
Attest: [Signature] City Recorder



STATE OF UTAH)
:SS.
COUNTY OF UTAH)

The above instrument was acknowledged before me by Mark Johnson, this 30 day of September, 2019.

[Signature]
Notary Public
Residing in: Utah County
My commission expires: 10-27-2023



Attachments:

Exhibit A: Plat and Legal Description

Exhibit B: Long-Term Stormwater Management Plan, on file with the Lehi City Recorder

EXHIBIT A

58:027:0056

Commencing at a point which is South 00°27'25" West 223.37 feet along the section line and West 964.41 feet from the East Quarter Corner of Section 12, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence South 00°11'34" East 183.00 feet; thence South 43°34'06" West 77.29 feet; thence South 00°00'03" West 176.08 feet; thence North 89°59'57" West 390.85 feet; thence South 01°15'13" West 106.66 feet; thence South 14°18'02" East 176.69 feet; thence South 00°02'19" West 172.08 feet; thence North 89°59'57" West 13.57 feet; thence Westerly 83.32 feet along a 328.00 foot radius curve to the left (chord bears: South 82°43'25" West 83.09 feet); thence Northwesterly 24.14 feet along a 15.00 foot radius curve to the right (chord bears: North 58°26'32" West 21.62 feet); thence South 73°24'15" West 56.14 feet; thence South 89°45'34" West 168.86 feet; thence North 04°35'08" East 57.79 feet; thence North 15°38'29" West 253.90 feet; thence North 72°14'00" West 117.32 feet; thence North 17°45'57" East 188.76 feet; thence North 14°04'30" East 120.71 feet; thence North 06°58'22" West 163.37 feet; thence North 32°00'04" West 125.94 feet; thence North 64°21'20" East 129.16 feet; thence North 72°22'25" East 321.09 feet; thence South 03°17'27" East 176.17 feet; thence South 89°59'57" East 482.01 feet to the point of beginning. Parcel contains: 12.99 acres

EXHIBIT B

ENT 109850:2019 PG 9 of 43

Long-Term Stormwater Management Plan

for:

Cadence Homes Building Corp.
2801 North Thanksgiving Way, Suite 100
Lehi, Utah 84043

Owner: Cadence Homes Building Corp.
2801 North Thanksgiving Way, Suite 100
Lehi, Utah 84043
801-768-0500

Maintenance Contact: Owner: Cadence Homes Building Corp.
2801 North Thanksgiving Way, Suite 100
Lehi, Utah 84043
801-768-0500

PURPOSE AND RESPONSIBILITY

As required by the Clean Water Act and resultant local regulations, including the Lehi Municipal Separate Storm Sewer Systems (MS4) Permit, those who develop land are required to build and maintain systems to minimize litter and contaminants in stormwater runoff that pollute waters of the State.

This Long-Term Stormwater Management Plan (LTSWMP) describes the systems, operations and the minimum standard operating procedures (SOPs) necessary to manage pollutants originating from or generated on this property. Any activities or site operations at this property that contaminate water entering the City's stormwater system and generate loose litter must be prohibited, unless SOPs are written to manage those activities or operations, and amended into this LTSWMP.

The Jordan River is presently impaired but does not have a Total Maximum Daily Load (TMDL). This LTSWMP is aimed at addressing these impairments in addition to all other pollutants that can be generated by this property.

CONTENTS

SECTION 1: SITE DESCRIPTION, USE AND IMPACT
SECTION 2: TRAINING
SECTION 3: RECORDKEEPING
SECTION 4 APPENDICES

ENT 109850:2019 PG 10 of 43

SECTION 1: SITE DESCRIPTION, USE AND IMPACT

The site infrastructure and operations described in this Section are limited at controlling and containing pollutants that if managed improperly can contaminate the environment. The LTSWMP includes standard operations procedures (SOPs) that are intended to compensate for the limitations of the site infrastructure. The property manager must use good judgment and conduct operations appropriately, doing as much as possible indoors and responsibly managing operations that must be performed outdoors.

Instructions:

- The purpose of this section is to help the Operator understand that the property can impact water quality and why it is important to maintain the property according to this LTSWMP.
- Describe site infrastructure, structural controls and any low impact development designs (LIDs) necessary to control and contain pollutants. Identify the limitations of the infrastructure at controlling and containing pollutants. It is important the Operator, staff, service contractors and anyone else involved in onsite operations and activities understand the unique exposures, operations and infrastructure which impact the storm drain systems.
- Describe both business operations and maintenance activities that generate pollutants.
- Briefly identify the need for SOP that are necessary to compensate for the limitations of the site infrastructure and operations. Create SOPs to manage the site functions, and maintenance operations. Include the SOPs in Appendix B.
- Refer to the LTSWMP example provided as a separate download to create the site descriptions required in this Section.
- Generally most sites will have the following infrastructure listed in this Section, however, the designer is expected to add or remove descriptions to accurately represent the unique site infrastructure needing controls.

Impervious Infrastructure, Including Parking, Sidewalk, and Flatwork

[Describe the impervious infrastructure and how its presence and maintenance practices can impact water quality. When paved surfaces are designed to include Low Impact Design (LID) infrastructure, describe the water quality benefits. Incorporating LID infrastructure can reduce the level of controls necessary for SOPs. Identify the necessary SOPs and include them in Appendix B.]

Any sediment, leaves, debris, spilt fluids or other waste that collects on our parking lots and sidewalks will be carried by runoff to our storm drain inlets. This waste material will settle in our storm drain system increasing maintenance costs and any waste dissolving in the runoff will pass through our system ultimately polluting the Jordan River. Maintenance involves regular sweeping, but it can also involve pavement washing to remove stains, slick spots, and improve appearance when necessary. The Pavement Maintenance and the Pavement Washing SOPs are used to manage the pollutants associated with our pavements.

Landscaping

[Describe the vegetation and/or xeriscape infrastructure and how its presence and maintenance practices impacts water quality. When the landscape design includes LID infrastructure, describe the water quality benefits. Incorporating LID designs into landscape infrastructure can reduce the level of controls necessary for SOPs. Identify the necessary SOPs and include them in Appendix B.]

Our landscape operations, including mowing, pruning, hand digging etc., can result in grass clippings, sticks, branches, dirt, mulch, including fertilizers, pesticides and other pollutants to fall or be left on our paved areas. The primary pollutant impairing the Jordan River is organic material so it is vital that the paved areas with direct connection to the City storm drain systems remain clean of landscape debris. The Landscape Maintenance SOP is written to control and manage this potential pollution source affecting the Jordan River.

Storm Drain System

[Describe the stormwater system including surface, impoundment, conveyance system and structural water quality infrastructure and how its presence and maintenance practices impacts water quality. Incorporating LID designs and structural water quality devices into stormwater infrastructure can reduce the level of controls necessary for SOPs. Identify the necessary SOPs and include them in Appendix B.]

The storm drain inlets direct all runoff to a detention pond and though a stormwater treatment unit that is designed to capture floating material and heavier sediment particles, but does not trap suspended or dissolved pollutants. This device is susceptible to bypass and scour during large storm events and the dissolved pollutants can harm the Jordan River. Also, the stormwater treatment system holds water that can breed mosquitoes. It is important to regularly maintain this system to protect the Jordan River and prevent mosquito breeding. The Storm Drain Maintenance SOP is written to control and manage this system.

Waste Management

[Describe the waste management system infrastructure and how its presence and maintenance practices impacts water quality. When the waste control design includes LID infrastructure, describe the water quality benefits. Incorporating LID into waste control infrastructure can reduce the level of controls necessary for the SOP. Identify the necessary SOPs and include them in Appendix B.]

The 6-yard dumpster and trash receptacles with lids are intended to prevent precipitation exposure minimizing liquids that can leak to pavements and from haul trucks. Lids will also prevent the light weight trash carried off by wind. Good waste management systems, if managed improperly, can become the source of the very pollution that they were intended to control. The Waste Management SOP is written to control and manage the waste we generate.

Utility System

[Describe the utility infrastructure and how its presence and maintenance practices impacts water quality. Incorporating LID into the building utility infrastructure can reduce the level of controls necessary for SOPs. Identify the necessary SOPs and include them in Appendix B.]

The roof-top utility system is exposed to our roof drains, which drain to our pavements. This heating and air conditioner unit contains oils and other chemicals that can harm the Jordan River if allowed to drain off our property. Liquids and other waste generated by maintenance of this system can be appropriately managed by the Spill Containment and Cleanup SOP.

Snow and Ice Removal Management

[Describe the snow and ice operations and how it can impact water quality. Incorporating LID designs can reduce the level of controls necessary for SOPs necessary to manage this operation. Identify the necessary SOPs and include them in Appendix B.]

Salt is a necessary pollutant and is vital to ensuring a safe parking and pedestrian path system. However, the snow removal operations improperly managed will increase our salt impact to local water resources and to our own vegetation.

Equipment / Outside Storage

[Describe any outside storage facilities or operations and how it can impact water quality. Incorporating LID designs can reduce the level of controls necessary to manage impacts caused by outside storage and related functions. Identify the necessary SOPs and include them in Appendix B.]

SECTION 2: TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage and maintain the property. Maintenance contractors must use the stronger of their Company and the LTSWMP SOPs. File all training records in Appendix C.

SECTION 3: RECORDKEEPING

Maintain records of operation and maintenance activities in accordance with SOPs. Mail a copy of the record to Lehi City Stormwater Division annually.

SECTION 4: APPENDICES

Instructions:

- Include all drawings, details, SOPs and other supporting information referenced in Sections 1.
- Ensure the LTSWMP is updated with any as-built plans, details and SOP changes prior to releasing the project, and NOI.

Appendix A- Site Drawings and Details

Appendix B- SOPs

Appendix C- Recordkeeping Documents

ENT 109850:2019 PG 15 of 43

APPENDIX A – SITE DRAWINGS AND DETAILS

ENT 109850:2019 PG 16 of 43

STORM WATER MANAGEMENT PLAN

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE 2016 LEHI CITY STANDARDS AND SPECIFICATIONS
 2. THE CONTRACTOR IS TO FOLLOW THE BMP DETAILS AS OUTLINED AND ACCORDING TO LEHI CITY STANDARDS.
 3. CONTRACTOR SHALL TAKE REASONABLE EFFORT TO LIMIT MUD AND SEDIMENT CARRIED ONTO CITY STREETS
 FROM THE CONSTRUCTION SITE TO THE CLOSE OF EACH WORK DAY.
 4. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION FENCES.

5. PRE-CONSTRUCTION 'C' VALUE IS 0.15. POST-CONSTRUCTION 'C' VALUE IS 0.27
 6. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH
 MULCH OR TEMPORARY SEEDING.
 7. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE
 APPROVED EROSION CONTROL PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT
 CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 8. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION
 CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
 9. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION FENCES AND SHALL BE RESPONSIBLE FOR ACCESS POINT
 TO THE SITE. CONTRACTOR TO EVALUATE PRIOR TO THE END OF EACH DAY AND CLEAN AS NECESSARY.

KEYED NOTES

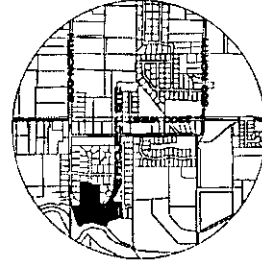
- ① METAL SILT FENCE OR STRAW BALE SEDIMENT BARRIER OR EQUIVALENT MEASURE AROUND STORM DRAIN INLETS.
- ② INSPECT INLET PROTECTION AFTER STORM EVENT.
- ③ UPON COMPLETION OF CURB AND GUTTER, PROTECT INLETS WITH FILTER FABRIC AND COURSE GRAVEL OR EQUIVALENT MEASURE.

CONSTRUCTION ENTRANCE

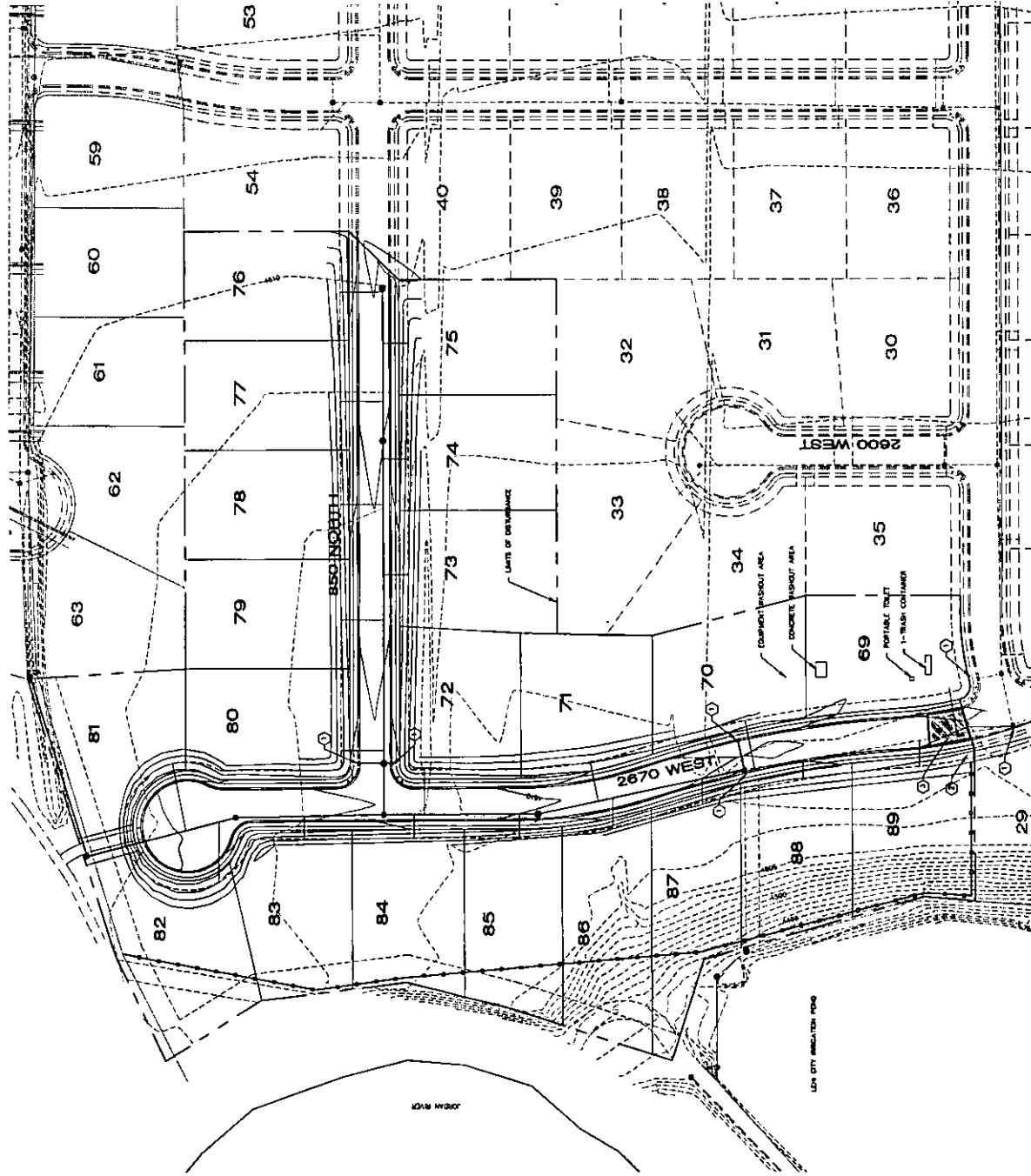
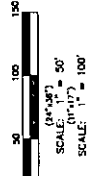
- 1. CONSTRUCTION ENTRANCE TO BE INSTALLED WITH CRUSHED STONE AT A LOCATION WHERE THE SURFACE IS NOT SUBJECT TO WEAR AND TEAR.
- 2. PROVIDE BERMING AT WASH AREA AS NEEDED TO PREVENT SOIL LOADED WASH WATER FROM ENTERING THE STORM WATER FACILITIES.
- 3. GRAVEL AREA TO BE OF SUFFICIENT SIZE TO ACCOMMODATE THE TRAFFIC.

LEGEND

- SILT FENCE/ EARTHEN BERM
- STORAGE AREA**
- 1. CONTAIN SURFACE OF ONSITE MATERIALS TO WATERWAYS NEARBY.
- 2. ENSURE ALL ONSITE PERSONNEL UTILIZE DESIGNATED STORAGE AREA. DO NOT STORE MATERIALS ON SITE.
- 3. COVER MATERIALS WHEN OUTSIDE THE STORAGE AREA OR WHEN NOT IN USE AND PROTECT DRAIN SYSTEM WHEN IN USE.



VICINITY MAP



CADENCE HOMES
 501 N. Homesteading Way
 Salt Lake City, UT 84043

BELLECOUR ESTATES PLAT 'F'
 A RESIDENTIAL SUBDIVISION

LEHI, UTAH

TRANE ENGINEERING, P.C.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

NO.	DATE	BY	REVISIONS
1	10/20/17	TRANE	ISSUE FOR PERMITS
2	11/15/17	TRANE	REVISED PER COMMENTS
3	12/15/17	TRANE	REVISED PER COMMENTS
4	01/15/18	TRANE	REVISED PER COMMENTS
5	02/15/18	TRANE	REVISED PER COMMENTS
6	03/15/18	TRANE	REVISED PER COMMENTS
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84	09/15/24	TRANE	REVISED PER COMMENTS
85	10/15/24	TRANE	REVISED PER COMMENTS
86	11/15/24	TRANE	REVISED PER COMMENTS
87	12/15/24	TRANE	REVISED PER COMMENTS
88	01/15/25	TRANE	REVISED PER COMMENTS
89	02/15/25	TRANE	REVISED PER COMMENTS
90	03/15/25	TRANE	REVISED PER COMMENTS
91	04/15/25	TRANE	REVISED PER COMMENTS
92	05/15/25	TRANE	REVISED PER COMMENTS
93	06/15/25	TRANE	REVISED PER COMMENTS
94	07/15/25	TRANE	REVISED PER COMMENTS
95	08/15/25	TRANE	REVISED PER COMMENTS
96	09/15/25	TRANE	REVISED PER COMMENTS
97	10/15/25	TRANE	REVISED PER COMMENTS
98	11/15/25	TRANE	REVISED PER COMMENTS
99	12/15/25	TRANE	REVISED PER COMMENTS
100	01/15/26	TRANE	REVISED PER COMMENTS

JOB: CABRELL
 SHEET NO.: 6

SWF6

BELLECOUR ESTATES PLAT 'F' CONSTRUCTION PLANS

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, LEHI, UTAH

prepared for:
CADENCE HOMES
3400 NORTH ASHTON BLVD
SUITE #180
LEHI, UT 84043
PHONE: (801) 768-0500

prepared by:
TRANE ENGINEERING
27 EAST MAIN STREET
LEHI, UT 84043
PHONE: (801) 768-4544

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE DONE AS PER THE 2018 EDITION OF THE LEHI CITY DESIGN STANDARDS AND PUBLIC IMPROVEMENT SPECIFICATIONS AND LEHI CITY POWER STANDARDS.
2. ALL ADA ACCESSIBLE SIDEWALK RAMPS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 EDITION OF THE LEHI CITY DESIGN STANDARDS AND PUBLIC IMPROVEMENTS.
3. ONE (1) COLOR ELECTRONIC COPY OF AS BUILT DRAWINGS, FORMATTED IN ACCORDANCE WITH SECTION 3.07 OF THE 2018 EDITION OF THE LEHI CITY DESIGN STANDARDS, INCLUDING: WATER, SEWER, STORM DRAIN AND POWER.
4. PRIOR TO CONSTRUCTION, AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE LEHI CITY ENGINEER FOR REVIEW AND APPROVAL.
5. PRIOR TO COMMENCEMENT OF ANY WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE LEHI CITY ENGINEER, CHIEF BUILDING OFFICIAL, CITY INSPECTOR, THE UTILITY PROVIDER AND THE PROPERTY OWNER.
6. THE BASE DENSITY IS 80 LOTS FOR THIS PROPERTY. AN INCREASE OF 1 LOT IS ALLOWED FOR THIS PROPERTY. THE INCREASED LOT IS TO BE CONSTRUCTED AT THE CONSTRUCTION OF TRAIL CONNECTIONS TO JORDAN RIVER TRAIL. CONSTRUCTION OF BLACK WENT COATED DRAIN LANE ALONG PROPERTIES ADJOINING LEH CITY P. POND.

UTILITIES AND SERVICES
NATURAL GAS
ELECTRIC
LEH POWER
TELEPHONE
CABLE TELEVISION

NO.	DATE	REVISIONS	BY	DATE	BY
1		REVISED TO	UT		UT
2		REVISED TO	UT		UT
3		REVISED TO	UT		UT
4		REVISED TO	UT		UT

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

LEHI, UTAH

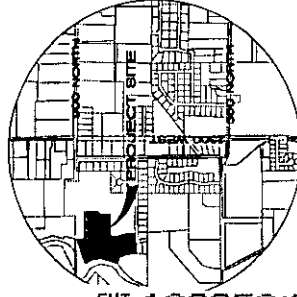
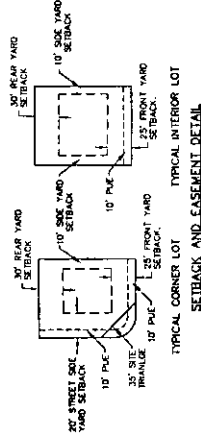
BELLECOUR ESTATES PLAT 'F'
A RESIDENTIAL SUBDIVISION

COVER

CS9
CAUBELL
SHEET NO.
1

SHEET INDEX

SHEET NO.	SHEET NAME
1	COVER SHEET / INDEX SHEET
2	UTILITY PLAN
3	900 NORTH PLAN & PROFILE SHEET
4	2670 WEST PLAN & PROFILE SHEET
5	DETAIL SHEET
6	STORM WATER POLLUTION PREVENTION PLAN
7	BMPS
8	POWER PLAN
9	POWER DETAIL SHEET



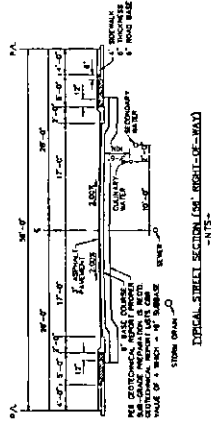
VICINITY MAP

ENT 109850:2019 PG 18 of 43

GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE LEHI CITY 2018 UTILITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, AN EROSION & SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LEHI CITY 2018 UTILITY STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LEHI CITY ENGINEER AND THE PUBLIC WORKS DIRECTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LEHI CITY ENGINEER AND THE PUBLIC WORKS DIRECTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LEHI CITY ENGINEER AND THE PUBLIC WORKS DIRECTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LEHI CITY ENGINEER AND THE PUBLIC WORKS DIRECTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LEHI CITY ENGINEER AND THE PUBLIC WORKS DIRECTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LEHI CITY ENGINEER AND THE PUBLIC WORKS DIRECTOR.

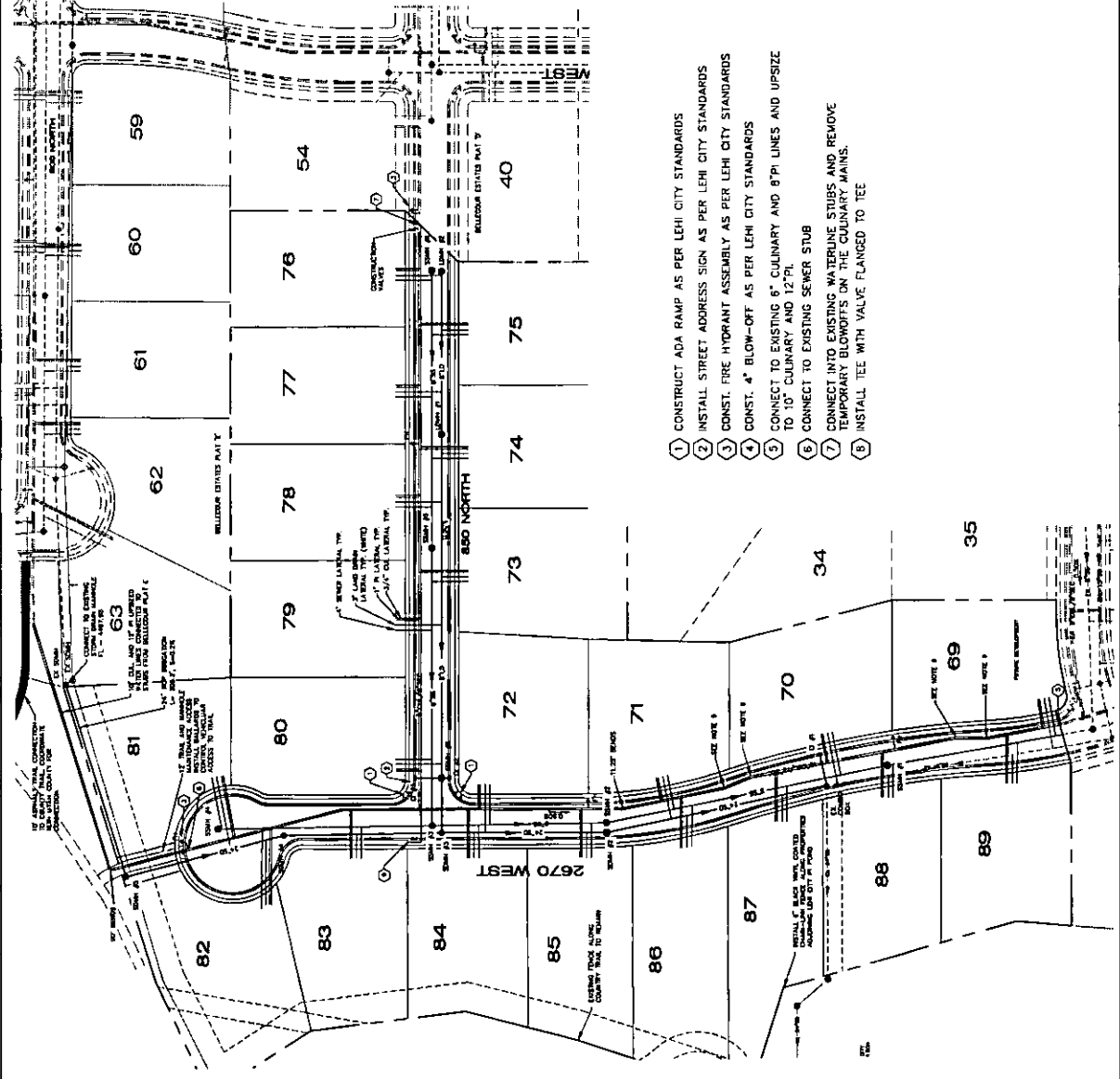
LAND USE: 12.99 ACRES
 PROJECT AREA: 12.99 ACRES
 ZONING: R-100
 LOTS: 21 LOTS
 OVERALL DENSITY: 1.63 LOTS PER ACRE



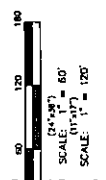
LEGEND

- X — PROPERTY BOUNDARY LINE
- X — EXISTING FENCE LINE
- EOP — EDGE OF PAVEMENT
- — CENTERLINE
- SEC — EASEMENT LINE
- CUL — PROPOSED 8" PVC C-900 PURPLE SECONDARY WATERLINE
- SD — PROPOSED 6" PVC DR18 C-900 BLUE OR WHITE CULINARY WATERLINE
- 8"55 — PROPOSED RCP STORM DRAIN W/ MH
- 8" — PROPOSED PVC SDR-35 SEWER W/ MH
- 8" — EXISTING STORM DRAIN W/ MH
- 8" — EXISTING SANITARY SEWER W/ MH
- ↑ FIRE HYDRANT
- ▲ WATER VALVE
- ▲ BLOW OFF
- EXISTING LEHI CITY POWER POLE
- ⊕ TYPICAL KEY NOTE

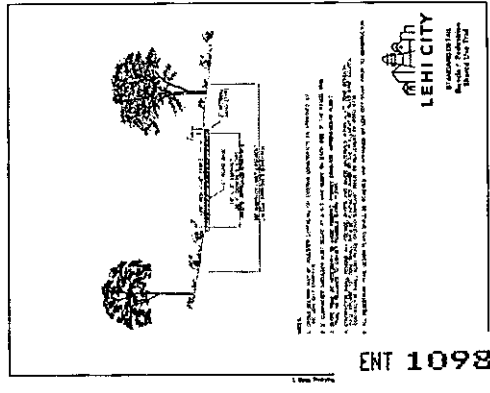
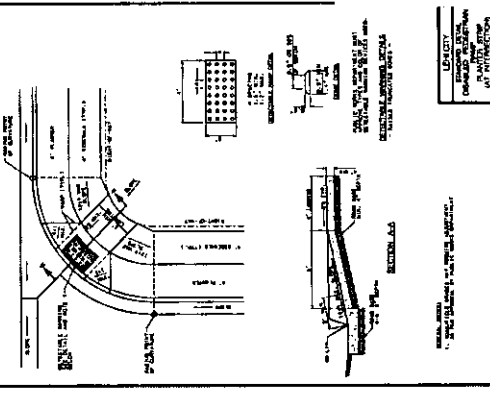
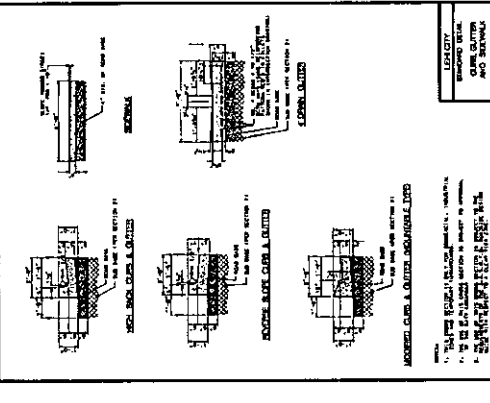
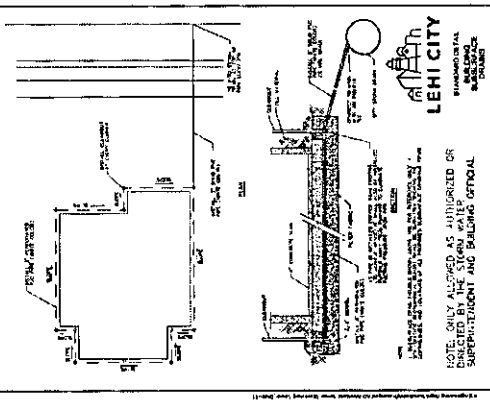
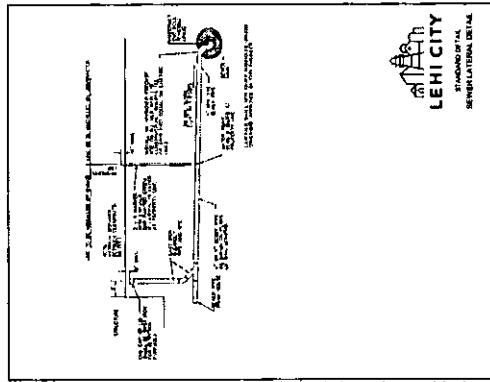
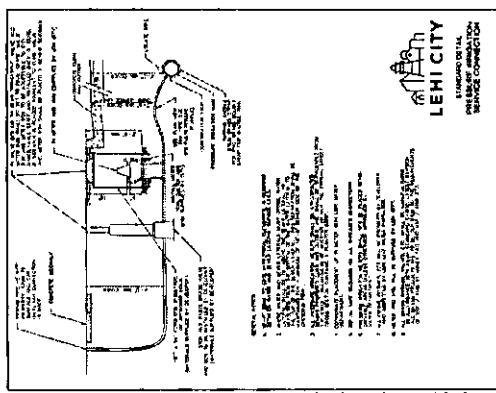
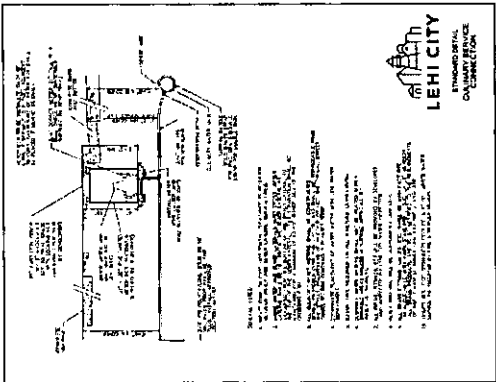
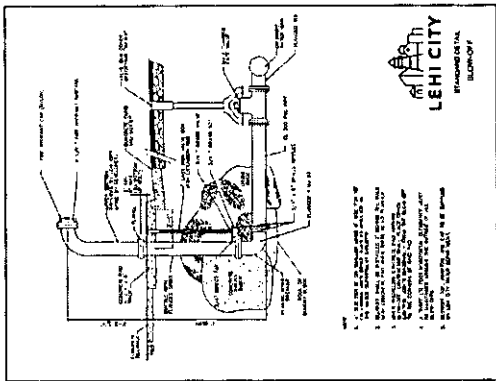
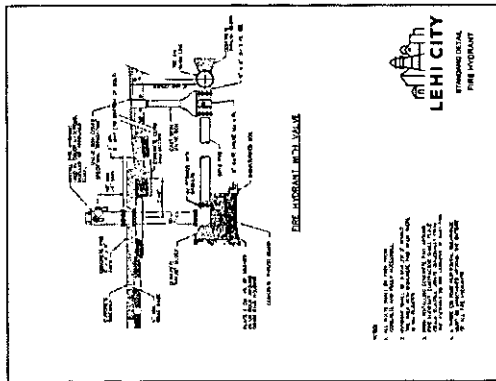
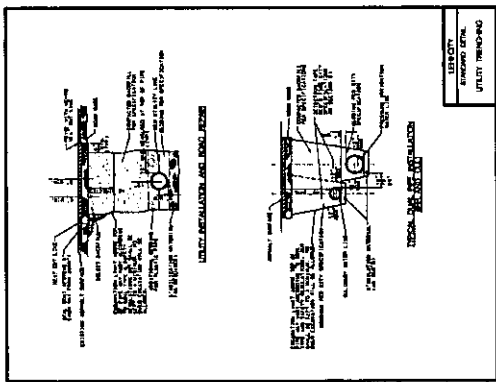
1. CONSTRUCT ADA RAMP AS PER LEHI CITY STANDARDS
2. INSTALL STREET ADDRESS SIGN AS PER LEHI CITY STANDARDS
3. CONST. FIRE HYDRANT ASSEMBLY AS PER LEHI CITY STANDARDS
4. CONST. 4" BLOW-OFF AS PER LEHI CITY STANDARDS
5. CONNECT TO EXISTING 8" CULINARY AND 8"PI LINES AND UPSIZE TO 10" CULINARY AND 12"PI
6. CONNECT TO EXISTING SEWER STUB
7. CONNECT INTO EXISTING WATERLINE STUBS AND REMOVE TEMPORARY BLOWOFFS ON THE CULINARY MAINS.
8. INSTALL TEE WITH VALVE FLANGED TO TEE



ENT 109850:2019 PG 19 OF 43



<p>TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544</p>	<p>LEHI, UTAH</p>	<p>BELLECCOUR ESTATES PLAT 'F' A RESIDENTIAL SUBDIVISION</p>	<p>UTILITY PLAN</p>	<p>JOB: CADBELL SHEET NO.: 2</p>
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NO.	DATE	BY	REVISION
1	10/1/19	JL	ISSUED FOR PERMITS
2	10/1/19	JL	REVISED
3	10/1/19	JL	REVISED
4	10/1/19	JL	REVISED

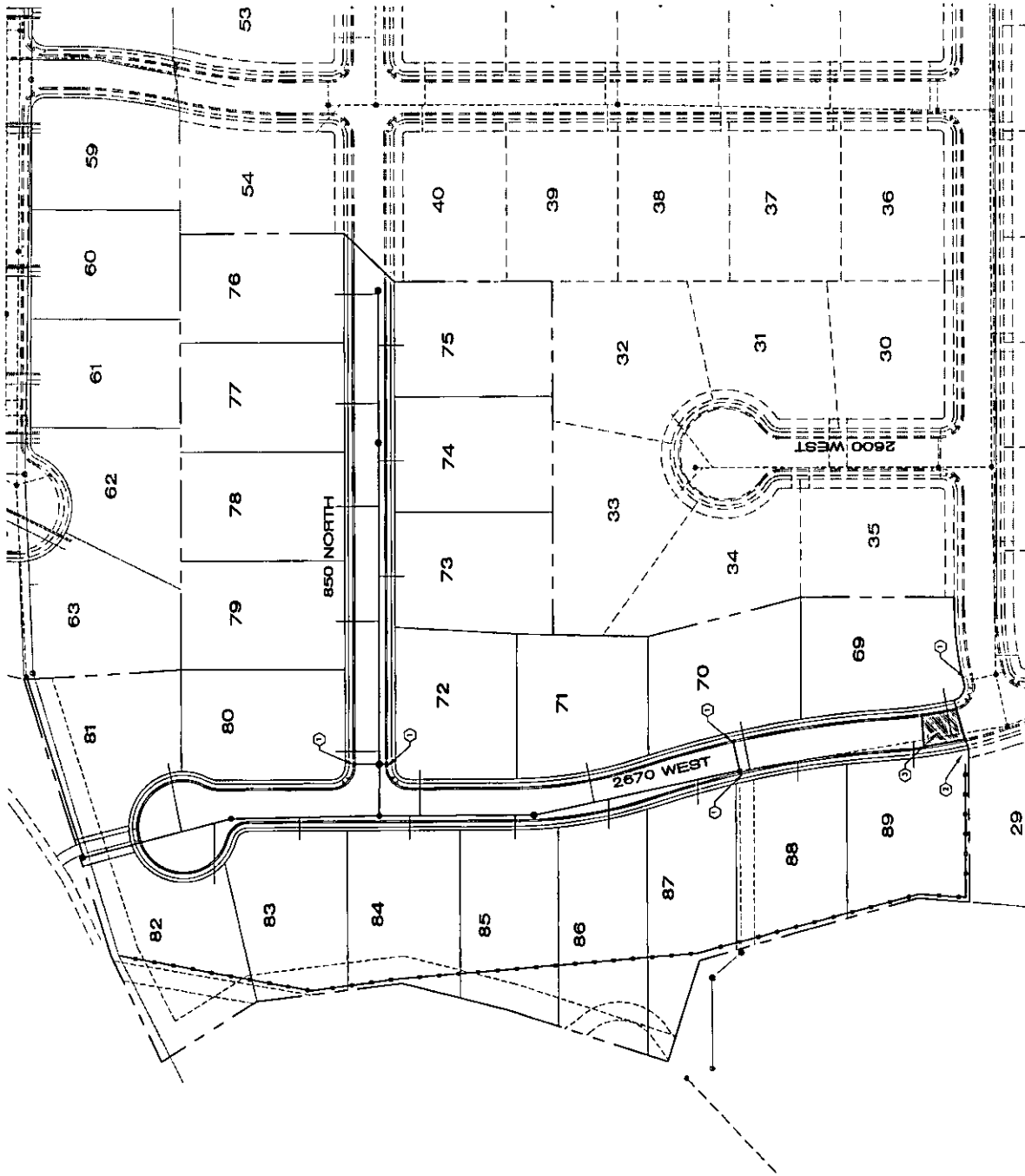
TRANE ENGINEERING, P.C.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

LEHI, UTAH

BELLECOUR ESTATES PLAT 'F'
 A RESIDENTIAL SUBDIVISION

DETAIL SHEET

JOB: CADRELL
 SHEET NO.: 5



INLET PROTECTION

1. INSTALL SILT FENCE OR STRAW BALE SEDIMENT BARRIER OR EQUIVALENT MEASURE UPSTREAM OF THE INLET.
2. INSPECT INLET PROTECTION AFTER STORM EVENT.
3. UPON COMPLETION OF CURB AND GUTTER, CONDUCT VISUAL INSPECTION OF SILT FENCE COURSE GRAVEL OR EQUIVALENT MEASURE.

CONSTRUCTION ENTRANCE

1. CONSTRUCTION ENTRANCE TO BE INSTALLED WITH CRUSHED STONE AT A LOCATION WHERE TRUCKS LEAVE THE SITE TO A PAVED SURFACE.
2. PROVIDE BERMING AT WASH AREA AS REFERRED TO IN THE STORM WATER MANAGEMENT PLAN.
3. GRAVEL AREA TO BE OF SUFFICIENT SIZE TO ACCOMMODATE THE TRAFFIC.

STORAGE AREA

1. CONTROL STORAGE OF ON-SITE MATERIALS TO A DESIGNATED AREA WITH NO DRAINAGE OR WATERWAYS NEARBY.
2. ALL PERSONNEL AND EQUIPMENT TO BE KEPT OUT OF DESIGNATED STORAGE AREA. DO NOT STORE EXCESSIVE AMOUNTS OF MATERIALS THAT WILL NOT BE UTILIZED ON SITE.
3. COVER ALL MATERIALS STORED OUTSIDE THE DESIGNATED STORAGE AREA OR WHEN NOT IN USE AND PROTECT STORM DRAIN SYSTEM WHEN IN USE.

STORM WATER MANAGEMENT PLAN

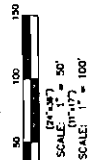
1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE 2016 LEHI CITY STANDARDS AND SPECIFICATIONS.
2. ALL CONSTRUCTION SHALL BE COMPLETED AS OUTLINED ACCORDING TO LEHI CITY STANDARDS.
3. CONTRACTOR SHALL TAKE REASONABLE EFFORT TO LIMIT MUD AND SEDIMENT CARRIED ONTO CITY STREETS FROM THE CONSTRUCTION SITE AND REMOVE ANY PRIOR TO THE CLOSE OF THE CONSTRUCTION SITE.
4. CONTRACTOR TO COORDINATE CONSTRUCTION FENCING.

LEGEND
 SILT FENCE/ EARTH

KEYED NOTES


- ① INSTALL PROTECTION ACCORDING TO LEHI CITY STANDARDS
- ② INSTALL CONTRACTOR ENTRANCE SIGN ACCORDING TO LEHI CITY STANDARDS
- ③ TRAP POND TO BE INSTALLED AS PER CITY STANDARDS TO AVOID MUD FROM TRAP POND AT THE ENTRANCE OF THE ESCAVATION AREA.

ENT 109850:2019 PG 23 of 43



<p>TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544</p>	<p>LEHI, UTAH</p>	<p>BELLECCOUR ESTATES PLAT 'F' A RESIDENTIAL SUBDIVISION</p>	<p>CSB CARDELL SHEET NO. 6</p>
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MMP: Construction Waste Management



LEHI

POUNCEBURNER TYPING

CONTRACTOR SIGN DETAIL

1. All waste generated on the project shall be stored in a designated area until it can be removed from the site.

2. All waste shall be transported to a licensed waste transfer station or other approved facility.

3. The contractor shall be responsible for obtaining all necessary permits and approvals for waste removal.

4. The contractor shall maintain records of all waste removal activities, including dates, quantities, and destinations.

5. The contractor shall ensure that all waste is properly disposed of and that no illegal dumping occurs.

6. The contractor shall ensure that all waste removal activities are conducted in a safe and environmentally sound manner.

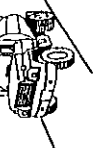
7. The contractor shall ensure that all waste removal activities are conducted in accordance with all applicable laws and regulations.

8. The contractor shall ensure that all waste removal activities are conducted in a timely and efficient manner.

9. The contractor shall ensure that all waste removal activities are conducted in a cost-effective manner.

10. The contractor shall ensure that all waste removal activities are conducted in a manner that minimizes the impact on the environment.

MMP: Dust Control



LEHI

POUNCEBURNER TYPING

CONTRACTOR SIGN DETAIL

1. All dust generated on the project shall be controlled in a manner that minimizes the impact on the environment.

2. All dust shall be captured at the source and collected in a designated area.

3. The contractor shall be responsible for obtaining all necessary permits and approvals for dust control.

4. The contractor shall maintain records of all dust control activities, including dates, quantities, and destinations.

5. The contractor shall ensure that all dust control activities are conducted in a safe and environmentally sound manner.

6. The contractor shall ensure that all dust control activities are conducted in accordance with all applicable laws and regulations.


7. The contractor shall ensure that all dust control activities are conducted in a timely and efficient manner.

8. The contractor shall ensure that all dust control activities are conducted in a cost-effective manner.

9. The contractor shall ensure that all dust control activities are conducted in a manner that minimizes the impact on the environment.

10. The contractor shall ensure that all dust control activities are conducted in a manner that minimizes the impact on the community.

MMP: Portable Toilet



LEHI

POUNCEBURNER TYPING

CONTRACTOR SIGN DETAIL

1. All portable toilets shall be placed in a designated area and maintained in a clean and sanitary condition.

2. All portable toilets shall be serviced regularly and emptied as needed.

3. The contractor shall be responsible for obtaining all necessary permits and approvals for portable toilet use.

4. The contractor shall maintain records of all portable toilet use, including dates, quantities, and destinations.

5. The contractor shall ensure that all portable toilet use is conducted in a safe and environmentally sound manner.

6. The contractor shall ensure that all portable toilet use is conducted in accordance with all applicable laws and regulations.


7. The contractor shall ensure that all portable toilet use is conducted in a timely and efficient manner.

8. The contractor shall ensure that all portable toilet use is conducted in a cost-effective manner.

9. The contractor shall ensure that all portable toilet use is conducted in a manner that minimizes the impact on the environment.

10. The contractor shall ensure that all portable toilet use is conducted in a manner that minimizes the impact on the community.

MMP: Fuel/Fluid Construction Substance



LEHI

POUNCEBURNER TYPING

CONTRACTOR SIGN DETAIL

1. All fuel and fluid storage tanks shall be placed in a designated area and maintained in a clean and sanitary condition.

2. All fuel and fluid storage tanks shall be secured against theft and tampering.

3. The contractor shall be responsible for obtaining all necessary permits and approvals for fuel and fluid storage.

4. The contractor shall maintain records of all fuel and fluid storage activities, including dates, quantities, and destinations.

5. The contractor shall ensure that all fuel and fluid storage activities are conducted in a safe and environmentally sound manner.

6. The contractor shall ensure that all fuel and fluid storage activities are conducted in accordance with all applicable laws and regulations.


7. The contractor shall ensure that all fuel and fluid storage activities are conducted in a timely and efficient manner.

8. The contractor shall ensure that all fuel and fluid storage activities are conducted in a cost-effective manner.

9. The contractor shall ensure that all fuel and fluid storage activities are conducted in a manner that minimizes the impact on the environment.

10. The contractor shall ensure that all fuel and fluid storage activities are conducted in a manner that minimizes the impact on the community.

MMP: Vehicle And Equipment Fueling



LEHI

POUNCEBURNER TYPING

CONTRACTOR SIGN DETAIL

1. All fueling stations shall be placed in a designated area and maintained in a clean and sanitary condition.

2. All fueling stations shall be secured against theft and tampering.

3. The contractor shall be responsible for obtaining all necessary permits and approvals for fueling station use.

4. The contractor shall maintain records of all fueling station use, including dates, quantities, and destinations.

5. The contractor shall ensure that all fueling station use is conducted in a safe and environmentally sound manner.

6. The contractor shall ensure that all fueling station use is conducted in accordance with all applicable laws and regulations.


7. The contractor shall ensure that all fueling station use is conducted in a timely and efficient manner.

8. The contractor shall ensure that all fueling station use is conducted in a cost-effective manner.

9. The contractor shall ensure that all fueling station use is conducted in a manner that minimizes the impact on the environment.

10. The contractor shall ensure that all fueling station use is conducted in a manner that minimizes the impact on the community.

MMP: Water Disposal



LEHI

POUNCEBURNER TYPING

CONTRACTOR SIGN DETAIL

1. All water generated on the project shall be disposed of in a designated area and maintained in a clean and sanitary condition.

2. All water shall be captured at the source and collected in a designated area.

3. The contractor shall be responsible for obtaining all necessary permits and approvals for water disposal.

4. The contractor shall maintain records of all water disposal activities, including dates, quantities, and destinations.

5. The contractor shall ensure that all water disposal activities are conducted in a safe and environmentally sound manner.

6. The contractor shall ensure that all water disposal activities are conducted in accordance with all applicable laws and regulations.


7. The contractor shall ensure that all water disposal activities are conducted in a timely and efficient manner.

8. The contractor shall ensure that all water disposal activities are conducted in a cost-effective manner.

9. The contractor shall ensure that all water disposal activities are conducted in a manner that minimizes the impact on the environment.

10. The contractor shall ensure that all water disposal activities are conducted in a manner that minimizes the impact on the community.

MMP: Solid Production - All Materials in Storage Bins



LEHI

POUNCEBURNER TYPING

CONTRACTOR SIGN DETAIL

1. All solid production materials shall be stored in designated bins and maintained in a clean and sanitary condition.

2. All solid production materials shall be secured against theft and tampering.

3. The contractor shall be responsible for obtaining all necessary permits and approvals for solid production storage.

4. The contractor shall maintain records of all solid production storage activities, including dates, quantities, and destinations.

5. The contractor shall ensure that all solid production storage activities are conducted in a safe and environmentally sound manner.

6. The contractor shall ensure that all solid production storage activities are conducted in accordance with all applicable laws and regulations.

7. The contractor shall ensure that all solid production storage activities are conducted in a timely and efficient manner.

8. The contractor shall ensure that all solid production storage activities are conducted in a cost-effective manner.

9. The contractor shall ensure that all solid production storage activities are conducted in a manner that minimizes the impact on the environment.

10. The contractor shall ensure that all solid production storage activities are conducted in a manner that minimizes the impact on the community.

Attention Contractors

All mud and or debris tracked onto any streets shall be the responsibility of that person as per Lehi City Drainage Ordinance 13.4B.

Fines are a Class C Misdemeanor and the project will be shut down until resolved

ENT 109850:2019 24 of 33

NO.	DATE	REVISIONS	DESCRIPTION	BY	DATE	BY
1						
2						
3						
4						

TRANE ENGINEERING, P.C.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 27 EAST MAIN, LEHI, UTAH, 84043 (801) 768-4544

LEHI, UTAH

BELLECOUR ESTATES PLAT 'F'
 A RESIDENTIAL SUBDIVISION

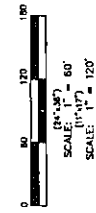
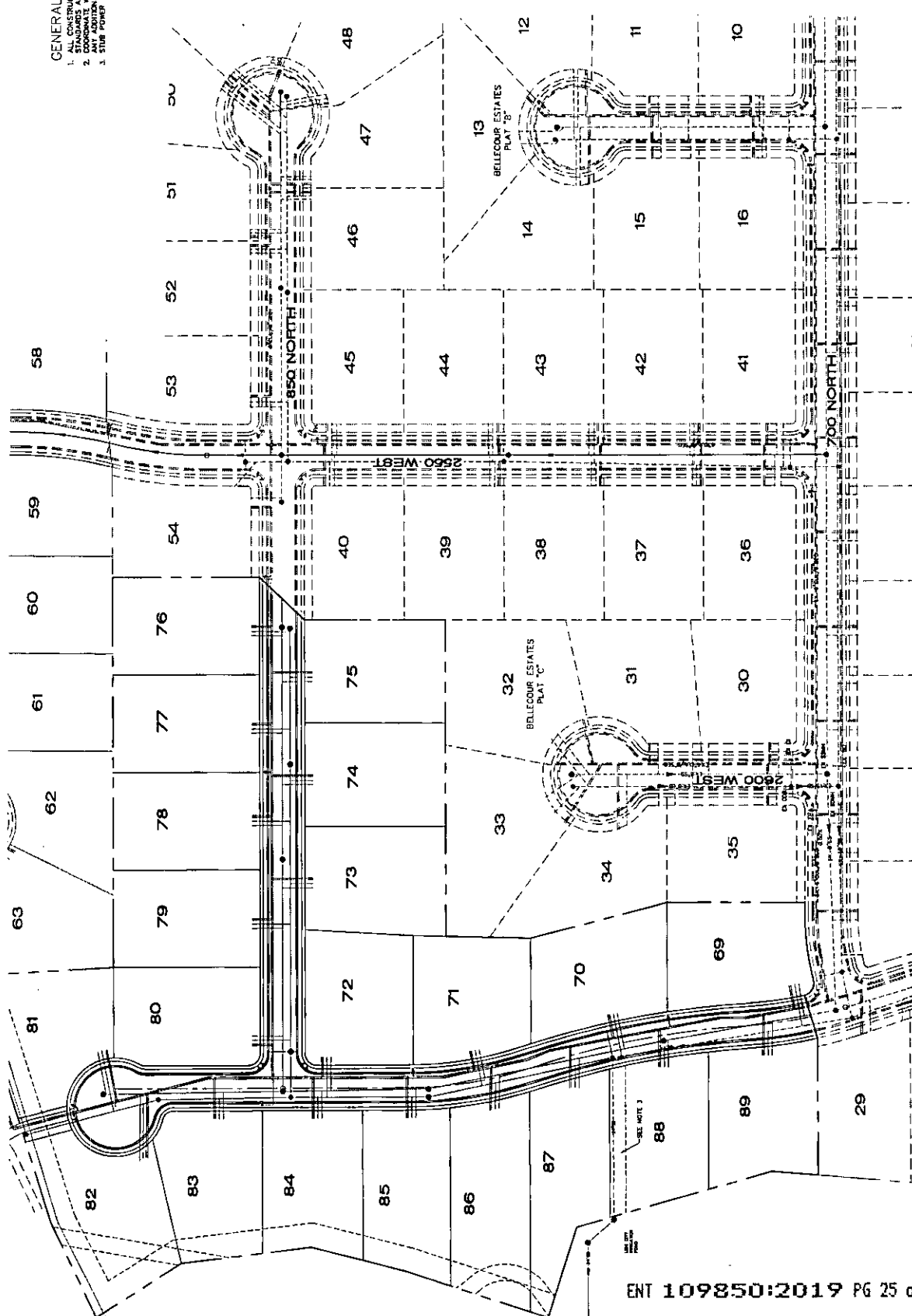
BMPs

JOB: CABRELL
 SHEET NO.: 7

CONTRACTOR SIGN DETAIL

GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE LEHI, UTAH 2015 ZONING ORDINANCE AND SUPPLEMENTARY ORDINANCES.
2. CONDUITS AND UTILITIES TO BE LOCATED AT PRECONSTRUCTION MEETING FOR ANY ADDITIONAL DETAILS.
3. SIDE POWER TO URBAN RIGHT OF WAY STATION BETWEEN LOTS 87 AND 88.



<p>TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544</p>	<p>LEHI, UTAH</p>	<p>BELLECOUR ESTATES PLAT 'F' A RESIDENTIAL SUBDIVISION</p>	<p>POWER PLAN</p>	<p>JOB CABRELL SHEET NO. 8</p>
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TRENCHING REQUIREMENTS

ALL TRENCHES SHALL BE PROTECTED BY A CONCRETE CURB AND GUTTER SYSTEM AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LEHI STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CURB AND GUTTER SHALL BE INSTALLED TO THE EXTERIOR OF THE TRENCH AND SHALL BE CONCRETE WITH A FINISH OF BROOM. THE CURB AND GUTTER SHALL BE INSTALLED TO THE EXTERIOR OF THE TRENCH AND SHALL BE CONCRETE WITH A FINISH OF BROOM. THE CURB AND GUTTER SHALL BE INSTALLED TO THE EXTERIOR OF THE TRENCH AND SHALL BE CONCRETE WITH A FINISH OF BROOM.

CONDUIT REQUIREMENTS

CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LEHI STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONDUIT SHALL BE INSTALLED TO THE EXTERIOR OF THE TRENCH AND SHALL BE CONCRETE WITH A FINISH OF BROOM. THE CONDUIT SHALL BE INSTALLED TO THE EXTERIOR OF THE TRENCH AND SHALL BE CONCRETE WITH A FINISH OF BROOM.

REQUIREMENTS & STANDARDS
ELECTRICAL TRENCH & CONDUIT NOTES
 RESIDENTIAL & COMMERCIAL POWER SERVICES

DWG. 5.3
 REV. 17.01
 BY: G.M.
 DATE: 8/13/17

REQUIREMENTS & STANDARDS
FIRE SWITCHGEAR
 (LOCATIONS IN THE P.U.E.)

DWG. 5.2.2
 REV. 17.02
 BY: G.M.
 DATE: 8/13/17

REQUIREMENTS & STANDARDS
TRANSFORMER & JUNCTION BOX (SECONDARY PEDIESTAL)
 (LOCATIONS IN THE P.U.E.)

DWG. 5.4
 REV. 18.00
 BY: G.M.
 DATE: 8/13/17

REQUIREMENTS & STANDARDS
UNDERGROUND SERVICE
 100-200 AMP (1 OR 3 PHASE)

DWG. 3.4.1
 REV. 18.02
 BY: G.M.
 DATE: 8/13/17

REQUIREMENTS & STANDARDS
RESIDENTIAL STREET LIGHT TOWN & COUNTRY (LED)
 (LOCATIONS IN THE P.U.E.)

DWG. 7.3
 REV. 17.02
 BY: G.M.
 DATE: 8/13/17

REQUIREMENTS & STANDARDS
RISER POLE (OVERHEAD TO UNDERGROUND)
 (LOCATIONS IN THE P.U.E.)

DWG. 5.6
 REV. 17.00
 BY: G.M.
 DATE: 8/13/17

REQUIREMENTS & STANDARDS
POWER TRENCH & JOINT TRENCH DETAIL
 RESIDENTIAL & COMMERCIAL POWER SERVICES

DWG. 5.4
 REV. 17.00
 BY: G.M.
 DATE: 8/13/17

REQUIREMENTS & STANDARDS
POWER TRENCH & JOINT TRENCH DETAIL
 RESIDENTIAL & COMMERCIAL POWER SERVICES

DWG. 5.4
 REV. 17.00
 BY: G.M.
 DATE: 8/13/17

POWER DETAIL SHEET

BELLECOUR ESTATES PLAT 'F'
 A RESIDENTIAL SUBDIVISION

LEHI, UTAH

TRANE ENGINEERING, P.C.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

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APPENDIX B – SOPs

ENT 109850:2019 PG 28 of 43

Pavement Maintenance Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Purpose and Selection:

- a) Reduce stormwater pollution by sweeping and removing pollutants that will be carried to City stormwater systems during stormwater runoff or by non-stormwater runoff.
- b) The sweeper is intended for removing materials that collect on pavements by use and the natural degradation of pavements, ie. materials that collect, drop from vehicles, and the natural erosion and breaking up of pavements.

2. Regular Procedure:

- a) Remain aware of debris and sweep minor debris if needed by hand.
- b) Generally, sweeping should occur during autumn when leaf fall is heavy and again in early spring after winter thaw. Sometimes sweeping machinery will be necessary with accumulations are spread over pavements.
- c) Manage outside activities that leave waste or drain pollutants to our pavements. This involves outside functions including but not limited to yard sales, yard storage, fund raisers like car washes, etc.

4. Disposal Procedure:

- a) Service contractor will dispose at licensed facilities.
- b) Dispose of hand collected material in dumpster.

5. Training:

- a) Annually and at hire.

Landscape Maintenance Operations

ENT 109850:2019 PG 30 of 43

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Rule: Prevent any solids, liquids or any light weight material from being carried away from the construction or maintenance envelop by wind or water.

1. Application:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., fertilizer and pesticide applications, mowing, weeding, tree trimming, digging, sprinkler repairs, mulch management, etc.

2. Maintenance Procedure:

- a) Grooming
 - Lawn Mowing – Immediately following operation, sweep or blow clippings onto vegetated ground.
 - Fertilizer Operation – Prevent overspray. Sweep or blow fertilizer onto vegetated ground immediately following operation.
 - Pesticide Operations – Prevent overspray. Use spot treatment immediately following operation sweep or blow dry pesticide onto vegetated ground.
- b) Remove or contain all erodible or loose material prior to forecast wind and precipitation events or before non-stormwater will pass through the project site. For light weight debris, maintenance can require immediately attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- c) Landscape project materials and waste can usually be contained or controlled by operational best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement;
 - Avoiding multiple day staging of landscaping backfill and spoil on pavements; and
 - Haul off spoil as generated or daily.
- d) Cleanup:
 - Use dry cleanup methods, e.g. square nose shovel and broom. It is usually sufficient when no more material can be swept onto the square nosed shovel.
 - Power blowing tools.

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

5. Training:

- a) Annually and at hire.
- b) Landscape Service Contractors must have equal or better SOPs.

Waste Management Operations

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

1. Application:

- a) This SOP is intended for all Staff, for the proper disposal of common everyday waste.

2. Waste Collection Devices (Exposed units):

- a) The site contains 2 types of waste management containers:
 - 6yd dumpster with lid; and
 - Receptacles with lids.

3. Waste Disposal Restrictions for all Waste Scheduled for the North Pointe Solid Waste SSD Landfill:

- a) Know the facility disposal requirements and restrictions. It should not be assumed that all waste disposed in collection devices will be disposed at the North Pointe Landfill.
- b) Review North Pointe Landfill regulations for additional restrictions and understand what waste is prohibited in the North Pointe Landfill.
- c) Lookup and follow disposal procedures for disposal of waste at other EPA approved sites. The Utah County Health Department is a good resource, 801-851-7000.

4. General Staff Maintenance Practices:

- a) Prevent dumpsters and receptacles from becoming a pollution source by:
 1. Closing lids;
 2. Repositioning tipped receptacles upright;
 3. Reporting full or leaking and unsecured dumpsters and receptacles to the company provider or repair it in house. Determine source liquids and prevent it; and
 4. Reporting any eminent pollutant hazard related to dumpsters and receptacles to the owner.

ENT 109850:2019 PG 32 of 43

5. Training:

- a) Annually and at hire.

Storm Drain Maintenance Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Procedure:

- a) Inspect for need:
 - 1. Schedule cleaning for boxes and pipe that contain 2” or more of sediment and debris.
 - 2. Remove debris by vacuum-operated machinery.
 - 3. When accumulations are mostly floating debris, this material can be removed with a net.
 - 4. Inspect standing water for mosquito larvae and contact the South Salt Valley Mosquito Abatement District when necessary.

2. Disposal Procedure:

- a) Dispose of waste at regulated facilities.
- b) Floating materials and floating absorbent materials may be disposed in dumpster when dried out. Dry dirt and slurry may also be disposed in the dumpster.
- c) Disposal of hazardous waste:
 - 1. Dispose of hazardous waste at regulated disposal facilities, see Waste Management and Spill Control SOP
- d) Disposal of waste collected from sanitary sewer device at regulated facilities.

3. Training:

- a) Annually and at hire.

Pavement Washing Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Procedure:

- a) Prevent waste fluids and any detergents if used from entering storm drain system. The following methods are acceptable for this operation:
 - Dam the inlet using a boom material that seals itself to the pavement and pick up the wastewater with shop-vacuum or absorbent materials.
 - Collect wastewater with shop-vacuum simultaneous with the washing operation.
 - Collect wastewater with vacuum truck or trailer simultaneous with the washing operation.
- b) This procedure must not used to clean the initial spills. First apply the Spill Containment and cleanup SOP.

2. Disposal Procedure:

- a) Small volumes can usually be drained to the local sanitary sewer. Contact the South Valley Sewer District.
- b) Large volumes must be disposed at regulated facilities.

2. Pavement Cleaning Frequency:

- a) There is no regular pavement washing regimen. Pavement washing is determined by conditions that warrant it, including but not limited to prevention of slick or other hazardous conditions or restoring the acceptable appearance of pavements.

3. Training:

- a) Annually and at hire.

Snow and Ice Removal Management

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

1. Application:

- a) Parking and sidewalk winter management operations.

2. De-Icing Procedure:

- a) Do not store or allow salt or equivalent to be stored on outside paved surfaces.
- b) Minimize salt use varying salt amounts relative to hazard potential.
- c) Sweep excessive piles left by the spreader.
- d) Watch forecast and adjust when warm ups are expected the same day.

3. Training:

- a) Annually and at hire.
- b) Require snow and ice service contractors to follow the stronger of this SOP and their company SOPs.

General Construction Maintenance

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Rule: Prevent any solids, *liquids or any light weight material from being carried away from the construction or maintenance envelop by wind or water.

***liquids - including culinary water and irrigation water that are polluted with material that will damage the environment.**

ENT 109850:2019 PG 36 of 43

1. Application:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., building maintenance, curb/sidewalk/flatwork, overlay/patching, landscape renovations, miscellaneous maintenance/repairs, etc.

2. Construction Procedure:

- a) Remove or contain all erodible or loose material prior to forecast wind and precipitation events or before non-stormwater will pass through the project site. For light-weight debris, maintenance can require immediately attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- b) Project materials and waste can be contained or controlled by operational or structural best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement;
 - Avoiding multiple day staging of backfill and spoil;
 - Haul off spoil as generated or daily.
 - Structural; including but not limited to:
 - Inlet protection, e.g. wattles, filter fabric, drop inlet bags, boards, planks;
 - Gutter dams, e.g. wattles, sandbags, dirt dams;
 - Boundary containment, e.g. wattles, silt fence;
 - Dust control, e.g. water hose;
 - Waste control, e.g. construction solid or liquid waste containment, dumpster, receptacles.
- c) Inspect often to insure the structural best management practices are in good operating condition and at least prior to the workday end. Promptly repair damaged best management practices to achieve effective containment.

d) Cleanup:

- Use dry cleanup methods, e.g. square nose shove and broom.
- Wet methods are allowed if wastewater is prevented from entering the stormwater system, e.g. wet/dry vacuum, disposal to our landscaped areas.

e) Cleanup Standard:

- When a broom and a square nosed shovel cannot pick any appreciable amount of material.

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.
- b) Never discharge waste material to storm drains.

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

5. Training:

- b) Annually and at hire.

Spill Control

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

1. Rational:

- a) All properties are susceptible to spills whether it is a result of operations or by customers. Insufficient response, inadequate containment materials, and improper spill cleanup methods will result in pollutants in our waterways. Once the pollutants reach our storm drain system, or even the detention pond, they are difficult and expensive to remove.

2. Containment Procedure:

- a) Priority is to dam and contain flowing spills.
- b) Use spill kits booms if available or use any material available; including but not limited to, nearby sand, dirt, landscaping materials, etc.
- c) Hazardous or unknown waste emergencies:
 1. Emergency HAZMAT, DWQ, UCHD, City: Emergency constitutes large quantities of flowing uncontained liquid. Generally burst or tipped tanks.
 2. Emergency UCHD, City: Emergency constitutes potential for waste to be carried by water.

3. Contacts:

HAZMAT - 911

DWQ – 801-231-1769, 801-536-4123

UCHD – 801-851-7000

City – 385-201-1700

ENT 109850:2019 PG 38 of 43

3. Cleanup Procedure:

- a) NEVER WASH SPILLS TO THE STORM DRAIN SYSTEMS.
- b) Clean per SDS requirements but generally most spills can be cleaned up according to the following:
 - Absorb liquid spills with spill kit absorbent material, sand or dirt until liquid is sufficiently converted to solid material.
 - Remove immediately using dry cleanup methods, e.g. broom and shovel, or vacuum operations.
 - Cleanup with water and detergents may also be necessary depending on the spilled material. However, the waste from this operation must be vacuumed or effectively picked up by dry methods. See Pavement Washing SOP.

- Repeat process when residue material remains.

4. DISPOSAL:

- a) Follow SDS requirements but usually most spills can be disposed per the following b. & c.
- b) Generally most spills absorbed into solid forms can be disposed to the dumpster and receptacles. Follow Waste Management SOP.
- c) Generally, liquid waste from surface cleansing processes may be disposed to the sanitary sewer system after the following conditions have been met:
 - Dry cleanup methods have been used to remove the bulk of the spill and disposed per the Waste Management SOP.
 - The liquid waste amounts are small and diluted with water. This is intended for spill cleanup waste only and never for the disposal of unused or spent liquids.

5. Documentation:

- a) Document all spills in Appendix C.

ENT 109850:2019 PG 39 of 43

6. SDS sheets:

- a) SDS Manual is filed in break room.

7. Materials:

- a) Generally, sand or dirt will work for most clean-up operations. However, it is the responsibility of the owner to select the absorbent materials and cleanup methods that are required by the SDS Manuals for chemicals used by the company.

8. Training:

- a) Annually and at hire.

APPENDIX C – PLAN RECORDKEEPING DOCUMENTS

ENT 109850:2019 PG 40 of 43

MAINTENANCE/INSPECTION SCHEDULE

Frequency	Site Infrastructure
A	Storm Drain Inlets
A	Storm Water Conveyance Gutters

Inspection Frequency Key: A=annual, Q=Quarterly, M=monthly, W=weekly,
S=following appreciable storm event, U=Unique infrastructure specific (specify)

RECORD INSPECTIONS IN THE MAINTENANCE LOG

Inspection Means: Either; Traditional walk through, Awareness/Observation, and during regular maintenance operations while noting efficiencies/inefficiencies/concerns found, etc.

MAINTENANCE LOG

Date	Maintenance Performed/Spill Events Performed Maintenance per SOPs	Observation Notes, including but not limited to: Inspection results, Observations, System Performance (effectiveness/inefficiencies), SOP Usefulness, Concerns, Necessary Changes	Initials

Contact the Stormwater Division for an example of a maintenance/inspection log xxx-xxx-xxxx

Annual Summary of LTSWMP effectiveness, inefficiencies, problems, necessary changes etc.
<p style="text-align: center;">ENT 109850:2019 PG 42 of 43</p>

*You may create your own form that provides this same information or request a word copy of this document.

Annual SOP Training Log per Section 2

SOP	Trainer	Employee Name / Maintenance Contractor Co	Date

*You may create your own form that provides this same information or request a Word copy of this document.