

When Recorded Return to:  
Mr. Craig L. White  
South Valley Sewer District  
P.O. Box 629  
Riverton, UT 84065

13937137 B: 11331 P: 693 Total Pages: 8  
04/21/2022 10:40 AM By: zjorgensen Fees: \$0.00  
Rashelle Hobbs, Recorder, Salt Lake County, Utah  
Return To: SOUTH VALLEY SEWER DISTRICT  
PO BOX 629 RIVERTON, UT 84065



PARCEL I.D.# 26-22-436-001-0000  
26-22-255-001-0000  
26-22-326-001-0000

GRANTOR: VP DAYBREAK DEVCO LLC  
VP DAYBREAK INVESTCO 3 LLC  
(Daybreak Village 9 Plat 3)

Page 1 of 8

## EASEMENTS

Twenty (20) foot wide sanitary sewer easements located in the North Half and Southwest Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey.

For the sum of One Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the undersigned as GRANTORS hereby grant, convey, sell, and set over unto South Valley Sewer District, a body politic of the State of Utah, hereinafter referred to as GRANTEE, its successors and assigns, perpetual rights-of-way and easements to construct, maintain, operate, repair, inspect, protect, install, remove and replace sewer pipelines, valves, valve boxes and other sewer transmission and distribution structures and facilities, hereinafter called the FACILITIES, said rights-of-way and easements, being situate in Salt Lake County, State of Utah, over and through a parcel(s) of the GRANTORS' land lying within strips twenty (20) feet wide, said strip extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

See Exhibit "A" attached hereto and by this reference made a part hereof.

Contains: 43,401 square feet or 0.996 acres

TO HAVE AND HOLD the same unto the GRANTEE, its successors and assigns, with the right of ingress and egress in the GRANTEE, its officers, employees, agents and assigns to enter upon the above-described property with such equipment and vehicles as is necessary to construct, install, maintain, operate, repair, inspect, protect, remove and replace the FACILITIES. During construction periods, GRANTEE and its contractors may use such portion of GRANTORS' property along and adjacent to the rights-of-way and easements as may be reasonably necessary in connection with the construction or repair of the FACILITIES. The contractor performing the work shall restore all property, through which the work

traverses, to as near its original condition as is reasonably possible. GRANTORS shall have the right to use the above-described property except for the purposes for which these rights-of-way and easements are granted to the GRANTEE, provided such use shall not interfere with the FACILITIES or with the discharge and conveyance of sewage through the FACILITIES, or any other rights granted to the GRANTEE hereunder.

GRANTORS shall not build or construct, or permit to be built or constructed, any building or other improvement over or across these rights-of-way and easements nor change the contour thereof without the written consent of GRANTEE. These rights-of-way and easement grants shall be binding upon, and inure to the benefit of, the successors and assigns of the GRANTORS and the successors and assigns of the GRANTEE, and may be assigned in whole or in part by GRANTEE.

IN WITNESS WHEREOF, the GRANTORS have executed these rights-of-way and Easements this 24 day of January, 2022.

GRANTOR(S)

By: VP DAYBREAK DEVCO LLC  
*[Signature]*

Its: Manager  
Title

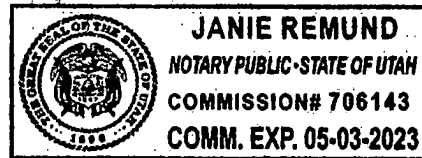
STATE OF UTAH            )  
  :SS  
COUNTY OF SALT LAKE    )

On the 24 day of January, 2022 personally appeared before me Brad Holmes who being by me duly sworn did say that (s)he is the Manager of VP DAYBREAK DEVCO LLC a limited liability company, and that the within and foregoing instrument was duly authorized by the limited liability company at a lawful meeting held by authority of its operating agreement; and duly acknowledged to me that said limited liability company executed the same.

*[Signature]*  
Notary Public

My Commission Expires: 05-03-2023

Residing in: State of Utah



VP DAYBREAK INVESTCO 3 LLC

By: [Signature]

Its: Manager  
Title

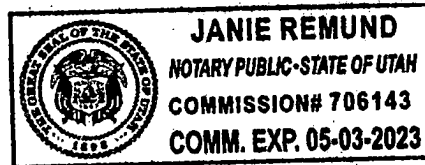
STATE OF UTAH )  
                          ) :SS  
COUNTY OF SALT LAKE )

On the 24 day of January, 2022 personally appeared before me Brad Holmes who being by me duly sworn did say that (s)he is the Manager of VP DAYBREAK INVESTCO 3 LLC a limited liability company, and that the within and foregoing instrument was duly authorized by the limited liability company at a lawful meeting held by authority of its operating agreement; and duly acknowledged to me that said limited liability company executed the same.

[Signature]  
Notary Public

My Commission Expires: 05-03-2023

Residing in: State of Utah



**DAYBREAK VILLAGE 9 PLAT 3  
SEWER EASEMENTS**

**(Line 1)**

A twenty (20) foot wide sanitary sewer easement, located in the Southwest Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South 89°56'37" East 2020.163 feet along the Daybreak Baseline Southwest (Being South 89°56'37" East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 2425.611 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence South 68°49'22" East 148.112 feet to the point of terminus.

Contains: (approx. 148 L.F.)

**(Line 2)**

A twenty (20) foot wide sanitary sewer easement, located in the Southwest Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South 89°56'37" East 2123.954 feet along the Daybreak Baseline Southwest (Being South 89°56'37" East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 2283.623 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence North 21°10'38" East 141.538 feet to the point of terminus.

Contains: (approx. 142 L.F.)

**(Line 3)**

A twenty (20) foot wide sanitary sewer easement, located in the Northwest Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South 89°56'37" East 2588.512 feet along the Daybreak Baseline Southwest (Being South 89°56'37" East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 2730.296 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence North 62°14'18" West 111.586 feet; thence South 29°10'59" West 131.467 feet; thence North 64°16'23" West 121.551 feet; thence North 18°36'07" East 10.705 feet; thence North 25°43'37" East 131.052 feet; thence North 39°03'32" East 39.030 feet; thence North 25°43'37" East 143.325 feet to the point of terminus.

Contains: (approx. 689 L.F.)

**(Line 4)**

A twenty (20) foot wide sanitary sewer easement, located in the Northwest Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South  $89^{\circ}56'37''$  East 2489.770 feet along the Daybreak Baseline Southwest (Being South  $89^{\circ}56'37''$  East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 2782.176 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence North  $20^{\circ}14'56''$  East 123.176 feet to the point of terminus.

Contains: (approx. 123 L.F.)

**(Line 5)**

A twenty (20) foot wide sanitary sewer easement, located in the North Half of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South  $89^{\circ}56'37''$  East 2676.659 feet along the Daybreak Baseline Southwest (Being South  $89^{\circ}56'37''$  East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 3160.589 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence North  $60^{\circ}00'00''$  West 126.650 feet to the point of terminus.

Contains: (approx. 127 L.F.)

**(Line 6)**

A twenty (20) foot wide sanitary sewer easement, located in the North Half of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South  $89^{\circ}56'37''$  East 2618.767 feet along the Daybreak Baseline Southwest (Being South  $89^{\circ}56'37''$  East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 3060.010 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence North  $29^{\circ}56'18''$  East 116.000 feet; thence North  $30^{\circ}00'00''$  East 232.206 feet; thence North  $60^{\circ}00'00''$  West 105.000 feet; thence North  $30^{\circ}00'00''$  East 57.036 feet to the point of terminus.

Contains: (approx. 510 L.F.)

**(Line 7)**

A twenty (20) foot wide sanitary sewer easement, located in the Northeast Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South  $89^{\circ}56'37''$  East 3904.924 feet along the Daybreak Baseline Southwest (Being South  $89^{\circ}56'37''$  East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 3148.247 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence East 161.894 feet to the point of terminus.

Contains: (approx. 162 L.F.)

**(Line 8)**

A twenty (20) foot wide sanitary sewer easement, located in the Northeast Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South  $89^{\circ}56'37''$  East 3966.037 feet along the Daybreak Baseline Southwest (Being South  $89^{\circ}56'37''$  East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 3113.256 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence South  $73^{\circ}59'30''$  East 104.625 feet to the point of terminus.

Contains: (approx. 105 L.F.)

**(Line 9)**

A twenty (20) foot wide sanitary sewer easement, located in the Northeast Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South  $89^{\circ}56'37''$  East 4049.207 feet along the Daybreak Baseline Southwest (Being South  $89^{\circ}56'37''$  East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 3032.912 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence North  $16^{\circ}00'30''$  East 63.860 feet; thence North 101.094 feet to the point of terminus.

Contains: (approx. 165 L.F.)

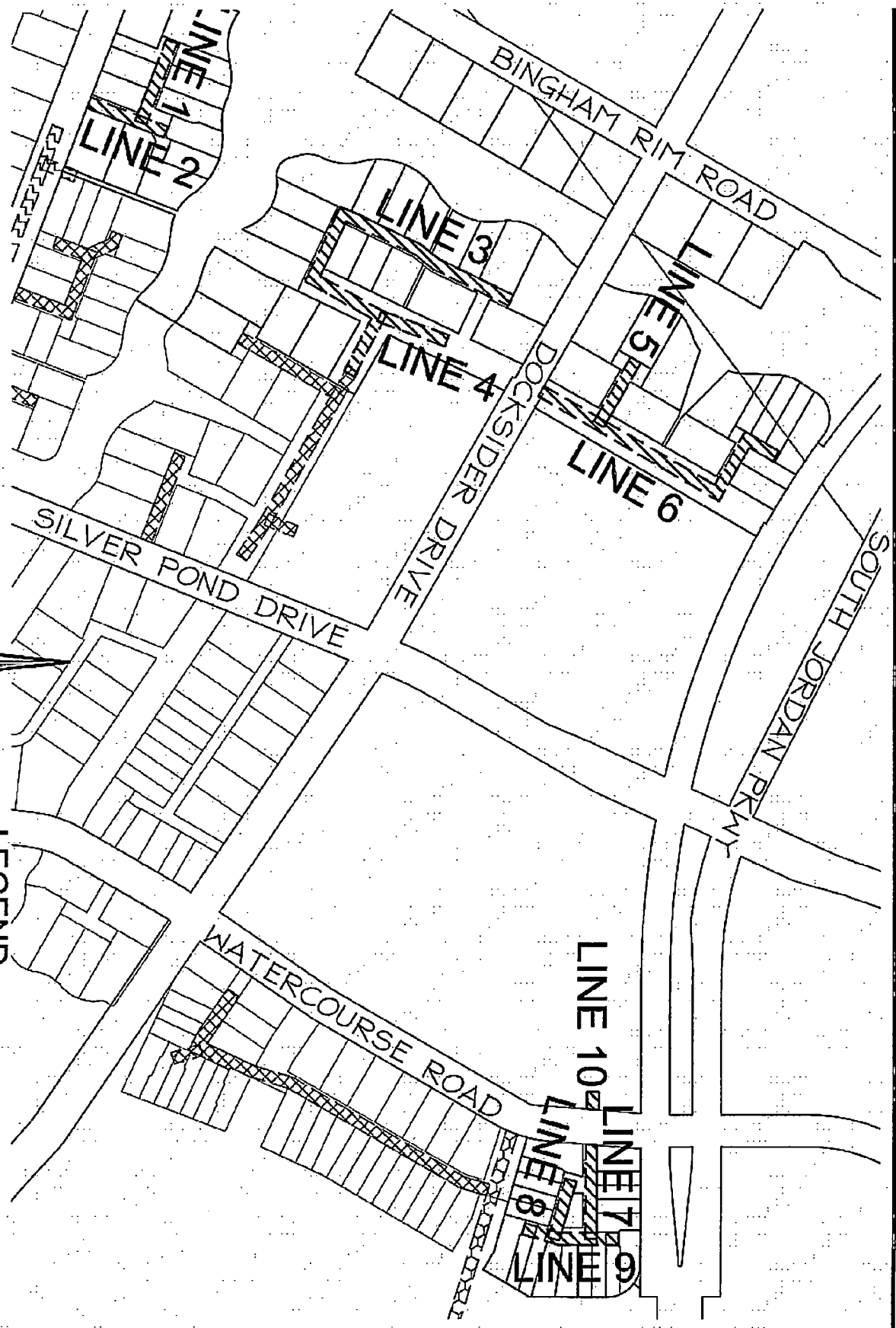
**(Line 10)**

A twenty (20) foot wide sanitary sewer easement, located in the Northeast Quarter of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, said easement

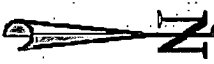
extending ten (10) feet on each side of and lying parallel and adjacent to a line of reference and projection thereof, more particularly described as follows:

Beginning at a point that lies South  $89^{\circ}56'37''$  East 3844.974 feet along the Daybreak Baseline Southwest (Being South  $89^{\circ}56'37''$  East 10583.405 feet between the Southwest Corner of Section 22, T3S, R2W and the Southeast Corner of Section 23, T3S, R2W) and North 3151.188 feet from the Southwest Corner of Section 22, Township 3 South, Range 2 West, Salt Lake Base and Meridian and running thence West 30.063 feet to the point of terminus.



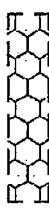
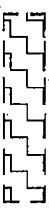
Contains: (approx. 30 L.F.)



SCALE 1"=250'



**LEGEND**

-  PROPOSED 20' WIDE SEWER EASEMENT
-  PREVIOUSLY SUBMITTED EASEMENTS FOR VILLAGE 9 PLAT 2
-  EXISTING 20' WIDE SEWER EASEMENT RECORDED IN BOOK 11093 PAGE 6920
-  EXISTING 20' WIDE SEWER EASEMENT RECORDED IN BOOK 10892 PAGE 3919



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**VILLAGE 9 PLAT 3  
SEWER EASEMENTS**

PREPARED FOR: MILLER FAMILY REAL ESTATE