

**DEVELOPMENT AGREEMENT  
THE CEDARS**

This Development Agreement (the "Agreement") is entered into as of this 16 day of Feb, 2001 between Lone Peak Links, L.L.C., a Utah Limited Liability Corporation, by and through Ken Briggs, (hereinafter the "Developer"), and the City of Cedar Hills, a political subdivision of the State of Utah, by and through the City Council, (the "City").

**RECITALS:**

**WHEREAS**, Developer owns or has a contract to purchase real property located within the incorporated City of Cedar Hills, Utah (the "Property") described in Exhibit "A" attached hereto, portions of which are located within the City's H-1 Hillside zone and portions of which are located within the City's Town-Site Residential zone.

**WHEREAS**, Developer is desirous of subdividing and improving the Property for the construction of a mix of single family dwellings and multi-family dwellings under the City's zoning ordinance and to that end has submitted and received concept approval of a golf course community referred to as "The Cedars", a copy of which is attached (Exhibit "B"). Furthermore, Developer has submitted and received a conditioned preliminary and final approval of Plats A through J of the development plan for the Property, final plat copies of which are shown on "Exhibit C."

**WHEREAS**, Due to the size and density of the development proposed by the Developer, the City is desirous of insuring, through this agreement, that the health, safety, and general welfare of City residents is protected through adequate transportation development, park and trail development, open space preservation, golf course development, and utility line development.

**WHEREAS**, Acting pursuant to its authority under Utah Code Annotated, §10-9-101, et seq., and after all required public notice and hearings, the City, in the exercise of its legislative discretion, has elected to process The Cedars in a manner resulting in the negotiation, consideration and approval of this Development Agreement and has concluded that the terms and conditions set forth herein serve a public purpose and promote the health, safety, prosperity, security, and general welfare of the inhabitants and taxpayers of the City.

**NOW, THEREFORE**, in consideration of the premises above and the terms and conditions set forth below, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and Developer hereby agree as follows:

**TERMS AND CONDITIONS**

**1. Development of the Property**

1.1 **Overall Density.** Both parties agree to a overall density of no more than 725 units to be developed throughout the Property. Areas east of Canyon Road shall develop in the H-1 Hillside

zone, while areas west of Canyon Road shall develop in the Townsite Residential Zone. The Cedars has been proposed and approved by the City Council as a "phased" development, subject to the attached phasing plan (Exhibit "D") with the following densities applicable to each of the approved phases:

- 1.1.1 35 units in Plat A of The Cedars, including one site designated for a church.
- 1.1.2 103 units in Plat B of The Cedars.
- 1.1.3 68 units in Plat C of The Cedars.
- 1.1.4 76 units in Plat D of The Cedars.
- 1.1.5 201 units in Plat E (future multi-family phase). Both parties acknowledge that the future multi-family phase of the Cedars has received no approvals as to the development of the multi-family units and the intent of this section is strictly to limit the future density in Plat E. Furthermore, any future development on the proposed Plat E is subject to the City's Preliminary and Final Plat approval process.
- 1.1.6 27 units in Plat F of the Cedars.
- 1.1.7 0 units in Plat G. This is an open space plat containing 108.48 acres of open space.
- 1.1.8 0 units in Plat H. This is a golf course and open space plat containing 5.57 acres of open space and 31.3 acres of golf course.
- 1.1.9 65 units in Plat I of The Cedars.
- 1.1.10 150 units in Plat J of The Cedars.

1.2 Construction of Density. Both parties agree that, with regard to construction of homes within the project, the following:

- 1.2.1 No more than a total of 60 units within any plat west of Canyon Road shall be constructed prior to full construction of that portion of the southern connector road between Canyon Road and the Southern Entrance to Plat B, except in the instance of waivers granted in this section.
- 1.2.2 Developer agrees that the main boulevard portion (Briggs and Nielsen Boulevards) of the street subdivision improvements on the western portion of the development shall be constructed concurrently with any improvements within Plats B, and prior to any residential building permit issuance in any plats west of Canyon Road.
- 1.2.3 Developer agrees that development and construction of any improvements within Plat I is subject to substantial completion of all infrastructure improvements connecting Plat I to existing City infrastructure, that development and construction of any improvements within Plat F is subject to substantial completion of all infrastructure improvements connecting Plat F to existing City infrastructure, and that development and construction of any improvements within Plat J is subject to substantial completion of all infrastructure improvements connecting Plat J to existing City infrastructure
- 1.2.4 Both parties agree that issuance of building permits for any structure construction within the project is subject to the standard policies, procedure, building codes, ordinances, resolutions, and statutes of the City and that no waivers of these requirements are granted by virtue of this development agreement unless noted herein or otherwise agreed to by the City Council by motion. Requirements acknowledged by Developer include, but are not

limited to the following:

- (i) Issuance of building permits shall only occur when all infrastructure, including utilities, culinary water and pressurized irrigation facilities, sewer, storm sewer, curbing, gutter, sidewalk, and asphalt are constructed and acceptable to the City.
- (ii) Waiver to the above may be granted by allowing building permits to be issued for the project during winter weather conditions with the following stipulations (i)The permit shall be good only for inspections through and including the 4-way, (ii) Building could commence prior to asphalt only, but with all other infrastructure installed and accepted, and (iii) When the City engineer determines winter weather conditions no longer exist, the asphalt must immediately be installed.
- (iii) All set-backs shall be in accordance with the approved lotting plan shown on Exhibit "E".
- (iv) Building Permit Issuance for the Golf Course Club House or any other structure constructed or erected on the Golf Course shall be subject to site plan approval by both the Planning Commission and the City Council.

1.3 Recordation. The Developer and City acknowledge that Plats B, G, and H will be recorded in the office of the Utah County Recorder prior to December 31, 2000. All other Plats shall be recorded no later than December 31, 2001. Should the Developer record after these dates he agrees to pay the City, as a penalty, the equivalent property taxes it would have received from the property if it was recorded in the Utah County Recorder's Office. Payment of this penalty will be due November 30, 2001. Furthermore, the Developer acknowledges the utmost importance of the golf course feature to the approval of the density and design of the project and agrees that under no circumstances shall any recording of any plat occur prior to 1.) the City receiving positive proof of developers ownership of all portions of the golf course property within Cedar Hills as well as within Highland City and 2.) The City receiving positive proof of Highland City irrevocable construction approvals for the portion of the golf course within their municipal boundaries.

#### 1.4 Layout & Design.

- 1.4.1 The City and Developer acknowledge that the plan for the Cedars(Exhibit "C") has been approved as a Planned Townsite Residential Development (PRD) by the City in accordance with City ordinances. Both parties acknowledge that final approval has been granted for the Project subject to certain conditions set forth at approval and that no plat recordation nor development shall occur on the property until such time as those conditions, as well as any applicable conditions set forth in this agreement, are met. Grading shall be allowed subject to the City Engineers approval and inspection.
- 1.4.2 Developer further agrees that all requests for approval of the multi-family phase within the project area will be in substantial compliance with the overall project plan for The Cedars unless otherwise requested and approved by the City.

1.4.3 A portion of The Southern Connector shown in the approved preliminary plan occupies territory not owned or controlled by Developer (Savage property, shown on Exhibit "B"). Both parties agree that under no circumstance will recordation or development occur of any portions of the development west of Canyon Road without the dedication of a road plat or similar instrument, to the City, securing the alignment of the Southern Connector.

1.5 Multi-family phase. Preliminary plan details shall be submitted to the City for the normal approval process for the multi-phase portion of this project. At the time of this agreement, it is intended that details be submitted at some future date, with a total density to not exceed 201 multi-family units. Developer and City agree to prepare a separate development agreement related to the multi-family portion at that time.

## 2. Park and Open Space

2.1 Green Space Dedication. Cedar Hills and Developer acknowledge that The Cedars includes separate parcels, containing approximately 9.45 total acres which are intended to be purchased by the City and developed as part of the City's green space and trail system (shown on Exhibit "C" and hereafter referred to as "Green Space and Trail Parcels"). Copies of the descriptions of the Green Space and Trail Parcels are attached (Exhibit "F") and by this reference made a part of this agreement. The City and Developer mutually agree that, for purposes of purchase, the value of the Green Space and Trail Parcels is hereby established at \$122,000. The City hereby agrees to purchase and Developer hereby agrees to sell the Green Space and Trail Parcels for the above amount, subject to the following:

- 2.1.1 Developer will convey title of all the Green Space and Trail Parcels to the City by special warranty deed concurrently with the recording of the first subdivision plat within the Cedars, or December 1, 2001, whichever comes first.
- 2.1.2 The City agrees to pay Developer \$122,000 upon conveyance of the parcels.
- 2.1.3 Developer agrees to construct, at standards provided by the City, a 10' asphalt path along the Bonneville shoreline Trail location and an 8' asphalt path along all other trail locations.
- 2.1.4 Where the Trail is located upon Golf Course parcels, Developer shall provide a 20' trail right-of-way easement.

2.2 Park Land Impact Fees. Developer agrees to pay all park land impact fees pursuant to City ordinances in place at the time of payment, subject to Section 13 of the Annexation Agreement.

2.3 Open Space. Developer and City agree that the open space provided for within the Cedars and dedicated to the City is adequate to meet City ordinance requirements of a minimum of 30% open space within this phase of the project area. Furthermore, both parties agree that open space requirements are satisfied pursuant to the following:

- 2.3.1 The City and Developer acknowledge that the Cedars has been approved as a PRD consisting of a mix of single-family and multi-family dwellings, together with appurtenant streets and open space areas. It is further acknowledged, that the approved

layout provides for: (1) the placement of the allowable number of dwellings on individual lots, which lots are smaller than permitted in conventional subdivision projects, and the concentration of the lots upon only a part of the Cedars (hereafter referred to as the "Development Cluster Area"), and (2) the designation of 6 separate remainder parcels and Plat G, of which 7.34 acres is designated as Public Facilities and 136.92 acres are identified on "Exhibit C" as open space parcels 1 through 6 and Plat G, which, because of severe physical limitations for housing development (steep slope, floodway, drainage, etc.) or other limitation, are to be retained as open space areas and conveyed to the City as the means of insuring their status as open space area in perpetuity (hereafter referred to as "Open Space Parcels").

- 2.3.2 Developer acknowledges that all rights of development appurtenant to the Open Space Parcels within The Cedars have been transferred and used within the Development Cluster Areas.
- 2.3.3 Developer hereby requests that the City accept title to the Open Space Parcels as the preferred method of preservation. A copy of the deeds conveying title to the Open Space Parcels is attached (Exhibit "G") and the City acknowledges receipt of the original. The open space parcels are designated as follows:
- (i) Parcel 1. 5.57 acres
  - (ii) Parcel 2. 5.21 acres
  - (iii) Parcel 3. 7.26 acres
  - (iv) Parcel 4. 7.33 acres
  - (v) Parcel 5. 9.76 acres
  - (vi) Parcel 6. 0.65 acres
  - (vii) Plat G. 108.48 acres
- 2.3.4 The City hereby agrees to accept title to the Open Space Parcels and to maintain the Open Space Parcels as open space and part of the City's public park system. Developer agrees that upon conveyance of the Open Space Parcels to the City, the Open Space Parcels shall thereafter be construed as part of the City's public park system and shall be deemed available for use by the public in accordance with such rules and regulations as may be established by the City.
- 2.3.5 Both parties agree that all open space parcels shall be deeded to the City concurrently with the recordation of the first plat within the Cedars.
- 2.3.6 Developer agrees to provide private park and open space features within plats west of Canyon Road in accordance with the preliminary and final plat approvals (shown on Exhibit "C").
- 2.4 Landscaping. Landscaping for plats west of Canyon Road shall be bonded for and conform with the submitted and approved landscaping plan (Exhibit "H").
- 2.5 Open Space Preserved in Golf Course. Both parties agree on the following:
- 2.5.1 That for purposes of open space and recreational space preservation, all development rights have been removed from the Golf Course areas (shown on Exhibit "C"). The total

acreage of the golf course areas, used for open space calculations, is 115.17 acres, the density from which has been removed and included in the development clusters in the Cedars. In order to preserve the open space qualities of the golf course, developer hereby requests and City agrees that a conservation easement over the golf course be granted to the City, concurrently with the recordation of the first plat, in the format shown on Exhibit "I".

- 2.5.2 In order for the golf course property to apply for open space density bonuses, Developer agrees to certain privileges for City residents, to be memorialized in a separate agreement, but generally understood to include a.) No limitation of access for City residents and guests, b.) Discounted greens fees for City residents at a rate of 75% of the non-resident fee, c.) The primary name of the golf course to include the name "Cedar Hills."
- 2.5.3 Developer shall provide a performance guarantee acceptable by the City for the golf course construction prior to final plat recording of any phase within Plats E, F, I or J, or within 30 days of the City determining not to exercise the aforementioned option, whichever occurs first. In the instance that the City has exercised the option, per 2.5.4 below, prior to the recordation of Plats E, F, I or J, then the requirements of this section 2.5.3 are waived.
- 2.5.4 Developer has granted an exclusive option to the City to take over the responsibility to finance, construct, own, operate and maintain the golf course. Details of the option agreement are shown in Exhibit "J." In addition to the option agreement, Developer and City agree to the following with regard to the construction of the course:
- (i) Because of a desire to move forward with the golf course in an expeditious manner, Developer agrees to move forward in the bidding, and construction of the mass grading and staking of the golf course. Construction is anticipated to begin on or about February 1, 2001.
  - (ii) Developer furthermore agrees that, once the design is complete and ready to go out to bid for the remainder of the golf course, Developer shall move forward with the bidding of the remainder portion of the golf course. This is anticipated to occur by March 1, 2001.
  - (iii) Developer and City agree that, should the City determine to exercise its option to own, construct, operate, and maintain the golf course, the City would 1.) Assume the Developer's existing contract for mass grading and staking, 2.) Award the bid for the remainder of the course, and 3.) Reimburse Developer for the costs paid to the grading contractor for work completed. Developer and City acknowledge that the City anticipates making a decision on the option following receipt of all bids related to the golf course, as anticipated in 2.5.4(ii) above.
  - (iv) Developer agrees to conform with the following requirements with regard to the bidding process and contracts for the golf course:
    - 1.) The City reserves the right to review and require three bids, from qualified golf course contractors, on the mass grading and remainder of the golf course.
    - 2.) The bids and ultimate construction contracts must be based on a fixed price and shall require the contractor to provide for 100% payment and performance

bonds. Such bond shall be made payable to the City and shall be executed by a corporate surety licensed to transact business in the State of Utah and shall be in the full amount of the contract price.

- 3.) Each Construction Contract executed in connection with the Project must provide that it will be fully and freely assignable to the City without the consent of any other person; and that, if the Contract is assumed by the City, the Contractor will perform the agreements contained therein for the City.
- 4.) Each contractor and subcontractor shall be required to procure and maintain comprehensive general public liability and property damage insurance.
- 5.) Each contractor and subcontractor retained by the Developer shall be required to procure and maintain during the term of his contract and until the Golf Course is completed and accepted, builder's risk completed value insurance upon the Golf Course, insuring against loss or damage causes by fire, malicious mischief, vandalism and other such hazards.
- 6.) Each contractor and subcontractor shall be required to procure and maintain worker's compensation insurance.
- 7.) The City must be involved in all aspects of the bidding and contractor selection process. This is anticipated as an oversight role with the City giving input but not making the final decision with regard to selecting the contractor.

### 3. Transportation

3.1 Southern Connector to Cottonwood Drive. Developer acknowledges the following responsibilities with regard to the Southern Connector between Canyon Road and Cottonwood Drive:

- 3.1.1 Developer shall be responsible for the finance and construction of the Southern Connector between Canyon Road and Cottonwood Drive.
- 3.1.2 Developer shall acquire and dedicate, or cause to be dedicated to the City, the entire right-of-way width for the Southern Connector as shown on the preliminary plat, between Canyon Road and Cottonwood Drive. The dedication plat for said roadway is shown on Exhibit "K". Dedication of the Southern Connector shall occur concurrently with recordation of the first plat within the Cedars.
- 3.1.3 Developer shall construct, to full improvement, that portion of the Southern Connector between Canyon Road and the southern entrance to Plat B concurrently with improvements to Plat B. Additionally, concurrently with the recordation of the third plat, the Developer shall bond for the full improvement of that portion of the Southern Connector between Cottonwood Drive and the eastern edge of the Savage Park parcel. Construction shall occur when either Savage Industries has removed sufficient fill from the road area, or upon need for the golf course clubhouse access, whichever occurs first. Further, the City agrees to give timely notice to Savage Industries for the removal of the fill, so as not to impede Developer's commitment to construct.
- 3.1.4 Developer shall bond for the partial width ( $\frac{1}{2}$  the width plus 10') of the northern half of the portion of the Southern Connector between the Savage Park Parcel and the southern

entrance to Plat B. This shall occur concurrently with the recordation of the fourth recorded plat. Construction shall occur when either Savage Industries has removed sufficient fill from the road area, or upon need for the golf course clubhouse access, whichever comes first. Further, the City agrees to give timely notice to Savage Industries for the removal of the fill, so as not to impede Developer's commitment to construct.

- 3.1.5 **City Reimbursement for Improvements.** The City hereby agrees to reimburse Developer for ½ the cost of improvements to the Southern Connector for the portion of the road constructed within the Savage Park Parcel, provided that the reimbursement shall be to a maximum of that amount collected for that purpose through the City's impact fee ordinance and shall be reimbursed as adequate funds are collected through the impact fee. Additionally, the City shall only be responsible for this reimbursement should the provisions for acquiring the park parcel be insured either through agreement or outright purchase.
- 3.1.6 **City Reimbursement for Property.** The City hereby agrees to reimburse Developer for that portion of the property costs for the Southern Connector which can reasonably, as determined by the City, be attributed to the impacts of future development on the entire Savage parcel less the park parcel. Those costs shall be incorporated into the City's impact fee ordinance and reimbursed to Developer as collected.

3.2 **Canyon Road Improvements.** Concurrently with recordation and improvement of the first plat within the Cedars, Developer agrees to bond for and fully improve that portion of Canyon Road which bisects The Cedars. Full improvements shall include the following:

- 3.2.1 For the portion of Canyon Road north of the northern entrance to the Cedars. Improvements shall include acceleration/deceleration lanes when necessary, and a 10' meandering asphalt path paralleling the road on the western side of the road.
- 3.2.2 For the portion of Canyon Road south of the northern-most entrance to the Cedars. Improvements shall include full width of asphalt, curbing and gutter, 10' asphalt trail on the eastern side and 4' sidewalk on the western side.
- 3.2.3 Construction of the two underground trail crossings connecting the eastern and western portions of the development, as delineated in 3.3.2 below. Bonding/Construction of the joint golf cart/pedestrian tunnel shall occur concurrently with the first plat, while bonding/construction of the pedestrian tunnel shall occur with the first recorded plat on the east side of Canyon Road.
- 3.2.4 All improvements shall conform with requirements set forth by UDOT and the City for this roadway.

3.3 **Traffic-safety.** In the interest of providing for traffic-safety within project streets, Developer and City agree to the following:

- 3.3.1 **Traffic-calming.** Developer agrees to provide bonding for and construct traffic-calming devices within the project area at trail crossings as shown on Exhibit "C"(typical designs attached in Exhibit "L").
- 3.3.2 **Tunnel crossings.** Developer agrees to provide bonding for and construct underground



pedestrian/golf cart crossings where the trail crossings intersect with Canyon Road at the locations shown on Exhibit "C". Designs and drawings for the tunnel crossings shall be provided to and approved by the City Engineer.

- 3.3.3 Round-a-bout. Developer agrees to provide bonding for and construct a round-a-bout, to the standard of design provided by the City, at the intersection of the Southern Connector and the southern access point to Plat B.

#### 4. Utilities

- 4.1 Utility Extensions. Developer agrees to attach to existing utilities including water, sewer, storm sewer, and pressurized irrigation, where applicable and to make provision for underground cable utility conduit and City utility conduit pursuant to City Engineer requirements and City specifications. All extensions are to conform with requirements of the City Engineer.
- 4.2 Culinary Water. Developer hereby acknowledges that all portions of The Cedars lie at an elevation above that which is capable of culinary water service from the City's existing water tanks and that a new culinary water tank and delivery facilities will be required to be constructed prior to or concurrently with any residential development within The Cedars (Map shown on Exhibit "M"). Developer further acknowledges that the City does not have sufficient funding to construct a new water tank and delivery system providing service to the area within the time frame desired by Developer. Accordingly, in order to facilitate the early development of the property in accordance with the time frame desired by Developer, Developer hereby agrees that notwithstanding any approvals for Final Platting, The provisions of sections 9, 10, 11 and 12 of the Annexation Agreement between the City and Developer, shall apply to this Development Agreement.
- 4.3 Water Rights. Water rights shall be conveyed to the City in the amount and method determined by section 6, 7, and 8 of the Annexation Agreement between the City and Developer, and shall occur prior to or concurrently with any development within the Cedars.
- 4.4 Pressurized Irrigation. In lieu of providing approximately 400 acre-feet of irrigation water right to be used for the golf course portion of the project, Developer agrees to construct sufficient storage (shown on Exhibit "N") and supply facilities to supply irrigation water to the storage facilities and provide water for all portions of the City prior to or concurrently with any development within the Cedars. Furthermore, the City agrees to provide all the irrigation water rights for the golf course. Responsibilities related to each component of the pressurized irrigation system are as delineated in section 12 of the Annexation Agreement between the City and Developer.
- 4.5 Storm Drainage. Developer agrees to retain all storm-drainage within the project area or specified and approved areas outside the project. Storm Drain detention basins shall be constructed so as to be included within the development. Prior to any storm drain effluent entering any area of the golf course, it must be pre-treated. Developer agrees to grant storm drain easements for those

detention areas within approved lots.

**5. Impact Fees.**

Developer agrees to pay all impact fees as they currently exist or may be amended or added by City ordinance, unless otherwise waived by agreement with the City.

**6. Fencing Plan.**

Developer agrees to construct a decorative fence of the style indicated at locations shown on the landscaping plan (Exhibit "I"). The fencing or wall material shall be as shown in the Design Standards, as approved by the City.

**7. Conditions, Covenants, and Restrictions.**

The Cedars has been approved as a Planned Residential Development, a portion of which is to be developed as a private PRD (Plats B, C, D, I, and F) and a portion of which is to be developed as a non-private PRD (Plats A and J). As such the City and Developer agree to the following:

7.1 CCR's for Plat A and I. CCR's for Plats A and J shall be reviewed and approved by the City prior to any recordation of Plat A or J, at which time they shall record concurrently with Plat A and/or J.

7.2 CCR's and HOA for Plats B, C, D, I, and F. The attached CCR's and Home Owners Association Documents for Plats B, C, D, I, and F (Exhibit "O") have been reviewed and approved by the City and are hereby incorporated into this agreement and will be recorded concurrently with recording of Plats B, C, D, I, and F. Additionally, the HOA shall be assessed for and responsible for the landscaping and maintenance of the landscaped medians and park strips on the streets accessing and going through Plats B, C, D, I and F of the project.

7.3 Gating of Plats B, C, D, I, F. Developer and City agree that the roads appurtenant to Plats B, C, D, I, and F, other than Briggs (10650 N) and Nielsen (4220 W) Boulevards, shall be private roads maintained by the HOA. Developer further agree that such roads shall not be gated from the public by Developer. However, the City acknowledges the right to gate by the future HOA and agrees that in the event that the HOA desires to gate such roads from public access, the HOA shall submit the gating plan to the City as an amendment to the site plan. Upon receipt of the gating plan, the City shall review the plan, make adjustments as deemed necessary by the City, and shall not unreasonably withhold approval. The City's review may include such issues as dimensions and material of the gate, gate operations, location, aesthetic considerations, safety considerations, and other considerations deemed appropriate by the City. Furthermore, should the HOA desire to gate such roads from public access, the City shall first have the option of making the roads public. Both parties agree that although Briggs and Nielsen Boulevards are to be public, the HOA shall be responsible for maintaining, at high standards, all landscaped areas within and adjacent to both public rights-of-way. Furthermore, the City agrees to indemnify the HOA from liability for injuries occurring in the public right-of-way.

**8. Architectural Standards of Homes.**

City approvals for The Cedars are based upon construction of homes in substantial conformance with attached Design Standards (Exhibit "P"). These design standards have been adopted by the City for this development and Developer agrees to build, or cause to be built, all homes in the Cedars in conformance with these Standards. Furthermore, due to the high level of fire hazard presented by the hillside, particularly the slope of the property, the existing and future vegetation, the direction the slope faces, the number of fire days in the area, and the windy conditions that are prevalent in the area, Developer agrees that no homes shall be constructed, in Plats A or J, with readily combustible exterior finishes including, but not limited to: wood shingles, wood soffits and fascia, or wood siding.

**9. Engineering and Construction Standards.**

Developer agrees that all construction of utilities, tanks, infrastructure, and any other subdivision development issues are subject to approval by the City Engineer. While generally the standards used are as set forth in the adopted development construction standards, from time to time it is anticipated that unforeseen circumstances will require the Engineer to either waive, adapt, change, or add to certain standards. Developer agrees that this is necessary and appropriate and agrees to be bound by the decision of the City Engineer with regard to any reasonable development construction issues.

**10. Subdivision Improvement Bonding.**

- 10.1 Developer agrees to be held to all bonding requirements as set forth in City ordinances, resolutions, or policies, with the following exceptions:
  - 10.1.1 Developer agrees to post the construction guarantee bond in the form of a cash bond in a form suitable to the City. Under no circumstances shall any portion of the bond be placed in the form of a surety or insurance bond.
  - 10.1.2 Developer agrees to post the durability bond in the form of a letter of credit with bank approved by the City, in a form suitable to the City. Under no circumstances shall any portion of the bond be placed in the form of a surety or insurance bond.
  - 10.1.3 Both parties agree that the construction guarantee for all public and private improvements shall be posted for 100% of improvements plus contingency amounts. In addition, both parties agree that the separate durability bond for the public improvements shall be posted at the same time as the construction guarantee in the amount of 25% of the cost of improvements, not to be released until completion of the durability period.
- 10.2 In exchange for the considerations the City has granted in 10.1 above, the Developer agrees to pay an additional \$200,000 to the City for the purposes of purchasing public lands adjacent to the Development, in the Savage Parcel, \$100,000 of which is for the Southern Connector land costs. Payment of the funds shall be at the time the City closes on the Savage Parcel with the Savage Companies, or three years, whichever comes first. As security for the funds, Developer agrees to deed four, recorded lots to the City to be held as collateral until such time as the funds are provided to the City (Deeds shown in Exhibit "Q"). The four lots shall be deeded to the City upon recordation of any plat beyond plat B.

## 11. Successors and Assigns.

- 11.1 Binding Effect. This Agreement shall be binding on the successors and assigns of Developer in the ownership or development of any portion of the Project. Notwithstanding the foregoing, a purchaser of the Cedars or any portion thereof shall be responsible for performance of Developer's obligations hereunder as to the portion of the Project so transferred.
- 11.2 Transfer of Project. Developer shall be entitled to sell or transfer any portion of the Cedars subject to the terms of this Agreement upon written notice to and written consent from City, which consent shall not be unreasonably withheld. In the event of a sale or transfer of the Cedars, or any portion thereof, the seller or transferor and the buyer or transferee shall be jointly and severally liable for the performance of each of the obligations contained in this Agreement unless prior to such transfer an agreement satisfactory to the City is executed by the City, the Developer, and transferee, which delineates and allocates each obligation between Developer and transferee and in which the transferee acknowledges the existence of this Agreement and agrees to be bound thereby. Said letter shall be signed by the buyer or transferee, notarized, and delivered to the City Recorder prior to the transfer or sale. In such event, the buyer or transferee of the parcel so transferred shall be fully substituted as Developer under this Agreement and Developer shall be released from any further obligations under this Agreement as to the parcel so transferred.
- 11.3 Sale of Platted Lots. Notwithstanding Paragraph 11.2, Developer shall not be required to notify City or obtain City's consent with regard to the sale or transfer to bonafide purchasers lots (i) for which final plats have been approved and recorded in accordance with this Agreement and (ii) which are intended for single family residential use.

## 12. Default

- 12.1 Events of Default. Upon the happening of one or more of the following events or conditions Developer shall be in default ("Default") under this Agreement:
- 12.1.1 A warranty, representation or statement made or furnished by Developer under this Agreement, including any Exhibits attached hereto, is intentionally false or misleading in any material respect when it was made.
- 12.1.2 A determination by City made upon the basis of substantial evidence following a periodic review under Paragraph 13.14 that Developer has not complied in good faith with one or more of the material terms or conditions of this Agreement.
- 12.1.3 Any other event, condition, act or omission which materially interferes with the intent and objectives of this Agreement.
- 12.2 Procedure Upon Default.
- 12.2.1 Upon the occurrence of Default, City shall give Developer thirty (30) days written notice specifying the nature of the alleged default and, when appropriate, the manner in which said Default must be satisfactorily cured. After proper notice and expiration of said thirty

(30) day cure period without cure, City shall hold a public hearing which has been noticed by publication and for which notice has been expressly provided to Developer. Thereafter, City may declare Developer to be in breach of Agreement and may take the actions specified in Paragraph 12.3 herein. Failure or delay in giving notice of Default shall not constitute a waiver of any Default, nor shall it change the time of Default.

- 12.2.2 City does not waive any claim of defect in performance by Developer if on periodic review City does not propose to modify or terminate this Agreement.
- 12.2.3 Any Default or inability to cure a Default caused by strikes, lockout, labor disputes, acts of God, inability to obtain labor or materials or reasonable substitutes therefor, governmental restrictions, governmental regulations, governmental controls, enemy or hostile governmental action, civil commotion, fire or other casualty, and other similar cases beyond the reasonable control of the party who has the obligation to perform shall excuse the performance by such party for a period during which any such event prevented, delayed or stopped any required performance or effort to cure a Default.
- 12.2.4 An express repudiation, refusal or renunciation of this Agreement, if the same is in writing and signed by Developer, shall be sufficient to terminate this Agreement and a hearing on the matter shall not be required.

- 12.3 Breach of Agreement. Upon Default as set forth in Paragraphs 12.1 and 12.2, City may declare Developer to be in breach of this Agreement and City may (i) withhold approval of any or all building permits or certificates of occupancy applied for in the Cedars until the breach has been corrected by Developer and the City shall be under no obligation to approve or to issue any additional building permits or certificates of occupancy for any dwelling within the Cedars until the breach has been corrected and (ii) draw upon the developers bond placed with the City. If City draws on the bond it shall not be under obligation to complete the improvements but may use the proceeds for engineering expenses, consultants, fees and charges, legal fees and costs, subdivision improvements, reimbursements, or other expenses connected with the Cedars as City may determine in its sole discretion. Notwithstanding the rights guaranteed by this Paragraph 12.3, City may pursue whatever additional remedies it may have at law or in equity. If City brings legal action against Developer or the issuer of the bond, and if City is successful in such litigation, Developer shall pay City's reasonable costs and attorneys' fees. The waiver of any one or more breaches of this Agreement shall not constitute a waiver of the remaining terms thereof.

### 13. **General Terms and Conditions**

- 13.1 Recording of Agreement. This Agreement shall be recorded and shall be a covenant running with the Property herein described in order to put prospective purchasers or other interested parties on notice as to the terms and provisions hereof.
- 13.2 Construction of Agreement. This Agreement shall be construed so as to effectuate its public purpose of ensuring Improvements and Facilities are timely provided for the benefit of the ultimate purchasers of lots in the Project and to protect health, safety, and welfare of the

citizens of City.

- 13.3 Duration. The terms of this Agreement shall commence on, and the effective date of the agreement shall be, the effective date of the execution of this Agreement. The Term of this Agreement shall extend until the obligations and requirements herein are completed in conformance with City subdivision, construction, and bonding requirements.
- 13.4 State and Federal Law. The Parties agree, intend and understand that the obligations imposed by this Agreement are only such as are consistent with state and federal law. The parties further agree that if any provision of the Agreement becomes, in its performance, inconsistent with state or federal law or is declared invalid, this Agreement shall be deemed amended to the extent necessary to make it consistent with state or federal law, as the case may be, and the balance of the Agreement shall remain in full force and effect.
- 13.5 Enforcement. The parties to this Agreement recognize that City has the right to enforce its rules, policies, regulations, ordinances, and the terms of this Agreement by seeking an injunction to compel compliance. In the event that Developer violates the rules, policies, regulations or ordinances of City or violates the terms of this Agreement, City may, without declaring a Default hereunder or electing to seek an injunction, and after fifteen (15) days written notice to correct the violation (or such longer period as may be established in the discretion of City or a court of competent jurisdiction if Developer has used its reasonable best efforts to cure such violation within such fifteen (15) days and is continuing to use its reasonable best efforts to cure such violation, take such actions as shall be deemed appropriate under law until such conditions have been rectified by Developer. City shall be free from any liability arising out of the exercise of its rights under this paragraph.
- 13.6 No Waiver. Failure of a party hereto exercise any right hereunder shall not be deemed a waiver of any such right and shall not effect the right of such party to exercise at some future time said right or any other right it may have hereunder. Unless this Agreement is amended by vote of the City Council taken with the same formality as the vote approving this Agreement, no officer, official or agent of City has the power to amend, modify or alter this Agreement or waive any of its conditions as to bind City by making any promise or representation not contained herein.
- 13.7 Entire Agreement. This Agreement constitutes the entire agreement between the parties and supersedes all prior conflicting agreements, whether oral or written, covering the same subject matter, with the exception of the Annexation Agreement between the Developer and the City. This Agreement may not be modified or amended except in writing mutually agreed to and accepted by both parties to this Agreement.
- 13.8 Attorneys Fees. Should any party hereto employ an attorney for the purpose of enforcing this Agreement, or any judgement based on this Agreement, or in any legal proceedings

whatsoever pertaining to this Agreement, including insolvency, bankruptcy, arbitration, declaratory relief or other litigation, including appeals or rehearings, and whether or not an action has actually commenced, the prevailing party shall be entitled to receive from the other party thereto reimbursement for all reasonable attorneys fees and all costs and expenses reasonably incurred in connection therewith. Should any judgment or final order be issued in any proceeding, said reimbursement shall be specified therein.

- 13.9 Notices. All notices hereunder shall be given in writing by certified mail, postage prepaid, at the following addresses:

*To City:*

Mayor  
3925 W Cedar Hills Drive  
Cedar Hills, UT 84062

*With copies to:*

Stan R. Smith, Esq.  
P.O. Box 727  
American Fork, UT 84003

*To Developer:*

Lone Peak Links, L.C.  
Attn: Ken Briggs  
P.O. Box 103  
Provo, Utah 84603

*With copies to:*

Craig Nielsen  
P.O. Box 103  
Provo, Utah 84063

- 13.10 Applicable Law. This Agreement is entered into under and pursuant to, and is to be constructed and enforceable in accordance with, the laws of the State of Utah.

- 13.11 Execution of Agreement. This Agreement may be executed in multiple parts as originals or by facsimile copies of executed originals; provided, however, if executed and evidence of execution is made by facsimile copy, then an original shall be provided to the other party within seven (7) days of receipt of said facsimile copy.

- 13.12 Hold Harmless. Developer agrees to and shall hold City, its officers, agents, employees, consultants, special counsel and representatives harmless from liability for damages, just compensation restitution, judicial or equitable relief arising from the direct or indirect operations of Developer or its contractors, subcontractors, agents, employees or other persons acting on its behalf which relates to the Project.

13.12.1 Exceptions to Hold Harmless. The agreements of Developer in Paragraph 13.12 shall not be applicable to (i) any claim arising by reason of the negligence or intentional actions of City, or (ii) attorneys fees under Paragraph 13.8 herein.

13.12.2 Hold Harmless Procedures City shall give written notice of any claim, demand, action or proceeding which is the subject of Developer's hold harmless agreement as soon as practicable but not later than thirty (30) days after the assertion or commencement of the claim, demand, action or proceeding. If any such notice is given, Developer shall be entitled to participate in the defense of such claim. Each party agrees to cooperate with the other in the defense of any claim and to minimize duplicate costs and expenses.

- 13.13 Relationship of Parties. The contractual relationship between City and Developer arising out of this Agreement is one of independent contractor and not agency. This Agreement does not create any third party beneficiary rights. It is specifically understood by the parties that (i) all rights of action and enforcement of the terms and conditions of this Agreement shall be reserved to City and Developer; (ii) the Project is a private development; (iii) City has no interest in or responsibilities for or duty to third parties concerning any Improvements to the Property unless City accepts the Improvements pursuant to the provisions of this Agreement or in connection with final subdivision plat approval; and (iv) Developer shall have the full power and exclusive control of the Property subject to the obligations of Developer set forth in this Agreement.
- 13.14 Annual Review. City shall review progress pursuant to this Agreement at least once every twelve (12) months to determine if Developer has complied with the terms of this Agreement. If City finds, on the basis of substantial evidence, that Developer has failed to comply with the terms hereof, City may declare Developer to be in Default as provided in Article 12 herein. City's failure to review at least annually Developer's compliance with the terms and conditions of this Agreement shall not constitute or be asserted by any party as a Default under this Agreement by Developer or City.
- 13.15 Institution of Legal Action. In addition to any other rights or remedies, either party may institute legal action to cure, correct, or remedy any default or breach of this Agreement, to specifically enforce any covenants or agreements set forth in this Agreement or to enjoin any threatened or attempted violation of this Agreement; or to obtain any remedies consistent with the purpose of this Agreement. Legal actions shall be instituted in the Fourth District Court, State of Utah, or in the Federal District Court for the District of Utah.
- 13.16 Title and Authority. Developer expressly warrants and represents to City that it is the record owner of, or has an agreement to purchase the Property constituting the Cedars, and further represents and warrants, together with the undersigned individual, that the undersigned individual has full power and authority to enter into this Agreement on behalf of the Developer. Developer and the undersigned individual understand that City is relying on such representations and warranties in executing this Agreement.
- 13.17 Headings for Convenience. All headings and captions used herein are for convenience only and are of no meaning in the interpretation or effect of this Agreement.
- 13.18 Exhibits Incorporated. All exhibits to this Agreement are incorporated herein and made a part hereof as if fully set forth herein. Both parties also agree to be held by the terms and conditions set forth in the Annexation Agreement for the properties, a copy of which is on file with the City.
- 13.19 Responsibilities of Parties. All responsibilities and requirements delineated herein should be



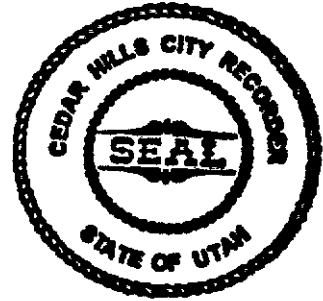
construed as pertaining to the entire development and not necessarily any one portion thereof. While certain responsibilities may be timed to occur with a particular plat, it should not be construed that any responsibility is severable from any other portion of the development, whether owned by Developer or his assigns.

IN WITNESS WHEREOF, this Development Agreement has been executed by City, acting by and through the City Council, pursuant to Council authorization, authorizing such execution, and by a duly authorized representative of Developer as of the above-stated date.

CITY: CEDAR HILLS CITY COUNCIL

By: [Signature]  
Brad Sears, Mayor

Attest: [Signature]  
Kim E. Holindrake, City Recorder  
Gretchen Gordon, Deputy City Recorder



DEVELOPERS: LONE PEAK LINKS, L.C.

By: [Signature]

By: [Signature]

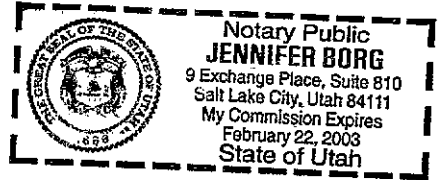
By: [Signature]

its: [Signature]

STATE OF UTAH )  
                                  §  
COUNTY OF UTAH )

The foregoing instrument was acknowledged before me on this 16 day of February, 2000, for an on behalf of Lone Peak Links, LLC, by Kenneth Briggs Its Manager.

Notary Public: [Signature]



STATE OF UTAH )  
                  §  
COUNTY OF UTAH )

The foregoing instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2000,  
for an on behalf of \_\_\_\_\_, by \_\_\_\_\_ Its \_\_\_\_\_

Notary Public: \_\_\_\_\_

**Exhibits**

- Exhibit A** Legal Description of Entire Property
- Exhibit B** Concept Plan for The Cedars
- Exhibit C** C-1 Final Plat for Plat A  
 C-2 Final Plat for Plat B  
 C-3 Final Plat for Plat C  
 C-4 Final Plat for Plat D  
 C-5 Final Plat for Plat E  
 C-6 Final Plat for Plat F  
 C-7 Final Plat for Plat G  
 C-8 Final Plat for Plat H  
 C-9 Final Plat for Plat I  
 C-10 Final Plat for Plat J  
 C-11 Preliminary Plan for entire development
- Exhibit D** Phasing Plan
- Exhibit E** Lotting Plan.
- Exhibit F** Green Space and Trail Deeds
- Exhibit G** Deeds for Open Space Parcels
- Exhibit H** Landscaping Plan for Plats B, C, D, I, F
- Exhibit I** Conservation Easement over Golf Course Parcels.
- Exhibit J** Option Agreement for Golf Course.
- Exhibit K** Dedication Plat for South Connector.
- Exhibit L** Typical Design for Traffic-calming Device.
- Exhibit M** Upper Water Pressure Zone Area Map
- Exhibit N** Water Storage Analysis for Pressurized Irrigation
- Exhibit O** CCR's and HOA documents for Plats B, C, D, I, F
- Exhibit P** Design Standards for homes within The Cedars
- Exhibit Q** Deeds for 4 recorded lots, deeded to City.

## EXHIBIT A

A PARCEL OF LAND LOCATED IN THE EAST 1/2 OF SECTION 31 AND IN THE WEST 1/2 OF SECTION 32 OF TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M., UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SAID POINT ALSO BEING THE REAL POINT OF BEGINNING;

THENCE N.  $00^{\circ}16'52''$  E. A DISTANCE OF 39.11 FEET; THENCE N.  $48^{\circ}19'31''$  W. A DISTANCE OF 938.73 FEET; THENCE WEST A DISTANCE OF 1933.25 FEET; THENCE N.  $00^{\circ}05'56''$  E. A DISTANCE OF 667.05 FEET; THENCE N.  $00^{\circ}05'56''$  E. A DISTANCE OF 1334.08 FEET; THENCE N.  $89^{\circ}54'53''$  E. A DISTANCE OF 768.60 FEET; THENCE S.  $00^{\circ}05'07''$  E. A DISTANCE OF 100.00 FEET; THENCE N.  $89^{\circ}54'53''$  E. A DISTANCE OF 50.00 FEET; THENCE N.  $00^{\circ}05'07''$  W. A DISTANCE OF 100.00 FEET; THENCE N.  $89^{\circ}54'53''$  E. A DISTANCE OF 982.50 FEET; THENCE N.  $00^{\circ}17'14''$  E. A DISTANCE OF 1210.48 FEET TO THE SOUTH SIDE OF AN U.D.O.T. RIGHT-OF-WAY; THENCE ALONG SAID R.O.W. THE FOLLOWING 3 COURSES: 1) S.  $86^{\circ}41'00''$  E. A DISTANCE OF 330.83 FEET; 2) THENCE NORTHEASTERLY A DISTANCE OF 949.69 FEET ALONG THE ARC OF A 2915.02-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF  $18^{\circ}40'00''$ , SUBTENDED BY A CHORD THAT BEARS N.  $83^{\circ}59'30''$  E A DISTANCE OF 945.50 FEET; 3) THENCE N.  $74^{\circ}39'30''$  E. A DISTANCE OF 150.35 FEET; THENCE S.  $89^{\circ}06'24''$  E. A DISTANCE OF 68.38 FEET TO AN U.D.O.T. RIGHT-OF-WAY; THENCE ALONG SAID R.O.W. THE FOLLOWING 8 COURSES: 1) S.  $51^{\circ}26'02''$  W. A DISTANCE OF 277.28 FEET; 2) THENCE SOUTHWESTERLY A DISTANCE OF 271.44 FEET ALONG THE ARC OF A 650.00-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF  $23^{\circ}55'36''$ , SUBTENDED BY A CHORD THAT BEARS S.  $06^{\circ}27'14''$  W A DISTANCE OF 269.47 FEET; 3) THENCE S.  $07^{\circ}55'13''$  E. A DISTANCE OF 901.87 FEET TO A FOUND R.O.W. MONUMENT; 4) THENCE S.  $07^{\circ}56'06''$  E. A DISTANCE OF 287.90 FEET TO A FOUND R.O.W. MONUMENT; 5) THENCE S.  $10^{\circ}21'24''$  E. A DISTANCE OF 420.87 FEET TO A FOUND R.O.W. MONUMENT; 6) THENCE S.  $02^{\circ}37'54''$  W. DISTANCE OF 286.66 FEET; 7) THENCE S.  $02^{\circ}35'11''$  W. A DISTANCE OF 1399.06 FEET TO A FOUND R.O.W. MONUMENT; 8) THENCE S.  $03^{\circ}33'15''$  W. A DISTANCE OF 278.27 FEET; THENCE S.  $89^{\circ}52'02''$  W. A DISTANCE OF 559.38 FEET TO THE REAL POINT OF BEGINNING, CONTAINING 199.06 ACRES OF LAND.

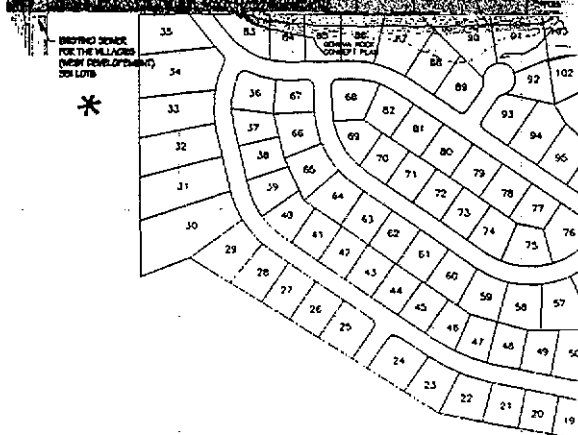
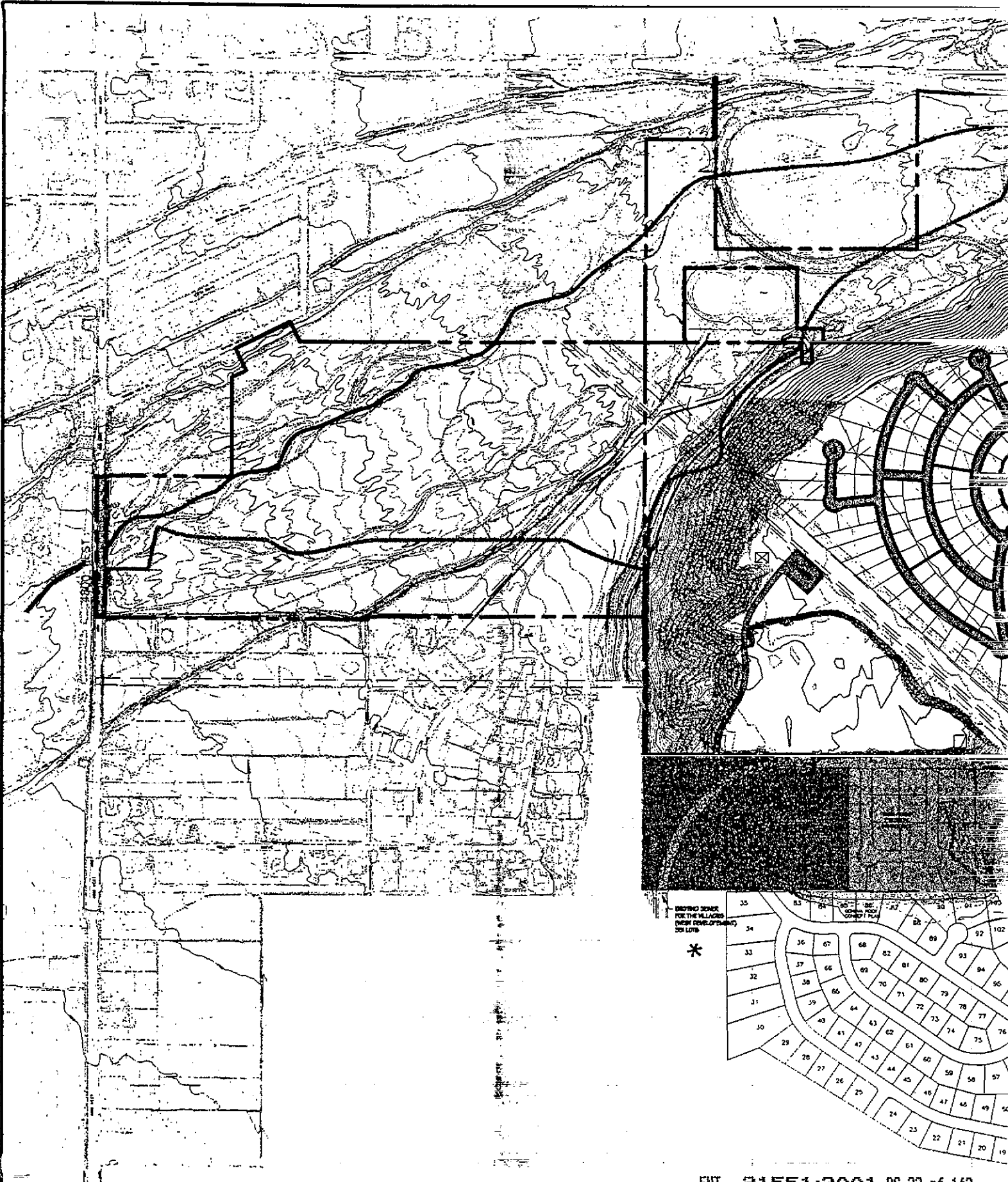
## ALSO INCLUDING

A PARCEL OF LAND LOCATED IN SECTION 32 OF TOWNSHIP 4 SOUTH, RANGE 2 EAST, AND IN THE NORTHWEST 1/4 OF SECTION 5 OF TOWNSHIP 5 SOUTH, RANGE 2 EAST, S.L.B. & M., UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTH 1/4 CORNER OF

SAID SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SAID POINT ALSO BEING THE REAL POINT OF BEGINNING;

THENCE S. 00°03'21" E. A DISTANCE OF 1316.65 FEET; THENCE S. 89°59'13" W. A DISTANCE OF 663.36 FEET; THENCE S. 89°59'13" W. A DISTANCE OF 1439.29 FEET TO THE EAST SIDE OF A U.D.O.T. RIGHT-OF-WAY; THENCE ALONG SAID R.O.W. THE FOLLOWING 8 COURSES: 1) N. 03°31'58" E. A DISTANCE OF 1314.94 FEET; 2) THENCE N. 03°31'58" E. A DISTANCE OF 274.60 FEET TO A FOUND R.O.W. MONUMENT; 3) THENCE N. 02°36'21" E. A DISTANCE OF 1399.28 FEET; 4) THENCE N. 02°36'31" E. A DISTANCE OF 286.47 FEET TO A FOUND R.O.W. MONUMENT; 5) THENCE N. 07°29'07" E. A DISTANCE OF 440.46 FEET TO A FOUND R.O.W. MOUNUMENT; 6) THENCE N. 04°12'40" W. A DISTANCE OF 887.93 FEET; 7) THENCE N. 09°26'36" E. A DISTANCE OF 311.23 FEET TO A FOUND R.O.W. MONUMENT; 8) THENCE N. 01°27'09" W. A DISTANCE OF 287.28 FEET; THENCE N. 40°11'22" E. A DISTANCE OF 153.26 FEET; THENCE S. 89°06'24" E. A DISTANCE OF 494.98 FEET; THENCE S. 00°24'36" W. A DISTANCE OF 1333.07 FEET; THENCE S. 00°21'02" W. A DISTANCE OF 1324.58 FEET; THENCE S. 89°43'21" E. A DISTANCE OF 1324.97 FEET; THENCE S. 89°17'08" E. A DISTANCE OF 2671.40 FEET; THENCE S. 00°08'52" W. A DISTANCE OF 1314.50 FEET; THENCE N. 89°18'08" W. A DISTANCE OF 2678.33 FEET TO THE REAL POINT OF BEGINNING, CONTAINING 240.11 ACRES OF LAND.



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1	DATE	BY	CHK'D BY
2	DATE: 07/21/00		
3	DATE		
4	DATE		
5	DATE		
6	DATE		
7	DATE		
8	DATE		
9	DATE		
10	DATE		



**HUBBLE**  
**ENGINEERING, INC.**  
 ENGINEERING - SURVEYING - PLANNING

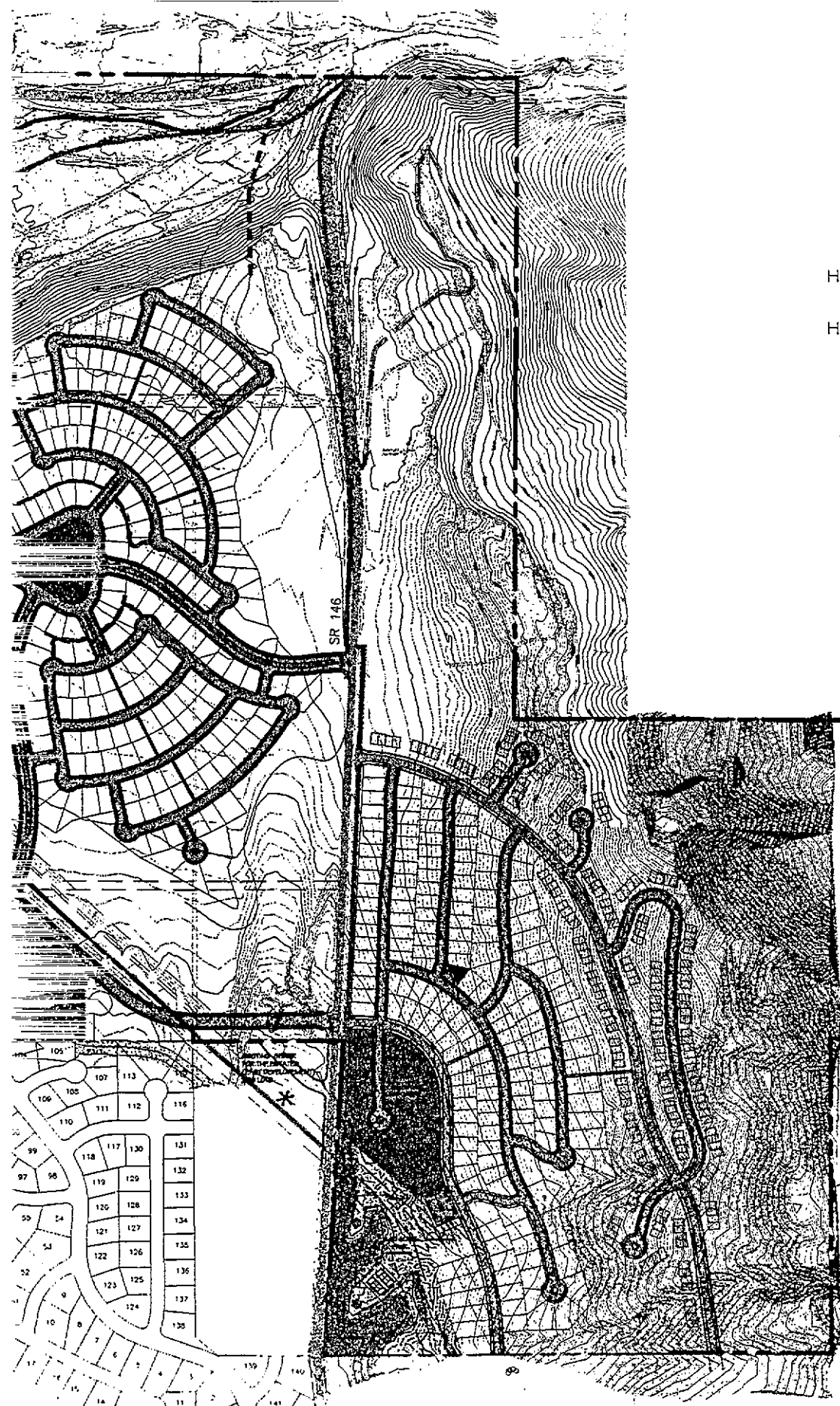


(24"x36")  
HORIZONTAL 1" = 300'

(11"x17")  
HORIZONTAL 1" = 600'

EXHIBIT B  
ANNEXATION CONCEPT PLAN

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POTENTIAL WATER  
TABLE LOCATION  
ELEVATION - 6410  
\*

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED  
ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY  
AGREEMENT IN WRITING WITH HUBLE ENGINEERING, INC.

71 N. 1200 W.  
EM, UTAH 84057  
911 811-8992

THE CEDARS  
AT CEDAR HILLS

ANNEXATION CONCEPT PLAN - JUNE 27, 2000

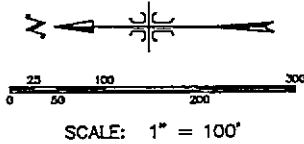
CEDAR HILLS, UTAH

JOB NO.  
3-99-193

SHEET NO.  
1

S 1/4 CORNER SEC.32 T.4S.  
R.2E., S.L.B.&M.

\*NOTE POTENTIAL  
WATER TANK LOCATION  
EAST OF MAPPED AREA

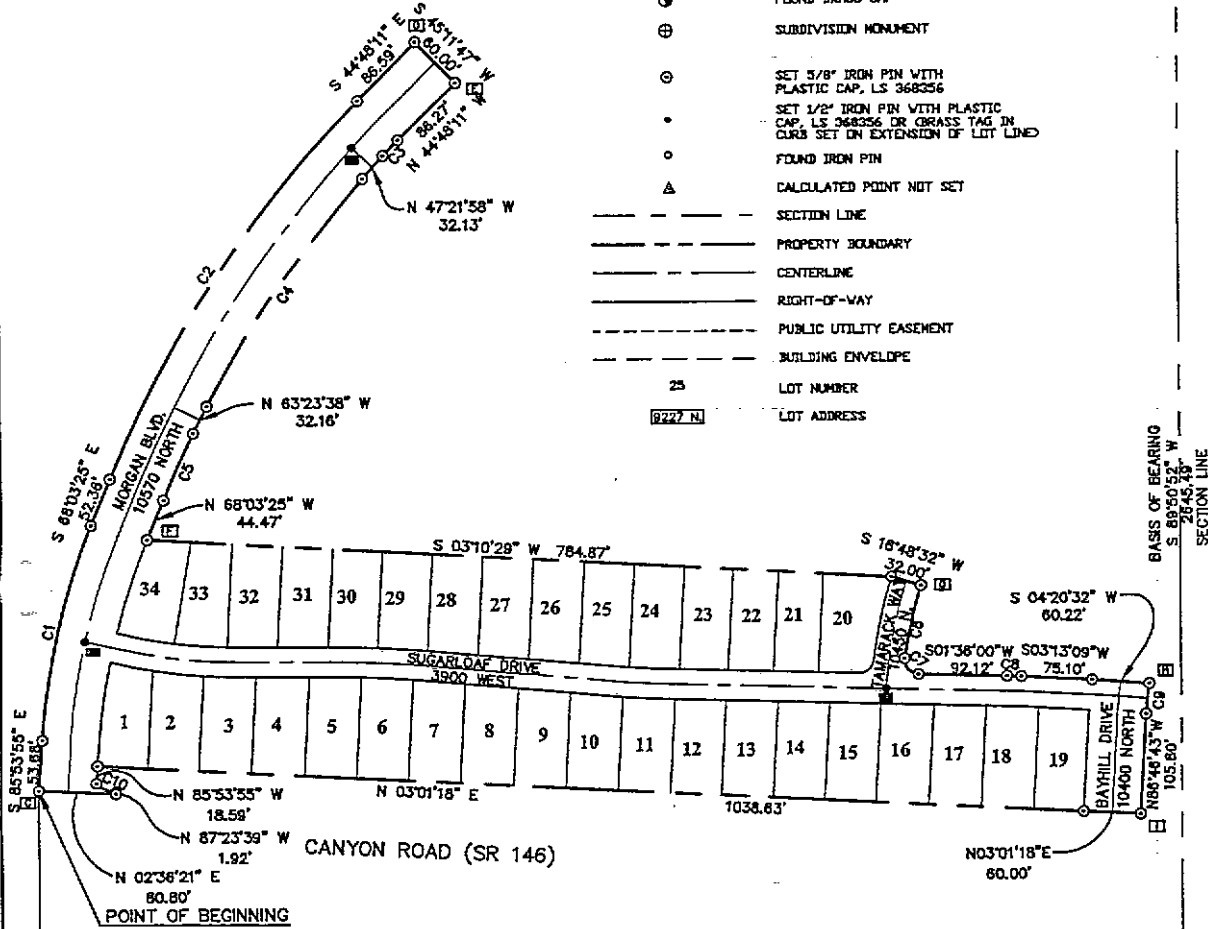


S.32 S.5  
S.32 S.5



**LEGEND**

- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊕ SUBDIVISION MONUMENT
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368256
- SET 1/2" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- FOUND IRON PIN
- △ CALCULATED POINT NOT SET
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 25 LOT NUMBER
- 9227 N LOT ADDRESS



CURVE	LENGTH
C1	254.17
C2	480.17
C3	22.97
C4	290.08
C5	77.92
C6	79.97
C7	25.27
C8	15.03
C9	32.10
C10	22.78

**STATE PLANE COORDINATES,  
BOUNDARY MONUMENT**

NO.	NORTHING	EASTING
A	760529.98	1932022.28
B	760522.95	1929377.36
C	761726.55	1930061.47
D	781327.61	1930850.47
E	761285.34	1930807.91
F	761611.59	1930327.06
G	760797.54	1930274.35
H	760558.30	1930167.29
I	760587.77	1930029.81

**STATE PLANE COORDINATES,  
SUBDIVISION MONUMENT**

NO.	NORTHING	EASTING
M1	761678.05	1930219.41
M2	761396.39	1930739.45
M3	760835.32	1930164.45

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SW CORNER  
SEC.32 T.4S.,  
R.2E., S.L.B.&M.

S.32 S.5  
S.31 S.6

**HUBB**  
**ENGINEER**  
ENGINEERING-SURV

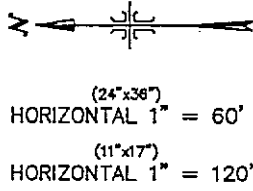
1471 N. 1200 W.  
DREM, UTAH 84057  
(801) 802-8992





**LEGEND**

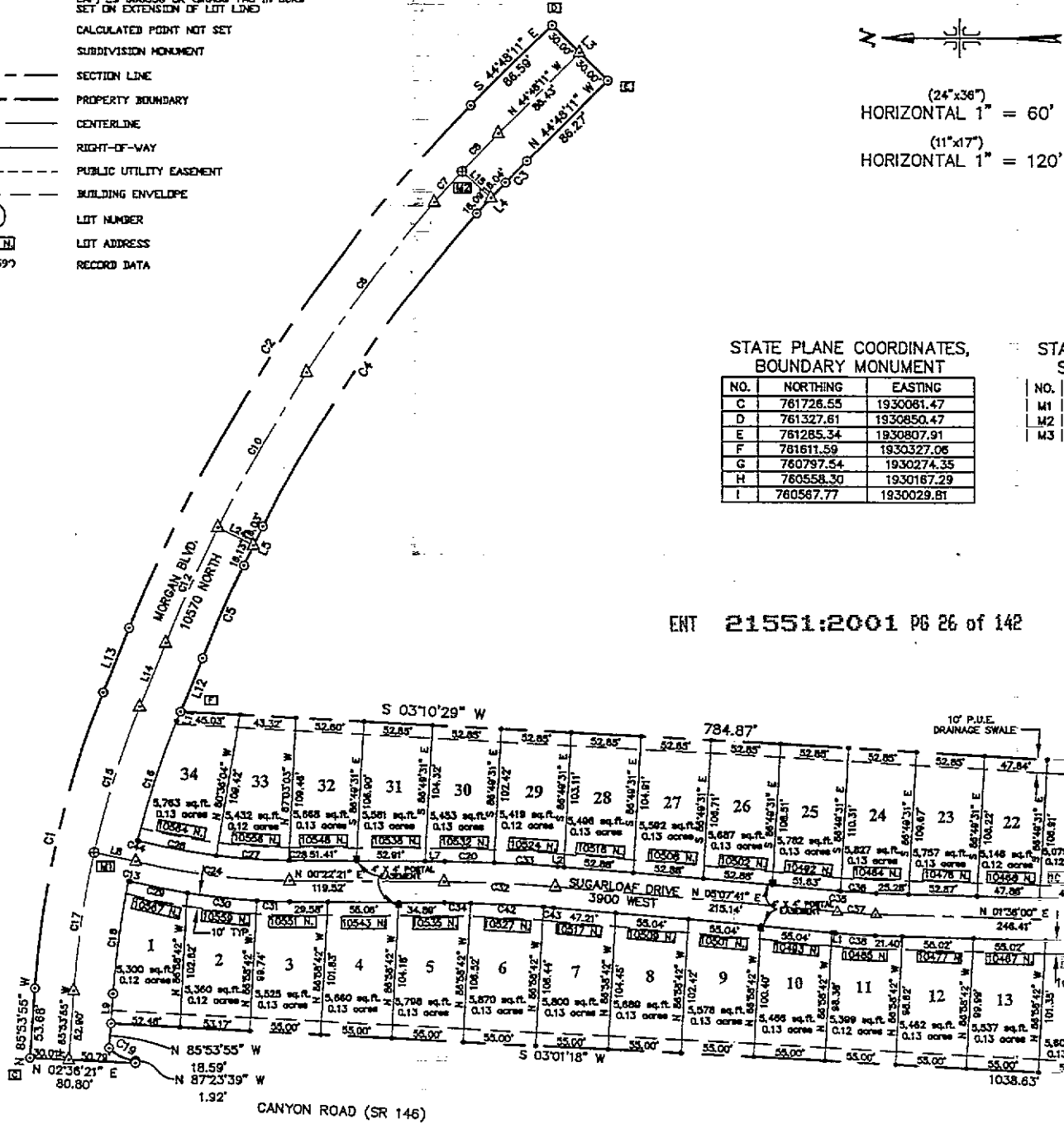
- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- ⊕ SUBDIVISION MONUMENT
- SECTION LINE
- - - - - PROPERTY BOUNDARY
- - - - - CENTERLINE
- - - - - RIGHT-OF-WAY
- - - - - PUBLIC UTILITY EASEMENT
- - - - - BUILDING ENVELOPE
- Ⓟ LOT NUMBER
- 8227 N LOT ADDRESS
- 02648.599 RECORD DATA



STATE PLANE COORDINATES, BOUNDARY MONUMENT

NO.	NORTHING	EASTING
C	761726.55	1930081.47
D	761327.61	1930850.47
E	761285.34	1930807.91
F	761611.59	1930327.06
G	760797.54	1930274.35
H	760558.30	1930167.29
I	760567.77	1930029.81

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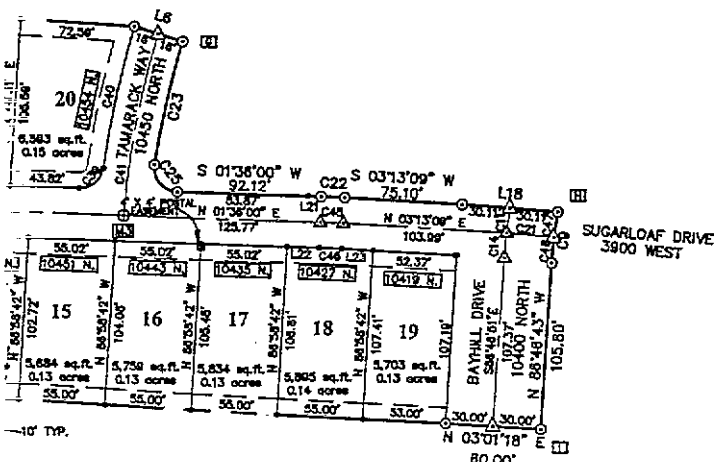
NO.	Radius	Length	CURVE TABLE		
			Chord Dist.	Chord Brg.	Delta
C1	752.00'	234.17'	233.22'	S 76°58'40" E	17°50'30"
C2	1215.00'	486.17'	477.05'	S 56°44'07" E	22°38'36"
C3	1155.00'	22.97'	22.97'	N 45°59'57" W	1°08'23"
C4	1155.00'	290.98'	290.19'	N 55°22'47" W	14°28'00"
C5	1155.00'	77.92'	77.91'	N 68°07'28" W	3°51'55"
C6	1185.00'	182.72'	182.60'	S 37°09'37" W	7°52'04"
C7	1185.00'	31.87'	31.87'	N 48°08'08" W	1°32'27"
C8	1185.00'	40.20'	40.19'	N 46°23'36" W	1°56'37"
C9	270.00'	32.10'	32.08'	N 83°41'08" W	6°48'41"
C10	1185.00'	136.87'	136.79'	N 60°04'57" W	8°37'04"
C11	300.00'	15.58'	15.58'	N 82°17'01" W	2°58'32"
C12	1185.00'	98.49'	98.47'	S 24°18'33" W	4°39'56"
C13	15.00'	1.97'	1.97'	N 10°37'27" E	7°30'49"
C14	300.00'	15.78'	15.78'	N 85°16'34" W	3°00'34"
C15	722.00'	117.23'	117.10'	S 17°17'29" W	9°18'12"
C16	692.00'	96.24'	96.16'	S 17°57'32" W	7°58'05"
C17	722.00'	107.59'	107.50'	S 08°22'14" W	8°32'18"
C18	692.00'	87.06'	87.00'	S 07°42'20" W	7°12'30"
C19	29.00'	22.79'	22.21'	S 25°11'38" W	45°01'13"
C20	1032.00'	37.68'	37.68'	N 01°25'06" E	2°05'32"
C21	2004.95'	30.00'	30.00'	S 05°24'35" W	0°51'27"
C22	532.00'	15.03'	15.03'	S 02°24'34" W	1°37'09"
C23	528.00'	79.97'	79.89'	N 77°31'47" W	8°40'39"
C24	484.00'	118.34'	118.04'	S 07°22'36" W	14°00'31"
C25	15.00'	25.27'	22.39'	S 49°51'57" W	96°31'53"
C26	468.00'	59.83'	59.83'	S 10°57'14" W	7°19'49"
C27	468.00'	55.67'	55.63'	S 03°52'52" W	6°48'54"
C28	468.00'	0.83'	0.83'	S 00°25'23" W	0°06'05"
C29	500.00'	43.50'	43.49'	S 11°53'18" W	4°59'06"
C30	500.00'	53.28'	53.26'	S 06°20'35" W	6°06'21"
C31	500.00'	25.46'	25.46'	S 01°49'53" W	2°55'04"
C32	1016.00'	84.33'	84.31'	N 02°45'01" E	4°45'21"
C33	1032.00'	47.98'	47.97'	N 03°47'47" E	2°39'49"
C34	1000.00'	20.17'	20.17'	N 00°57'00" E	1°09'19"
C35	468.00'	1.24'	1.24'	S 05°03'07" W	0°09'08"
C36	468.00'	27.58'	27.57'	S 03°17'17" W	3°22'34"
C37	484.00'	29.80'	29.80'	S 03°21'51" W	3°31'41"
C38	500.00'	30.79'	30.78'	S 03°21'51" W	3°31'41"
C39	15.00'	22.04'	20.11'	S 40°29'18" E	84°10'31"
C40	560.00'	91.72'	91.62'	N 77°53'00" W	9°23'03"
C41	544.00'	117.04'	116.81'	N 79°21'16" W	12°19'38"
C42	1000.00'	55.01'	55.00'	N 03°06'13" E	3°09'06"
C43	1000.00'	7.63'	7.63'	N 04°54'14" E	0°26'55"
C44	15.00'	0.99'	0.99'	S 18°31'05" W	3°47'53"
C45	516.00'	14.58'	14.58'	N 02°24'34" E	1°37'09"
C46	500.00'	14.13'	14.13'	N 02°24'34" E	1°37'09"
C47	270.00'	16.22'	16.22'	N 81°51'23" W	3°50'57"
C48	270.00'	16.07'	16.07'	N 85°23'09" W	3°24'39"

LINE	LINE TABLE	
	BEARING	LENGTH
L1	N 05°07'41" E	2.82'
L2	S 05°07'41" W	4.88'
L3	S 45°11'47" W	60.00'
L4	N 47°21'58" W	32.13'
L5	N 63°23'38" W	32.16'
L6	S 16°48'32" W	32.00'
L7	S 00°22'21" W	15.20'
L8	N 12°38'23" E	32.64'
L9	N 85°51'55" W	23.08'
L11	N 68°03'25" W	7.89'
L12	N 68°03'25" W	44.47'
L13	S 68°03'25" E	52.36'
L14	N 68°03'25" E	52.36'
L15	S 42°38'06" W	30.11'
L18	S 04°20'32" W	60.22'
L21	N 01°36'00" E	8.25'
L22	N 01°36'00" E	20.66'
L23	N 03°13'09" E	20.20'
L24	N 26°36'31" E	30.11'

PLANE COORDINATES,  
DIVISION MONUMENT

ORTHING	EASTING
61678.05	1930219.41
61396.39	1930739.45
60835.32	1930164.45

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**HUBBLE**  
**ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

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(801) 802-8992

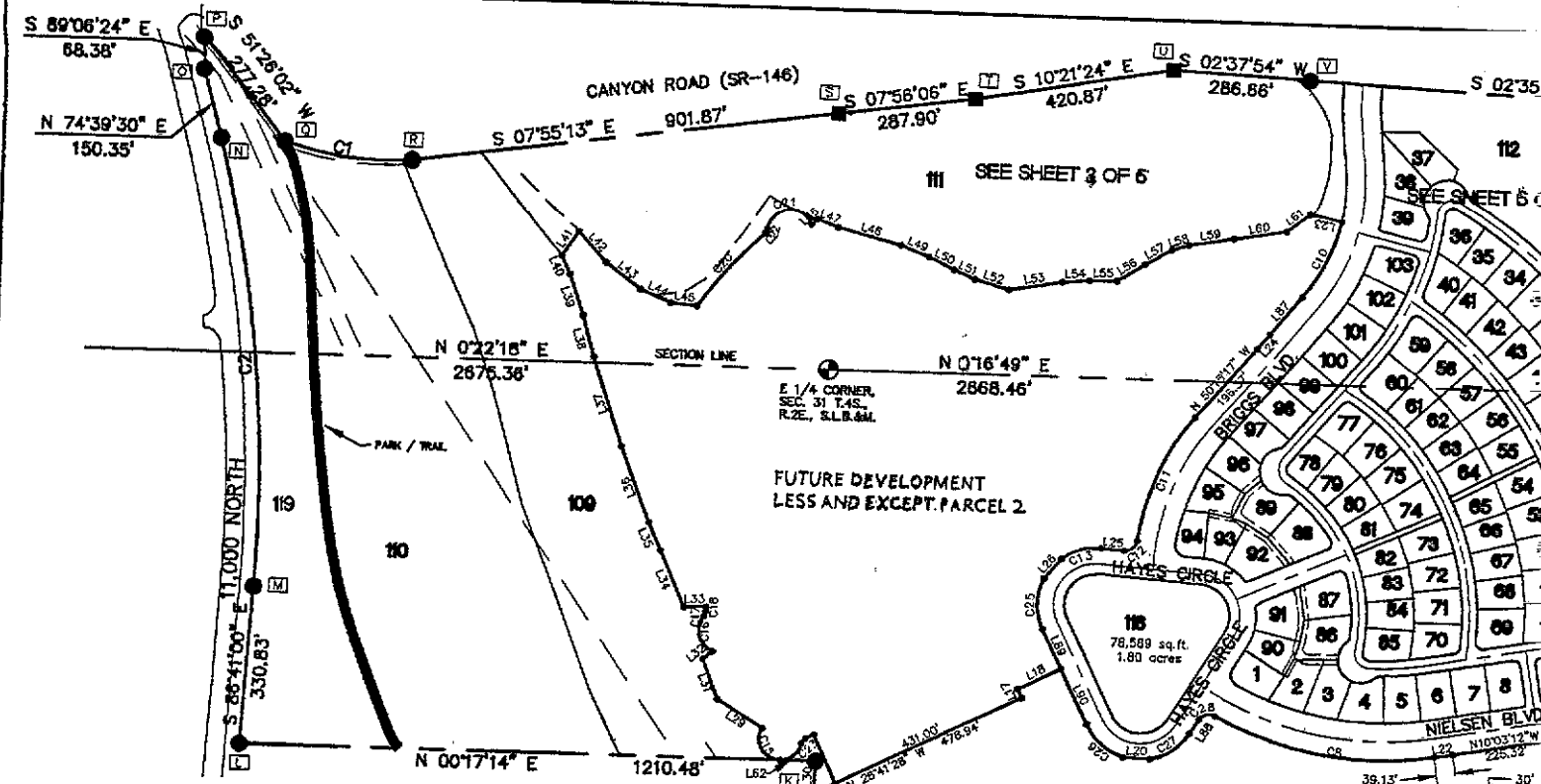


LAND SURVEYOR

APPROVED THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D. 20\_\_\_\_

LAND SURVEYOR

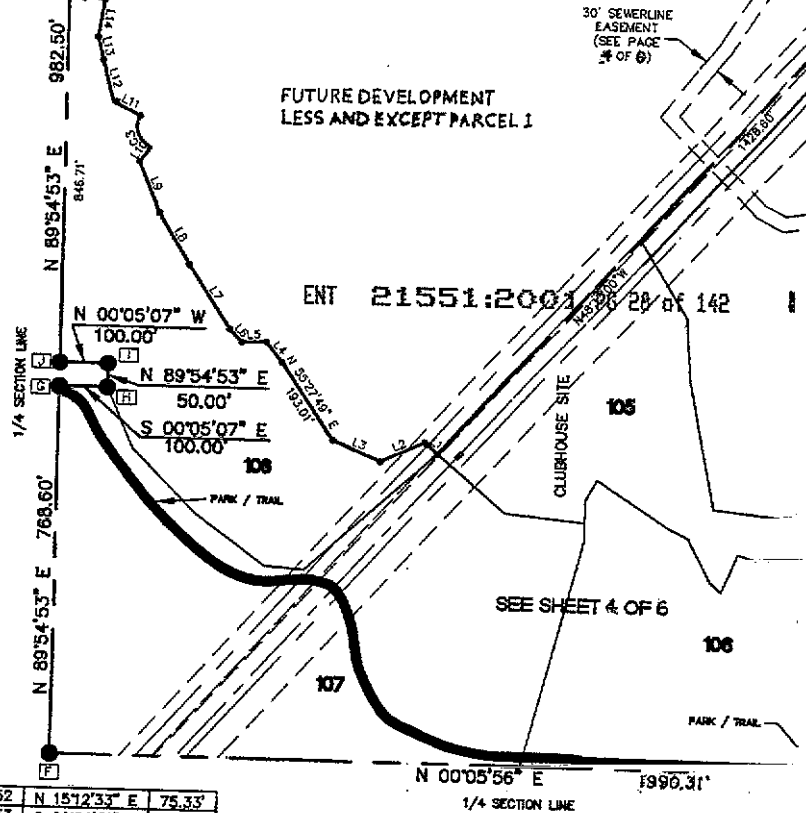
**THE CEDARS**  
**AT CEDAR HILLS**  
**PLAT "A"**  
PLANNED RESIDENTIAL DEVELOPMENT  
PAGE 2 OF 2



Curve Table					
No.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	850.00'	271.44'	289.47'	S 06°27'14" W	23°55'36"
C2	2815.02'	949.70'	945.50'	N 83°59'30" E	18°40'00"
C3	48.00'	78.18'	68.83'	S 69°09'13" W	9°31'50"
C4	45.00'	83.68'	72.13'	S 61°30'34" W	10°32'35"
C5	710.00'	478.55'	469.54'	S 09°12'12" W	38°37'04"
C6	786.00'	244.28'	243.30'	N 01°09'00" W	17°48'24"
C7	370.00'	182.75'	180.89'	S 64°24'15" E	28°17'56"
C8	505.00'	290.71'	286.72'	N 66°44'48" W	32°59'01"
C9	25.00'	38.11'	34.53'	S 39°33'52" E	87°20'51"
C10	122.00'	88.37'	86.45'	N 16°38'28" W	41°30'04"
C11	45.00'	83.18'	77.40'	S 59°36'17" W	118°38'09"
C12	48.00'	88.40'	78.42'	S 74°37'37" W	105°31'00"
C13	15.00'	10.55'	10.33'	S 72°25'32" E	40°17'18"
C14	818.00'	8.22'	8.22'	S 87°45'12" W	0°38'45"
C15	1050.00'	210.92'	210.56'	N 48°57'33" W	11°30'33"
C16	48.00'	127.42'	93.17'	N 07°45'53" W	152°08'04"
C17	15.00'	10.63'	10.41'	S 83°30'36" E	40°36'39"
C18	22.00'	14.09'	13.58'	N 82°05'13" W	53°45'49"
C19	45.00'	82.27'	57.42'	S 39°21'11" E	79°16'52"
C20	122.00'	111.37'	107.54'	S 89°28'01" W	52°18'13"
C21	122.00'	100.55'	97.73'	S 38°44'24" W	47°13'18"
C22	122.00'	101.51'	98.61'	S 34°41'49" E	47°40'27"
C23	25.00'	37.98'	34.43'	N 15°04'39" W	87°02'47"

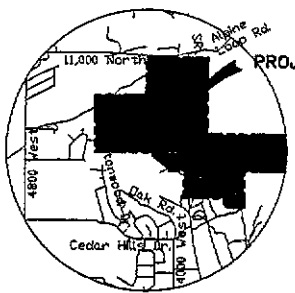
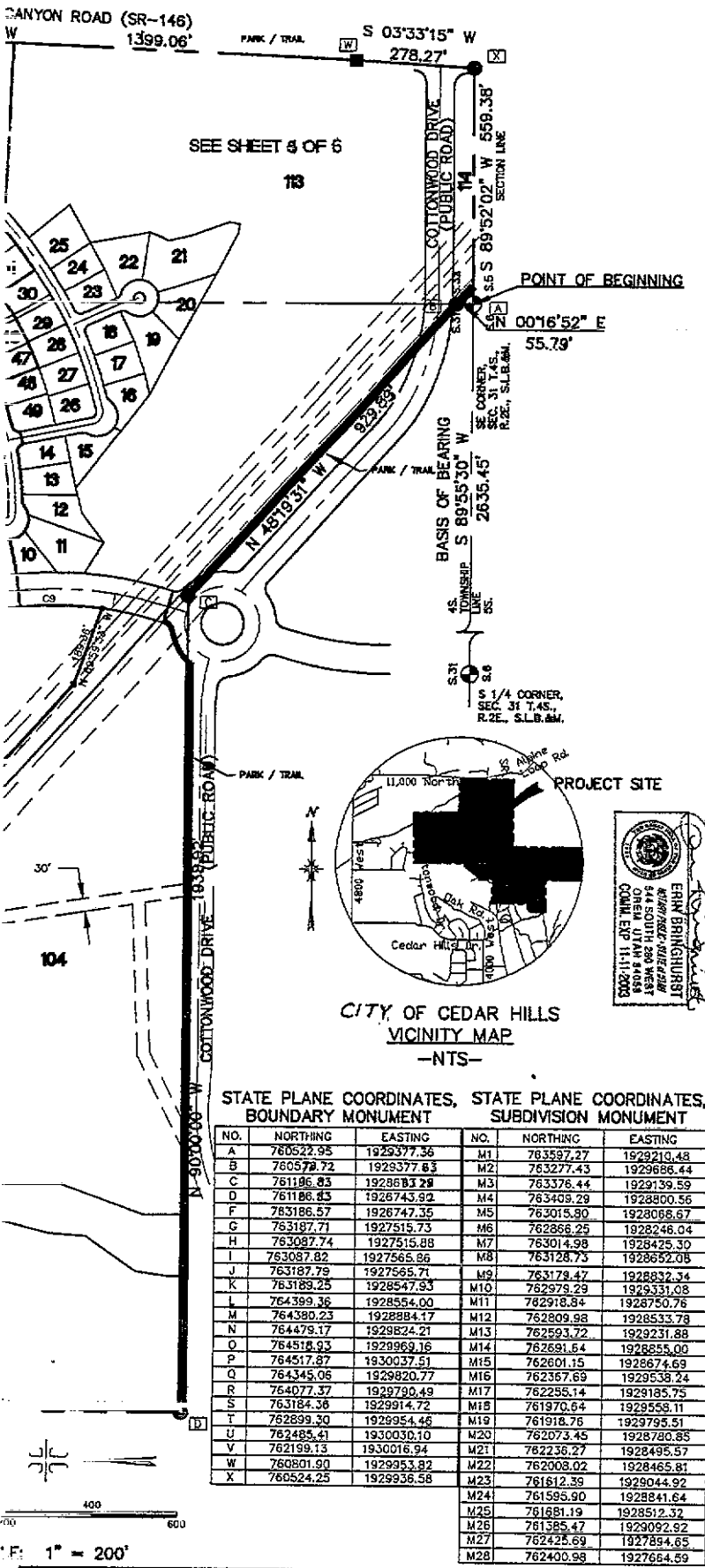
Bearing Table		
No.	Bearing	Distance
L1	N 41°27'00" E	36.58'
L2	N 25°22'48" W	101.51'
L3	S 23°13'16" W	108.53'
L4	S 52°20'44" W	55.95'
L5	S 01°36'04" E	51.15'
L6	S 47°02'24" W	36.51'
L7	N 56°45'46" E	181.28'
L8	N 58°34'38" E	126.07'
L9	N 67°48'15" E	116.27'
L10	S 53°04'18" E	37.98'
L11	S 25°49'08" W	61.28'
L12	N 74°05'30" E	88.23'
L13	N 78°39'08" E	49.39'
L14	S 81°45'43" E	79.31'
L15	S 24°46'51" W	42.83'
L16	N 89°54'53" E	68.23'
L17	S 83°18'32" W	20.00'
L18	S 28°41'28" E	99.93'
L19	S 63°21'02" W	135.46'
L20	S 02°38'05" W	58.94'
L21	S 86°32'02" E	36.84'
L22	S 10°03'10" E	39.13'
L23	S 11°26'47" W	67.78'
L24	N 50°15'17" W	39.29'
L25	N 04°06'33" E	48.07'
L26	N 50°53'12" W	56.94'
L27	S 63°21'02" W	91.27'
L28	N 64°49'12" E	112.45'
L29	N 32°08'53" E	113.89'
L30	S 89°54'53" W	67.56'
L31	N 88°14'13" E	88.27'
L32	S 41°03'55" E	25.50'
L33	S 01°55'26" E	45.88'
L34	N 86°15'31" E	130.92'
L35	N 65°53'37" E	85.03'
L36	N 68°01'57" E	167.79'
L37	N 71°08'48" E	199.79'
L38	N 73°35'45" E	88.67'
L39	N 70°32'18" E	90.34'
L40	N 64°44'12" E	43.93'
L41	S 56°50'16" E	82.43'
L42	S 47°29'33" W	88.45'
L43	S 36°35'25" W	91.21'
L44	S 21°41'21" W	89.65'
L45	S 05°26'17" W	55.17'
L46	S 44°11'02" E	18.21'
L47	N 20°33'08" E	46.91'
L48	N 14°21'38" E	138.24'
L49	N 21°51'13" E	62.73'
L50	N 25°45'29" E	60.32'
L51	N 23°35'21" E	47.17'
L52	N 15°12'33" E	75.33'
L53	S 09°58'51" E	113.29'
L54	S 05°18'59" E	57.47'
L55	S 00°30'56" E	57.47'
L56	S 32°11'19" E	68.52'
L57	S 30°50'14" E	65.02'
L58	S 17°21'08" E	37.35'
L59	S 09°57'06" E	95.33'
L60	S 09°45'12" E	111.76'
L61	S 38°24'42" E	82.05'
L62	N 00°17'14" E	75.17'
L63	S 25°10'48" E	19.36'
L64	N 50°15'17" W	102.80'
L65	S 58°32'02" E	36.04'
L66	S 63°21'02" W	91.27'
L67	S 63°21'02" W	135.49'

- LEGEND**
- ⊠ FOUND RIGHT-OF-WAY MONUMENT
  - ⊙ FOUND BRASS CAP
  - ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
  - ⊙ SET 1/2" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
  - FOUND IRON PIN
  - ▲ CALCULATED POINT NOT SET
  - ⊕ SUBDIVISION MONUMENT
  - SECTION LINE
  - PROPERTY BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY
  - PUBLIC UTILITY EASEMENT
  - BUILDING ENVELOPE
  - ⊙ LOT NUMBER
  - ⊙ LOT ADDRESS



**HUBBLE ENGINEERING, INC.**  
 ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
 OREM, UTAH 84057  
 (801) 802-8992



STATE PLANE COORDINATES, BOUNDARY MONUMENT

NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
A	780522.95	1929377.36	M1	783597.27	1929210.48
B	780578.72	1929377.63	M2	783277.43	1929086.44
C	781186.83	1928683.28	M3	783378.44	1929139.59
D	781186.83	1928743.92	M4	783409.29	1928800.56
E	783186.57	1928747.35	M5	783015.90	1928068.67
F	783187.71	1927515.73	M6	782868.25	1928246.04
G	783087.74	1927515.88	M7	783001.498	1928425.30
H	783087.82	1927565.86	M8	783128.75	1928652.08
I	783187.79	1927565.71	M9	783178.47	1928832.34
J	783189.25	1928547.93	M10	782979.29	1929331.08
K	784399.36	1928554.00	M11	782918.84	1928750.76
L	784390.23	1928884.17	M12	782809.98	1928533.78
M	784479.17	1928824.21	M13	782593.72	1929231.88
N	784518.93	1929969.16	M14	782691.54	1928855.00
O	784517.87	1930037.51	M15	782601.15	1928674.69
P	784345.06	1929820.77	M16	782367.69	1929538.24
Q	784077.37	1929790.49	M17	782258.14	1929185.75
R	783184.38	1929914.72	M18	781970.54	1929559.11
S	782993.30	1929954.46	M19	781918.76	1929795.51
T	782485.41	1930030.10	M20	782073.45	1928780.85
U	782199.13	1930016.94	M21	782235.27	1928495.57
V	780801.90	1929953.82	M22	782008.02	1928465.81
W	780524.25	1929956.58	M23	781812.39	1929044.92
X			M24	781595.90	1928841.64
			M25	781681.19	1928512.32
			M26	781385.47	1929092.92
			M27	782425.69	1927894.65
			M28	782400.98	1927664.59

**SURVEYOR'S CERTIFICATE**  
 I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368856 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

12-28-00  
 DATE

*Robbin J. Mullen*  
 ROBBIN J. MULLEN, L.S.

**BOUNDARY DESCRIPTION**

SEE DESCRIPTION ON PAGE 2 OF A

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TOTAL ACREAGE = 142.15 ACRES

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS. ALL STREETS HEREON ARE PRIVATE UNLESS OTHERWISE NOTED, AND WILL BE PRIVATELY MAINTAINED. ALL PRIVATE STREETS AND TRAILS SHOWN HEREON WILL BE PUBLIC UTILITY EASEMENTS, AND WE DO HEREBY DEDICATE THESE AND ALL OTHER PUBLIC UTILITY EASEMENTS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. LOTS 104, 105, 109, 110, 111, 112, 113, AND 114 SHALL HAVE A PERMANENT EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN WATER, STORM DRAIN, DETENTION PONDS, IRRIGATION RESERVOIR AND DISPERSAL FACILITIES, TOGETHER WITH THE RIGHT-OF-WAY THERETO. THE OPEN SPACE PARCELS ARE NOT DEDICATED FOR THE PERPETUAL USE OF THE PUBLIC.

DATE: THIS 5th DAY OF January, 2001  
 County of Utah, s.s.  
*David A. Jones*  
 LOPE PEAK LINKS, L.L.C.  
*David A. Jones*  
 CLERK TO NIELSEN, PRESIDENT  
 DIRECTOR HONORS  
*Abdullah Gordon Jones*  
 GORDON JONES

The foregoing instrument was acknowledged before me this 5th day of January, 2001, by *Meanteth G. Arango* in his capacity as a member of *Lone Peak Links LLC*, who duly acknowledged to me that said instrument was executed by his authority.  
*Spencer E. Haldrup* Com. Exp. 7-1-01  
 Notary Public

**ACKNOWLEDGMENT**

STATE OF UTAH ss  
 COUNTY OF UTAH ss  
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 12 DAY OF JANUARY, A.D. 2001, BY *DAVID A. JONES* IN HIS CAPACITY AS A MEMBER OF *LONE PEAK LINKS LLC*, WHO DULY ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS EXECUTED BY HIS AUTHORITY.



MY COMMISSION EXPIRES 4-13-2002  
*Vivian Cox*  
 NOTARY PUBLIC  
 (SEE SEAL BELOW)

**ACCEPTANCE BY LEGISLATIVE BODY**

THE *City Council* OF THE *City of Cedar Hills* COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 7th DAY OF September, A.D. 2000.

*Brad Sears, Mayor*  
 APPROVED: *Spencer E. Haldrup*  
 ENGINEER (SEE SEAL BELOW) ATTEST: *Spencer E. Haldrup*  
 (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

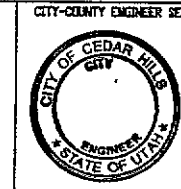
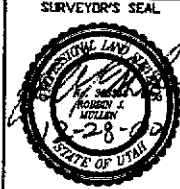
**BOARD OF HEALTH**

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:  
 CITY-COUNTY HEALTH DEPARTMENT

**THE CEDARS AT CEDAR HILLS PLAT "B"**  
 PLANNED RESIDENTIAL DEVELOPMENT  
 PAGE 1 OF 6  
 CEDAR HILLS, UTAH COUNTY, UTAH  
 SCALES 1" = 200 FEET

**PLANNING COMMISSION APPROVAL**

APPROVED THIS 31st DAY OF August, A.D. 2000 BY THE *City of Cedar Hills* PLANNING COMMISSION  
*Spencer E. Haldrup* DIRECTOR-SECRETARY  
*David A. Jones* CHAIRMAN, PLANNING COMMISSION





EAST 1/2 OF SECTION 31 AND IN THE WEST 1/2 OF SECTION 32 OF S.L.B. & M., UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS

MARKING THE SOUTHEAST CORNER OF SAID SECTION 31, TOWNSHIP 00°16'49" E. ALONG THE SECTION LINE A DISTANCE OF 1599.59 336.29 FEET TO THE REAL POINT OF BEGINNING;

OF 182.75 FEET ALONG THE ARC OF A 370.00-FOOT RADIUS CURVE ANGLE OF 28°17'56", SUBTENDED BY A CHORD THAT BEARS N. 64°... T; THENCE N. 50°15'17" W. A DISTANCE OF 102.90 FEET; THENCE N. ... EET; THENCE N. 50°15'17" W. A DISTANCE OF 196.37 FEET; THENCE ... 0.71 FEET ALONG THE ARC OF A 505.00-FOOT RADIUS CURVE TO ... OF 32°59'01", SUBTENDED BY A CHORD THAT BEARS N. 66°44'48" W. ... E NORTHWESTERLY A DISTANCE OF 38.11 FEET ALONG THE ARC OF A ... E RIGHT, HAVING A CENTRAL ANGLE OF 87°20'51", SUBTENDED BY A ... A DISTANCE OF 34.53 FEET; THENCE N. 04°06'33" E. A DISTANCE OF ... Y A DISTANCE OF 88.37 FEET ALONG THE ARC OF A 122.00-FOOT ... A CENTRAL ANGLE OF 41°30'04", SUBTENDED BY A CHORD THAT ... OF 86.45 FEET; THENCE N. 50°53'12" W. A DISTANCE OF 56.94 FEET; ... OF 111.37 FEET ALONG THE ARC OF A 122.00-FOOT RADIUS CURVE ... ANGLE OF 52°18'13", SUBTENDED BY A CHORD THAT BEARS S. 89°28'01" ... NCE S. 63°21'02" W. A DISTANCE OF 91.27 FEET; THENCE N. 26° ... T; THENCE S. 63°18'32" W. A DISTANCE OF 20.00 FEET; THENCE N. ... FEET; THENCE N. 64°49'12" E. A DISTANCE OF 112.45 FEET; THENCE ... 6 FEET; THENCE NORTHWESTERLY A DISTANCE OF 14.09 FEET ALONG ... CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 53°48'49", ... S N. 52°05'13" W. A DISTANCE OF 13.58 FEET; THENCE ... 27 FEET ALONG THE ARC OF A 45.00-FOOT RADIUS CURVE TO THE ... 79°16'52", SUBTENDED BY A CHORD THAT BEARS N. 39°21'11" W. A ... ORRHEASTERLY A DISTANCE OF 93.18 FEET ALONG THE ARC OF A ... RIGHT, HAVING A CENTRAL ANGLE OF 118°38'05", SUBTENDED BY A ... A DISTANCE OF 77.40 FEET; THENCE N. 32°08'53" E. A DISTANCE OF ... A DISTANCE OF 88.27 FEET; THENCE S. 41°03'55" E. A DISTANCE OF ... Y A DISTANCE OF 88.40 FEET ALONG THE ARC OF A 48.00-FOOT ... G A CENTRAL ANGLE OF 105°31'00", SUBTENDED BY A CHORD THAT ... OF 76.42 FEET; THENCE SOUTHFASTFRIY A DISTANCE OF 10.55 FEET ... RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 40°17'18", ... S S. 72°25'32" E. A DISTANCE OF 10.33 FEET; THENCE ... 2 FEET ALONG THE ARC OF A 818.00-FOOT RADIUS CURVE TO THE ... F 0°38'45", SUBTENDED BY A CHORD THAT BEARS N. 87°45'12" E. A ... 01°55'26" W. A DISTANCE OF 45.88 FEET; THENCE N. 66°15'31" E. A ... N. 65°53'37" E. A DISTANCE OF 65.03 FEET; THENCE N. 68°01'57" E. ... E N. 71°08'46" E A DISTANCE OF 199.79 FEET; THENCE N. 73°35'45" ... NCE N. 70°32'18" E. A DISTANCE OF 90.34 FEET; THENCE N. 64°44'12" ... NCE S. 56°50'16" E. A DISTANCE OF 62.43 FEET; THENCE S. 47°29'33" ... NCE S. 36°35'25" W. A DISTANCE OF 91.21 FEET; THENCE S. 21°41'21" ... NCE S. 05°26'17" W. A DISTANCE OF 55.17 FEET; THENCE ... 3.92 FEET ALONG THE ARC OF A 1050.00-FOOT RADIUS CURVE TO ... LE OF 11°30'33", SUBTENDED BY A CHORD THAT BEARS S. 48°57'33" ... NCE SOUTHEASTERLY A DISTANCE OF 10.63 FEET ALONG THE ARC OF ... IE LEFT, HAVING A CENTRAL ANGLE OF 40°36'39", SUBTENDED BY A ... A DISTANCE OF 10.41 FEET; THENCE SOUTHEASTERLY A DISTANCE OF ... 48.00-FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE ... CHORD THAT BEARS S. 07°45'53" E. A DISTANCE OF 93.17 FEET; ... OF 16.21 FEET; THENCE S. 20°33'09" W. A DISTANCE OF 46.91 FEET; ... OF 138.24 FEET; THENCE S. 21°15'13" W. A DISTANCE OF 62.73 FEET; ... OF 60.32 FEET; THENCE S. 23°35'21" W. A DISTANCE OF 47.17 FEET; ... OF 75.33 FEET; THENCE S. 09°56'51" E. A DISTANCE OF 113.29 FEET; ... OF 57.47 FEET; THENCE S. 00°30'56" E. A DISTANCE OF 57.47 FEET; ... OF 68.52 FEET; THENCE S. 30°50'14" E. A DISTANCE OF 65.02 FEET; ... OF 37.35 FEET; THENCE S. 09°57'06" E. A DISTANCE OF 95.33 FEET; ... OF 111.76 FEET; THENCE S. 38°24'42" E. A DISTANCE OF 67.05 FFFT; ... OF 67.78 FEET TO THE REAL POINT OF BEGINNING, CONTAINING 24.70

ENT 21551:2001 PG 31 of 142

HUBBLE ENGINEERING, INC. ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W. DREM, UTAH 84057 (801) 802-8992



LAND SURVEYOR

APPROVED THIS 23 DAY OF Feb A.D. 20 01

Signature of Land Surveyor

THE CEDARS AT CEDAR HILLS PLAT "B"

PLANNED RESIDENTIAL DEVELOPMENT PAGE 2 OF 6



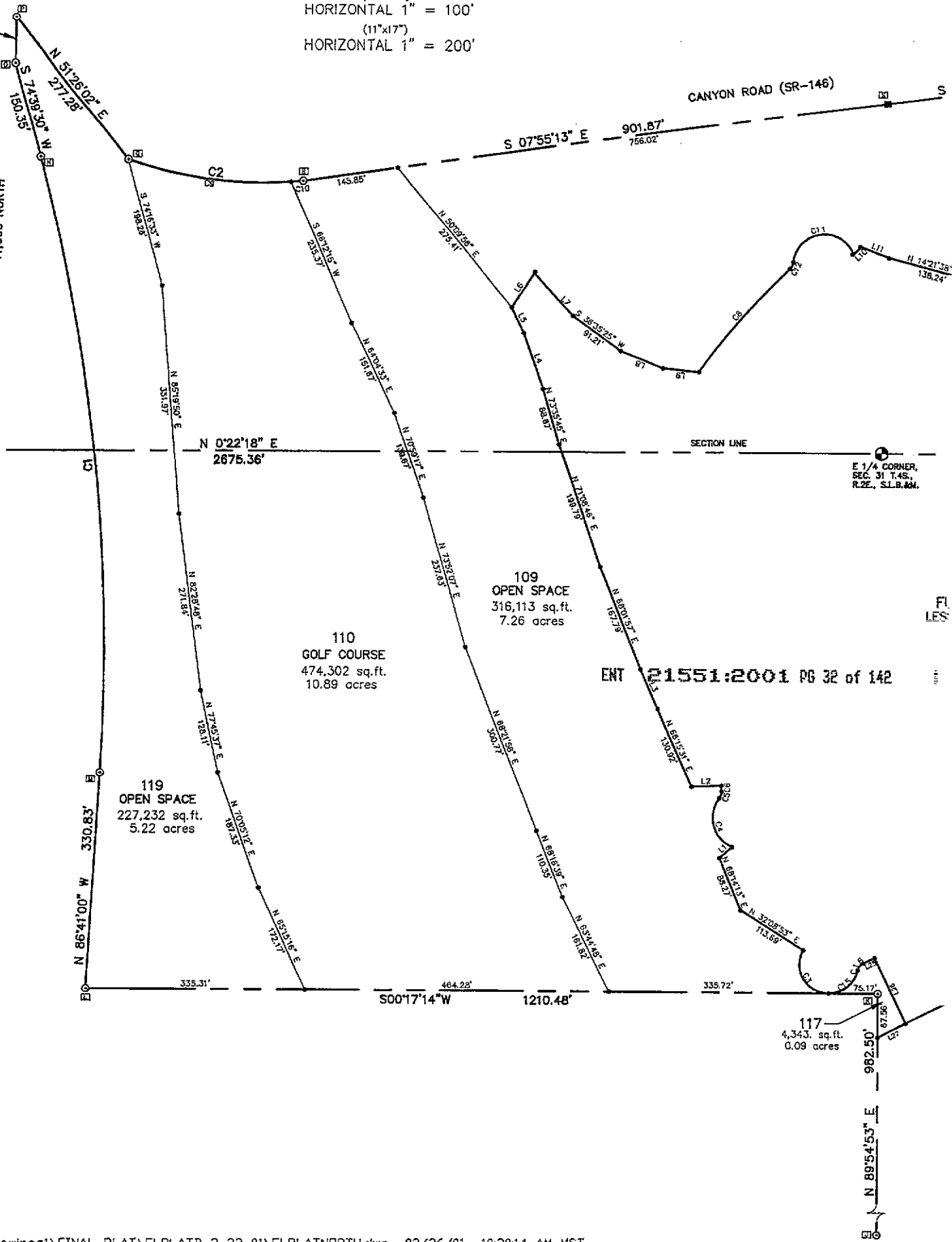
(24"x36")  
 HORIZONTAL 1" = 100'  
 (11"x17")  
 HORIZONTAL 1" = 200'

S 89°06'24" E  
 68.38'

11,000 NORTH

CANYON ROAD (SR-146)

S 07°55'13" E  
 901.87'  
 756.02'



109  
 OPEN SPACE  
 316,113 sq. ft.  
 7.26 acres

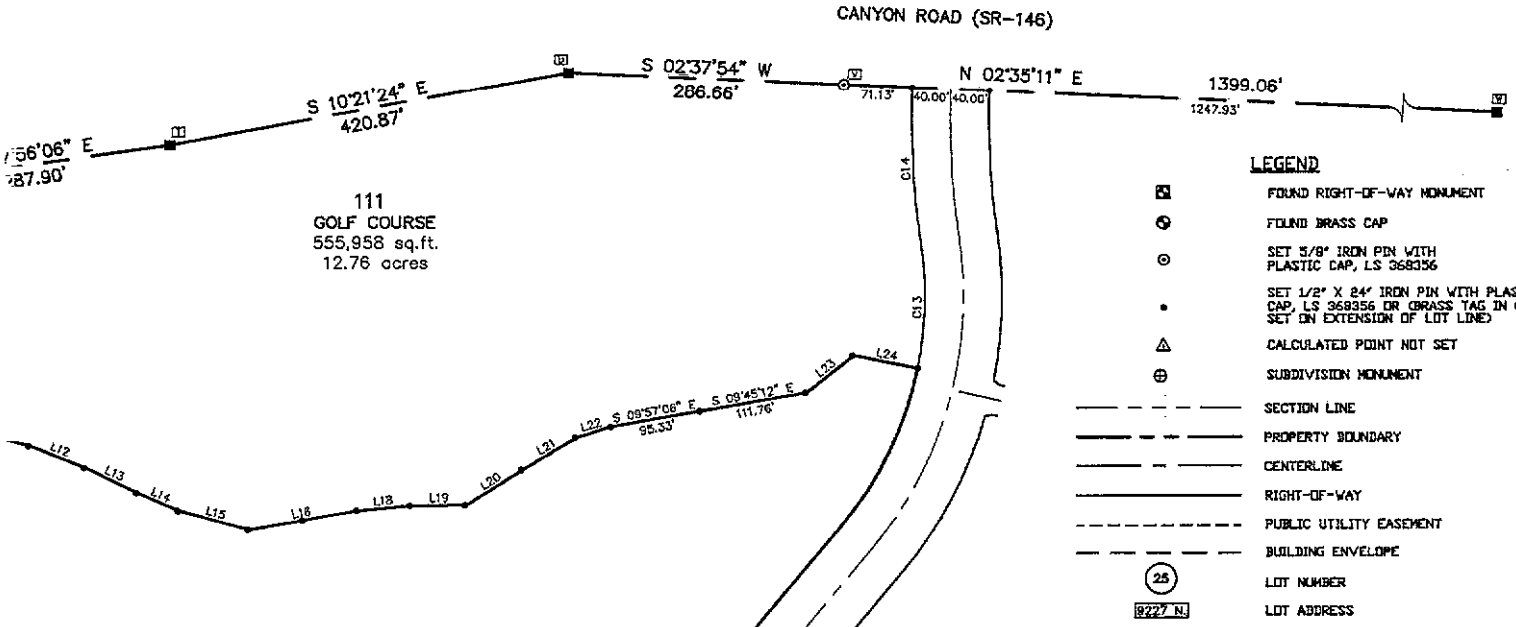
110  
 GOLF COURSE  
 474,302 sq. ft.  
 10.89 acres

119  
 OPEN SPACE  
 227,232 sq. ft.  
 5.22 acres

117  
 4,343 sq. ft.  
 0.09 acres

ENT 21551:2001 PG 32 of 142





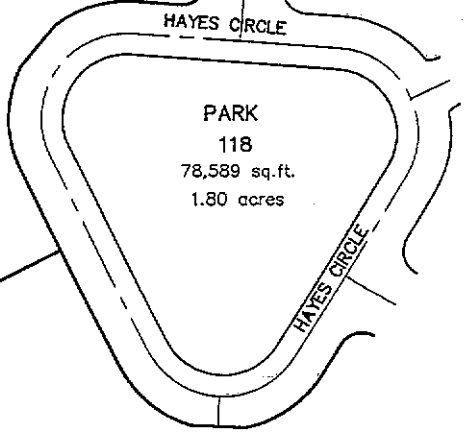
**LEGEND**

- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- ⊕ SUBDIVISION MONUMENT
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- Ⓟ LOT NUMBER
- 8227 N LOT ADDRESS

ENT 21551:2001 PG 33 of 142

Curve Table					
No.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	2815.02'	949.70'	945.50'	N 83°59'30" E	18°40'00"
C2	650.00'	271.44'	269.47'	S 06°27'14" W	23°55'36"
C3	45.00'	93.18'	77.40'	S 59°36'17" W	118°38'06"
C4	48.00'	88.40'	76.42'	S 74°57'37" W	105°31'00"
C5	15.00'	10.55'	10.33'	S 72°25'32" E	40°17'18"
C6	818.00'	9.22'	9.22'	S 87°45'12" W	0°38'45"
C8	1050.00'	210.92'	210.56'	N 48°57'33" W	11°30'33"
C9	650.00'	252.77'	251.18'	S 07°18'37" W	22°16'50"
C10	650.00'	18.67'	18.67'	S 04°41'11" E	1°38'46"
C11	48.00'	127.42'	93.17'	N 07°45'53" W	152°06'04"
C12	15.00'	10.83'	10.41'	S 63°30'36" E	40°36'39"
C13	370.00'	128.28'	127.62'	S 88°29'03" E	19°51'40"
C14	920.00'	165.34'	165.12'	S 86°44'02" W	10°17'50"
C15	45.00'	62.27'	57.42'	S 39°21'11" E	79°16'52"
C16	15.00'	14.09'	13.68'	N 52°05'13" W	53°48'49"

ATURE DEVELOPMENT AND EXCEPT PARCEL 2



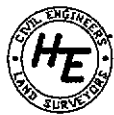
Bearing Table		
No.	Bearing	Distance
L1	S 41°03'55" E	25.50'
L2	S 01°55'26" E	45.88'
L3	S 65°53'37" W	65.03'
L4	N 70°32'18" E	90.34'
L5	N 64°44'12" E	43.93'
L6	S 56°30'16" E	62.43'
L7	S 47°29'33" W	88.45'
L8	S 21°41'21" W	69.65'
L9	S 05°26'17" W	55.17'
L10	S 44°11'02" E	16.21'
L11	N 20°33'09" E	46.91'
L12	N 21°15'13" E	62.73'
L13	N 25°45'29" E	60.32'
L14	N 23°35'21" E	47.17'
L15	N 15°12'33" E	75.33'
L16	S 09°56'51" E	113.29'
L18	S 05°18'59" E	57.47'
L19	S 00°30'56" E	57.47'
L20	S 32°11'19" E	68.52'
L21	S 30°30'14" E	65.02'
L22	S 17°21'08" E	37.35'
L23	S 39°24'42" E	62.05'
L24	S 11°26'47" W	67.78'
L25	S 25°10'48" E	19.36'
L26	N 64°49'12" E	112.45'
L27	N 26°41'28" W	47.94'

**STATE PLANE COORDINATES, BOUNDARY MONUMENT**

NO.	NORTHING	EASTING
J	763187.79	1927565.71
K	763189.25	1928547.93
L	764399.36	1928554.00
M	764380.23	1928884.17
N	764479.17	1929824.21
O	764518.93	1929969.16
P	764517.87	1930037.51
Q	764345.06	1929820.77
R	764077.37	1929790.49
S	763184.36	1929914.72
T	762899.30	1929954.46
U	762485.41	1930030.10
V	762199.13	1930016.94
W	760801.90	1929953.82

**HUBBLE ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

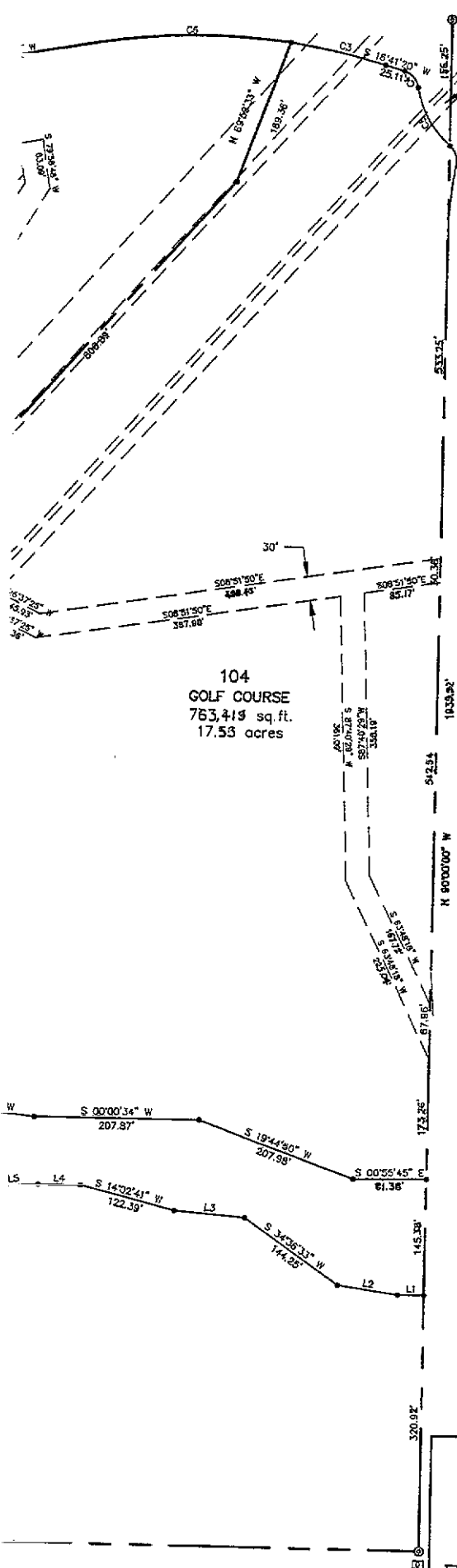
1471 N. 1200 W.  
DREEM, UTAH 84057  
(801) 802-8992



LAND SURVEYOR  
APPROVED THIS 26 DAY  
OF FEB A.D. 2001  
*[Signature]*  
LAND SURVEYOR

**THE CEDARS AT CEDAR HILLS PLAT "B"**  
PLANNED RESIDENTIAL DEVELOPMENT  
PAGE 3 OF 6





COTTONWOOD DRIVE

COTTONWOOD DRIVE

104  
GOLF COURSE  
763,419 sq. ft.  
17.53 acres

(24"x36")  
HORIZONTAL 1" = 100'  
(11"x17")  
HORIZONTAL 1" = 200'

**LEGEND**

- FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LUIT LINE
- △ CALCULATED POINT NOT SET
- ⊕ SUBDIVISION MONUMENT
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 25 LOT NUMBER
- 6227 N LOT ADDRESS
- 6248.59' RECORD DATA

ENT 21551:2001 PG 35 of 142

Bearing Table		
No.	Bearing	Distance
L1	S 00°00'00" E	21.82'
L2	S 07°35'24" W	77.14'
L3	S 04°36'11" W	89.33'
L4	S 00°00'00" E	53.22'
L5	S 02°51'51" E	61.49'
L6	S 15°23'36" W	34.98'
L7	S 67°58'35" E	46.40'
L8	S 65°26'47" E	39.41'
L9	S 26°01'03" W	48.70'
L10	S 61°32'24" E	49.94'
L11	S 89°19'35" E	47.24'
L12	S 89°19'35" E	39.82'
L13	N 41°27'00" E	36.56'
L14	S 52°20'44" W	55.55'
L15	S 01°36'04" E	51.15'
L16	S 47°02'24" W	36.51'
L17	S 53°04'18" E	37.98'
L18	S 25°49'08" W	61.28'
L19	N 76°39'08" E	28.99'
L20	S 81°45'43" E	79.31'
L21	S 24°45'51" W	42.83'
L22	S 42°09'20" W	28.99'

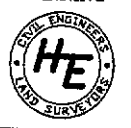
**STATE PLANE COORDINATES, BOUNDARY MONUMENT**

NO.	NORTHING	EASTING
C	761196.83	1928683.28
D	761186.83	1926743.92
F	763186.57	1926747.35
G	763187.71	1927515.73
H	763087.74	1927515.88
I	763087.82	1927565.86
J	763187.79	1927565.71
K	763189.25	1928547.93
L	764399.36	1928554.00

Curve Table					
No.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	48.00'	78.19'	69.83'	S 69°08'13" W	93°19'50"
C2	45.00'	83.68'	72.13'	S 61°30'34" W	106°32'35"
C3	786.00'	122.57'	122.44'	N 12°13'17" E	8°56'05"
C4	25.00'	28.00'	26.56'	N 48°46'22" E	64°10'05"
C5	125.00'	71.44'	70.52'	S 64°28'24" W	32°46'02"
C6	786.00'	1244.28'	243.30'	N 01°09'00" W	17°46'24"

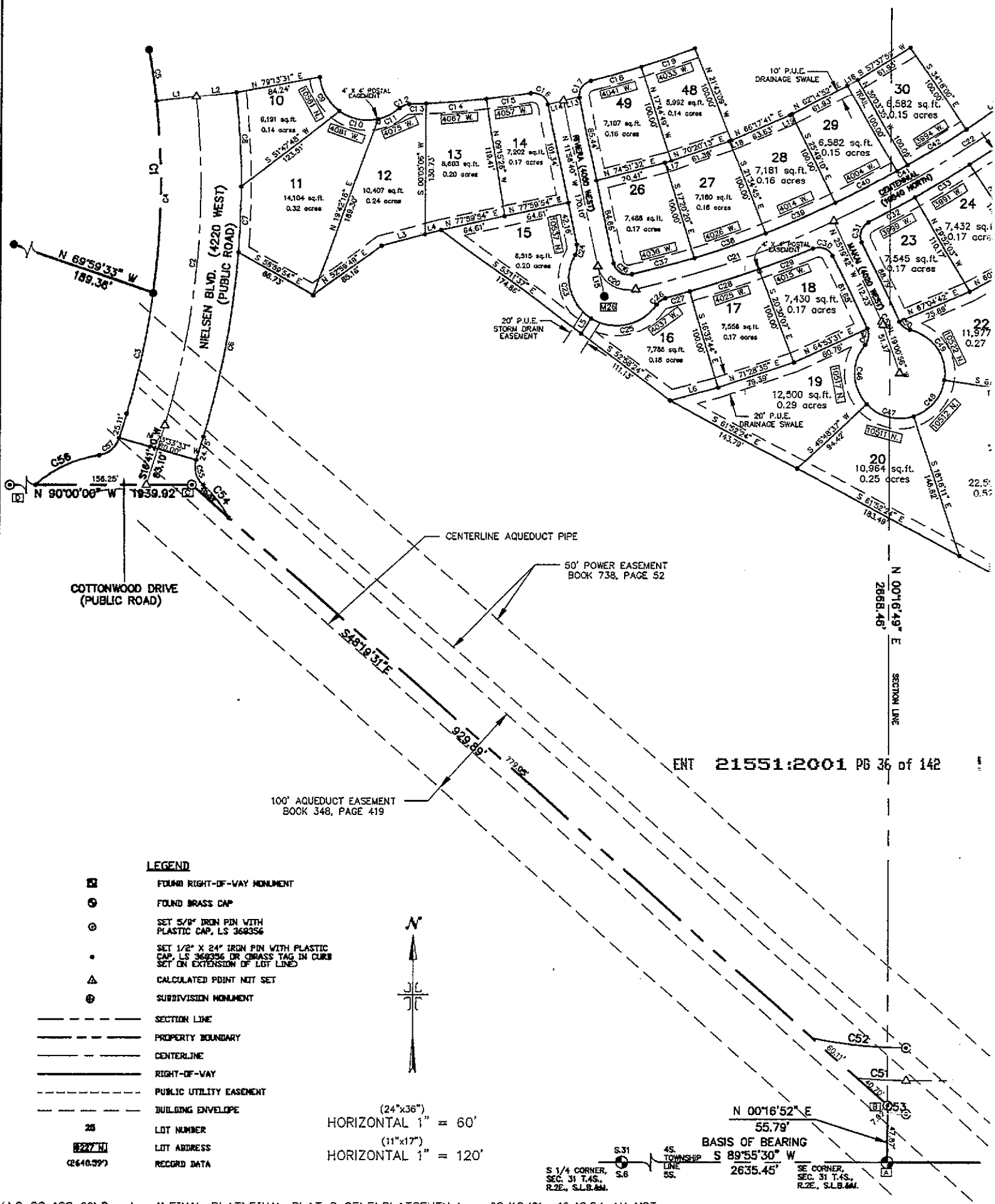
**HUBBLE ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
DREN, UTAH 84057  
(801) 802-8992



LAND SURVEYOR  
APPROVED THIS 26 DAY  
OF FEB A.D. 2001  
*[Signature]*  
LAND SURVEYOR

**THE CEDARS AT CEDAR HILLS PLAT "B"**  
PLANNED RESIDENTIAL DEVELOPMENT  
PAGE 4 OF 6



ENT 21551:2001 PG 36 of 142

**LEGEND**

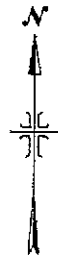
- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- ⊙ SUBDIVISION MONUMENT
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 25 LOT NUMBER
- 227 N LOT ADDRESS
- Q646597 RECORD DATA



(24"x36")  
HORIZONTAL 1" = 60'  
(11"x17")  
HORIZONTAL 1" = 120'

N 00'16'52" E  
55.79'  
BASIS OF BEARING  
S 89°55'30" W  
2635.45'  
S.31 S.6  
45. TOWNSHIP LINE 55.  
SE CORNER, SEC. 31 T.4S. R.2E., S.L.B.#44.

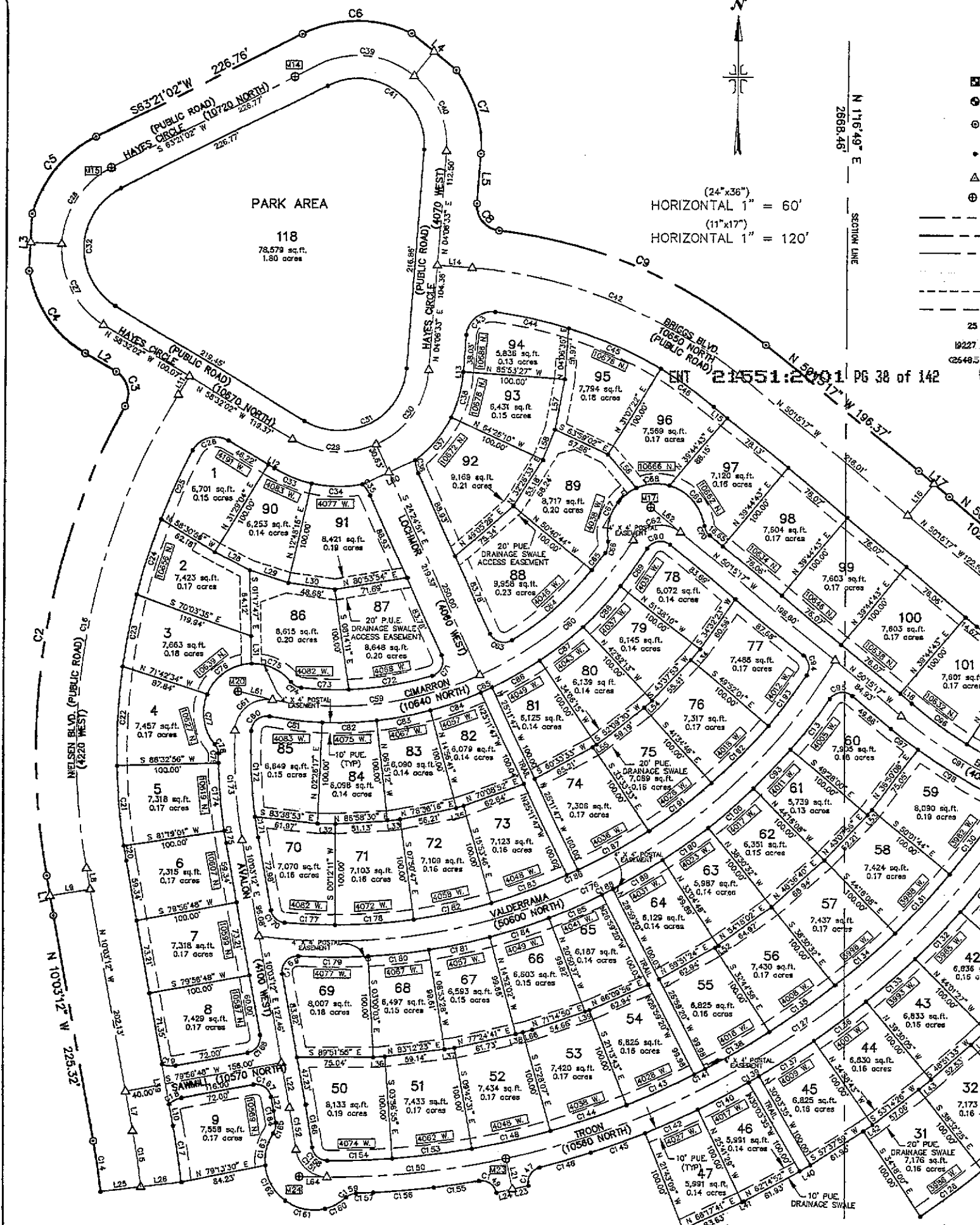




(24"x36")  
 HORIZONTAL 1" = 60'  
 (11"x17")  
 HORIZONTAL 1" = 120'

N 116°49' E  
 2568.46'  
 SECTION LINE

21551:20512 PG 38 of 142



**LEGEND**

FOUND RIGHT-OF-WAY MONUMENT

FOUND BRASS CAP

SET 5/8" IRON PIN WITH PLASTIC CAP, L.S. 368356

SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, L.S. 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE

CALCULATED POINT NOT SET

SUBDIVISION MONUMENT

SECTION LINE

PROPERTY BOUNDARY

CENTERLINE

RIGHT-OF-WAY

PUBLIC UTILITY EASEMENT

BUILDING ENVELOPE

LOT NUMBER

LOT ADDRESS

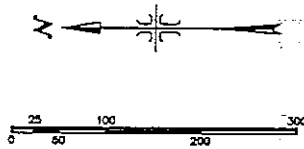
RECORD DATA

No.	Bearing	Distance
L1	S 10°03'10" E	39.13
L2	N 58°32'02" W	38.04
L3	N 02°38'05" E	56.84
L4	S 50°53'12" E	56.84
L5	N 04°38'33" E	48.07
L7	N 10°03'12" W	41.54
L8	N 10°03'12" W	20.81
L9	S 81°21'05" W	40.01
L10	S 10°03'12" E	21.90
L11	S 31°23'04" W	20.81
L12	N 58°32'02" W	6.97
L13	N 10°03'12" W	17.57
L14	N 85°52'27" W	34.47
L15	N 42°48'50" W	16.00
L16	S 38°44'43" W	40.00
L17	N 50°15'17" W	39.28
L18	N 50°15'17" W	14.67
L19	N 42°48'50" W	16.00
L20	N 42°48'50" W	16.00
L21	N 11°58'40" W	30.42
L22	S 10°03'12" E	44.52
L23	S 78°33'20" W	16.00
L25	S 83°53'39" W	40.00
L26	S 83°53'39" W	40.00
L27	N 10°03'12" W	13.49
L28	N 61°57'40" W	39.35
L29	N 72°02'27" W	39.89
L30	N 82°08'00" W	46.31
L31	S 01°17'47" E	27.63
L32	S 88°40'46" E	17.71
L33	N 82°57'00" E	12.62

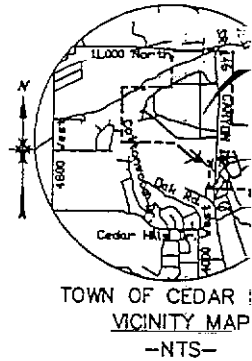
L34	S 36°14'54" W	14.02
L35	N 74°34'46" E	7.54
L36	N 86°31'31" E	11.35
L37	N 82°57'37" E	9.79
L38	N 77°24'41" E	7.21
L39	S 71°42'50" W	4.82
L40	N 58°58'25" E	12.00
L41	N 84°14'41" E	2.05
L42	S 59°21'39" W	10.87
L43	S 50°58'45" W	15.40
L44	S 46°35'52" W	19.82
L45	S 44°78'39" W	48.01
L46	S 42°12'58" W	24.45
L47	S 40°05'48" W	43.48
L48	S 37°50'04" W	28.88
L49	S 35°42'52" W	36.96
L50	S 74°07'45" E	23.61
L51	S 32°38'08" W	48.03
L52	N 58°31'31" E	3.97
L53	N 40°15'08" E	6.73
L54	S 47°46'31" W	10.23
L55	S 58°10'06" W	4.32
L56	S 40°45'34" E	43.34
L57	N 10°28'43" E	50.40
L58	N 21°16'47" E	33.17
L59	S 10°03'12" E	39.28
L60	S 65°35'10" W	56.84
L61	N 78°05'31" W	35.07
L62	N 58°18'21" W	38.14
L63	S 87°38'08" E	48.79
L64	N 88°18'21" W	27.28
L65	N 76°29'35" W	37.68
L66	N 74°37'36" E	8.68

No.	Radius	Length	Chord Dist.	Chord Brg.	Delta
G2	710.00	478.55	489.54	S 09°12'12" W	38.3704
G3	25.00	37.88	34.43	N 13°00'39" W	87.0247
G4	122.00	101.51	88.61	S 34°41'48" E	47.4027
G5	122.00	128.25	97.23	S 39°44'24" W	47.1316
G6	122.00	111.37	107.54	N 08°20'01" W	52.8161
G7	122.00	88.37	86.45	N 16°38'29" W	41.5003
G8	25.00	38.11	34.72	S 38°53'52" E	87.2034
G9	505.00	290.71	286.72	N 08°44'48" W	32.5918
G10	370.00	182.78	180.69	S 64°24'33" E	28.1758
G11	370.00	128.25	127.62	S 88°23'14" E	19.1140
G12	920.00	825.24	165.11	S 88°44'02" W	10.1750
G13	586.00	65.99	62.98	N 37°27'43" E	6.0931
G14	796.00	50.03	50.02	N 08°13'47" W	3.5830
G15	626.00	55.12	52.57	N 08°13'47" W	3.5830
G16	670.00	486.34	475.73	S 18°21'22" W	41.9524
G17	866.00	55.12	52.57	N 08°13'47" W	3.5830
G18	25.00	13.67	13.50	S 64°18'50" W	30.9356
G19	25.00	13.67	13.50	S 64°18'50" W	30.9356
G20	630.00	15.07	15.07	S 09°22'06" E	1.7213
G21	630.00	79.52	79.47	S 03°04'02" E	71.3134
G22	630.00	85.11	98.02	S 03°04'02" E	85.5338
G23	630.00	72.50	72.46	S 10°40'07" W	8.5838
G24	630.00	77.87	77.82	S 17°36'22" W	7.0454
G25	630.00	74.00	73.95	S 24°31'14" E	6.5448
G26	25.00	40.84	36.45	S 74°40'17" E	8.3334
G27	88.00	93.85	89.55	S 75°56'59" E	81.0007
G28	88.00	83.28	88.95	S 30°59'33" W	80.4237
G29	88.00	85.85	82.49	S 88°27'24" E	85.9343
G30	88.00	84.42	89.88	N 34°50'51" E	81.9134
G31	68.00	135.21	132.77	N 62°47'43" E	11.7234
G32	68.00	140.40	115.39	S 02°24'30" W	12.1334
G33	122.00	39.77	39.58	S 67°51'38" E	18.4034
G34	122.00	30.31	30.15	S 89°32'28" E	23.4328
G35	35.00	13.23	13.15	N 35°14'22" E	21.3801
G36	35.00	13.23	13.15	N 35°14'22" E	21.3801
G37	122.00	56.48	56.58	N 38°48'36" E	55.3138
G38	122.00	45.68	45.42	N 14°50'11" E	12.7218
G39	88.00	101.07	85.60	N 63°47'20" E	62.4818
G40	88.00	84.47	81.28	N 23°23'18" E	54.5918
G41	68.00	139.18	114.77	N 58°12'25" W	12.0481
G42	465.00	288.21	284.57	N 68°04'22" W	35.3804
G43	25.00	40.87	36.42	S 50°52'01" E	93.3058
G44	425.00	74.38	74.29	N 77°21'41" W	10.0141
G45	425.00	88.82	89.80	N 65°38'44" W	17.0812
G46	425.00	83.96	88.10	N 54°53'58" W	8.3721
G47	410.00	187.78	185.12	S 63°22'28" E	26.1418
G48	410.00	156.87	155.91	S 87°27'14" E	21.5917
G49	450.00	155.28	155.22	S 53°46'21" E	7.0208
G50	450.00	88.48	88.39	S 61°38'53" E	8.4259
G51	450.00	63.51	63.46	S 70°03'01" E	8.0513
G52	880.00	157.68	157.45	S 86°43'04" W	10.1534
G53	25.00	12.04	11.92	N 00°17'04" E	27.3458
G54	25.00	12.04	11.92	S 27°17'53" W	27.3458
G55	450.00	72.78	72.71	S 83°31'35" E	9.1682
G56	450.00	80.54	80.43	N 86°42'45" E	10.1518
G57	840.00	32.07	32.06	S 83°21'40" W	3.3308
G58	840.00	97.81	97.86	S 88°28'34" W	8.4042
G59	338.00	208.53	205.24	N 43°15'35" E	35.2034
G60	338.00	204.17	201.08	N 48°16'52" E	34.3633
G61	31.00	53.44	47.07	S 51°32'45" W	98.4635
G62	31.00	53.44	47.06	S 80°21'39" W	98.4602
G63	15.00	25.57	22.59	S 73°15'06" E	97.4028
G64	322.00	104.47	104.02	N 49°36'57" E	18.3524
G65	322.00	21.87	21.86	N 37°22'32" E	3.5328
G66	15.00	11.82	11.81	N 12°38'53" E	45.9149
G67	48.00	63.62	59.12	S 27°54'44" W	7.6032
G68	48.00	33.35	32.62	S 85°49'48" W	39.3437
G69	48.00	55.09	52.18	N 41°23'01" E	65.4533
G70	15.00	10.83	10.83	S 28°22'43" E	41.4458
G71	15.00	25.57	22.58	N 24°25'23" E	97.4028
G72	322.00	83.08	82.85	N 80°39'07" E	14.4658
G73	322.00	47.12	47.08	S 47°45'52" E	8.2308
G74	15.00	11.82	11.81	S 50°48'24" E	45.9149
G75	48.00	44.61	43.03	N 64°40'09" E	5.5157
G76	48.00	56.12	52.97	S 55°12'44" W	66.5838
G77	48.00	51.62	49.17	S 09°05'18" E	61.3707
G78	15.00	10.34	10.14	N 20°08'58" W	38.2948
G79	530.00	9.71	9.71	S 00°55'35" E	1.0300
G80	15.00	25.58	22.77	S 91°32'45" W	98.4635
G81	354.00	52.48	52.44	S 83°16'50" E	8.2248
G82	354.00	53.70	53.65	N 88°35'33" E	8.4129
G83	354.00	53.70	53.65	N 79°24'03" E	8.4129
G84	354.00	52.34	52.29	N 70°48'11" E	8.2638
G85	354.00	12.00	12.00	N 65°36'47" E	1.5813
G86	354.00	54.04	53.95	N 60°16'06" E	8.4446
G87	354.00	54.19	54.11	N 51°30'46" E	8.4558
G88	354.00	54.10	54.11	N 42°44'48" E	8.4558
G89	354.00	45.04	45.01	N 34°49'13" E	7.2314
G90	15.00	25.58	22.77	S 80°21'39" W	98.4607
G91	586.00	148.38	147.84	S 87°45'51" E	15.0107
G92	586.00	110.84	110.68	S 70°53'00" E	11.3111
G93	586.00	53.18	53.14	N 43°07'38" E	5.7152
G94	15.00	21.88	20.08	N 08°15'00" W	8.4003
G95	15.00	24.87	22.18	N 82°03'38" W	95.2214
G96	550.00	67.54	67.50	S 33°46'21" E	7.0208

C97	582.00	33.99	33.98	S 51°55'40" E	3.2046
C98	582.00	83.55	83.47	S 57°42'47" E	8.7339
C99	15.00	25.26	22.38	N 11°35'04" W	98.2859
C100	550.00	85.87	83.59	S 61°38'55" E	8.4259
C101	15.00	20.47	18.92	S 73°02'40" W	78.1204
C102	550.00	68.77	68.73	S 68°35'21" E	7.0932
C103	550.00	88.82	88.83	S 72°19'50" E	8.5703
C104	550.00	26.33	21.82	N 60°10'04" E	9.9136
C105	15.00	24.43	21.82	S 33°08'15" E	8.9136
C106	586.00	58.31	58.39	S 48°36'40" E	8.4538
C107	586.00	83.33	85.25	S 80°45'44" E	8.3817
C108	586.00	84.57	84.48	S 80°66'07" E	8.4032
C109	550.00	32.06	32.05	S 81°29'00" E	3.2024
C110	31.00	182.48	52.43	N 27°23'00" W	115.2930
C111	15.00	11.51	11.23	N 74°52'08" E	4.5010
C112	48.00	29.04	21.85	S 66°02'54" W	28.1630
C113	48.00	46.32	45.07	N 72°47'43" W	56.0010
C114	48.00	50.82	48.48	N 14°27'41" W	80.0935
C115	48.00	48.98	45.11	N 43°53'50" E	58.0035
C116	15.00	10.83	10.41	S 51°37'06" W	46.5630
C117	15.00	30.24	25.37	N 27°23'00" W	115.2934
C118	1034.00	304.17	303.08	N 38°47'31" E	10.3010
C119	1034.00	281.50	280.87	N 39°15'58" E	15.5429
C120	1018.00	73.47	73.43	N 45°51'32" E	4.7062
C121	1018.00	73.34	73.32	N 45°51'32" E	4.7120
C122	1018.00	73.34	73.32	N 45°51'32" E	4.7120
C123	1018.00	73.34	73.32	N 45°51'32" E	4.7120
C124	1018.00	73.34	73.32	N 45°51'32" E	4.7120
C125	1018.00	73.34	73.32	N 45°51'32" E	4.7120
C126	1018.00	73.34	73.32	N 45°51'32" E	4.7120
C127	802.00	64.315	62.06	S 55°04'44" E	45.5651
C128	818.00	42.64	42.63	N 35°21'14" E	2.5911



SCALE: 1" = 100'



SECTION LINE

SEC. 1/4

LINE TABLE

LINE	DIST.	BEARING
L1	48.07'	N04°08'33"E
L2	56.94'	N50°53'12"W
L3	91.27'	S63°21'02"W
L4	99.93'	N26°41'28"W
L5	20.00'	S63°18'32"W
L6	112.45'	N64°49'12"E
L7	19.36'	S25°10'48"E
L8	113.69'	N32°08'53"E
L9	61.86'	S17°18'14"E
L10	69.10'	S17°16'14"E
L11	100.00'	S15°14'02"E
L12	32.13'	S10°07'35"E
L13	100.00'	S15°31'20"E
L14	12.78'	N75°17'03"E
L15	34.32'	N78°15'24"E
L16	23.14'	N81°53'00"E
L17	23.96'	N84°31'21"E
L18	33.02'	N88°27'09"E
L19	14.08'	S88°34'30"E
L20	47.02'	S84°43'08"E
L21	12.00'	S80°59'35"E
L22	47.15'	S77°15'33"E
L23	12.04'	S73°31'23"E
L24	34.81'	S70°33'57"E
L25	23.86'	S66°52'32"E
L26	23.20'	S63°55'07"E
L27	35.27'	S60°13'43"E
L28	11.58'	S57°16'18"E
L29	45.18'	S53°41'19"E
L30	44.34'	S47°49'38"E
L31	10.84'	S44°20'38"E
L32	36.01'	S41°23'13"E
L33	100.00'	N50°53'10"E
L34	32.00'	S47°02'53"W
L35	68.06'	S50°00'17"W
L36	32.00'	S39°12'29"E
L37	83.72'	N39°59'43"W
L38	59.55'	S39°59'43"E
L39	56.46'	S63°04'44"W
L40	32.27'	S39°59'43"E
L41	47.17'	N23°35'21"E
L42	75.33'	N15°12'33"E
L43	113.29'	S09°56'51"E
L44	1.67'	S50°43'54"E
L45	57.47'	S05°18'59"E
L46	57.47'	S00°30'56"E
L47	68.52'	S32°11'19"E
L48	65.02'	S30°50'14"E
L49	37.35'	S17°21'08"E
L50	95.33'	S09°57'08"E
L51	111.76'	S09°45'12"E
L53	62.05'	S38°24'42"E
L54	67.78'	S11°26'47"W

STATE PLANE COORDINATES, SUBDIVISION MONUMENT

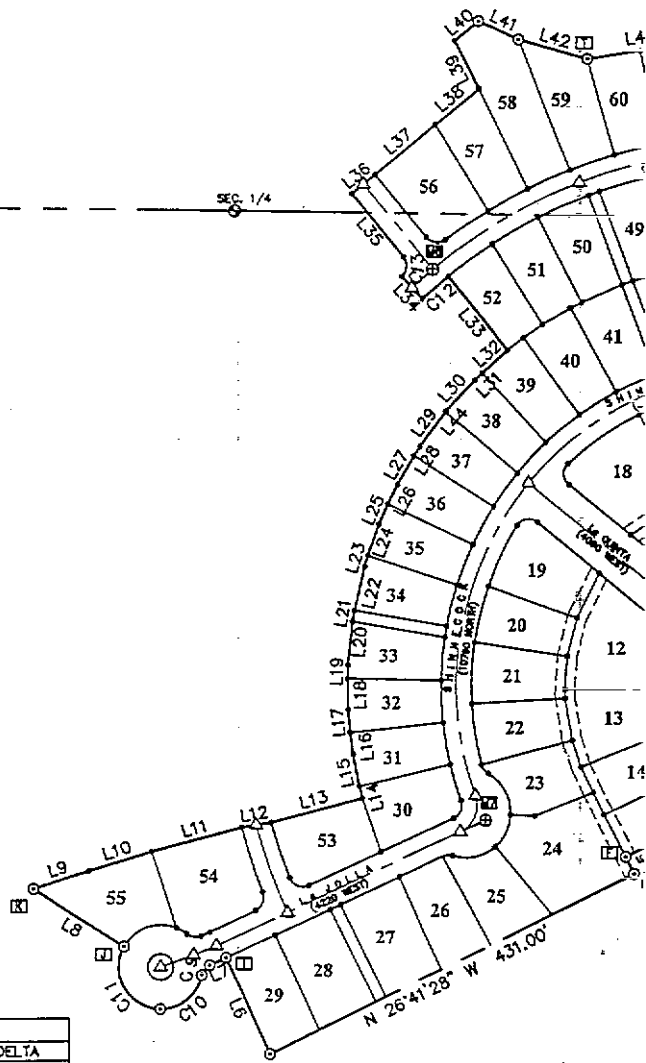
NO.	NORTHING	EASTING
M6	782978.29	1929331.06
M7	782978.29	1929331.06
M8	782963.72	1929231.06
M9	782967.88	1929231.06

STATE PLANE COORDINATES, BOUNDARY MONUMENT

NO.	NORTHING	EASTING
A	780522.95	1929377.36
B	782122.05	1929721.39
C	782416.59	1929728.06
D	782529.74	1929354.71
E	782881.01	1928758.23
F	782770.33	1928713.32
G	782761.35	1928695.46
H	783148.30	1928501.32
I	783154.13	1928803.85
J	783303.53	1928615.05
K	783398.76	1928675.53
L	782816.86	1928554.55
X	782590.47	1929576.94
Y	782478.88	1929569.76
Z	782237.07	1929496.30
AA	782188.48	1929734.84

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	165.34'	920.00'	S86°44'02"W	165.12'	1017°50'
C2	128.26'	370.00'	S88°28'03"E	127.62'	19°51'40"
C3	182.75'	370.00'	S84°24'15"E	180.89'	28°17'56"
C4	290.71'	505.00'	N68°44'48"W	286.72'	32°59'01"
C5	38.11'	25.00'	S39°33'52"E	34.53'	87°20'51"
C6	88.37'	122.00'	N18°38'29"W	86.45'	41°30'04"
C7	111.37'	122.00'	S89°28'01"W	107.54'	52°18'13"
C9	14.09'	15.00'	N52°05'13"W	13.58'	53°48'49"
C10	62.27'	45.00'	S39°21'11"E	57.42'	79°18'52"
C11	93.18'	45.00'	S59°36'17"W	77.40'	118°38'05"
C12	37.11'	554.00'	N41°01'58"W	37.10'	3°50'17"
C13	22.79'	15.00'	S86°28'25"E	20.66'	87°02'38"



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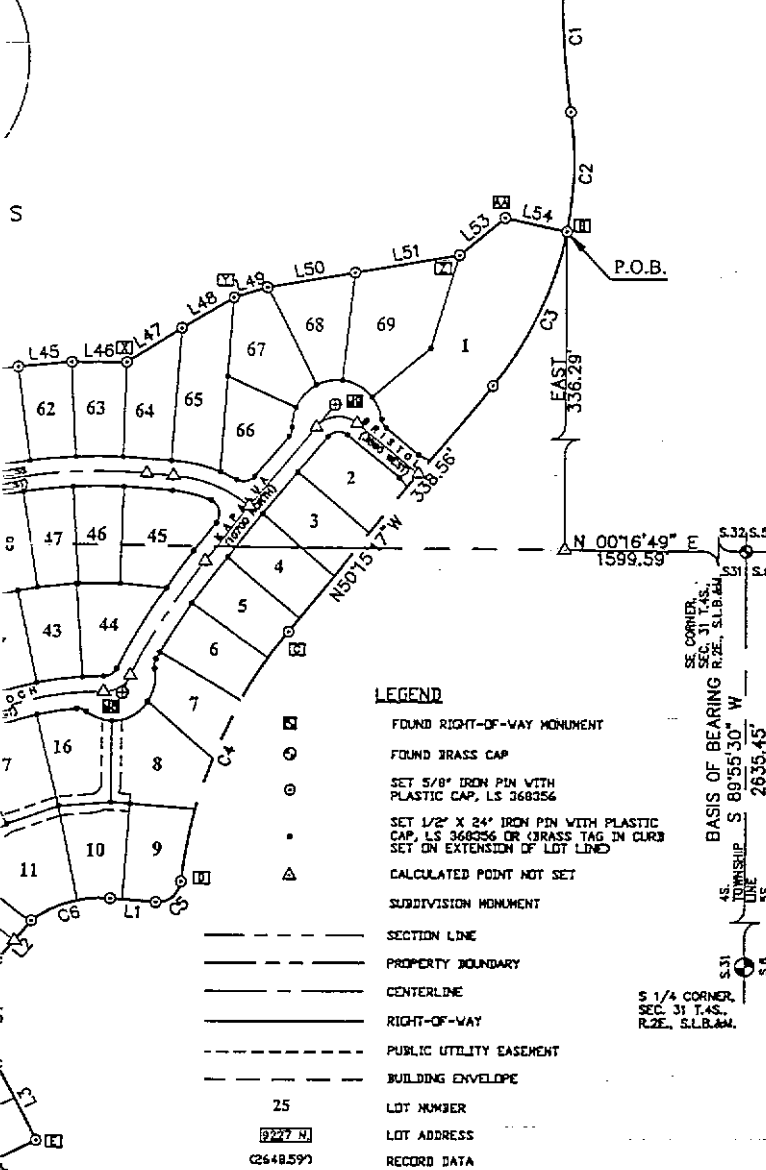
**HUBBLE**  
**ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
OREM, UTAH 84057  
(801) 802-8992





PROJECT SITE



- LEGEND**
- FOUND RIGHT-OF-WAY MONUMENT
  - FOUND BRASS CAP
  - ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
  - SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LAND
  - △ CALCULATED POINT NOT SET
  - SUBDIVISION MONUMENT
  - SECTION LINE
  - PROPERTY BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY
  - PUBLIC UTILITY EASEMENT
  - BUILDING ENVELOPE
  - 25 LOT NUMBER
  - 9227 N LOT ADDRESS
  - Q2648.592 RECORD DATA

**SURVEYOR'S CERTIFICATE**

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAN AND THAT THIS IS TRUE AND CORRECT.

DATE \_\_\_\_\_ ROBBIN J. MULLEN, L.S.

**BOUNDARY DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE EAST 1/2 OF SECTION 31 AND IN THE WEST 1/2 OF SECTION 32 OF TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & W., UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST; THENCE N. 00°16'49" E. ALONG THE SECTION LINE A DISTANCE OF 1599.59 FEET; THENCE EAST A DISTANCE OF 336.29 FEET TO THE REAL POINT OF BEGINNING.

THENCE NORTHWESTERLY A DISTANCE OF 182.75 FEET ALONG THE ARC OF A 370.00-FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 28°17'58", SUBTENDED BY A CHORD THAT BEARS N. 84°24'13" W. A DISTANCE OF 182.89 FEET; THENCE N. 50°15'17" W. A DISTANCE OF 338.58 FEET; THENCE NORTHWESTERLY A DISTANCE OF 290.71 FEET ALONG THE ARC OF A 505.00-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 32°29'01", SUBTENDED BY A CHORD THAT BEARS N. 66°44'48" W. A DISTANCE OF 236.72 FEET; THENCE NORTHWESTERLY A DISTANCE OF 38.11 FEET ALONG THE ARC OF A 25.00-FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 87°20'51", SUBTENDED BY A CHORD THAT BEARS N. 39°33'52" W. A DISTANCE OF 34.53 FEET; THENCE N. 04°08'33" E. A DISTANCE OF 48.07 FEET; THENCE NORTHWESTERLY A DISTANCE OF 88.37 FEET ALONG THE ARC OF A 122.00-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 41°30'04", SUBTENDED BY A CHORD THAT BEARS N. 16°34'29" W. A DISTANCE OF 86.45 FEET; THENCE N. 50°33'12" W. A DISTANCE OF 56.84 FEET; THENCE SOUTHWESTERLY A DISTANCE OF 111.37 FEET ALONG THE ARC OF A 122.00-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 52°18'13", SUBTENDED BY A CHORD THAT BEARS N. 89°28'01" W. A DISTANCE OF 107.54 FEET; THENCE N. 28°41'28" W. A DISTANCE OF 89.93 FEET; THENCE S. 83°18'32" E. A DISTANCE OF 20.00 FEET; THENCE N. 28°41'28" W. A DISTANCE OF 431.00 FEET; THENCE N. 64°49'12" E. A DISTANCE OF 112.45 FEET; THENCE N. 23°10'48" W. A DISTANCE OF 19.36 FEET; THENCE NORTHWESTERLY A DISTANCE OF 14.00 FEET ALONG THE ARC OF A 15.00-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 53°48'44", SUBTENDED BY A CHORD THAT BEARS N. 52°05'13" W. A DISTANCE OF 13.56 FEET; THENCE NORTHWESTERLY A DISTANCE OF 82.27 FEET ALONG THE ARC OF A 45.00-FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 78°16'52", SUBTENDED BY A CHORD THAT BEARS N. 39°21'11" W. A DISTANCE OF 87.42 FEET; THENCE NORTHEASTERLY A DISTANCE OF 83.18 FEET ALONG THE ARC OF A 45.00-FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 118°39'09", SUBTENDED BY A CHORD THAT BEARS N. 50°06'17" E. A DISTANCE OF 77.40 FEET; THENCE N. 32°08'53" E. A DISTANCE OF 113.88 FEET; THENCE S. 17°18'14" E. A DISTANCE OF 61.06 FEET; THENCE S. 17°18'14" E. A DISTANCE OF 69.10 FEET; THENCE S. 15°14'02" E. A DISTANCE OF 100.00 FEET; THENCE S. 10°07'35" E. A DISTANCE OF 32.13 FEET; THENCE S. 15°14'02" E. A DISTANCE OF 100.00 FEET; THENCE N. 73°17'03" E. A DISTANCE OF 12.78 FEET; THENCE N. 78°15'24" E. A DISTANCE OF 34.32 FEET; THENCE N. 81°53'00" E. A DISTANCE OF 23.14 FEET; THENCE N. 84°51'21" E. A DISTANCE OF 23.96 FEET; THENCE N. 89°27'09" E. A DISTANCE OF 33.02 FEET; THENCE S. 88°24'30" E. A DISTANCE OF 14.06 FEET; THENCE S. 84°43'08" E. A DISTANCE OF 47.02 FEET; THENCE S. 80°59'35" E. A DISTANCE OF 12.00 FEET; THENCE S. 77°15'33" E. A DISTANCE OF 47.15 FEET; THENCE S. 73°31'23" E. A DISTANCE OF 12.04 FEET; THENCE S. 87°53'37" E. A DISTANCE OF 34.81 FEET; THENCE S. 80°13'43" E. A DISTANCE OF 35.27 FEET; THENCE S. 87°18'10" E. A DISTANCE OF 23.20 FEET; THENCE S. 52°41'19" E. A DISTANCE OF 45.18 FEET; THENCE S. 50°43'54" E. A DISTANCE OF 11.58 FEET; THENCE S. 47°48'38" E. A DISTANCE OF 38.01 FEET; THENCE S. 44°20'38" E. A DISTANCE OF 10.84 FEET; THENCE S. 41°23'13" E. A DISTANCE OF 44.34 FEET; THENCE N. 50°33'10" E. A DISTANCE OF 100.00 FEET; THENCE NORTHWESTERLY A DISTANCE OF 37.11 FEET ALONG THE ARC OF A 55.00-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 35°01'17", SUBTENDED BY A CHORD THAT BEARS N. 41°01'58" W. A DISTANCE OF 37.10 FEET; THENCE N. 47°02'53" E. A DISTANCE OF 32.00 FEET; THENCE SOUTHEASTERLY A DISTANCE OF 22.79 FEET ALONG THE ARC OF A 15.00-FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 87°02'36", SUBTENDED BY A CHORD THAT BEARS S. 86°28'25" E. A DISTANCE OF 20.86 FEET; THENCE N. 50°00'17" E. A DISTANCE OF 86.06 FEET; THENCE S. 39°12'29" E. A DISTANCE OF 32.00 FEET; THENCE S. 39°50'43" E. A DISTANCE OF 83.72 FEET; THENCE S. 38°59'43" E. A DISTANCE OF 86.56 FEET; THENCE N. 83°04'44" E. A DISTANCE OF 98.48 FEET; THENCE S. 38°59'43" E. A DISTANCE OF 32.26 FEET; THENCE S. 23°54'51" W. A DISTANCE OF 47.17 FEET; THENCE S. 15°12'33" W. A DISTANCE OF 75.33 FEET; THENCE S. 08°58'51" E. A DISTANCE OF 113.29 FEET; THENCE S. 05°18'58" E. A DISTANCE OF 57.47 FEET; THENCE S. 00°50'56" E. A DISTANCE OF 57.47 FEET; THENCE S. 32°11'19" E. A DISTANCE OF 68.32 FEET; THENCE S. 30°50'14" E. A DISTANCE OF 88.02 FEET; THENCE S. 17°21'08" E. A DISTANCE OF 37.35 FEET; THENCE S. 09°37'06" E. A DISTANCE OF 85.33 FEET; THENCE S. 06°45'12" E. A DISTANCE OF 111.78 FEET; THENCE S. 38°24'42" E. A DISTANCE OF 82.05 FEET; THENCE S. 11°26'47" W. A DISTANCE OF 87.78 FEET TO THE REAL POINT OF BEGINNING, CONTAINING 12.74 ACRES OF LAND.

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**ACKNOWLEDGMENT**

STATE OF UTAH  
 COUNTY OF UTAH  
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. BY \_\_\_\_\_ IN HIS CAPACITY AS A MEMBER OF LEGACY PROPERTIES AND INVESTMENTS, L.C. WHO DULY ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS EXECUTED BY HIS AUTHORITY.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC (SEE SEAL BELOW)

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREIN HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D.

APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
 (SEE SEAL BELOW) (SEE SEAL BELOW)

**THE CEDARS AT CEDAR HILLS PLAT "C"**  
 PLANNED RESIDENTIAL DEVELOPMENT  
 PAGE 1 OF 2  
 CEDAR HILLS UTAH COUNTY, UTAH  
 SCALE: 1" = 200 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND PUBLIC UTILITY EASEMENTS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THE OPEN SPACE PARCELS ARE NOT DEDICATED FOR THE PERPETUAL USE OF THE PUBLIC. DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_

LONG PEAK LINKS, LLC  
 BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER  
 BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER

**BOARD OF HEALTH**

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS \_\_\_\_\_

CITY-COUNTY HEALTH DEPARTMENT

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_ BY THE \_\_\_\_\_ PLANNING COMMISSION  
 DIRECTOR-SECRETARY CHAIRMAN, PLANNING COMMISSION



- LEGEND**
- FOUND RIGHT-OF-WAY MONUMENT
  - FOUND BRASS CAP
  - ⊙ SET 3/8" IRON PIN WITH PLASTIC CAP, LS 368356
  - SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
  - △ CALCULATED POINT NOT SET
  - ⊕ SUBDIVISION MONUMENT
  - SECTION LINE
  - PROPERTY BOUNDARY
  - CENTERLINE
  - - - RIGHT-OF-WAY
  - - - PUBLIC UTILITY EASEMENT
  - - - BUILDING ENVELOPE
  - ⊙ (25) LOT NUMBER
  - ⊙ (9227 N) LOT ADDRESS
  - ⊙ (2648.59') RECORD DATA

N  
↑

(24"x36")  
HORIZONTAL 1" = 60'

(11"x17")  
HORIZONTAL 1" = 120'

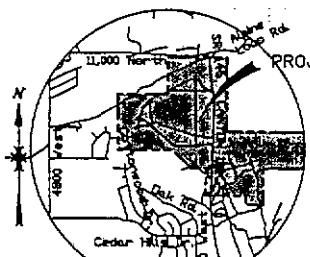
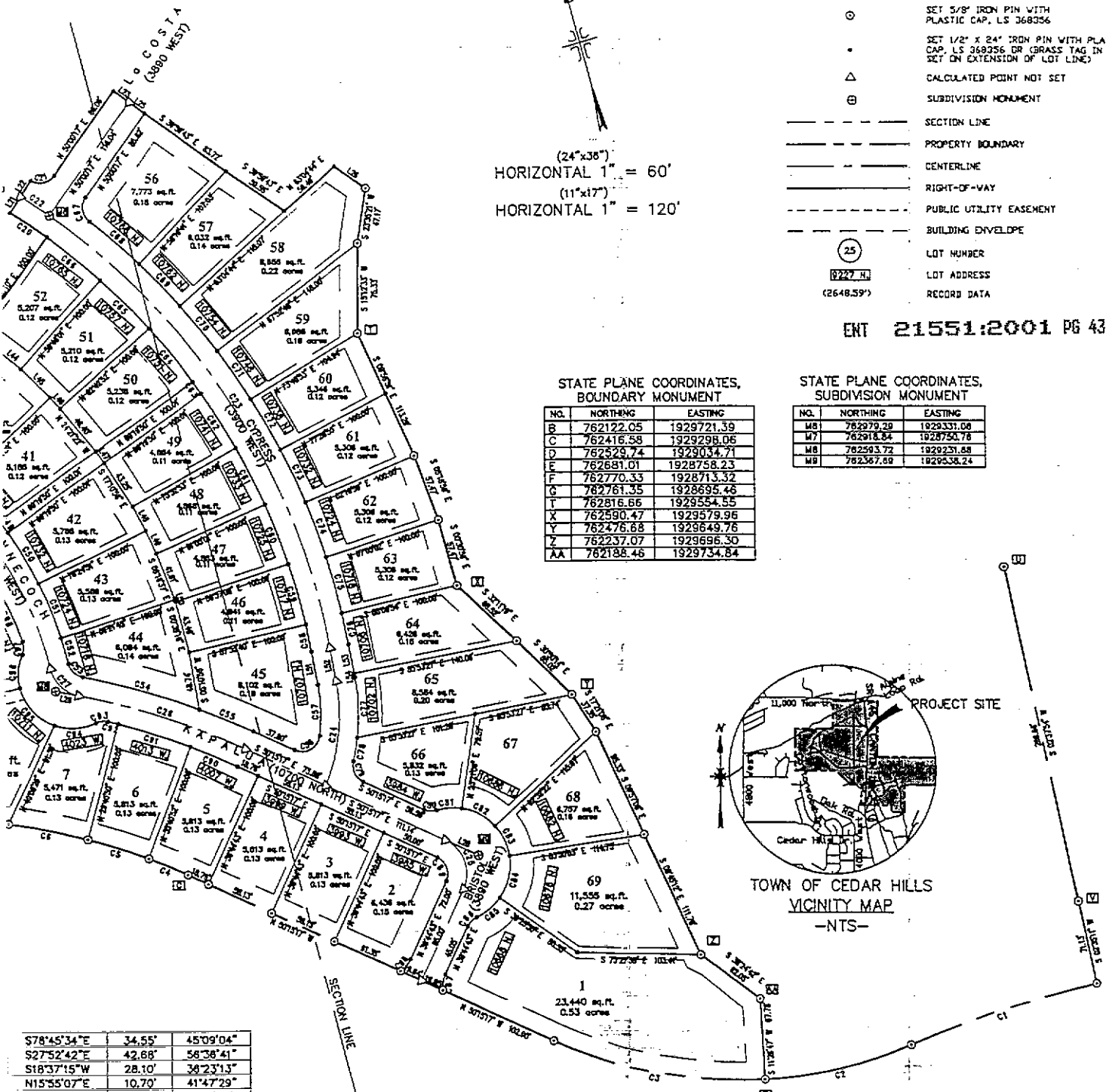
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STATE PLANE COORDINATES, BOUNDARY MONUMENT

NO.	NORTHING	EASTING
B	762122.05	1929721.39
C	762416.58	1929298.06
D	762529.74	1929034.71
F	762881.01	1928758.23
G	762770.33	1928713.32
H	762761.35	1928695.46
T	762816.56	1929554.55
X	762590.47	1929579.96
Y	762476.68	1928649.78
Z	762237.07	1929656.30
AA	762138.46	1929734.84

STATE PLANE COORDINATES, SUBDIVISION MONUMENT

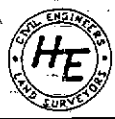
NO.	NORTHING	EASTING
MB	762979.29	1929331.06
M7	762918.84	1928750.78
MB	762593.72	1929251.68
MB	762367.60	1929538.24



S78°45'34"E	34.55'	45°09'04"
S27°52'42"E	42.68'	58°36'41"
S18°37'15"W	28.10'	38°23'13"
N15°55'07"E	10.79'	41°47'29"
N68°49'03"W	43.13'	7°40'51"
N19°53'37"W	81.11'	14°28'18"
N35°10'16"W	90.09'	16°05'00"
S87°57'01"W	22.59'	97°40'28"
N09°43'28"W	22.59'	97°40'33"
N64°51'38"W	70.65'	12°35'47"
N76°36'15"W	81.11'	10°53'27"
N87°51'27"W	65.17'	11°38'58"
S80°31'14"W	65.24'	11°37'40"
S51°58'30"W	11.61'	45°31'49"
N60°34'04"E	50.00'	62°46'58"
S64°41'46"E	38.04'	46°41'22"
S12°23'23"E	48.49'	57°55'25"
N04°18'14"W	10.89'	41°45'08"
S68°42'08"E	20.66'	87°02'36"
S21°28'06"W	21.81'	93°17'50"
S24°07'04"E	10.53'	2°07'28"
S07°38'18"W	15.31'	61°23'17"
N29°58'29"E	13.08'	16°42'57"
N19°43'50"W	59.46'	82°41'41"

**HUBBLE  
ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
DREM, UTAH 84057  
(801) 802-8992



LAND SURVEYOR

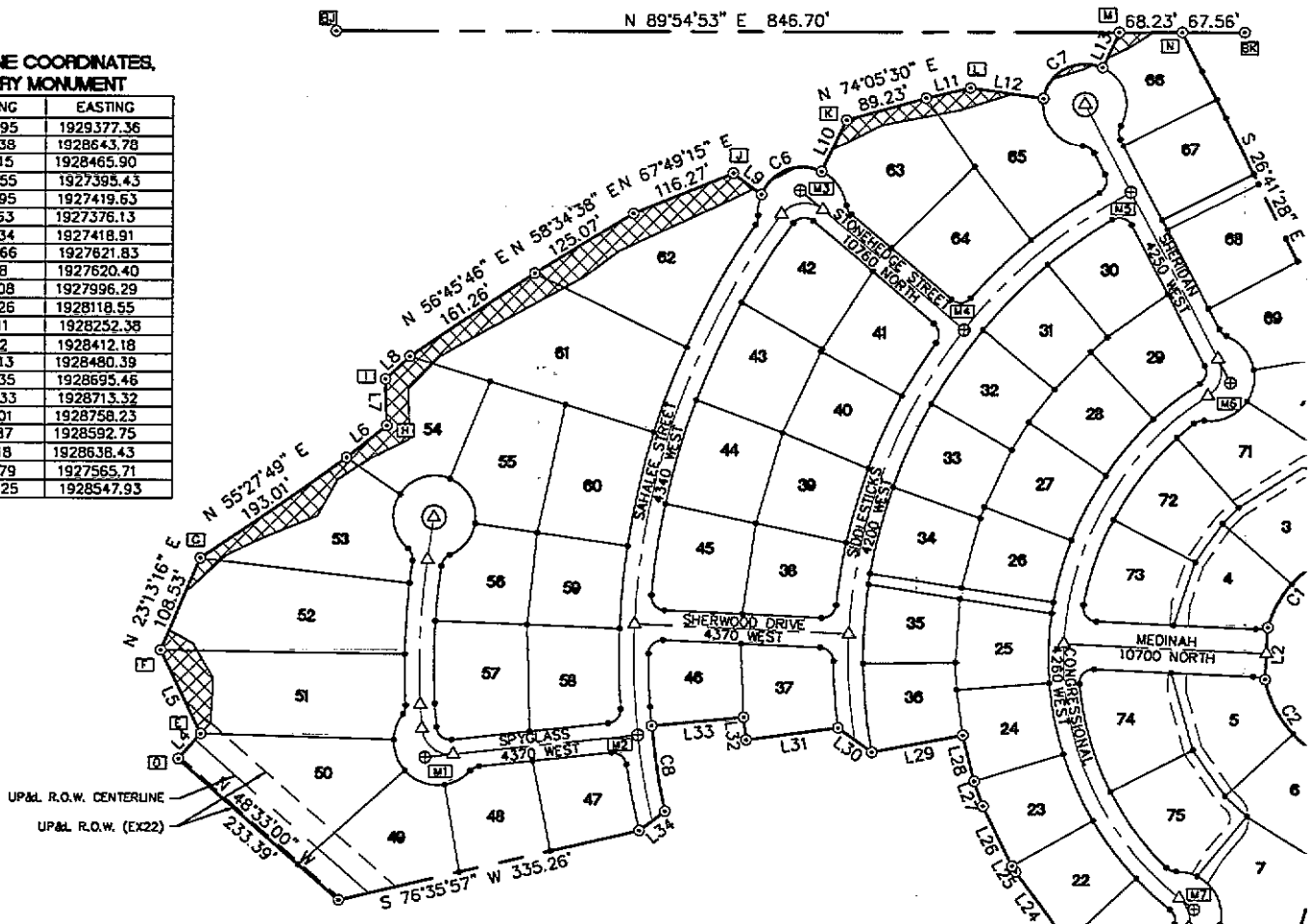
APPROVED THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
LAND SURVEYOR

**THE CEDARS  
AT CEDAR HILLS  
PLAT "C"**  
PLANNED RESIDENTIAL DEVELOPMENT  
PAGE 2 OF 2

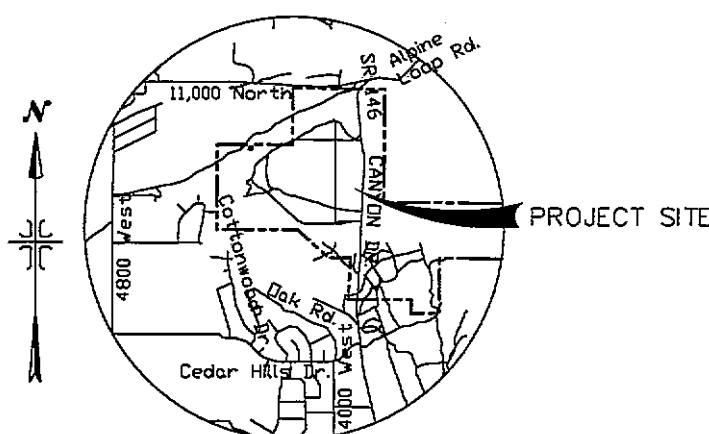
**STATE PLANE COORDINATES,  
BOUNDARY MONUMENT**

NO.	NORTHING	EASTING
A	760522.95	1929377.36
B	761388.38	1928643.78
C	761453.15	1928465.90
D	762398.55	1927395.43
E	762425.95	1927419.63
F	762517.63	1927376.13
G	762617.34	1927418.91
H	762760.66	1927621.83
I	762811.78	1927620.40
J	763034.08	1927996.29
K	763091.26	1928118.55
L	763127.11	1928252.38
M	763189.02	1928412.18
N	763189.13	1928480.39
O	762761.35	1928695.46
P	762770.33	1928713.32
Q	762681.01	1928758.23
R	761891.87	1928592.75
T	761634.18	1928636.43
BJ	763187.79	1927565.71
BK	763189.25	1928547.93



**STATE PLANE COORDINATES,  
SUBDIVISION MONUMENT**

NO.	NORTHING	EASTING
M1	762400.98	1927664.59
M2	762425.69	1927894.65
M3	763015.80	1928068.67
M4	762866.25	1928246.04
M5	763014.98	1928425.30
M6	762809.98	1928533.78
M7	762235.27	1928495.57
M8	762008.02	1928465.81
M9	761681.19	1928512.32



**HUBBLE  
ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

**CITY OF CEDAR HILLS  
VICINITY MAP**

-NTS-

1471 N. 1200 W.  
OREM, UTAH 84057  
(801) 802-8992



S.31  
S 1/4 CORNER, S.6  
SEC. 31 T.4S.  
R.2E., S.L.B.#44



CURVE TABLE

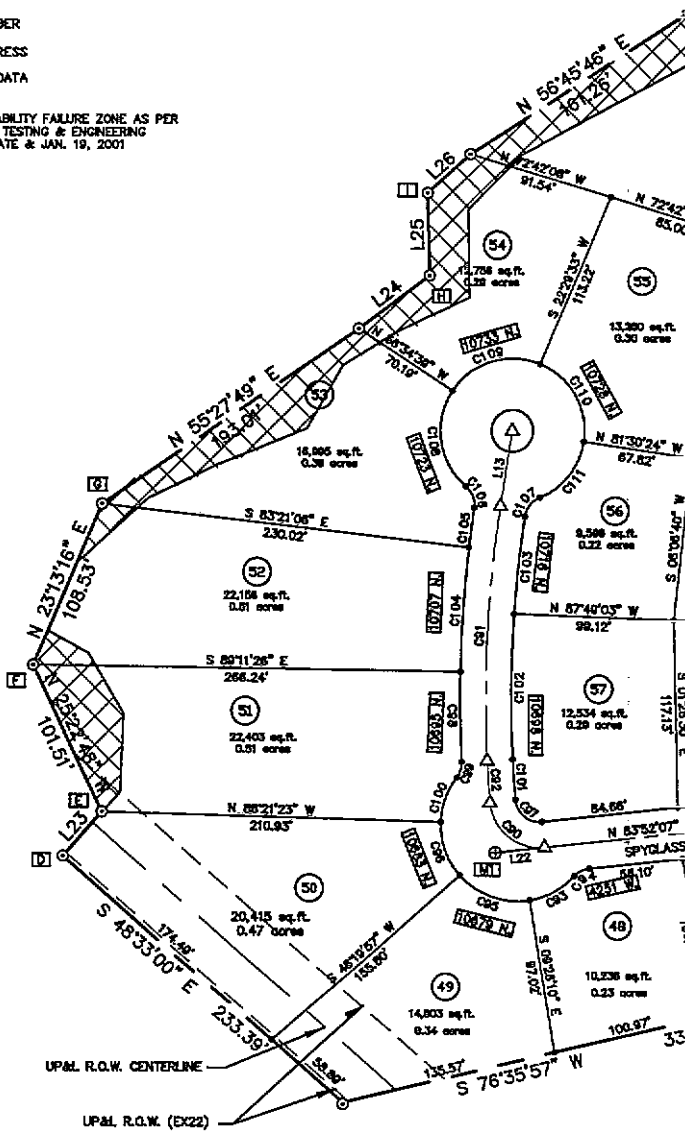
NO.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	338.00'	183.44'	190.81'	S 13°45'38" E	32°47'27"
C2	48.00'	23.10'	23.10'	N 76°59'23" W	27°50'58"
C3	15.00'	11.92'	11.61'	S 68°08'58" E	49°31'49"
C4	322.00'	17.97'	17.97'	S 28°33'25" E	3°11'52"
C5	322.00'	54.28'	54.22'	S 22°07'43" E	9°39'32"
C6	322.00'	68.90'	68.76'	S 11°01'11" E	12°15'32"
C7	354.00'	78.44'	78.27'	S 23°43'39" E	12°51'25"
C8	354.00'	79.44'	79.27'	S 10°52'14" E	12°51'25"
C9	338.00'	322.44'	310.35'	S 29°37'49" W	54°39'29"
C10	354.00'	78.09'	75.94'	S 01°42'55" W	12°18'55"
C11	354.00'	12.00'	12.00'	S 08°50'39" W	1°56'32"
C12	354.00'	70.78'	70.66'	S 15°32'36" W	11°27'23"
C13	354.00'	79.44'	79.27'	S 27°42'00" W	12°51'25"
C14	354.00'	79.44'	79.27'	S 40°33'25" W	12°51'25"
C15	354.00'	83.68'	83.60'	S 52°08'20" W	10°18'27"
C16	15.00'	25.57'	22.59'	S 43°47'50" W	97°40'29"
C17	15.00'	25.57'	22.59'	S 38°31'40" E	97°40'29"
C18	322.00'	99.44'	99.05'	S 19°09'24" W	17°41'40"
C19	322.00'	111.75'	111.19'	S 37°56'45" W	19°53'02"
C20	322.00'	23.90'	23.90'	S 50°00'52" W	4°15'12"
C21	15.00'	11.85'	11.55'	S 74°46'52" W	45°16'48"
C22	48.00'	53.75'	50.98'	N 65°20'37" E	64°09'18"
C23	48.00'	38.31'	35.45'	N 11°35'38" E	43°20'39"
C24	15.00'	22.30'	20.30'	N 14°42'08" E	85°10'51"
C25	48.00'	49.04'	48.94'	N 39°20'51" W	58°32'18"
C26	15.00'	10.66'	10.44'	S 48°15'08" E	40°43'42"
C27	15.00'	15.42'	14.75'	S 01°33'27" E	58°53'28"
C28	45.00'	75.57'	87.00'	N 17°08'29" W	98°13'19"
C29	45.00'	83.88'	72.13'	S 61°30'34" W	108°32'35"
C30	45.00'	74.63'	86.36'	S 39°16'14" E	95°01'02"
C31	15.00'	15.42'	14.75'	N 57°20'01" W	58°53'28"
C32	15.00'	22.79'	20.66'	N 15°38'01" E	87°02'36"
C33	15.00'	24.43'	21.81'	N 74°32'12" W	93°17'50"
C34	570.00'	234.84'	232.99'	S 50°19'08" W	23°35'10"
C35	588.00'	89.96'	89.87'	S 54°45'27" W	8°47'45"
C36	588.00'	89.96'	89.87'	S 45°37'44" W	8°47'45"
C37	554.00'	84.84'	84.78'	S 54°25'38" W	8°46'28"
C38	554.00'	98.04'	97.91'	S 44°58'12" W	10°08'23"
C39	570.00'	357.54'	351.70'	S 20°33'22" W	35°56'21"
C40	15.00'	23.19'	20.95'	N 85°50'58" E	88°34'11"
C41	15.00'	22.39'	20.37'	N 07°06'30" W	85°30'53"
C42	588.00'	68.57'	68.53'	S 32°17'48" W	6°42'18"
C43	588.00'	88.12'	88.04'	S 24°44'03" W	8°25'14"
C44	588.00'	83.77'	83.70'	S 16°25'44" W	8°11'25"
C45	588.00'	89.45'	89.41'	S 08°56'18" W	6°47'25"
C46	15.00'	22.79'	20.66'	N 49°03'54" E	87°02'36"
C47	554.00'	98.04'	97.91'	S 34°49'50" W	10°08'23"
C48	554.00'	98.04'	97.91'	S 24°41'27" W	10°08'23"
C49	554.00'	98.20'	98.08'	S 14°32'34" W	10°09'24"
C50	554.00'	12.00'	12.00'	S 08°50'39" W	1°14'28"
C51	554.00'	85.88'	85.79'	S 03°46'58" W	8°52'54"
C52	570.00'	234.02'	232.38'	S 09°10'31" E	23°31'26"
C53	554.00'	98.04'	97.91'	S 05°43'40" E	10°08'23"
C54	788.00'	94.13'	94.08'	S 08°57'07" E	8°51'43"
C55	15.00'	22.79'	20.66'	N 43°53'07" E	87°02'36"
C56	588.00'	73.84'	73.79'	S 03°58'47" E	7°13'11"
C57	710.00'	76.78'	76.72'	S 25°25'11" W	8°11'40"
C58	25.00'	37.98'	34.43'	N 14°59'58" W	87°01'57"
C59	802.00'	183.56'	183.16'	S 12°41'17" E	13°08'49"
C60	122.00'	37.68'	37.53'	S 51°36'44" E	17°41'49"
C61	122.00'	67.93'	67.08'	S 26°48'42" E	31°54'14"
C62	788.00'	20.88'	20.88'	S 04°45'35" E	1°31'21"
C63	802.00'	29.85'	29.85'	S 05°03'54" E	2°07'58"
C64	120.92'	54.01'	53.58'	S 28°48'38" W	25°35'24"
C65	120.92'	46.20'	45.92'	S 52°33'01" W	21°53'21"
C66	818.00'	73.34'	73.31'	S 10°49'57" E	5°08'12"
C67	15.00'	23.00'	20.81'	N 52°11'52" W	87°52'02"
C68	15.00'	23.00'	20.81'	N 39°58'08" E	87°52'02"
C69	802.00'	92.18'	92.13'	S 00°42'21" E	6°35'07"
C70	802.00'	478.05'	469.67'	S 19°36'47" W	34°03'10"
C71	788.00'	58.73'	58.71'	S 01°51'29" E	4°18'51"
C72	15.00'	24.17'	21.64'	S 46°28'04" W	92°18'18"
C73	818.00'	88.25'	88.20'	S 00°54'29" E	6°10'52"
C74	818.00'	90.10'	90.05'	S 05°20'18" W	6°18'38"
C75	818.00'	125.70'	125.58'	S 12°53'44" W	8°48'18"
C76	818.00'	99.17'	99.11'	S 20°48'15" W	6°58'47"
C77	15.00'	24.17'	21.64'	S 41°15'40" E	92°18'18"
C78	788.00'	101.43'	101.36'	S 09°35'18" W	7°23'38"
C79	788.00'	115.95'	115.85'	S 16°30'40" W	8°27'09"
C80	788.00'	115.95'	115.85'	S 24°57'49" W	8°27'09"
C81	31.00'	50.59'	45.18'	S 83°23'12" W	93°29'42"
C82	788.00'	102.20'	102.12'	S 32°54'52" W	7°28'58"
C83	15.00'	24.48'	21.85'	S 83°23'12" W	93°29'42"
C84	818.00'	151.13'	150.92'	S 29°32'13" W	10°35'09"
C85	48.00'	23.41'	23.18'	S 08°30'54" W	27°56'48"
C86	15.00'	10.55'	10.33'	N 14°41'09" E	40°17'18"
C87	48.00'	78.19'	69.83'	S 69°09'13" W	93°19'50"
C88	48.00'	48.97'	45.12'	N 36°08'51" W	56°04'04"
C89	15.00'	10.93'	10.69'	S 28°59'23" E	41°48'08"
C90	31.00'	49.85'	44.51'	S 80°14'45" E	91°48'16"
C91	772.51'	158.25'	157.98'	S 02°44'25" W	11°44'18"
C92	772.51'	28.78'	28.78'	S 04°06'31" E	1°58'11"
C93	48.00'	32.21'	31.61'	N 61°20'25" E	38°28'50"
C94	15.00'	10.93'	10.69'	S 62°59'33" W	41°48'08"
C95	48.00'	48.40'	46.37'	S 70°33'06" E	57°48'08"
C96	48.00'	38.28'	35.43'	S 20°00'43" E	43°18'40"
C97	15.00'	23.84'	21.41'	S 50°36'08" E	91°03'29"

LEGEND

- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- ⊙ SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- ⊕ SUBDIVISION MONUMENT
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 25 LOT NUMBER
- 2227 N LOT ADDRESS
- 2648.597 RECORD DATA
- ▧ SLOPE STABILITY FAILURE ZONE AS PER EARTHTEC TESTING & ENGINEERING REPORT DATE & JAN. 19, 2001

LINE	BEARING	LENGTH
L1	N 54°15'48" W	22.91'
L2	N 54°15'48" W	22.28'
L3	N 19°07'05" W	28.82'
L4	N 14°02'54" W	51.49'
L5	N 06°33'19" W	24.77'
L6	S 53°08'24" W	17.55'
L7	S 53°08'24" W	17.48'
L8	N 63°18'32" E	20.00'
L9	S 58°30'56" E	31.94'
L10	S 02°38'05" W	28.47'
L11	S 02°38'05" W	28.47'
L12	N 83°18'32" E	30.00'
L13	N 08°38'32" E	47.63'
L14	N 28°41'28" W	5.53'
L15	N 28°41'28" W	12.00'
L16	S 27°53'17" E	29.70'
L17	N 27°53'17" W	12.00'
L18	N 27°53'17" W	7.77'
L19	S 24°46'51" W	42.83'
L20	N 49°51'57" W	32.27'
L21	N 29°04'02" E	2.94'
L22	N 83°52'07" E	30.93'
L23	N 41°27'00" E	36.58'
L24	S 52°20'44" W	55.55'
L25	S 01°36'04" E	51.15'
L26	S 47°02'24" W	36.51'
L27	N 83°18'32" E	33.65'
L28	N 83°18'32" E	28.89'
L29	N 44°41'19" E	24.78'
L30	N 34°44'48" E	52.13'
L31	S 46°54'52" E	32.14'
L32	N 59°50'38" E	18.00'
L33	N 59°50'38" E	18.00'
L34	N 12°18'33" E	0.58'
L35	S 53°04'18" E	37.98'
L36	N 76°39'08" E	49.39'
L37	S 48°30'45" W	24.20'
L38	S 37°00'52" W	45.72'
L39	S 31°56'41" W	34.60'
L40	S 20°26'47" W	13.08'
L41	S 02°33'00" E	29.98'
L42	S 07°37'12" E	50.33'

C98	788.51'	56.31'	56.29'	S 01°04'58" E	4°05'29"
C99	15.00'	10.61'	10.39'	N 17°08'28" E	40°32'18"
C100	48.00'	29.96'	29.46'	S 19°31'36" W	35°45'58"
C101	758.51'	25.85'	25.85'	S 04°05'40" E	1°57'28"
C102	758.51'	90.76'	90.71'	S 00°18'31" W	6°52'26"
C103	758.51'	90.40'	60.38'	S 06°01'58" W	4°34'29"
C104	788.51'	77.06'	77.03'	S 03°45'48" W	5°35'59"
C105	788.51'	24.48'	24.48'	S 07°27'07" W	1°46'44"
C106	15.00'	15.35'	14.89'	N 20°58'31" W	58°38'00"
C107	15.00'	15.49'	14.81'	S 37°54'17" W	59°10'10"
C108	45.00'	65.75'	60.05'	S 08°28'05" E	83°42'52"
C109	45.00'	62.10'	57.29'	S 72°57'27" W	79°04'12"
C110	45.00'	59.69'	55.41'	N 29°30'28" W	78°00'02"
C111	45.00'	48.34'	44.32'	N 37°59'29" E	58°59'47"
C112	322.00'	85.58'	85.33'	S 37°46'13" E	15°13'42"



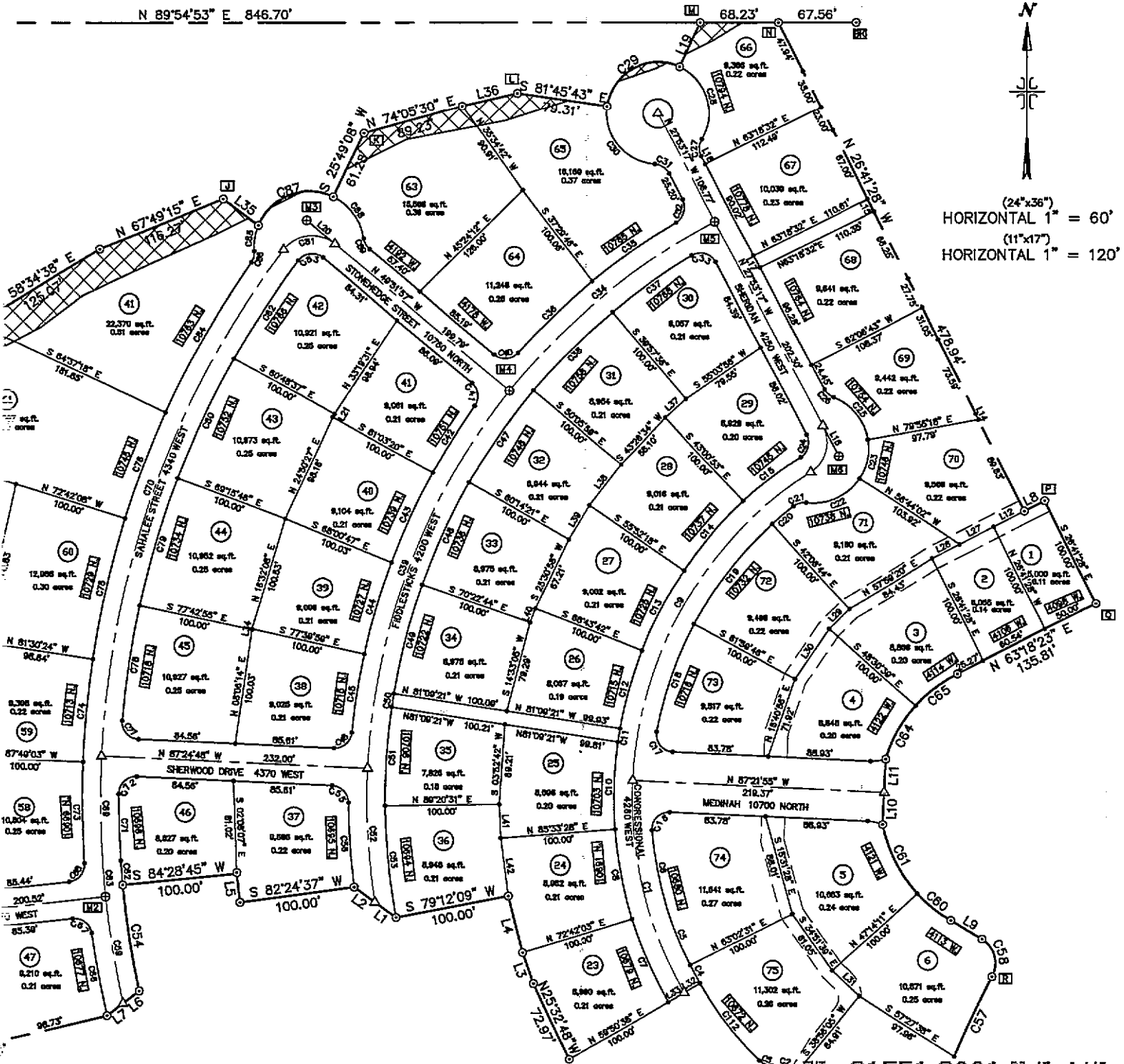
STATE PLANE SUBDIVISION

NO.	NORTHING
M1	762400.98
M2	762425.89
M3	763015.80
M4	762866.25
M5	763014.98
M6	762809.98

N 89°54'53" E 846.70'



(24"x36")  
HORIZONTAL 1" = 60'  
(11"x17")  
HORIZONTAL 1" = 120'



ENT 21551:2001 PG 47 of 142

STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

NO.	NORTHING	EASTING
D	762398.55	1927395.43
E	762425.95	1927419.63
F	762517.63	1927376.13
G	762617.34	1927418.91
H	762780.66	1927621.83
I	762811.78	1927620.40
J	763034.08	1927996.29
K	763091.26	1928118.55
L	763127.11	1928252.38
M	763189.02	1928412.18
N	763189.13	1928480.39
O	762761.35	1928693.46
P	762770.33	1928713.32
Q	762681.01	1928758.23
R	761891.87	1928592.75
BJ	763187.79	1927565.71
BK	763189.25	1928547.93

LAND SURVEYOR

APPROVED THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D. 20\_\_\_\_

LAND SURVEYOR

**HUBBLE  
ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
DREM, UTAH 84057  
(801) 802-8992



**THE CEDARS  
AT CEDAR HILLS  
PLAT "D"**  
PLANNED RESIDENTIAL DEVELOPMENT  
PAGE 2 OF 3

COORDINATES,  
MONUMENT

EASTING
1927664.59
1927894.65
1928068.67
1928246.04
1928425.30
1928533.78

CURVE TABLE					
NO.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	786.00'	233.13'	232.28'	N 00°44'38" W	16°59'39"
C2	25.00'	13.06'	12.91'	N 83°41'08" W	29°55'39"
C3	25.00'	13.93'	13.75'	N 65°23'09" E	31°55'53"
C4	710.00'	102.09'	102.00'	S 05°59'11" E	8°14'18"
C5	710.00'	104.44'	104.34'	S 02°20'48" W	8°25'40"
C6	710.00'	107.12'	107.01'	S 10°52'57" W	8°38'38"
C7	710.00'	88.20'	88.15'	S 18°45'49" W	7°07'04"
C8	322.00'	85.58'	85.35'	S 37°46'13" E	15°13'42"
C9	15.00'	11.92'	11.81'	S 68°08'58" E	45°31'49"
C10	48.00'	23.33'	23.10'	N 76°59'23" W	27°50'58"
C11	48.00'	62.82'	58.43'	N 25°34'12" W	74°59'24"
C12	48.00'	36.08'	35.24'	N 33°27'34" E	43°04'09"
C13	15.00'	11.32'	11.05'	S 33°22'23" W	43°14'33"
C14	810.00'	73.39'	73.36'	S 09°09'22" W	5°11'28"
C15	810.00'	119.14'	119.04'	S 02°20'48" W	8°25'40"
C16	810.00'	102.83'	102.78'	S 05°50'15" E	7°16'26"
C17	15.00'	23.43'	21.12'	S 53°53'42" E	89°30'27"
C18	15.00'	23.93'	21.47'	S 35°38'56" W	91°24'17"
C19	15.00'	10.93'	10.69'	S 30°55'46" E	41°45'08"
C20	48.00'	69.94'	63.91'	N 10°03'57" W	83°28'46"
C21	48.00'	22.37'	22.17'	N 45°01'37" E	28°42'21"
C22	48.00'	30.99'	30.46'	N 76°52'36" E	36°59'36"
C23	48.00'	56.85'	53.58'	S 50°41'49" E	67°51'34"
C24	15.00'	10.93'	10.69'	N 37°39'04" W	41°46'02"
C25	786.00'	11.15'	11.15'	N 09°38'49" W	0°48'46"
C26	786.00'	122.58'	122.45'	N 12°13'16" E	8°58'07"
C27	786.00'	244.28'	243.30'	N 01°09'00" W	17°48'24"
C28	710.00'	401.84'	396.50'	S 06°08'30" W	32°25'41"
C29	826.00'	210.66'	210.09'	S 06°43'25" W	14°36'44"
C30	31.00'	35.25'	33.38'	N 18°32'58" W	65°09'31"
C31	338.00'	125.24'	124.53'	S 40°30'50" E	21°13'48"
C32	354.00'	79.44'	79.27'	S 36°35'04" E	12°51'25"
C33	354.00'	50.14'	50.10'	S 47°04'15" E	8°08'57"
C34	15.00'	17.06'	16.15'	N 18°32'58" W	65°09'31"
C35	842.00'	99.08'	99.03'	S 10°39'31" W	6°44'33"
C36	842.00'	81.15'	81.12'	S 04°31'35" W	5°31'19"
C37	15.00'	26.90'	23.44'	N 53°08'48" E	102°45'45"
C38	134.00'	42.49'	42.31'	S 66°23'16" E	18°10'07"
C39	554.00'	57.51'	57.48'	S 54°19'47" E	5°56'51"
C40	150.00'	86.38'	85.20'	S 73°48'05" E	32°59'47"
C41	570.00'	59.63'	58.60'	S 54°18'24" E	5°59'37"
C42	15.00'	34.43'	27.35'	N 55°42'22" E	131°31'07"
C43	31.00'	71.16'	56.53'	N 55°42'22" E	131°31'07"
C44	842.00'	111.39'	111.31'	S 06°15'49" E	7°34'47"
C45	826.00'	136.53'	136.38'	S 05°19'05" E	9°28'14"
C46	15.00'	20.46'	18.91'	N 41°33'12" W	78°09'33"
C47	166.00'	38.60'	38.52'	S 73°58'14" E	13°19'28"
C48	166.00'	28.99'	28.95'	S 62°18'21" E	10°00'18"
C49	586.00'	61.75'	61.72'	S 54°17'05" E	6°02'15"

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 10°03'09" E	19.34'
L2	S 10°03'12" E	19.79'
L3	S 52°48'34" E	19.82'
L4	N 59°50'38" E	16.00'
L5	N 59°50'38" E	16.00'
L6	N 42°06'53" W	14.23'
L7	N 30°38'59" W	7.30'
L8	N 59°37'36" E	18.15'
L9	N 59°37'36" E	18.15'
L10	N 52°24'37" W	27.40'
L11	N 40°17'36" E	16.01'
L12	N 40°17'36" E	16.01'
L13	N 47°11'04" W	66.05'
L14	S 58°30'56" E	53.43'
L15	S 58°30'56" E	7.93'

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STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

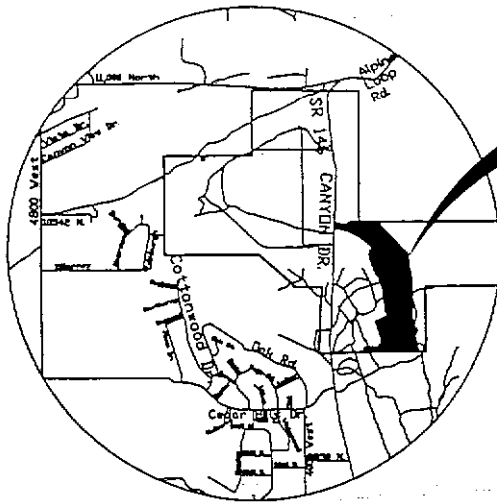
NO.	NORTHING	EASTING
A	760522.95	1929377.36
B	761388.38	1928643.78
C	761453.15	1928465.90
S	763184.36	1929914.72
T	761634.18	1928638.43

STATE PLANE COORDINATES,  
SUBDIVISION MONUMENT

NO.	NORTHING	EASTING
M7	762236.27	1928495.57
M8	762008.02	1928465.81
M9	761681.19	1928512.32

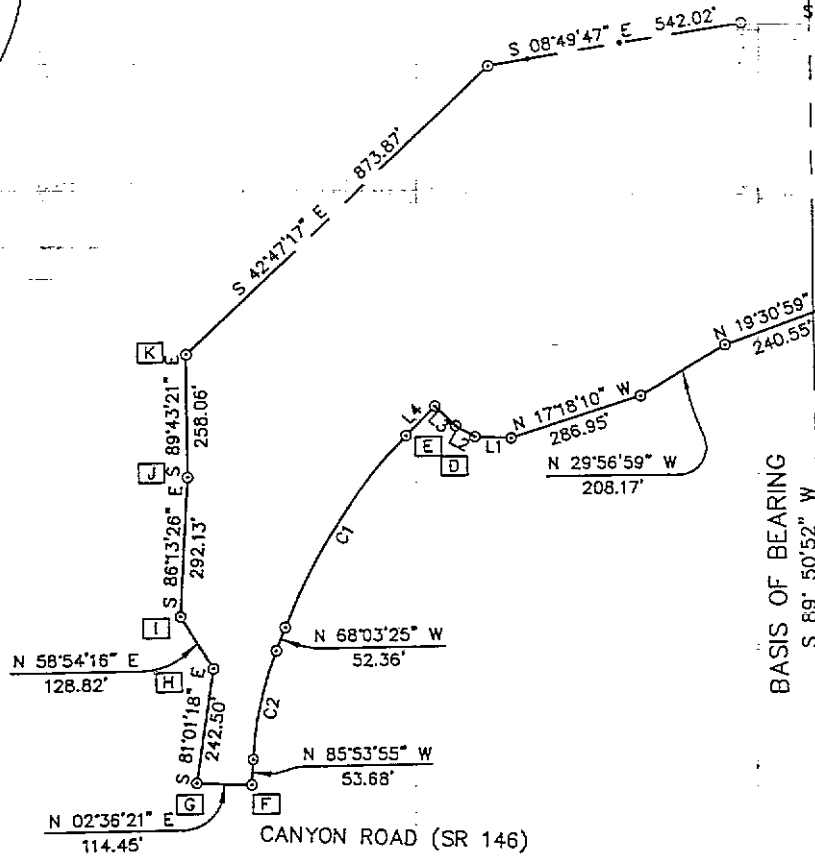






CITY OF CEDAR HILLS  
VICINITY MAP  
-NTS-

PROJECT SITE



LINE TABLE		
LINE	BEARING	LENGTH
L1	N 03°10'29\" E	77.15'
L2	N 30°24'24\" E	46.63'
L3	N 45°11'47\" E	60.00'
L4	N 44°48'11\" W	86.59'

CURVE TABLE					
NO.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	1215.00'	480.17'	477.05'	N 58°44'07\" W	22°38'36\"
C2	752.00'	234.17'	233.22'	N 78°58'40\" W	17°50'36\"

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STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

NO.	NORTHING	EASTING
A	760529.98	1932022.28
B	760522.95	1929377.36
C	759213.67	1931749.52
D	761285.34	1930807.91
E	761327.61	1930850.47
F	761726.55	1930061.47
G	761841.74	1930066.74
H	760761.46	1930258.97
I	760827.97	1930369.21
J	761851.19	1930708.05
K	761849.94	1930966.03

STATE PLANE COORDINATES,  
SUBDIVISION MONUMENT

NO.	NORTHING	EASTING
M1	761678.05	1930219.41
M2	761396.39	1930739.45
M3	760835.32	1930164.45
M4	760821.71	1930675.00
M5	760625.55	1930552.37
M6	760241.83	1930149.38
M7	760304.94	1930421.63
M8	759911.89	1930449.54
M9	760101.51	1930673.80
M10	760027.40	1930905.01
M11	759529.83	1930659.48

LEGEND

- ☐ FOUND RIGHT-OF-WAY MONUMENT S.32
- ⊙ FOUND BRASS CAP S.31
- ⊕ SUBDIVISION MONUMENT SW COR T.4S., R.
- SET 5/8\" IRON PIN WITH PLASTIC CAP, LS 366356
- SET 1/2\" IRON PIN WITH PLASTIC CAP, LS 366356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- FOUND IRON PIN
- △ CALCULATED POINT NOT SET
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 25 LOT NUMBER
- 5227 N LOT ADDRESS

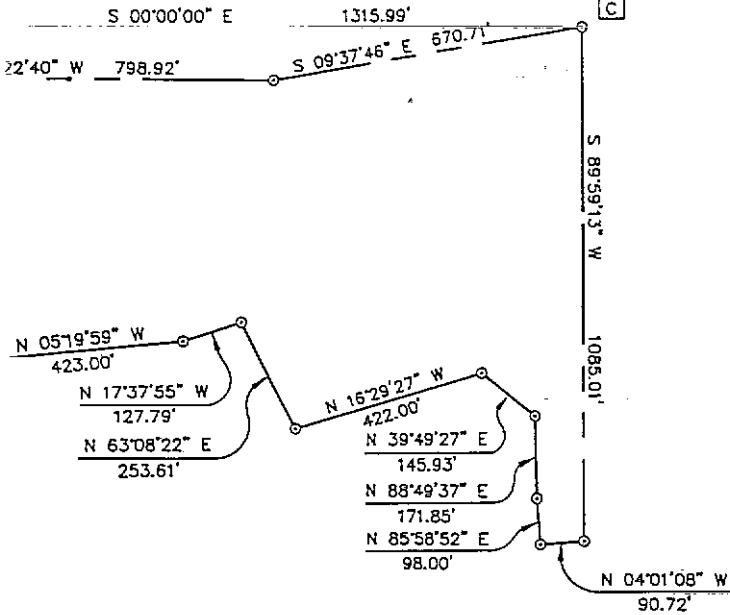
POTENTIAL  
TANK LOCATION  
OF MAPPED AREA

CORNER  
2 T.4S., R.2E.,  
&M.



(24"x36")  
HORIZONTAL 1" = 20'

(11"x17")  
HORIZONTAL 1" = 40'



**SURVEYOR'S CERTIFICATE**

I, ROBBIN J. MULLEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD THIS CERTIFICATE AND LICENSE AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH; I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME HAVE BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

DATE

ROBBIN J. MULLEN, L.S.

**BOUNDARY DESCRIPTION**

A PARCEL OF LAND IN THE NW 1/4 OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 2 EAST, AND THE SW 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B.#41, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE BRASS CAP MONUMENTING THE S 1/4 CORNER OF SAID SECTION 32; THENCE S. 89°59'13\"/>

THENCE S. 89°59'13\"/>

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, PUBLIC TRAILS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, LOTS 205, 210 AND PUBLIC UTILITY EASEMENTS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THE OPEN SPACE PARCELS ARE NOT DEDICATED FOR THE PERPETUAL USE OF

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_

LONE PEAK LINKS, LLC

BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER

BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D.

APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
(ENGINEER (SEE SEAL BELOW)) (CLERK-RECORDER (SEE SEAL BELOW))

**BOARD OF HEALTH**

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS: \_\_\_\_\_

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_ BY THE \_\_\_\_\_ PLANNING COMMISSION

DIRECTOR-SECRETARY CHAIRMAN, PLANNING COMMISSION

**ACKNOWLEDGMENT**

STATE OF UTAH  
COUNTY OF UTAH ss.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_ BY \_\_\_\_\_ IN HIS CAPACITY AS A MEMBER OF LEGACY PROPERTIES AND INVESTMENTS, L.C. WHO DULY ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS EXECUTED BY HIS AUTHORITY.

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC  
(SEE SEAL BELOW)

**THE CEDARS  
AT CEDAR HILLS  
PLAT "E"**  
PLANNED RESIDENTIAL DEVELOPMENT

PAGE 1 OF 1  
CEDAR HILLS

UTAH COUNTY, UTAH

SCALE: 1" = 200 FEET

SURVEYOR'S SEAL

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

CLERK-RECORDER SEAL



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**HUBBLE  
ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
DREEM UTAH 84057  
801-468-6992



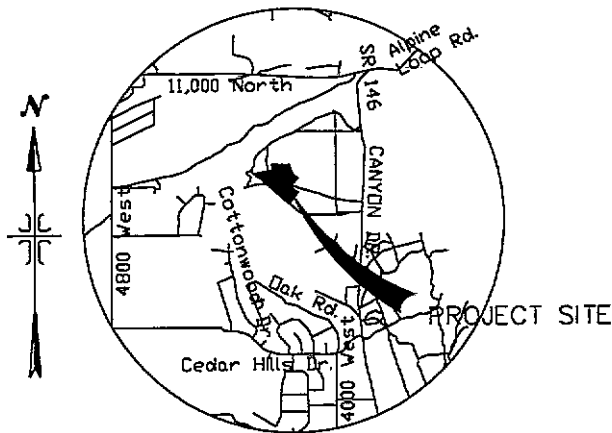
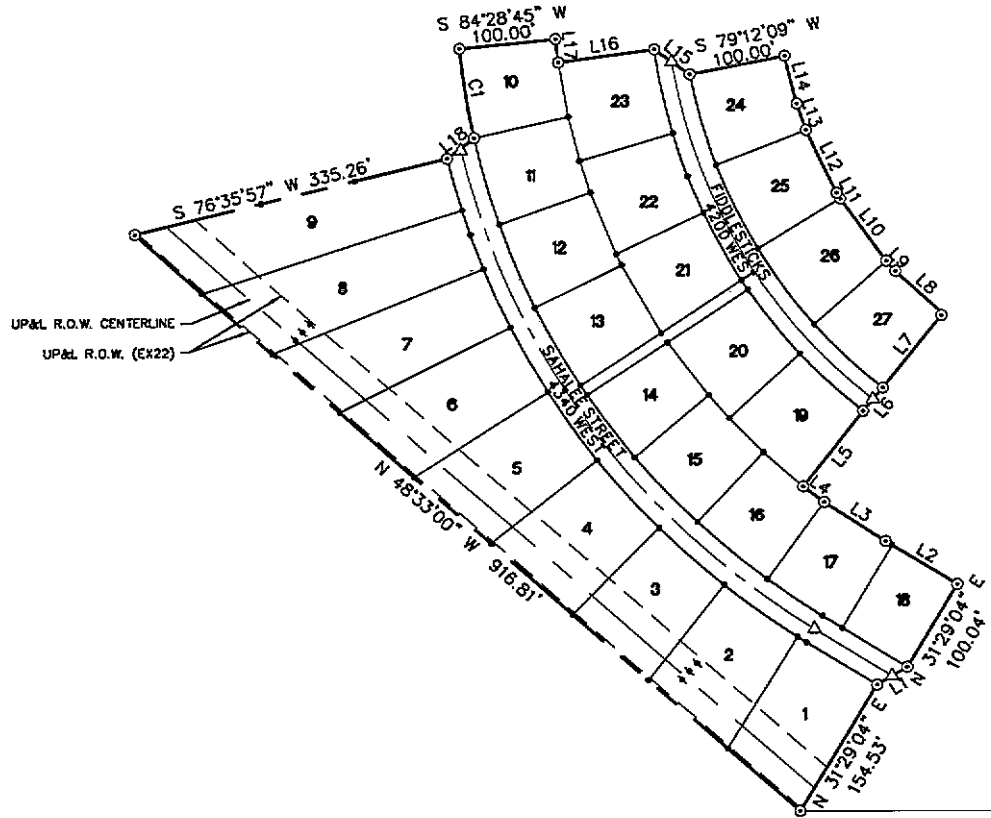
[B]

FIG. 32  
S.L.B. & M.

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 59°37'36" E	36.30'
L2	N 58°30'56" W	86.50'
L3	N 56°37'38" W	75.85'
L4	N 52°24'37" W	27.40'
L5	N 38°44'03" E	100.00'
L6	N 40°17'36" E	32.01'
L7	N 38°38'38" E	100.00'
L8	N 47°11'04" W	66.05'
L9	N 42°06'53" W	14.23'
L10	N 36°08'48" W	80.24'
L11	N 30°36'58" W	7.30'
L12	N 25°32'48" W	72.97'
L13	N 19°07'05" W	28.82'
L14	N 14°02'54" W	51.49'
L15	N 5°15'48" W	45.18'
L16	S 82°24'37" W	100.00'
L17	N 06°33'19" W	24.77'
L18	S 53°06'24" W	35.03'

CURVE TABLE					
NO.	Radius	Length	Chord Dist.	Chord Brg.	Delta
CI	786.00'	94.13'	94.08'	S 08°57'07" E	6°51'43"

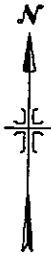
ENT 21551:2001 PG 52 of 142



**CITY OF CEDAR HILLS  
VICINITY MAP**

-NTS-

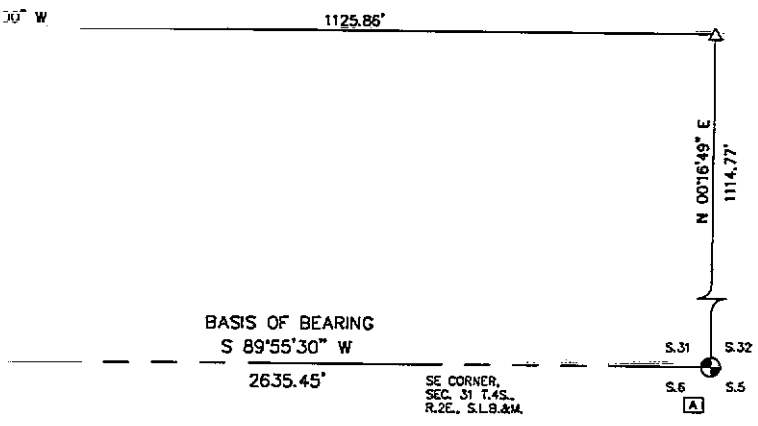
S.31  
S 1/4 CORNER, S.6  
SEC. 31 T.4S.,  
R.2E., S.L.B.&M.



SCALE: 1" = 100'

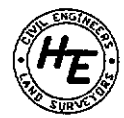
**LEGEND**

- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET OR EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- ⊕ SUBDIVISION MONUMENT
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 18 LOT NUMBER
- 0222 N LOT ADDRESS



**HUBBLE ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
DREM, UTAH 84057  
(801) 802-8992



**SURVEYOR'S CERTIFICATE**

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

DATE \_\_\_\_\_ ROBBIN J. MULLEN, L.S.

**BOUNDARY DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE EAST 1/2 OF SECTION 31 OF TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M., UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST; THENCE N. 00°16'49" E. ALONG THE SECTION LINE A DISTANCE OF 1114.77 FEET; THENCE WEST A DISTANCE OF 1125.86 FEET TO THE REAL POINT OF BEGINNING;

THENCE N. 48°33'00" W. A DISTANCE OF 916.81 FEET; THENCE N. 76°35'57" E. A DISTANCE OF 335.26 FEET; THENCE N. 53°06'24" E. A DISTANCE OF 35.03 FEET; THENCE NORTHWESTERLY A DISTANCE OF 94.13 FEET ALONG THE ARC OF A 786.00-FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 6°51'43", SUBTENDED BY A CHORD THAT BEARS N. 08°57'07" W. A DISTANCE OF 94.08 FEET; THENCE N. 84°28'45" E. A DISTANCE OF 100.00 FEET; THENCE S. 06°33'19" E. A DISTANCE OF 24.77 FEET; THENCE N. 82°24'37" E. A DISTANCE OF 100.00 FEET; THENCE S. 54°15'48" E. A DISTANCE OF 45.16 FEET; THENCE N. 79°12'09" E. A DISTANCE OF 100.00 FEET; THENCE S. 14°02'54" E. A DISTANCE OF 51.49 FEET; THENCE S. 19°07'05" E. A DISTANCE OF 28.82 FEET; THENCE S. 25°32'48" E. A DISTANCE OF 72.97 FEET; THENCE S. 30°36'59" E. A DISTANCE OF 7.30 FEET; THENCE S. 38°08'48" E. A DISTANCE OF 80.24 FEET; THENCE S. 42°06'53" E. A DISTANCE OF 14.23 FEET; THENCE S. 47°11'04" E. A DISTANCE OF 66.05 FEET; THENCE S. 38°38'36" W. A DISTANCE OF 100.00 FEET; THENCE S. 40°17'36" W. A DISTANCE OF 32.01 FEET; THENCE S. 38°44'03" W. A DISTANCE OF 100.00 FEET; THENCE S. 52°24'37" E. A DISTANCE OF 27.40 FEET; THENCE S. 56°37'36" E. A DISTANCE OF 75.85 FEET; THENCE S. 58°30'56" E. A DISTANCE OF 86.50 FEET; THENCE S. 31°29'04" W. A DISTANCE OF 100.04 FEET; THENCE S. 59°37'36" W. A DISTANCE OF 36.30 FEET; THENCE S. 31°29'04" W. A DISTANCE OF 154.53 FEET TO THE REAL POINT OF BEGINNING, CONTAINING 7.81 ACRES OF LAND.

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS. ALL STREETS HEREON ARE PRIVATE AND WILL BE PRIVATELY MAINTAINED. ALL PRIVATE STREETS AND TRAILS SHOWN HEREON WILL BE PUBLIC UTILITY EASEMENTS, AND WE DO HEREBY DEDICATE THOSE AND ALL OTHER PUBLIC UTILITY EASEMENTS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
LONE PEAK LINKS, LLC.  
BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER  
BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER

**ACKNOWLEDGMENT**

STATE OF UTAH  
COUNTY OF UTAH S.S.  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. BY \_\_\_\_\_ IN HIS CAPACITY AS A MEMBER OF LEGACY PROPERTIES AND INVESTMENTS, L.C. WHO DULY ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS EXECUTED BY HIS AUTHORITY.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC (SEE SEAL BELOW)

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D.

ENT 21551:2001 PG 53 of 142

APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

**BOARD OF HEALTH**

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS: \_\_\_\_\_  
CITY-COUNTY HEALTH DEPARTMENT

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. BY THE \_\_\_\_\_ PLANNING COMMISSION  
DIRECTOR-SECRETARY CHAIRMAN, PLANNING COMMISSION

**THE CEDARS  
AT CEDAR HILLS  
PLAT "F"**

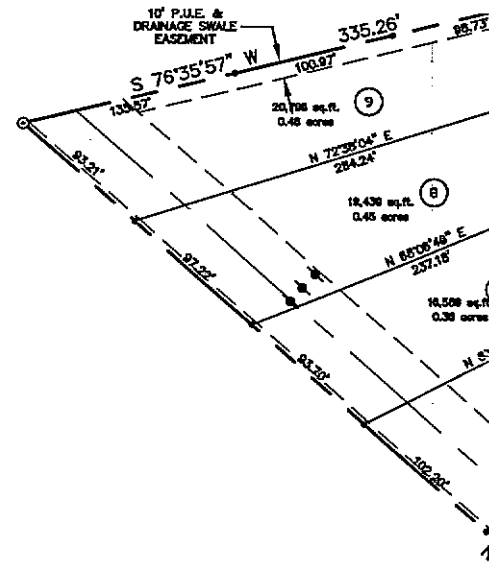
PLANNED RESIDENTIAL DEVELOPMENT

PAGE 1 OF 2  
CEDAR HILLS UTAH COUNTY, UTAH  
SCALE: 1" = 100 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
-----------------	--------------------	---------------------------	---------------------

CURVE TABLE					
NO.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	786.00'	94.13'	94.08'	S 08°57'07" E	6°51'43"
C2	786.00'	94.13'	94.08'	S 15°48'50" E	6°51'43"
C3	818.00'	58.61'	58.59'	S 15°23'00" E	3°37'54"
C4	802.00'	638.73'	621.98'	S 35°43'08" E	45°37'54"
C5	570.00'	419.68'	410.24'	S 30°13'05" E	42°11'00"
C6	818.00'	64.54'	64.53'	S 19°37'34" E	4°31'15"
C7	818.00'	67.45'	67.43'	S 24°14'58" E	4°43'29"
C8	818.00'	79.01'	78.98'	S 29°22'42" E	5°32'03"
C9	818.00'	86.83'	86.79'	S 35°11'10" E	6°04'54"
C10	818.00'	95.94'	95.89'	S 41°35'13" E	6°43'12"
C11	818.00'	89.78'	89.74'	S 48°05'29" E	6°17'18"
C12	818.00'	93.28'	93.23'	S 54°30'09" E	6°32'02"
C13	818.00'	10.92'	10.92'	S 58°08'08" E	0°45'54"
C14	786.00'	68.32'	68.29'	S 58°02'41" E	4°58'48"
C15	786.00'	94.13'	94.08'	S 50°07'26" E	6°51'43"
C16	786.00'	94.13'	94.08'	S 43°15'42" E	6°51'43"
C17	786.00'	81.26'	81.23'	S 38°52'08" E	5°55'25"
C18	786.00'	12.00'	12.00'	S 33°28'11" E	0°52'29"
C19	786.00'	95.01'	94.95'	S 29°34'11" E	6°55'32"
C20	786.00'	94.13'	94.08'	S 22°40'33" E	6°51'43"
C21	586.00'	89.34'	89.25'	S 11°57'26" E	8°44'07"
C22	586.00'	89.34'	89.25'	S 20°41'33" E	8°44'07"
C23	586.00'	80.01'	79.95'	S 28°58'18" E	7°48'23"
C24	586.00'	12.00'	12.00'	S 33°28'11" E	1°10'24"
C25	586.00'	86.67'	86.59'	S 38°17'37" E	8°28'27"
C26	586.00'	89.34'	89.25'	S 46°53'54" E	8°44'07"
C27	554.00'	98.04'	97.91'	S 46°17'10" E	10°08'23"
C28	554.00'	98.04'	97.91'	S 36°08'48" E	10°08'23"
C29	554.00'	98.04'	97.91'	S 26°00'25" E	10°08'23"
C30	554.00'	98.04'	97.91'	S 15°52'03" E	10°08'23"

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 59°37'36" E	18.15'
L2	N 59°37'36" E	18.15'
L3	N 40°17'36" E	18.01'
L4	N 40°17'36" E	16.01'
L5	N 19°07'05" W	28.82'
L6	S 42°08'53" E	14.23'
L7	S 30°38'59" E	7.30'
L8	N 14°02'54" W	51.49'
L9	N 54°15'48" W	22.91'
L10	S 17°47'06" E	34.96'
L11	S 25°35'01" E	12.53'
L12	S 41°10'51" E	32.32'
L13	S 44°38'42" E	49.82'
L14	S 52°24'37" E	27.40'
L15	S 58°30'56" E	7.93'
L16	N 84°15'48" W	22.28'
L17	N 06°33'19" W	24.77'
L18	S 53°06'24" W	17.55'
L19	S 53°06'24" W	17.48'

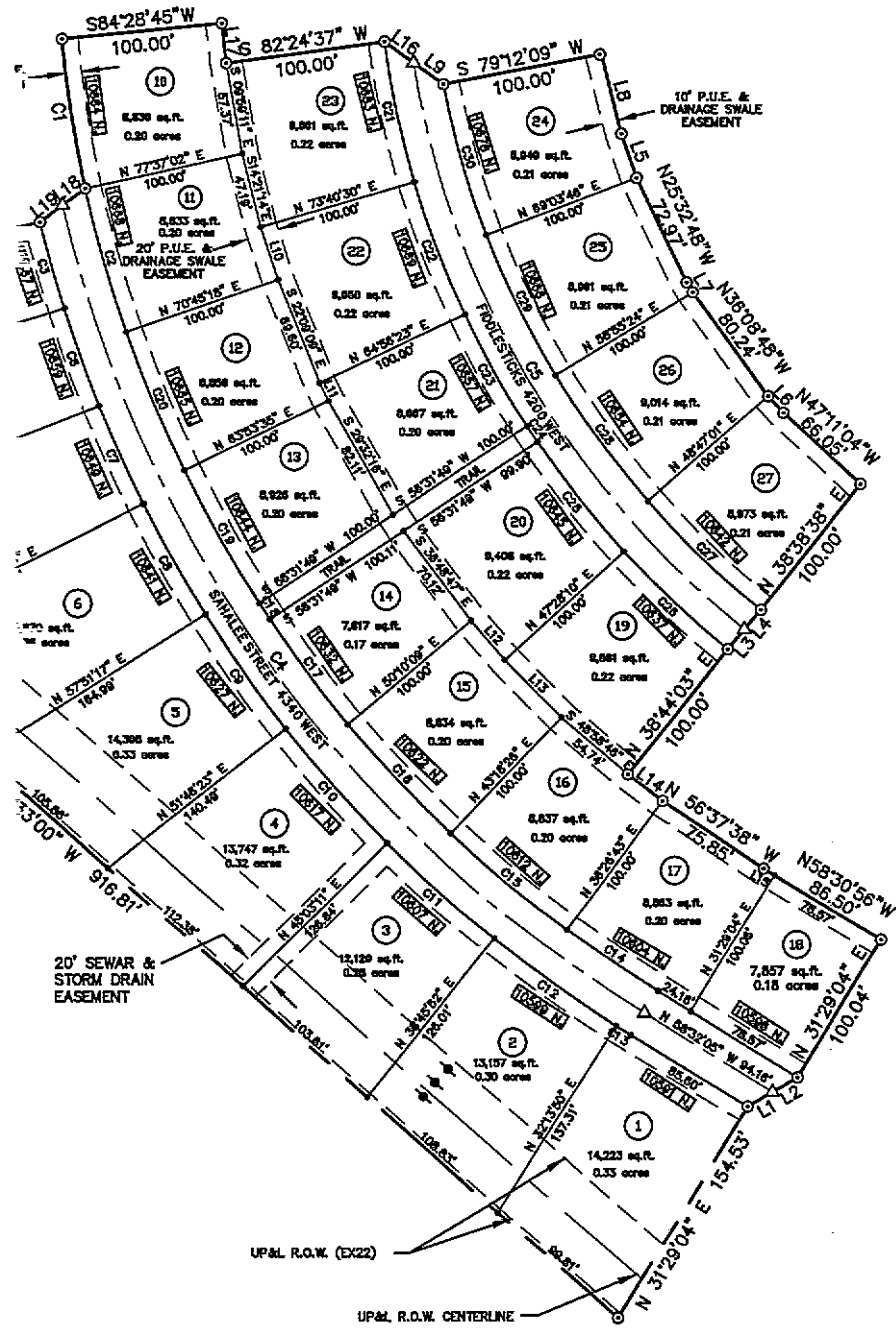




(24"x36")  
HORIZONTAL 1" = 60'  
(11"x17")  
HORIZONTAL 1" = 120'

**LEGEND**

- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, L.S. 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, L.S. 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- ⊕ SUBDIVISION MONUMENT
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- Ⓟ LOT NUMBER
- 8227 N LOT ADDRESS (264859')
- RECORD DATA



**HUBBLE ENGINEERING, INC.**  
ENGINEERING—SURVEYING—PLANNING

1471 N. 1200 W.  
OREM, UTAH 84057  
(801) 802-8992



LAND SURVEYOR  
APPROVED THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D. 20\_\_\_\_  
LAND SURVEYOR

**THE CEDARS  
AT CEDAR HILLS  
PLAT "F"**  
PLANNED RESIDENTIAL DEVELOPMENT  
PAGE 2 OF 2

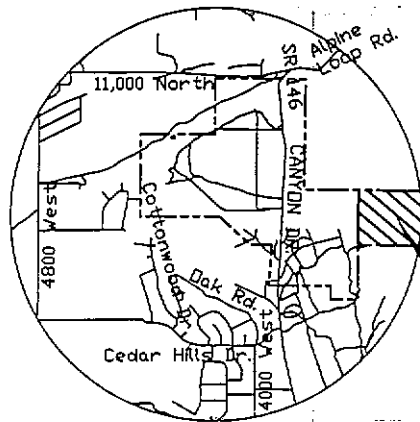
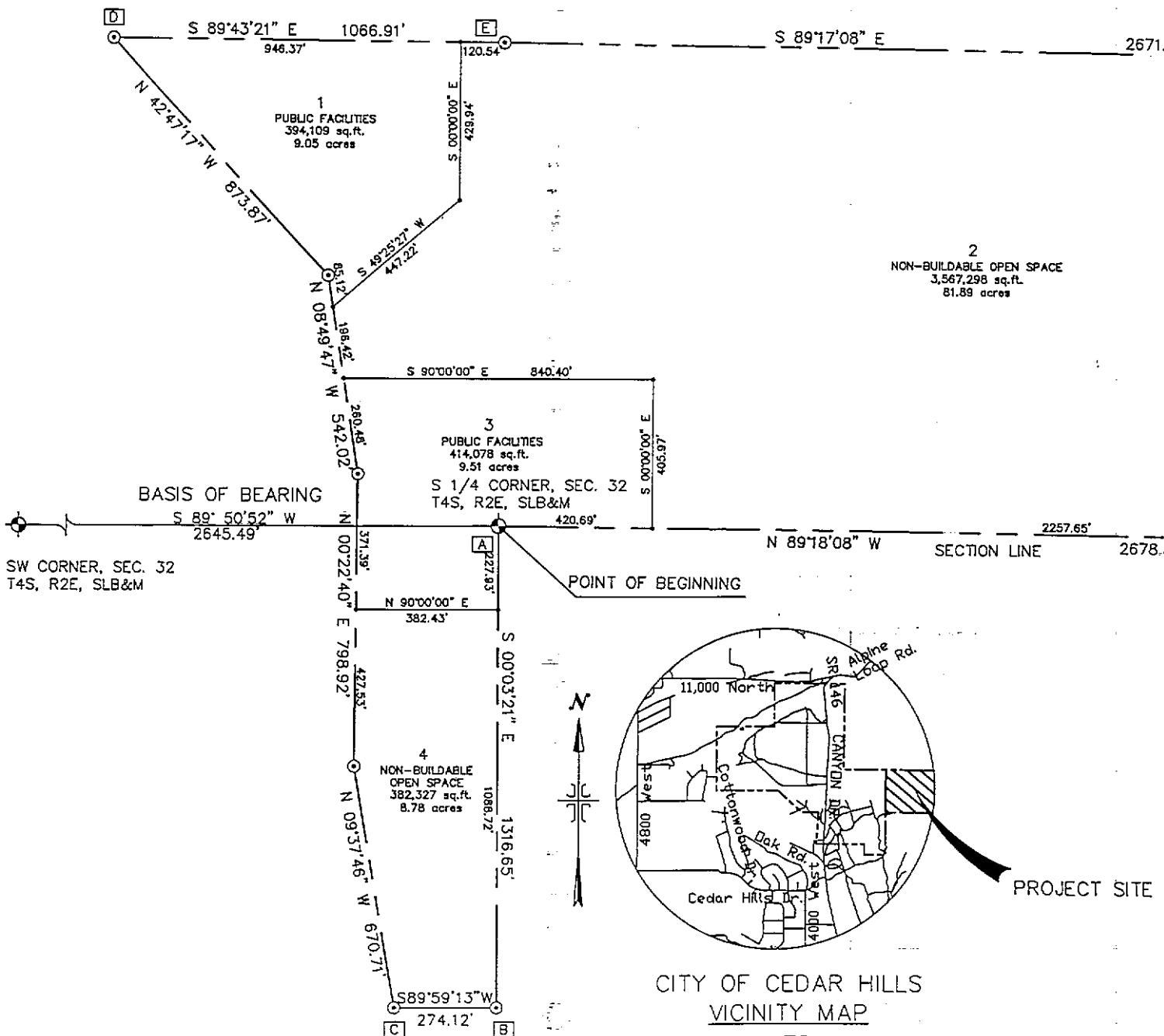
STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

NO.	NORTHING	EASTING
A	760529.98	1932022.28
B	759213.73	1932023.56
C	759213.67	1931749.52
D	761849.94	1930966.03
E	761844.77	1932032.61
F	761811.47	1934702.99
G	760497.37	1934699.61

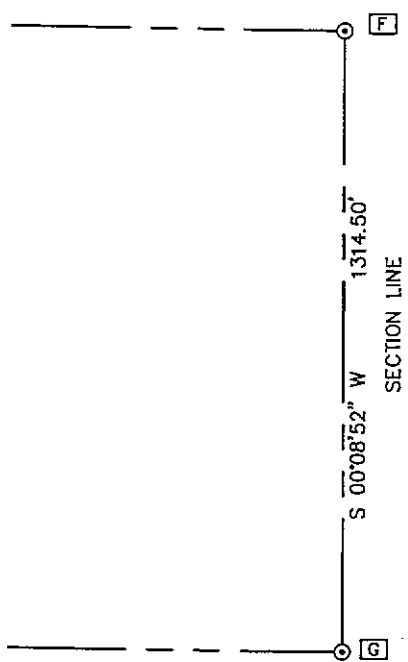
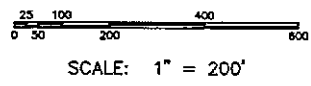
LEGEND

- FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG, SET ON EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE

ENT 21551:2001 PG 56 of 142







SE CORNER, SEC. 32  
T4S, R2E, SLB&M  
(NOT FOUND)

**HUBBLE  
ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
DREM, UTAH 84057  
(801) 802-8992



### SURVEYOR'S CERTIFICATE

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368956 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

DATE \_\_\_\_\_ ROBBIN J. MULLEN, L.S.

### BOUNDARY DESCRIPTION

A PARCEL OF LAND DESCRIBED AS BEING THE SOUTH 1/2 OF SECTION 32 OF TOWNSHIP 4 SOUTH, RANGE 2 EAST, AND THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 5 SOUTH, RANGE 2 EAST, S.L.B.& M., UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTH 1/4 CORNER OF SAID SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SAID POINT ALSO BEING THE REAL POINT OF BEGINNING;  
THENCE S. 00°03'21" E. A DISTANCE OF 1316.85 FEET; THENCE S. 89°59'13" W. A DISTANCE OF 274.12 FEET; THENCE N. 09°37'46" W. A DISTANCE OF 670.71 FEET; THENCE N. 00°22'40" E. A DISTANCE OF 798.92 FEET; THENCE N. 08°49'47" W. A DISTANCE OF 542.02 FEET; THENCE N. 42°47'17" W. A DISTANCE OF 873.87 FEET; THENCE S. 80°43'21" E. A DISTANCE OF 1066.91 FEET; THENCE S. 89°17'06" E. A DISTANCE OF 2671.40 FEET; THENCE S. 00°08'52" W. ALONG THE SECTION LINE A DISTANCE OF 1314.50 FEET; THENCE N. 89°18'08" W. ALONG THE SECTION LINE A DISTANCE OF 2878.33 FEET TO THE REAL POINT OF BEGINNING, CONTAINING 109.22 acres OF LAND.

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND PUBLIC UTILITY EASEMENTS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THIS ENTIRE PARCEL SHALL HAVE A PERMANENT EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN WATER, STORM DRAIN, DETENTION PONDS, IRRIGATION RESERVOIR AND DISPERSAL FACILITIES, TOGETHER WITH THE RIGHT-OF-WAY THERETO. THE OPEN SPACE PARCELS ARE NOT DEDICATED FOR THE PERPETUAL USE OF THE PUBLIC. DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

LONE PEAK LINKS, LLC.

BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER  
BY: \_\_\_\_\_ MEMBER BY: \_\_\_\_\_ MEMBER

### ACKNOWLEDGMENT

STATE OF UTAH s.s.  
COUNTY OF UTAH ENT 21551:2001 PG 57 of 142

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_ BY \_\_\_\_\_ IN HIS CAPACITY AS A MEMBER OF LONE PEAK LINKS, L.C. WHO DULY ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS EXECUTED BY HIS AUTHORITY.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC (SEE SEAL BELOW)

### ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREIN HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED \_\_\_\_\_ ENGINEER (SEE SEAL BELOW) ATTEST \_\_\_\_\_ CLERK-RECORDER (SEE SEAL BELOW)

### BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS: \_\_\_\_\_

\_\_\_\_\_  
CITY-COUNTY HEALTH DEPARTMENT

### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_ BY THE \_\_\_\_\_ PLANNING COMMISSION

\_\_\_\_\_  
DIRECTOR-SECRETARY CHAIRMAN, PLANNING COMMISSION

## THE CEDARS AT CEDAR HILLS PLAT "G"

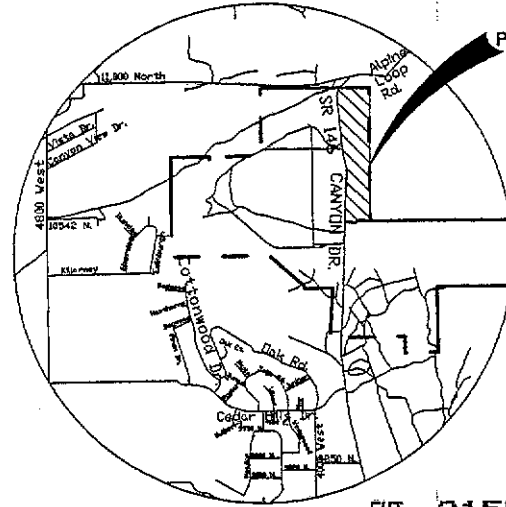
PLANNED RESIDENTIAL DEVELOPMENT

CEDAR HILLS UTAH COUNTY, UTAH  
SCALE: 1" = 200 FEET

SURVEYOR'S SEAL 	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
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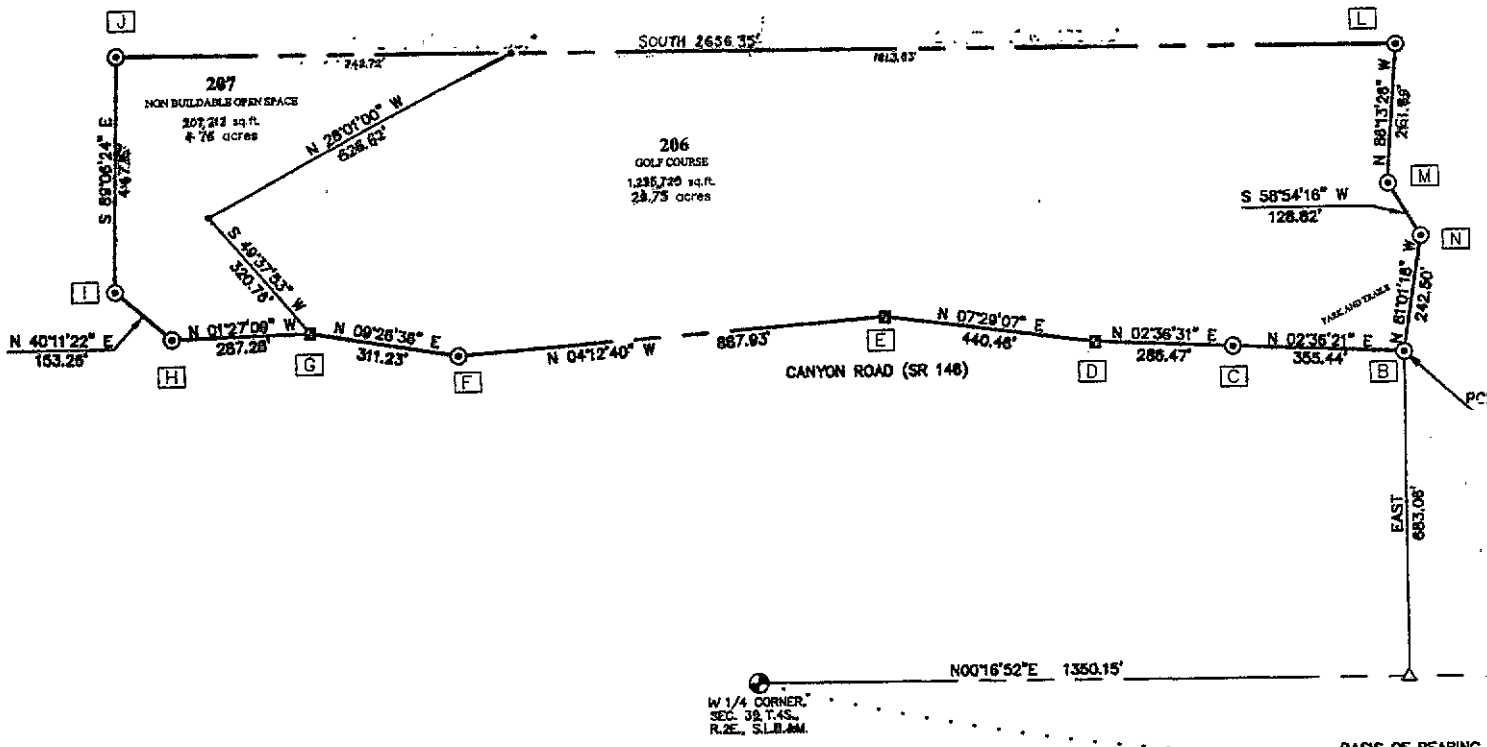
SCALE: 1" = 200'



PROJECT SITE

ENT 21551:2001 PG 58 of 142

CITY OF CEDAR HILLS  
VICINITY MAP  
-NTS-



STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

NO.	NORTHING	EASTING
A	760522.95	1929377.36
B	761841.74	1930066.74
C	762196.71	1930083.06
D	762482.80	1930036.10
E	762919.37	1930153.46
F	763804.63	1930088.28
G	764111.55	1930139.33
H	764398.66	1930132.05
I	764515.70	1930250.92
J	764507.98	1930725.69
K	763175.55	1930718.15
L	761851.19	1930708.05
M	760827.97	1930389.21
N	760761.46	1930258.97

**SURVEYOR'S CERTIFICATE**

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS DESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

DATE Jan 3, 2001

*Robbin J. Mullen*  
ROBBIN J. MULLEN, L.S.

**BOUNDARY DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BRASS MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE N. 00°16'52" E. ALONG THE SECTION LINE A DISTANCE OF 1318.31 FEET; THENCE EAST 683.06 FEET TO THE REAL POINT OF BEGINNING;

THENCE N. 02°36'21" E. A DISTANCE OF 355.44 FEET; THENCE N. 02°36'31" E. A DISTANCE OF 286.47 FEET; THENCE N. 07°29'07" E. A DISTANCE OF 440.46 FEET; THENCE N. 04°12'40" W. A DISTANCE OF 887.93 FEET; THENCE N. 09°26'36" E. A DISTANCE OF 311.23 FEET; THENCE N. 01°27'09" W. A DISTANCE OF 287.28 FEET; THENCE N. 40°11'22" E. A DISTANCE OF 153.26 FEET; THENCE S. 89°06'24" E. A DISTANCE OF 447.16 FEET; THENCE S. 04°18'00" W. A DISTANCE OF 245.35 FEET; THENCE N. 86°13'26" W. A DISTANCE OF 264.88 FEET; THENCE S. 58°54'16" W. A DISTANCE OF 128.82 FEET; THENCE N. 81°01'18" W. A DISTANCE OF 242.50 FEET TO THE REAL POINT OF BEGINNING, CONTAINING 04.52 ACRES OF LAND.

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, PUBLIC TRAILS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND PUBLIC UTILITY EASEMENTS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THIS ENTIRE PARCEL SHALL HAVE A PERMANENT EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN WATER, STORM DRAIN, DETENTION PONDS, IRRIGATION RESERVOIR AND DISPERSAL FACILITIES, TOGETHER WITH THE RIGHT-OF-WAY THERETO. THE OPEN SPACE PARCELS ARE NOT DEDICATED FOR THE PERPETUAL USE OF THE PUBLIC. DATED THIS 3<sup>rd</sup> DAY OF JANUARY 2001

LONE PEAK LINKS, LLC.

BY: *Kenneth G. Briggs*  
MEMBER

BY: \_\_\_\_\_  
MEMBER

BY: \_\_\_\_\_  
MEMBER

BY: \_\_\_\_\_  
MEMBER

**ACCEPTANCE BY LEGISLATIVE BODY**

THE City Council OF THE City of Cedar Hills COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 7<sup>th</sup> DAY OF September, A.D. 2000.

*Brad Sears, Mayor*

APPROVED *[Signature]*  
ENGINEER  
(SEE SEAL BELOW)

ATTEST *[Signature]*  
CLERK-RECORDER  
(SEE SEAL BELOW)

BOARD OF HEALTH 1551:2001 PG 59 of 142

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

CITY-COUNTY HEALTH DEPARTMENT

**PLANNING COMMISSION APPROVAL**

APPROVED THIS 31<sup>st</sup> DAY OF August, A.D. 2000 BY THE City of Cedar Hills PLANNING COMMISSION

*[Signature]*  
DIRECTOR-SECRETARY

*[Signature]*  
CHAIRMAN, PLANNING COMMISSION

**ACKNOWLEDGMENT**

STATE OF UTAH  
COUNTY OF UTAH S.S.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 5<sup>th</sup> DAY OF January, A.D. 2001 BY Kenneth G. Briggs IN HIS CAPACITY AS A MEMBER OF LONE PEAK LINKS, LLC WHO DULY ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS EXECUTED BY HIS AUTHORITY.

MY COMMISSION EXPIRES 7-1-01

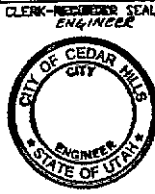
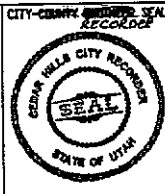
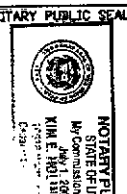
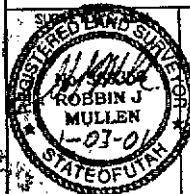
*[Signature]*  
NOTARY PUBLIC  
(SEE SEAL BELOW)

**THE CEDARS  
AT CEDAR HILLS  
PLAT "H"  
PLANNED RESIDENTIAL DEVELOPMENT**

CEGAR HILLS UTAH COUNTY, UTAH  
SCALE 1" = 200 FEET

**HUBBLE  
ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

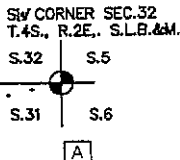
1471 N. 1200 W.  
DREH, UTAH 84057  
(801) 802-8992



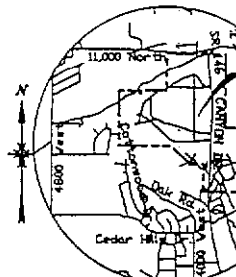
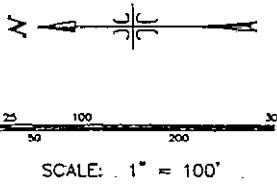
**LEGEND**

- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊕ SUBDIVISION MONUMENT
- ⊙ SET 3/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" IRON PIN WITH PLASTIC CAP, LS 368356 OR CROSS TAG IN CURB SET ON EXTENSION OF LOT LINE
- FOUND IRON PIN
- ▲ CALCULATED POINT NOT SET

- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 25 LOT NUMBER
- 9227 N LOT ADDRESS



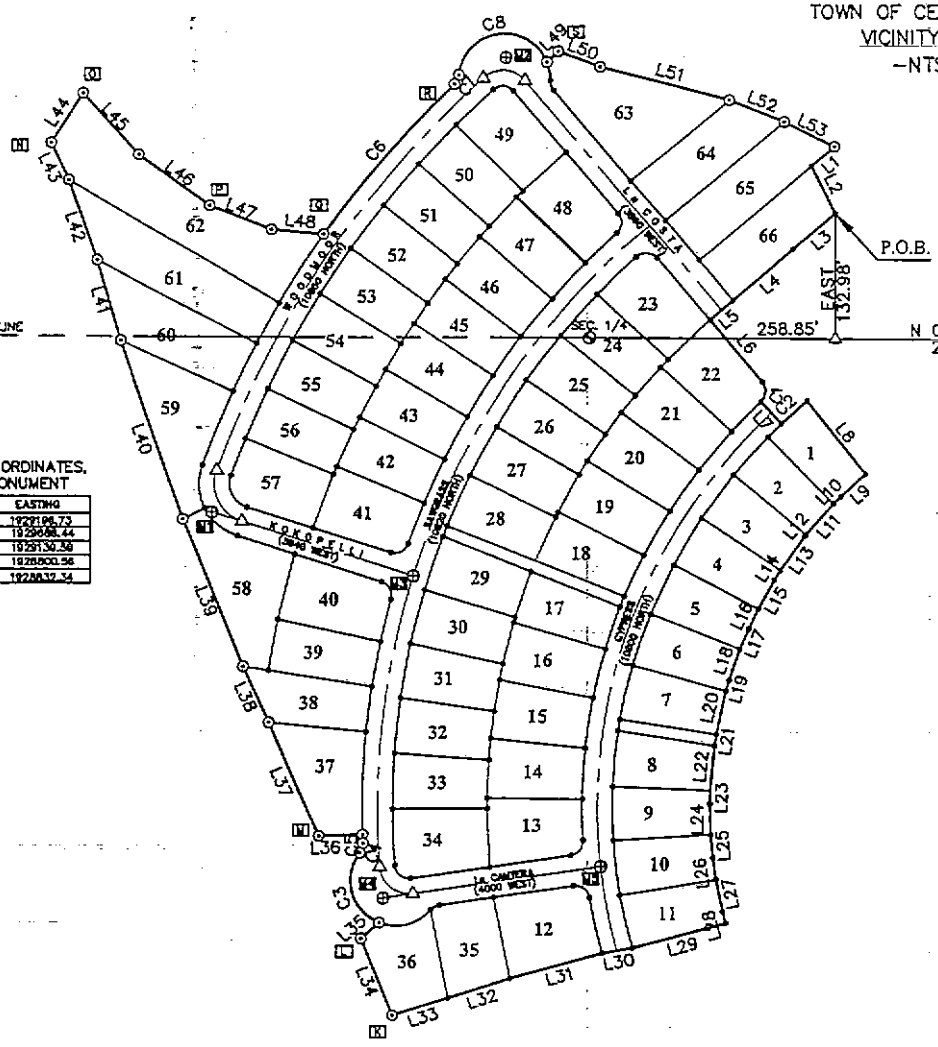
SEC. 32, T4S, R2E, S1B.M. 11-021 L44



TOWN OF CEDAR  
VICINITY MAP  
-NTS-

STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

NO.	NORTHING	EASTING
A	780522.95	1929377.36
B	782122.05	1929721.39
C	782416.58	1929798.06
D	782529.74	1929934.71
E	782661.01	1928758.23
F	782770.33	1928713.32
G	782761.35	1928695.46
H	783369.76	1928675.53
I	783432.48	1928757.49
J	783478.18	1928865.54
K	783756.58	1929589.15
L	783722.42	1929651.39
M	783589.47	1929531.86
N	783469.86	1929500.90
O	783331.65	1929459.68
P	783221.10	1929392.56
Q	782818.88	1929254.55
R	782590.47	1929279.95
S	782476.88	1928849.78
T	782237.07	1928686.30
AA	782188.46	1929734.84



LINE TABLE

LINE	DIST.	BEARING
L1	32.27'	N39°59'43\"W
L2	58.45'	S83°04'44\"W
L3	59.55'	N39°59'43\"W
L4	83.72'	N39°59'43\"W
L5	32.00'	N39°12'29\"W
L6	86.06'	S50°00'17\"W
L7	32.00'	S47°02'53\"W
L8	100.00'	S50°53'10\"W
L9	38.01'	N41°23'13\"W
L10	10.84'	N44°20'38\"W
L11	44.34'	N47°49'38\"W
L12	1.67'	N50°43'54\"W
L13	45.18'	N53°41'19\"W
L14	11.58'	N57°16'18\"W
L15	35.27'	N60°13'43\"W
L16	23.20'	N63°55'07\"W
L17	23.66'	N68°52'32\"W
L18	34.81'	N70°33'57\"W
L19	12.04'	N73°31'23\"W
L20	47.15'	N77°15'33\"W
L21	12.00'	N80°58'35\"W
L22	47.02'	N84°43'06\"W
L23	14.08'	N88°34'30\"W
L24	33.02'	S88°27'09\"W
L25	23.96'	S84°51'21\"W
L26	23.14'	S81°53'00\"W
L27	34.32'	S78°13'24\"W
L28	12.78'	S75°17'03\"W
L29	100.00'	N15°31'20\"W
L30	32.13'	N10°07'35\"W
L31	100.00'	N15°14'02\"W
L32	89.10'	N17°16'14\"W
L33	81.86'	N17°16'14\"W
L34	89.27'	N88°14'13\"E
L35	25.50'	S41°03'55\"E
L36	45.88'	N01°55'28\"W
L37	130.92'	N68°15'31\"E
L38	65.03'	N65°53'37\"E
L39	187.79'	N69°01'57\"E
L40	199.79'	N71°08'48\"E
L41	88.87'	N73°35'45\"E
L42	90.34'	N70°32'18\"E
L43	43.93'	N64°44'12\"E
L44	82.43'	S56°50'16\"E
L45	88.45'	S47°29'33\"W
L46	91.21'	S38°35'25\"W
L47	69.65'	S21°41'21\"W
L48	55.17'	S05°26'17\"W
L49	16.21'	S44°11'02\"E
L50	48.91'	S20°33'09\"W
L51	138.24'	S14°21'38\"W
L52	62.73'	S21°15'13\"W
L53	60.32'	S25°45'29\"W

STATE PLANE COORDINATES,  
SUBDIVISION MONUMENT

NO.	NORTHING	EASTING
M1	783384.78	1929196.73
M2	783277.43	1929088.44
M3	783376.44	1929330.50
M4	783408.28	1929000.58
M5	783178.47	1928832.54

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	22.79'	15.00'	S88°28'25\"E	20.66'	87°02'36\"
C2	37.11'	554.00'	N41°01'58\"W	37.10'	3°50'17\"
C3	88.40'	48.00'	S74°37'37\"W	76.42'	105°31'00\"
C4	10.55'	15.00'	S72°25'32\"E	10.33'	40°17'18\"
C5	9.22'	818.00'	S87°45'12\"W	9.22'	0°38'45\"
C6	210.92'	1050.00'	N48°57'33\"W	210.56'	1°13'03\"
C7	10.63'	15.00'	S63°30'36\"E	10.41'	40°36'39\"
C8	127.42'	48.00'	N07°45'53\"W	93.17'	152°06'04\"

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**HUBBLE**  
**ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

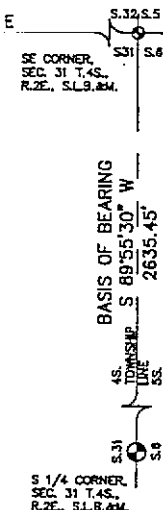
1471 N. 1200 W.  
OREM, UTAH 84057  
(801) 802-8992



PROJECT SITE



LS



LEGEND

- Found right-of-way monument
Found brass cap
Set 5/8\"/>

25 LOT NUMBER
9227 N LOT ADDRESS
(2648.59) RECORD DATA

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND PUBLIC UTILITY EASEMENTS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THE OPEN SPACE PARCELS ARE NOT DEDICATED FOR THE PERPETUAL USE OF THE PUBLIC. DATED THIS DAY OF 19

LONG PEAK LINKS, LLC

BY: MEMBER BY: MEMBER
BY: MEMBER BY: MEMBER

BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS

CITY-COUNTY HEALTH DEPARTMENT

PLANNING COMMISSION APPROVAL

APPROVED THIS DAY OF A.D. BY THE
DIRECTOR-SECRETARY CHAIRMAN, PLANNING COMMISSION

SURVEYOR'S CERTIFICATE

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND I HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

ENT 21551:2001 PG 61 of 142

DATE ROBBIN J. MULLEN, L.S.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE EAST 1/2 OF SECTION 31 AND IN THE WEST 1/2 OF SECTION 32 OF TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & W., UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST; THENCE N. 00°16'49\"/>

ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF UTAH
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS DAY OF BY IN HIS CAPACITY AS A MEMBER OF LEGACY PROPERTIES AND INVESTMENTS, LLC, WHO DULY ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS EXECUTED BY HIS AUTHORITY.

ACCEPTANCE BY LEGISLATIVE BODY

THE COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS DAY OF A.D.

APPROVED ENGINEER ATTEST CLERK-RECORDER
(SEE SEAL BELOW) (SEE SEAL BELOW)

THE CEDARS AT CEDAR HILLS PLAT "I"

PLANNED RESIDENTIAL DEVELOPMENT

PAGE 1 OF 2 CEDAR HILLS

UTAH COUNTY, UTAH

SCALE: 1" = 200 FEET

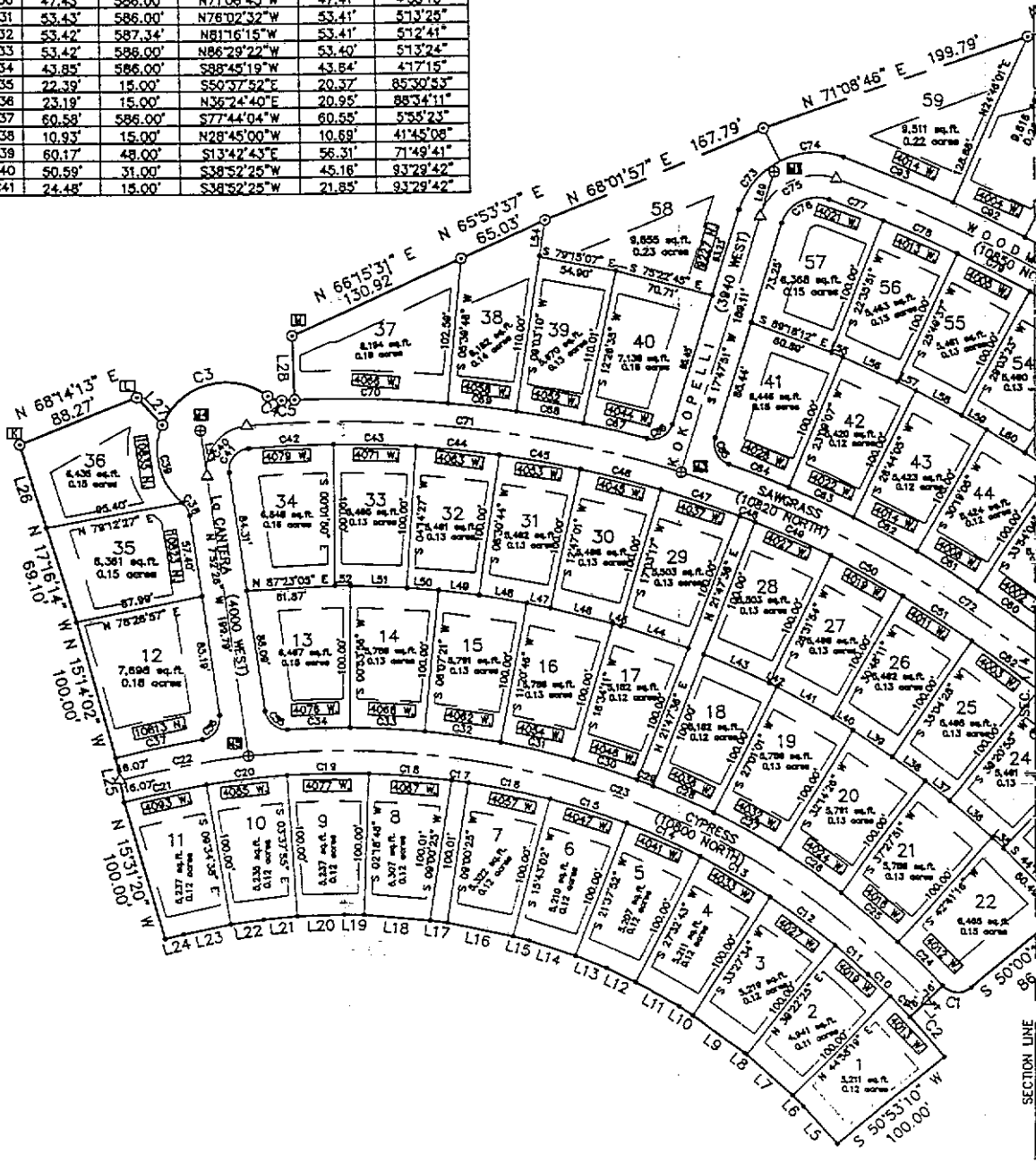
SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL CLERK-RECORDER SEAL

LINE TABLE		
LINE	DIST.	BEARING
L1	32.27	N39°59'43"W
L2	56.46	S83°04'44"W
L3	32.00	N39°12'29"W
L4	32.00	S47°02'53"W
L5	36.01	N41°23'13"W
L6	10.84	N44°20'36"W
L7	44.34	N47°49'36"W
L8	1.67	N50°43'54"W
L9	45.16	N53°41'19"W
L10	11.58	N57°16'18"W
L11	35.27	N60°13'43"W
L12	23.20	N63°55'07"W
L13	23.66	N66°52'32"W
L14	34.81	N70°33'57"W
L15	12.04	N73°31'23"W
L16	47.15	N77°15'33"W
L17	12.00	N80°59'35"W
L18	47.02	N84°43'06"W
L19	14.08	N88°34'30"W
L20	33.02	S88°27'09"W
L21	23.86	S84°51'21"W
L22	23.14	S81°53'00"W
L23	34.32	S78°15'24"W
L24	12.78	S75°17'03"W
L25	32.13	N10°07'35"W
L26	81.86	N17°16'14"W
L27	25.50	S41°03'55"E
L28	45.88	N01°55'28"W
L29	43.93	N64°44'12"E
L30	55.17	S05°26'17"W
L31	16.21	S44°11'02"E
L32	46.91	S20°33'09"W
L33	62.73	S21°15'13"W
L34	60.32	S25°45'29"W
L35	11.13	S48°50'51"E
L36	39.97	S48°58'59"E
L37	22.56	S51°35'37"E
L38	28.61	S53°43'51"E
L39	33.93	S56°20'33"E
L40	17.21	S58°28'42"E
L41	45.32	S61°05'24"E
L42	5.81	S63°13'33"E
L43	50.72	S65°35'13"E
L44	50.72	S70°49'35"E
L45	5.81	S73°11'16"E
L46	45.32	S75°19'24"E
L47	17.21	S77°56'07"E
L48	33.93	S80°04'15"E
L49	28.61	S82°40'58"E
L50	22.53	S84°49'06"E
L51	40.01	S87°25'48"E
L52	11.13	S89°33'57"E
L53	32.27	N07°32'26"W
L54	28.55	S09°03'10"W
L55	8.88	S67°07'31"E
L56	42.85	S85°30'38"E
L57	14.55	S63°43'09"E
L58	37.20	S62°06'16"E
L59	20.21	S60°18'46"E
L60	31.53	S58°41'53"E
L61	25.87	S56°54'23"E
L62	25.87	S55°17'30"E
L63	31.53	S53°30'00"E
L64	20.21	S51°53'07"E
L65	37.20	S50°05'37"E
L66	14.55	S48°28'44"E
L67	42.85	S46°41'14"E
L68	8.88	S45°04'21"E
L69	33.43	N17°47'51"E
L70	31.48	N50°00'17"E

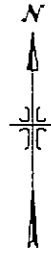
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	22.79	15.00	S86°28'25"E	20.66	87°02'36"
C2	37.11	554.00	N41°01'58"W	37.10	3°50'17"
C3	88.40	48.00	S74°57'37"W	76.42	105°31'00"
C4	10.55	15.00	S72°25'32"E	10.33	40°17'18"
C5	9.22	818.00	S87°45'12"W	9.22	0°38'45"
C6	210.92	1050.00	N48°57'33"W	210.56	11°30'33"
C7	10.63	15.00	S63°30'36"E	10.41	40°36'39"
C8	127.42	48.00	N07°45'53"W	93.17	152°06'04"
C9	20.07	554.00	N43°59'24"W	20.07	2°04'34"
C10	22.09	554.00	N46°10'12"W	22.09	2°17'03"
C11	32.05	554.00	N48°58'10"W	32.04	3°18'51"
C12	57.18	554.00	N53°35'01"W	57.16	5°54'51"
C13	57.18	554.00	N59°29'52"W	57.16	5°54'51"
C14	57.18	554.00	N65°24'42"W	57.16	5°54'51"
C15	57.18	554.00	N71°19'33"W	57.16	5°54'51"
C16	58.88	554.00	N77°19'40"W	58.85	8°05'22"
C17	12.00	554.00	N80°59'35"W	12.00	1°14'28"
C18	58.72	554.00	N84°39'00"W	58.69	6°04'23"
C19	57.49	554.00	S89°20'27"W	57.46	5°56'43"
C20	57.49	554.00	S83°23'44"W	57.46	5°56'43"
C21	57.49	554.00	S77°27'01"W	57.46	5°56'43"
C22	90.58	570.00	S79°10'56"W	90.49	9°06'19"
C23	530.38	570.00	N69°36'31"W	511.45	53°18'48"
C24	44.60	586.00	N45°07'55"W	44.58	4°21'37"
C25	53.43	586.00	N49°55'27"W	53.41	5°13'25"
C26	53.43	586.00	N55°08'52"W	53.41	5°13'25"
C27	53.43	586.00	N60°22'17"W	53.41	5°13'25"
C28	47.43	586.00	N65°18'08"W	47.41	4°38'13"
C29	12.00	586.00	N68°22'24"W	12.00	1°10'24"
C30	47.43	586.00	N71°06'43"W	47.41	4°38'13"
C31	53.43	586.00	N78°02'32"W	53.41	5°13'25"
C32	53.42	587.34	N81°16'15"W	53.41	5°12'41"
C33	53.42	588.00	N86°29'22"W	53.40	5°13'24"
C34	43.85	586.00	S88°45'19"W	43.84	4°17'15"
C35	22.39	15.00	S50°37'52"E	20.37	85°30'53"
C36	23.19	15.00	N36°24'40"E	20.95	88°34'11"
C37	60.58	586.00	S77°44'04"W	60.55	5°58'23"
C38	10.93	15.00	N28°45'00"W	10.69	41°45'08"
C39	60.17	48.00	S13°42'43"E	58.31	71°49'41"
C40	50.59	31.00	S38°52'25"W	45.16	93°29'42"
C41	24.48	15.00	S34°52'25"W	21.85	93°29'42"

C42	59.65	786.00	S87°47'43"W	59.64	4°20'54"
C43	58.60	786.00	N87°53'42"W	58.58	4°16'17"
C44	58.60	786.00	N83°37'25"W	58.58	4°16'17"
C45	58.60	786.00	N79°21'08"W	58.58	4°16'17"
C46	58.60	786.00	N75°04'51"W	58.58	4°16'17"
C47	59.00	786.00	N70°47'41"W	58.99	4°18'04"
C48	12.00	786.00	N66°12'24"W	12.00	0°52'28"
C49	59.00	786.00	N63°37'08"W	58.99	4°18'04"
C50	58.60	786.00	N61°19'57"W	58.58	4°16'17"
C51	58.60	786.00	N57°03'41"W	58.58	4°16'17"
C52	58.63	786.00	N52°47'19"W	58.62	4°16'27"
C53	58.56	786.00	N48°31'02"W	58.54	4°16'07"
C54	56.02	786.00	N44°20'28"W	56.00	4°05'00"
C55	24.17	15.00	N03°51'09"E	21.64	92°18'16"
C56	23.00	15.00	S86°03'42"E	20.81	87°52'02"
C57	46.00	818.00	N43°44'20"W	45.99	3°13'18"
C58	51.15	818.00	N47°08'29"W	51.15	3°34'59"
C59	51.15	818.00	N50°43'28"W	51.15	3°34'59"
C60	51.15	818.00	N54°18'27"W	51.15	3°34'59"
C61	51.15	818.00	N57°53'26"W	51.15	3°34'59"
C62	51.15	818.00	N61°28'25"W	51.15	3°34'59"
C63	51.15	818.00	N65°03'24"W	51.14	3°34'58"
C64	46.00	818.00	N68°27'32"W	45.99	3°13'18"
C65	23.00	15.00	S26°08'10"E	20.81	87°52'02"
C66	23.00	15.00	N61°43'52"E	20.81	87°52'02"
C67	46.00	818.00	N75°56'45"W	45.99	3°13'18"
C68	48.40	818.00	N79°15'07"W	48.39	3°23'24"
C69	48.40	818.00	N82°38'32"W	48.39	3°23'24"

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C70	108.31'	818.00'	N88°07'50"W	108.23'	735'12"
C71	310.41'	802.00'	N83°17'27"W	308.48'	227°0'35"
C72	450.82'	802.00'	N56°05'56"W	444.91'	327°2'26"
C73	46.78'	58.00'	S40°54'15"W	45.52'	467°2'48"
C74	46.78'	58.00'	S87°07'03"W	45.52'	467°2'48"
C75	67.75'	42.00'	S64°00'39"W	60.64'	922°5'36"
C76	41.94'	26.00'	S64°00'39"W	37.54'	922°5'36"
C77	42.17'	1018.00'	N68°35'21"W	42.17'	222°24"
C78	57.38'	1018.00'	N65°47'16"W	57.37'	313°46"
C79	57.38'	1018.00'	N62°33'30"W	57.38'	313°47"
C80	57.38'	1018.00'	N59°19'43"W	57.38'	313°47"
C81	57.38'	1018.00'	N56°05'56"W	57.38'	313°47"
C82	57.38'	1018.00'	N52°52'10"W	57.38'	313°47"
C83	57.38'	1018.00'	N49°38'23"W	57.38'	313°47"
C84	57.38'	1018.00'	N46°24'36"W	57.38'	313°47"
C85	53.81'	1018.00'	N43°10'51"W	53.81'	301°44"
C86	24.03'	15.00'	N04°07'09"E	21.54'	91°46'16"
C87	49.65'	31.00'	N04°07'09"E	44.51'	91°46'16"
C88	10.93'	15.00'	S70°52'52"W	10.69'	41°45'10"
C89	19.66'	48.00'	N80°01'18"E	19.53'	23°28'18"
C90	86.09'	1050.00'	N57°03'45"W	86.06'	4°41'51"
C91	49.17'	1050.00'	N60°45'10"W	49.17'	2°41'00"
C92	56.42'	1050.00'	N63°38'02"W	56.41'	3°04'43"
C93	84.35'	1050.00'	N67°28'26"W	84.33'	4°58'10"



(24"x36")  
HORIZONTAL 1" = 60'  
(11"x17")  
HORIZONTAL 1" = 120'

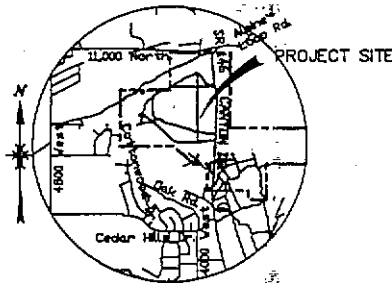
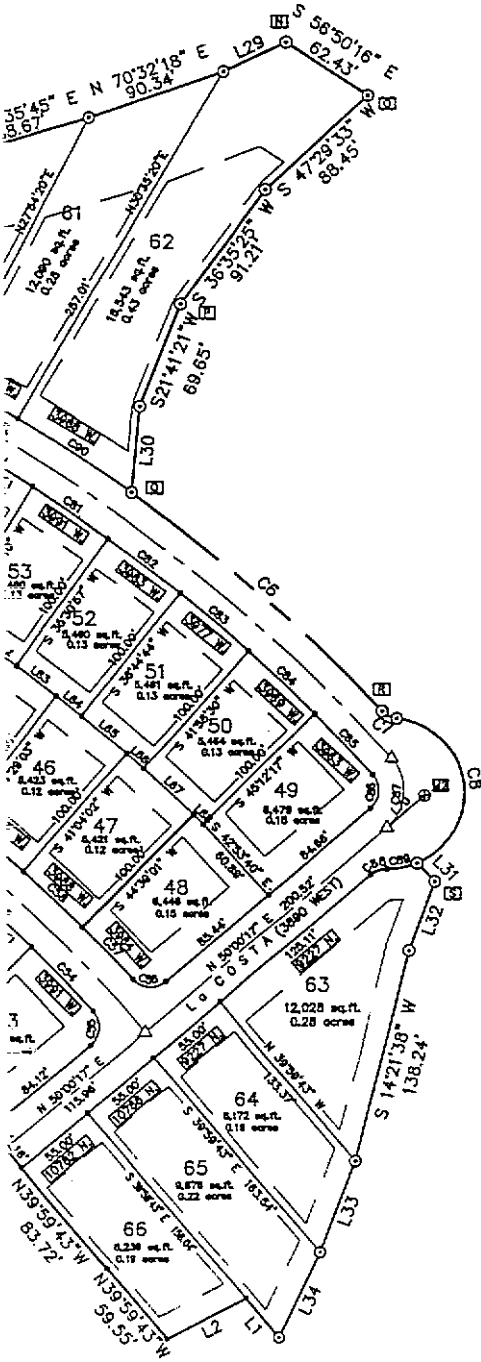
ENT 21551:2001 PG 63 of 142

STATE PLANE COORDINATES,  
SUBDIVISION MONUMENT

NO.	NORTHING	EASTING
M1	763554.78	1929196.73
M2	763277.43	1929688.44
M3	763376.44	1929138.59
M4	763408.29	1928800.56
M5	763178.47	1928832.34

STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

NO.	NORTHING	EASTING
A	760522.95	1929377.36
B	762122.05	1929721.39
C	762416.58	1929298.06
D	762529.74	1929034.71
E	762681.01	1928758.23
F	762770.33	1928713.32
G	762781.35	1928695.46
K	763399.78	1928675.53
L	763432.48	1928757.49
M	763476.16	1928865.54
N	763756.56	1929599.15
O	763722.42	1929651.39
P	763589.47	1929531.86
Q	763469.86	1929500.90
R	763331.65	1929659.66
S	763223.10	1929692.86
T	762816.66	1929554.55
X	762590.47	1929579.96
Y	762476.68	1929649.76
Z	762237.07	1929688.30
AA	762188.48	1929734.84



TOWN OF CEDAR HILLS  
VICINITY MAP  
-NTS-

LEGEND

- ⊠ FOUND RIGHT-OF-WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" X 24" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- △ CALCULATED POINT NOT SET
- ⊕ SUBDIVISION MONUMENT
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- (25) LOT NUMBER
- 6227 H LOT ADDRESS
- (2648.59) RECORD DATA

**HUBBLE ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

1471 N. 1200 W.  
DREM, UTAH 84057  
(801) 802-8992



LAND SURVEYOR

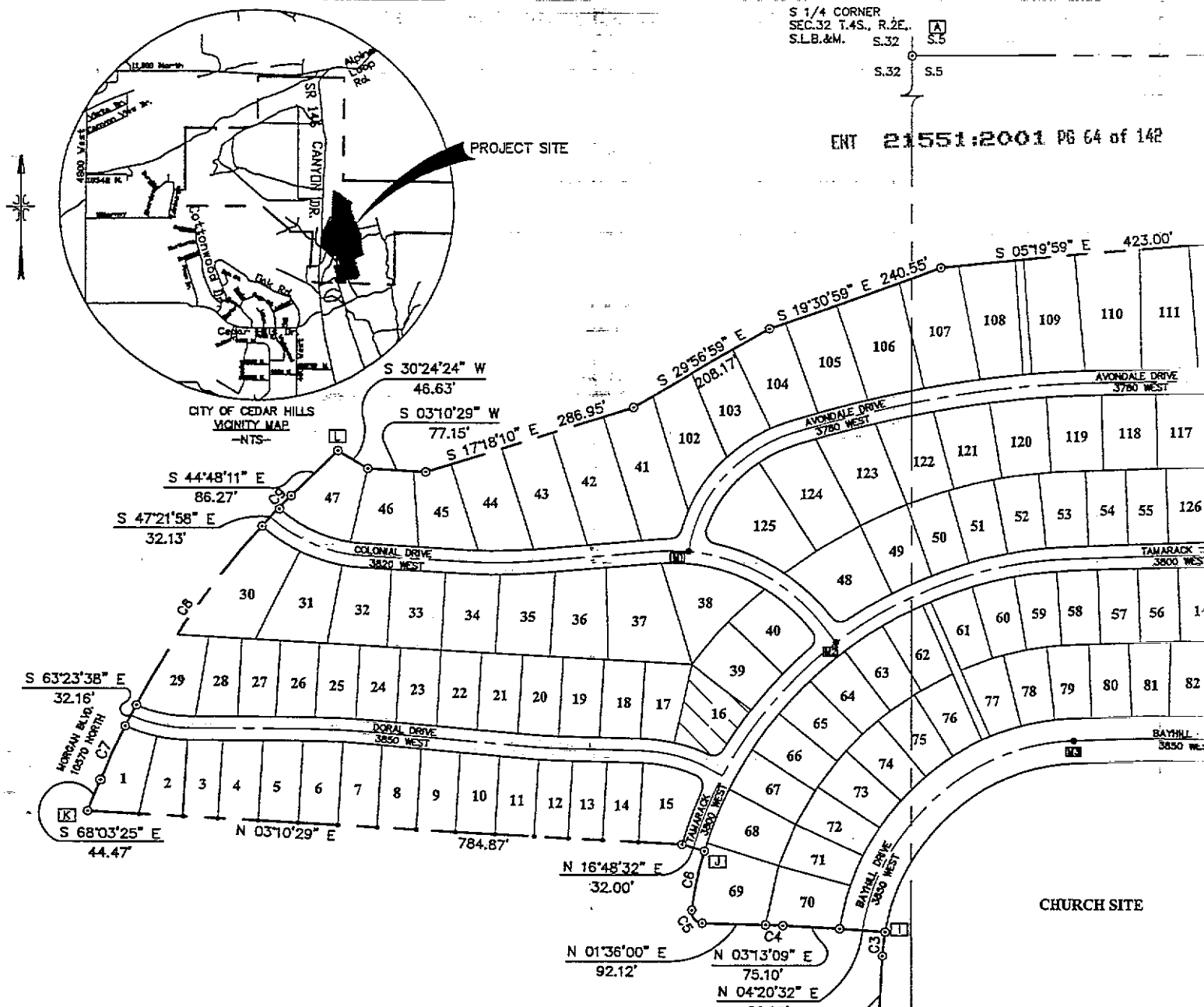
APPROVED THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D. 20\_\_\_\_

LAND SURVEYOR

**THE CEDARS  
AT CEDAR HILLS  
PLAT "I"**  
PLANNED RESIDENTIAL DEVELOPMENT  
PAGE 2 OF 2

S 1/4 CORNER  
SEC.32 T.4S., R.2E.,  
S.L.B.&M. S.32 S.5

ENT 21551:2001 PG 64 of 142



CITY OF CEDAR HILLS  
VICINITY MAP  
-NTS-

CURVE TABLE					
NO.	Radius	Length	Chord Dist.	Chord Brg.	Delta
C1	970.00'	6.75'	6.75'	N 23°38'43" W	0°23'56"
C2	330.00'	18.42'	18.42'	N 22°34'43" W	3°11'56"
C3	270.00'	32.10'	32.08'	S 83°41'08" E	6°48'41"
C4	532.00'	15.03'	15.03'	N 02°24'34" E	1°37'08"
C5	15.00'	25.27'	22.39'	N 49°51'57" E	96°31'53"
C6	528.00'	79.97'	79.89'	S 77°31'47" E	8°40'39"
C7	1155.00'	77.92'	77.91'	S 68°07'28" E	3°51'55"
C8	1155.00'	290.98'	290.19'	S 55°27'47" E	14°28'00"
C9	1155.00'	22.87'	22.97'	S 45°59'57" E	1°08'23"

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 85°58'52" W	98.00'
L2	S 04°01'08" E	90.72'

STATE PLANE COORDINATES,  
BOUNDARY MONUMENT

NO.	NORTHING	EASTING
A	760529.98	1932022.28
B	760525.29	1930002.55
C	759213.38	1930483.43
D	759702.19	1930510.82
E	759916.61	1930415.11
F	759871.73	1930298.05
G	760218.92	1930006.83
H	780567.77	1930029.81
I	780558.30	1930167.29
J	780797.54	1930274.35
K	781611.59	1930327.06
L	781285.34	1930807.91

STATE PLANE COORDINATES,  
SUBDIVISION MONUMENT

NO.	NORTHING	EASTING
M1	760821.71	1930675.00
M2	760625.55	1930552.37
M3	760304.94	1930421.63
M4	759911.89	1930449.54
M5	760101.51	1930673.80
M6	780027.40	1930905.01
M7	759529.83	1930859.48

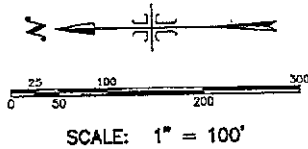
BASIS OF BEARING  
S 89°50'52" W  
2645.49'

LEG





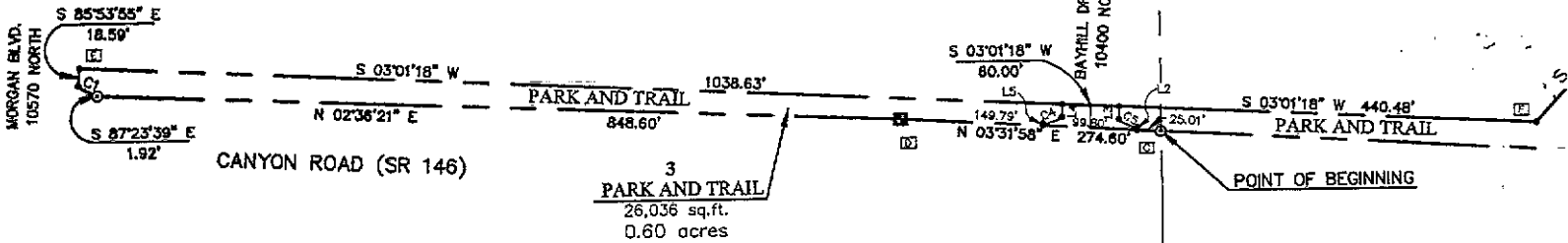
S 1/4 CORNER SEC.32 T.4S.,  
R.2E., S.L.B.&M.



**LEGEND**

- ☒ FOUND RIGHT-OF WAY MONUMENT
- ⊙ FOUND BRASS CAP
- ⊕ SUBDIVISION MONUMENT
- ⊙ SET 5/8" IRON PIN WITH PLASTIC CAP, LS 368356
- SET 1/2" IRON PIN WITH PLASTIC CAP, LS 368356 OR BRASS TAG IN CURB SET ON EXTENSION OF LOT LINE
- FOUND IRON PIN
- ▲ CALCULATED POINT NOT SET
- SECTION LINE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- BUILDING ENVELOPE
- 25 LOT NUMBER
- 9227 N LOT ADDRESS

ENT 21551:2001 PG 66 of 142



**STATE PLANE COORDINATES,  
BOUNDARY MONUMENT**

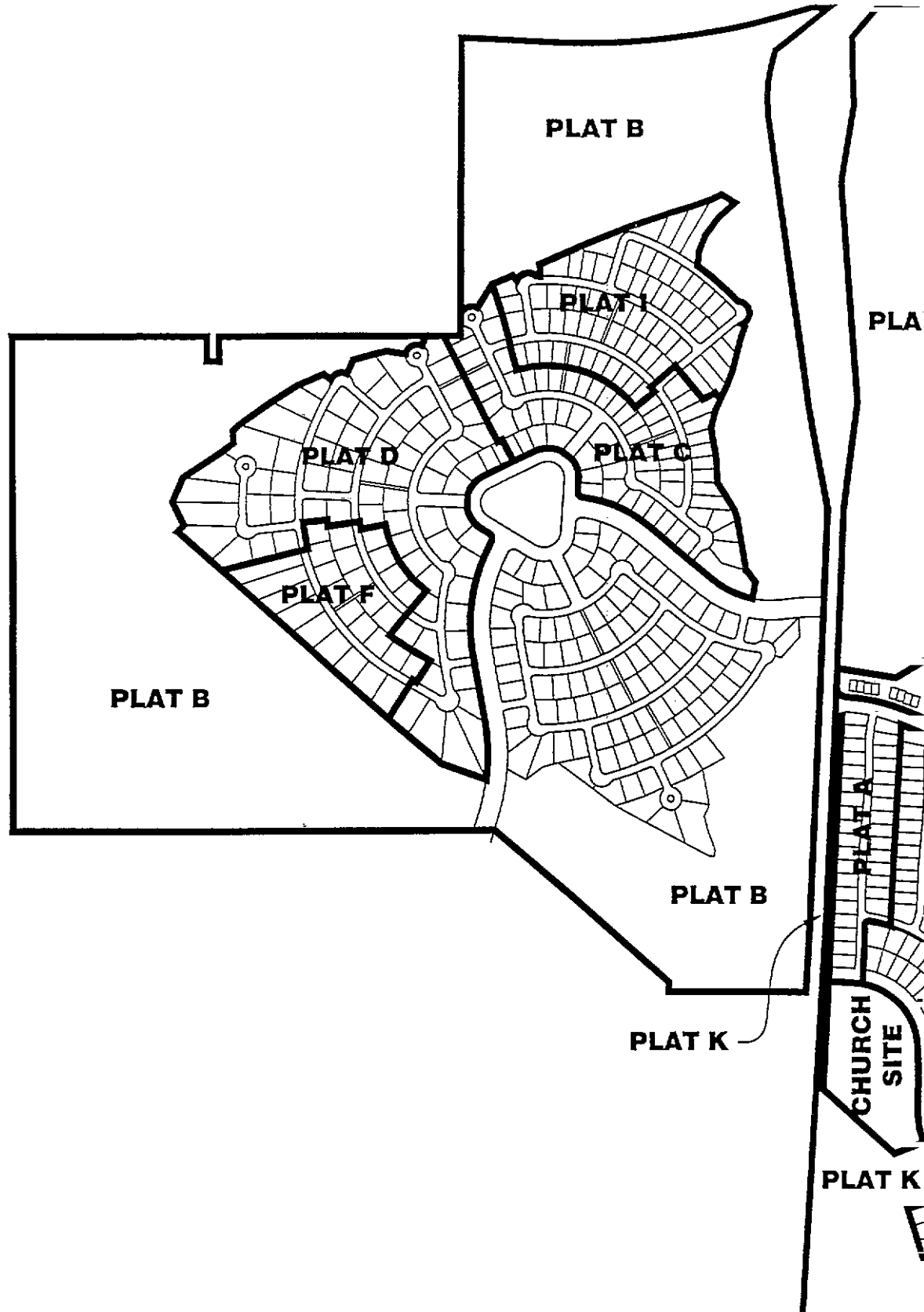
NO.	NORTHING	EASTING
A	760529.98	1932022.28
B	760522.95	1929377.36
C	760525.29	1930002.55
D	760799.29	1930019.47
E	761665.43	1930087.94
F	760218.92	1930006.83
G	759671.73	1930298.05
H	759916.61	1930415.11
I	759702.19	1930510.82
J	759213.38	1930483.43
K	759213.25	1929921.55

LINE	BEARING
L2	N 86°28'02" W
L3	S 86°46'51" E
L4	S 86°46'51" E
L5	N 86°28'02" W

NO.	Radius	Length	Chord
C1	29.00'	22.79'	22
C2	330.00'	18.42'	18
C3	970.00'	6.75'	6
C4	29.00'	22.01'	21
C5	29.00'	21.93'	21

SW CORNER  
SEC.32 T.4S.,  
R.2E., S.L.B.&M.





NO.	REVISIONS	BY	DATE	REV	COGD FILE	DATE
5				DESIGNED BY:		DATE:
4				DRAWN BY:		DATE:
3				CHECKED BY:		DATE:
2				APPROVED:		DATE:
1				COGD FILE:		DATE:



**HUBBLE ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

EXHIBIT D  
PHASING SCHEME

21551:2001 PG 69 of 142



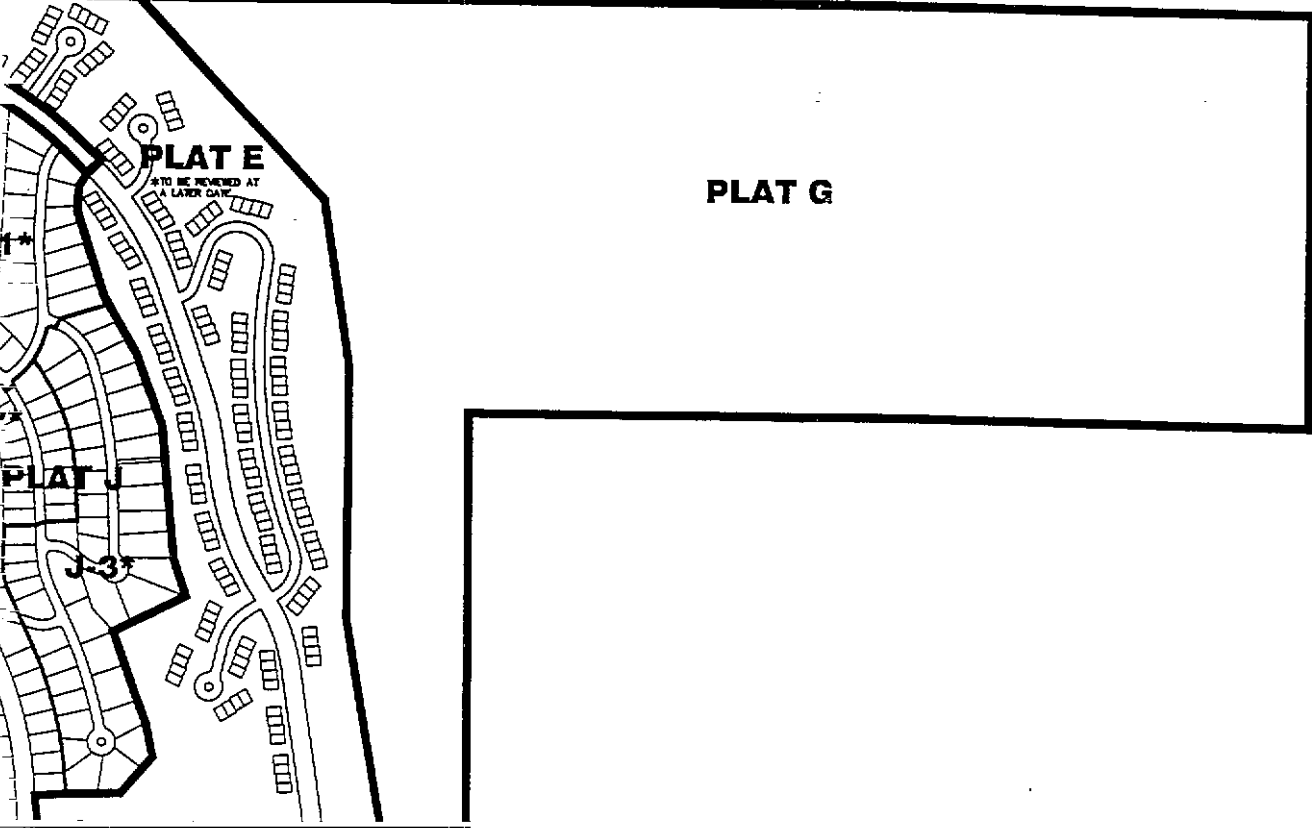
(24"x36")

HORIZONTAL 1" = 300'

(11"x17")

HORIZONTAL 1" = 600'

*POSSIBLE PHASING OF PLAT J	
PLAT PHASE	# OF LOTS
J-1	47
J-2	54
J-3	44




THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH HUBBLE ENGINEERING, INC.

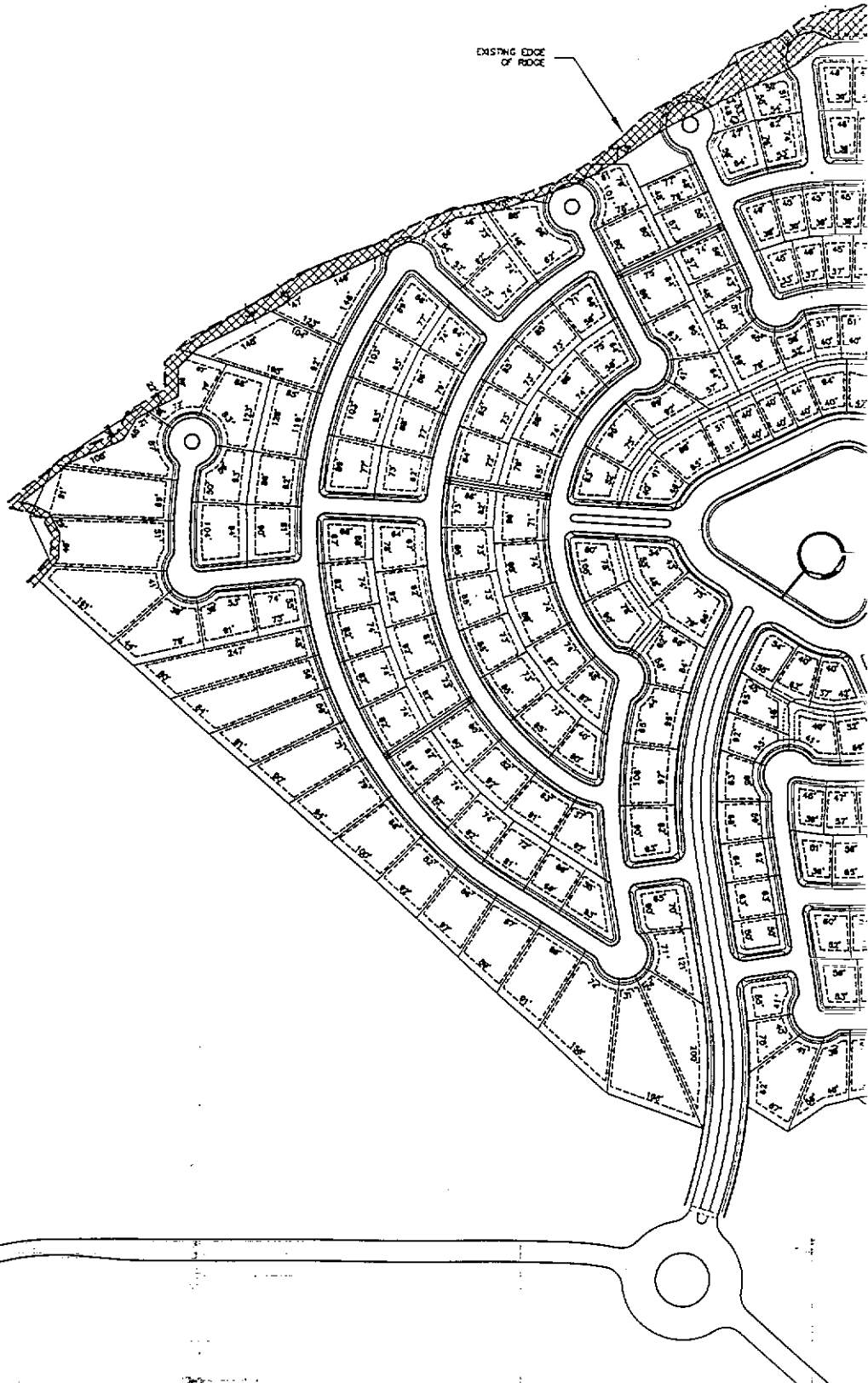
4,1200 W.  
UTAH 84057  
802-8992

THE CEDARS AT  
CEDAR HILLS

PHASING PLAN  
CEDAR HILLS, UTAH

JOB NO.  
3-99-193  
SHEET NO.  
1

 SLOPE STABILITY FAILURE ZONE AS PER EARINTEC TESTING AND ENGINEERING REPORT DATED JAN 19, 2001



NO.	DESCRIPTION	DESIGNED BY	DATE
1		DRAWN BY	DATE
2		CHECKED BY	DATE
3		APPROVED BY	DATE
4			DATE
5			DATE


**HUBBLE ENGINEERING, INC.**  
 ENGINEERING-SURVEYING-PLANNING

EXHIBIT E  
 LOTTING PLAN

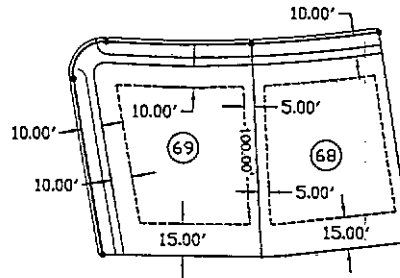


(24"x36")  
 HORIZONTAL 1" = 150'

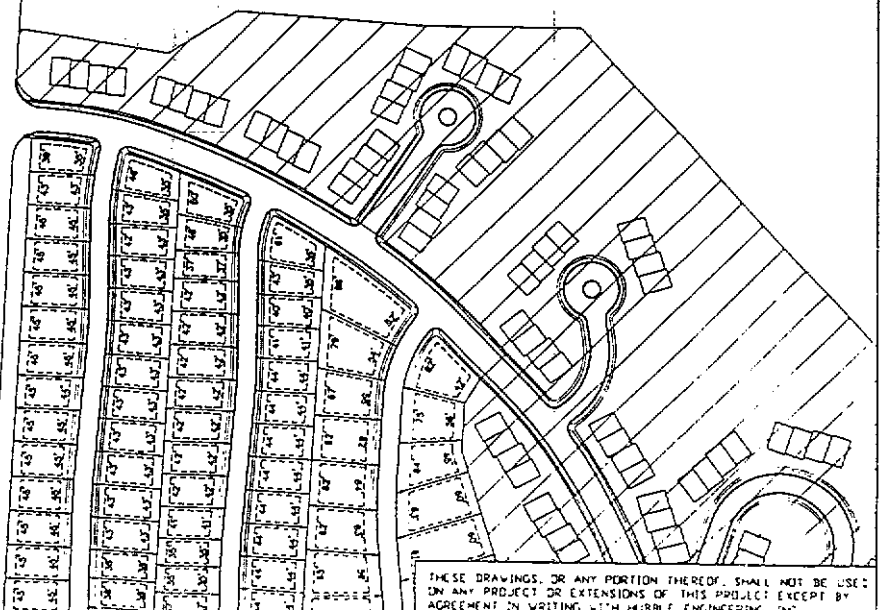
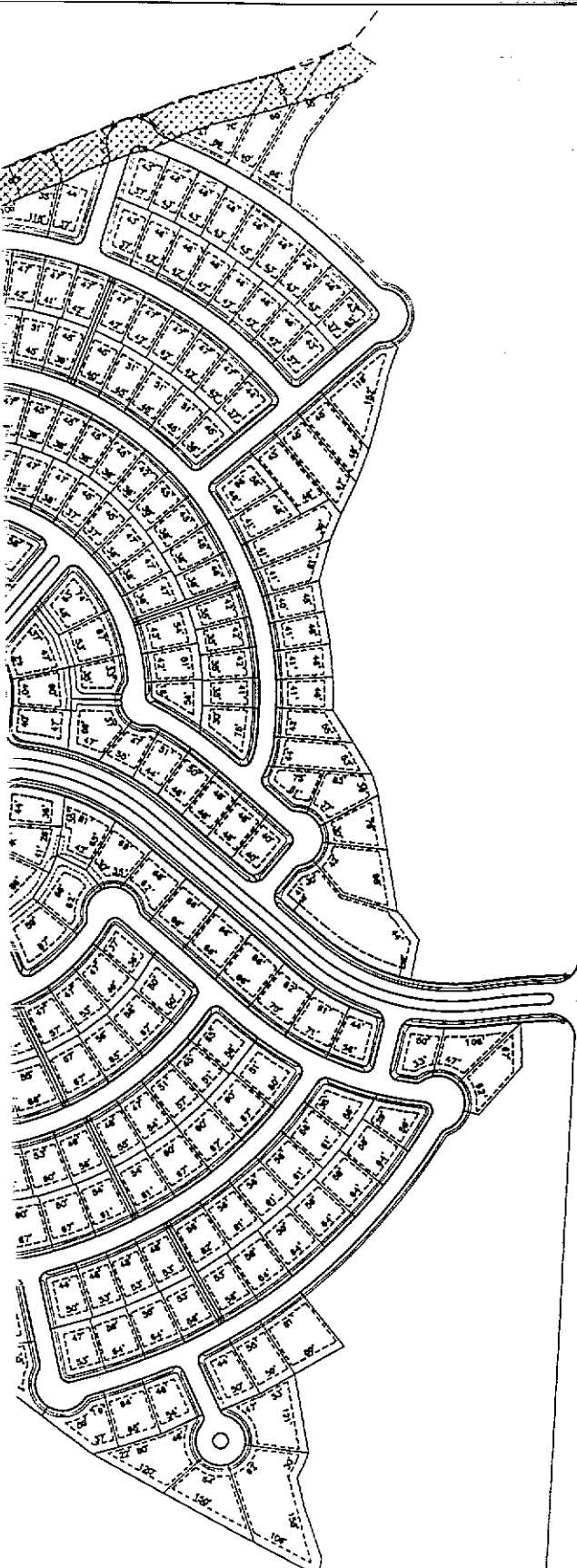
(11"x17")  
 HORIZONTAL 1" = 300'

ENT 21551:2001 PG 71 of 142

FRONT AND SIDE SETBACKS ON CORNER LOTS SHALL BE MEASURED FROM THE SIDEWALK. SETBACKS TO THE FRONT OF EACH HOME SHALL BE 10' WITH THE ADDITIONAL REQUIREMENT THAT FRONT LOADING GARAGES BE LOCATED NO CLOSER THAN 22' TO THE SIDEWALK. SIDE SETBACKS SHALL BE 5' (10' ON CORNER LOTS), REAR SETBACKS SHALL BE 15' FROM PROPERTY LINE. A 5' PUBLIC UTILITY EASEMENT SHALL BE OBSERVED AT EACH REAR PROPERTY LINE.



BUILDING SETBACK DETAIL  
 -NTS-



THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH HUBBLE ENGINEERING, INC.

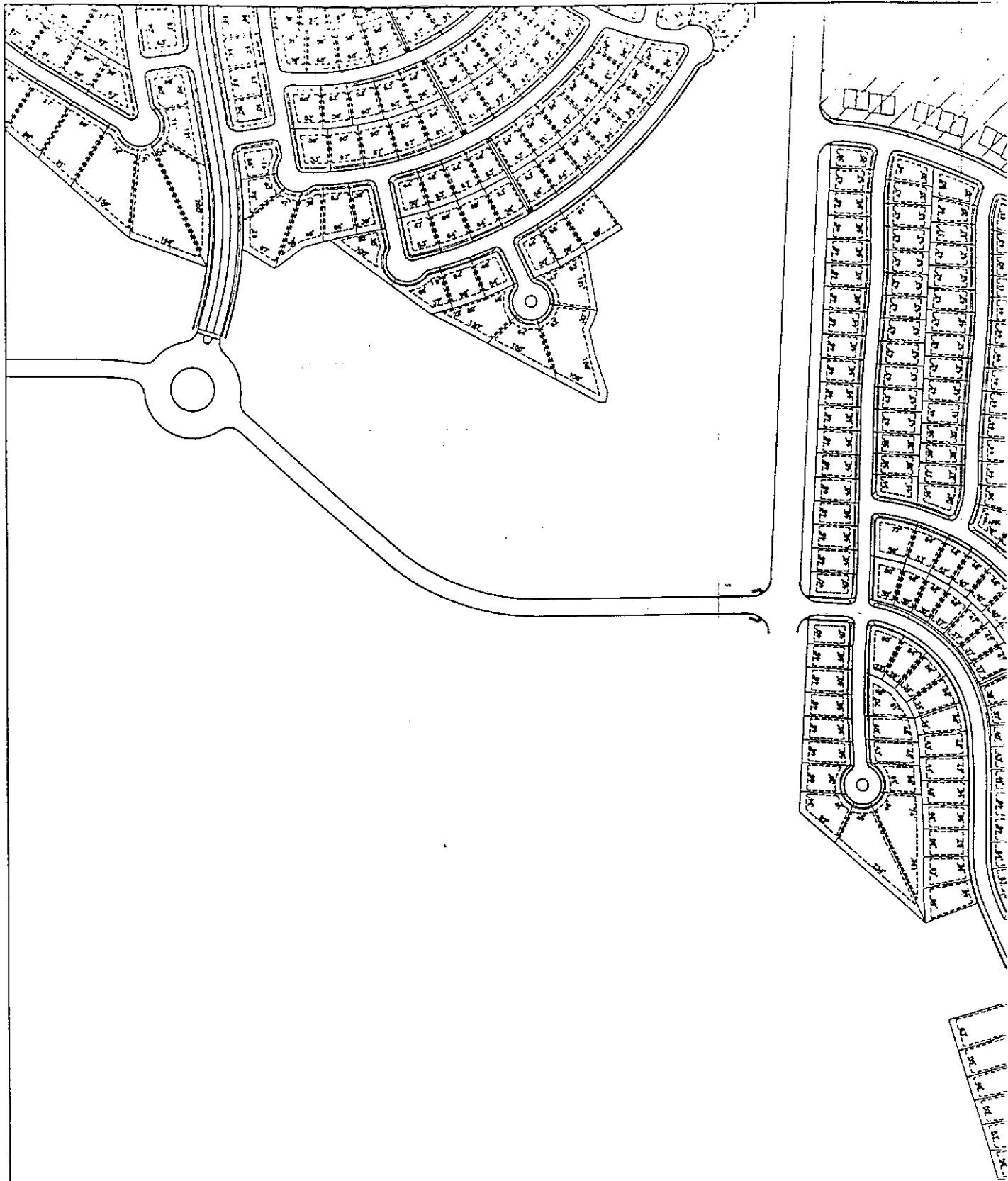
THE CEDARS

LOTING PLAN - NOVEMBER 27, 2000

JOB NO  
 0-13-195

CEDAR HILLS, UTAH

1



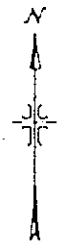
ENT 21551:2001 PG 72 of 142

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED	DATE
DATE FILED	DATE
NO. 10000	DATE



**HUBBLE  
ENGINEERING,**  
ENGINEERING SURVEYING PLANNING

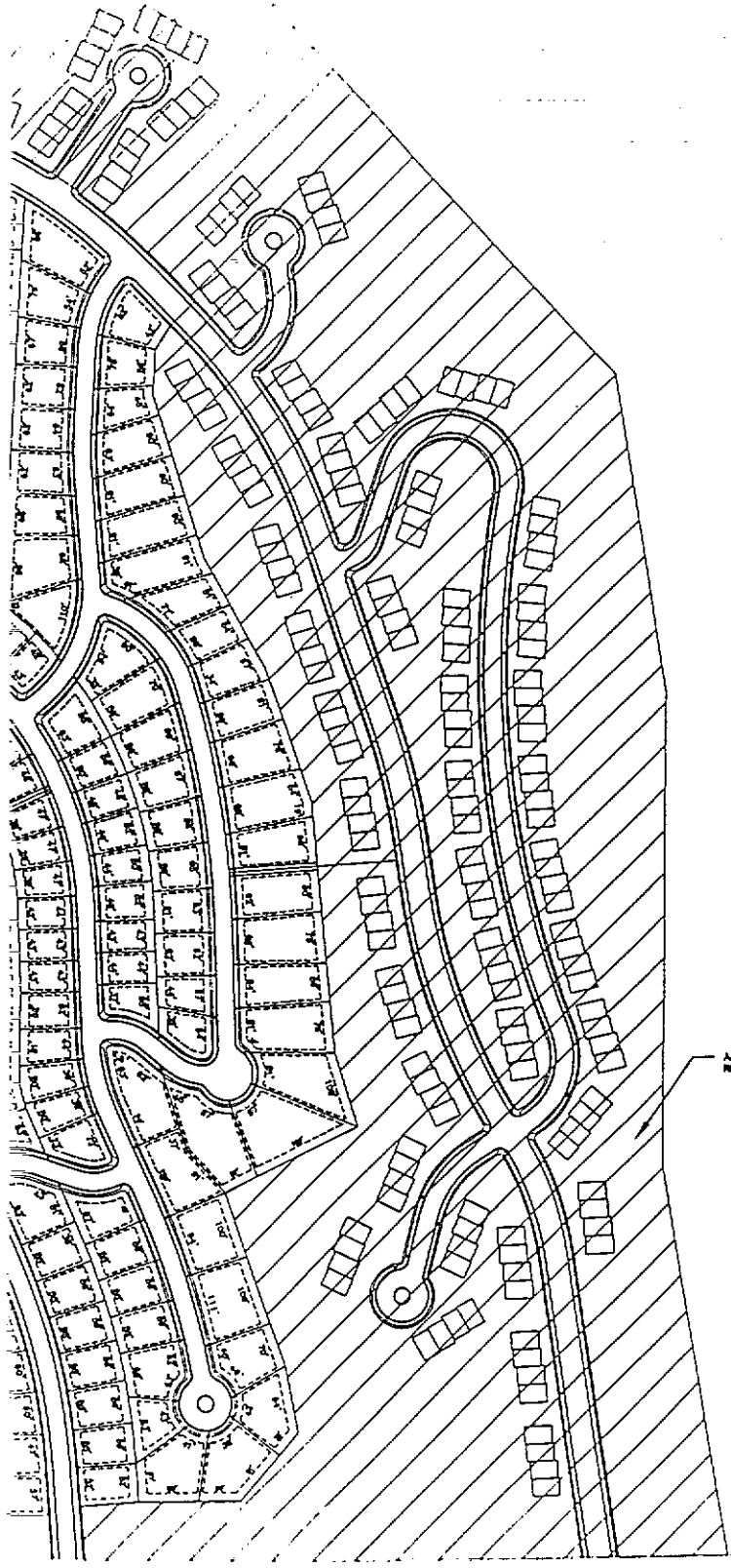




(24"x36")  
HORIZONTAL 1" = 150'

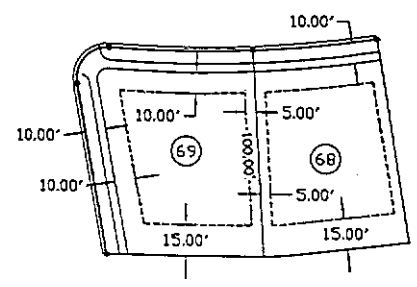
(11"x17")  
HORIZONTAL 1" = 300'

ENT 21551:2001 PG 73 of 142



AREA TO BE PROVIDED FOR REVIEWED AT A LATER DATE

FRONT AND SIDE SETBACKS ON CORNER LOTS SHALL BE MEASURED FROM THE SIDEWALK. SETBACKS TO THE FRONT OF EACH HOME SHALL BE 10' WITH THE ADDITIONAL REQUIREMENT THAT FRONT LOADING GARAGES BE LOCATED NO CLOSER THAN 22' TO THE SIDEWALK. SIDE SETBACKS SHALL BE 5' (10' ON CORNER LOTS). REAR SETBACKS SHALL BE 15' FROM PROPERTY LINE. A 5' PUBLIC UTILITY EASEMENT SHALL BE OBSERVED AT EACH REAR PROPERTY LINE.



BUILDING SETBACK DETAIL  
- NTS -

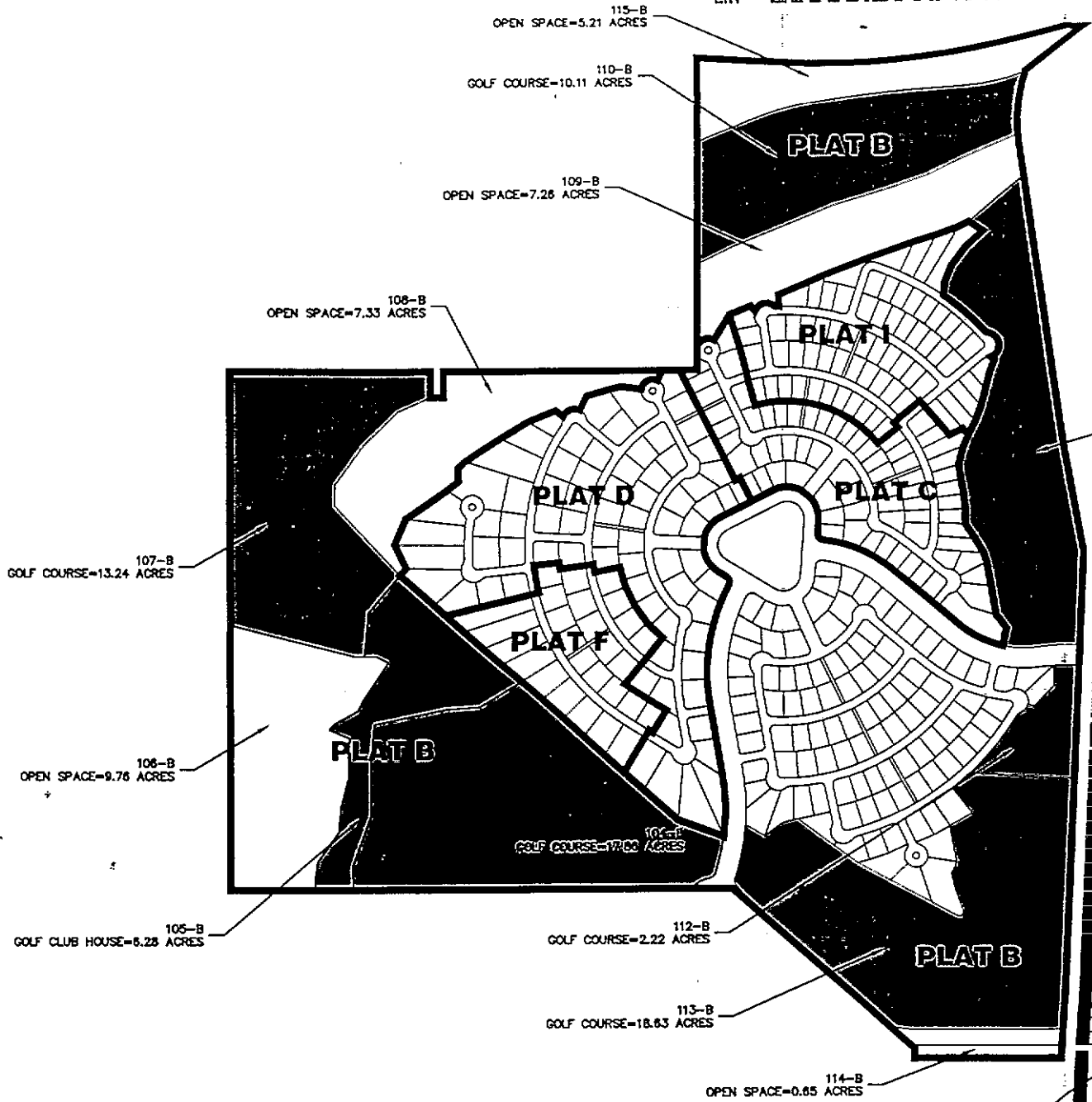
THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED IN ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH HERRLE ENGINEERING, INC.

VC  
INC

# THE CEDARS

1015 2001 01 01 10:00 AM (27, 2000)

GEORGE W. HERRLE



PLAT B		
PARCEL #	DESCRIPTION	AREA(ACRES)
109	OPEN SPACE	7.26
110	GOLF COURSE	10.11
111	GOLF COURSE	12.78
104	GOLF COURSE	17.88
105	GOLF CLUB HOUSE	6.28
106	OPEN SPACE	9.76
107	GOLF COURSE	13.24
108	OPEN SPACE	7.33
113	GOLF COURSE	18.63
114	OPEN SPACE	0.61
112	GOLF COURSE	2.22
115	OPEN SPACE	5.21

PLAT G		
PARCEL #	DESCRIPTION	AREA(ACRES)
1-C	PUBLIC FACILITIES	9.05
2-C	OPEN SPACE	81.89
3-C	PUBLIC FACILITIES	9.51
4-C	OPEN SPACE	6.78

PLAT H		
PARCEL #	DESCRIPTION	AREA(ACRES)
206	GOLF COURSE	31.30
207	OPEN SPACE	5.57

PLAT J		
PARCEL #	DESCRIPTION	AREA(ACRES)
18-J	PARK	0.16
PLAT E	FUTURE PHASE "E"	42.18

PLAT K		
PARCEL #	DESCRIPTION	AREA(ACRES)
1-K	PARK & TRAIL	8.85
2-K	PARK & TRAIL	0.80

2-K PARKS & TRAILS=0.80 ACRES

1-K PARK & TRAILS=8.85 ACRES

NO.	REVISIONS	BY	DATE	REV. CORR. FILE	DATE
5					
4					
3					
2					
1					
NO.					

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
APPROVED:	DATE:
CDDO FILE:	DATE:



**HUBBLE ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING



(24"x36")  
 HORIZONTAL 1" = 300'  
 (11"x17")  
 HORIZONTAL 1" = 600'

207-H  
 OPEN SPACE=5.57 ACRES

111-B  
 GOLF COURSE=12.76 ACRES

206-H  
 GOLF COURSE=31.30 ACRES

1-G  
 PUBLIC FACILITIES=9.05 ACRES

2-G  
 NON-BUILDABLE OPEN SPACE=81.89 ACRES

**PLAT E**  
 AND BE REVIEWED AT  
 A LATER DATE

**PLAT G**

J-1\*

J-2\*

J-3\*

**PLAT J**

16-J  
 PARK=0.22 ACRES

3-G  
 PUBLIC FACILITIES=9.51 ACRES

PLAT E  
 TO BE REVIEWED AT  
 A LATER DATE=42.16

4-G  
 NON-BUILDABLE OPEN SPACE=8.78

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH HUBBLE ENGINEERING, INC.

1471 N. 1200 W.  
 DREH, UTAH 84057  
 (801) 802-8992

**THE CEDARS AT  
 CEDAR HILLS**

GOLF COURSE & OPEN SPACE  
 PARCEL SUMMARIES

CEDAR HILLS, UTAH

JOB NO.  
 3-99-193

SHEET NO.  
 1

WHEN RECORDED MAIL TO  
Grantees

ENT 21551:2001 PG 76 of 142

### WARRANTY DEED

LONE PEAK LINKS, L.L.C., a Utah Limited Liability company, for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable consideration, hereby **CONVEY and WARRANT** to

CITY OF CEDAR HILLS, \_\_\_\_\_

as GRANTEES, the following described real property situated in Utah County, State of Utah, to-wit:

#### TRAIL DEED #1

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH ¼ CORNER OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B.& M.; THENCE EAST A DISTANCE OF 1810.16 FEET; THENCE NORTH A DISTANCE OF 3545.37 FEET TO THE REAL POINT OF BEGINNING;

THENCE N. 65°15'16" E. A DISTANCE OF 172.17 FEET; THENCE N. 70°05'12" E. A DISTANCE OF 187.33 FEET; THENCE N. 77°45'37" E. A DISTANCE OF 128.11 FEET; THENCE N. 82°28'48" E. A DISTANCE OF 271.84 FEET; THENCE N. 85°19'50" E. A DISTANCE OF 351.97 FEET; THENCE N. 74°16'33" E. A DISTANCE OF 198.26 FEET; THENCE N. 51°26'02" E. A DISTANCE OF 277.27 FEET TO THE POINT OF ENDING.

#### TRAIL DEED #2

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH ¼ CORNER OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B.& M.; THENCE EAST A DISTANCE OF 309.20 FEET; THENCE NORTH A DISTANCE OF 1009.10 FEET TO THE REAL POINT OF BEGINNING;

THENCE WEST A DISTANCE OF 309.20 FEET; THENCE N. 00°33'57" E. A DISTANCE OF 1009.10 FEET TO THE POINT OF ENDING.

#### TRAIL DEED #3

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ¼ CORNER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B.& M.; THENCE EAST A DISTANCE OF 411.24 FEET; THENCE NORTH A

DISTANCE OF 735.01 FEET TO THE REAL POINT OF BEGINNING.

THENCE N. 07°38'10" W. A DISTANCE OF 167.81 FEET TO THE POINT OF ENDING.

ENT 21551:2001 PG 77 of 142

**TRAIL DEED #4**

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

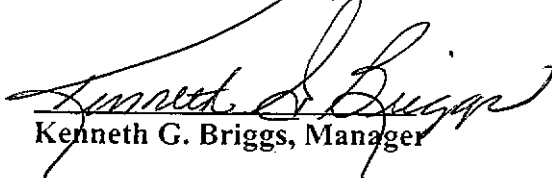
COMMENCING AT THE EAST 1/4 CORNER OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B.& M.; THENCE S. 89°54'53" W. ALONG THE SECTION LINE, A DISTANCE OF 1881.76 FEET TO THE REAL POINT OF BEGINNING;

THENCE N. 18°40'25" E. A DISTANCE OF 91.71 FEET; THENCE N. 28°36'57" E. A DISTANCE OF 81.02 FEET; THENCE N. 36°31'37" E. A DISTANCE OF 92.31 FEET; THENCE N. 40°03'14" E. A DISTANCE OF 58.55 FEET; THENCE N. 47°21'14" E. A DISTANCE OF 50.12 FEET; THENCE N. 53°02'20" E. A DISTANCE OF 36.80 FEET; THENCE N. 57°13'48" E. A DISTANCE OF 68.33 FEET; THENCE N. 62°11'11" E. A DISTANCE OF 188.34 FEET; THENCE N. 63°52'49" E. A DISTANCE OF 573.86 FEET; THENCE N. 36°53'21" E. A DISTANCE OF 18.39 FEET; THENCE N. 21°36'16" E. A DISTANCE OF 49.80 FEET; THENCE N. 16°50'28" E. A DISTANCE OF 58.39 FEET; THENCE N. 25°20'43" E. A DISTANCE OF 34.40 FEET; THENCE N. 41°26'05" E. A DISTANCE OF 24.18 FEET TO THE POINT OF ENDING.

Subject to easements, conditions, covenants and restrictions of record.

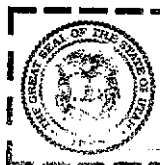
Dated this 16<sup>th</sup> day of Feb, 2001.

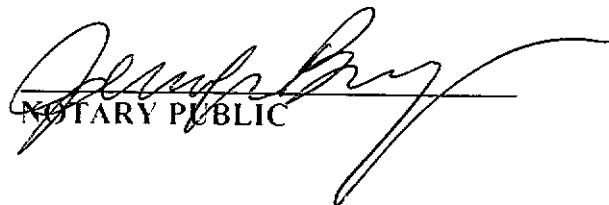
LONE PEAK LINKS, L.L.C

  
Kenneth G. Briggs, Manager

STATE OF UTAH                    )  
  :SS.  
COUNTY OF SALT LAKE        )

The foregoing instrument was acknowledged before me this 16<sup>th</sup> Day of Feb., 2001, Kenneth G. Briggs, Manager of Lone Peak Links, L.L.C., a Utah Limited Liability Company.

 Notary Public  
**JENNIFER BORG**  
9 Exchange Place, Suite 810  
Salt Lake City, Utah 84111  
My Commission Expires  
February 22, 2003  
State of Utah

  
NOTARY PUBLIC

WHEN RECORDED, MAIL TO:

ENT 21551:2001 PG 78 of 142

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Easement

Utah County

Lone Peak Links, L.L.C., a Limited Liability Company of the State of Utah, Grantor, hereby GRANTS AND CONVEYS to the CITY OF CEDAR HILLS, Grantee, for the sum of \$10.00 Dollars,

### TRAIL EASEMENT #1

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ¼ CORNER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE S. 00° 16' 52" W. ALONG THE SECTION LINE A DISTANCE OF 1303.77 FEET; THENCE EAST A DISTANCE OF 694.94 FEET TO THE REAL POINT OF BEGINNING;

THENCE S. 02° 36' 21" W. A DISTANCE OF 46.77 TO THE POINT OF ENDING.

### TRAIL EASEMENT #2

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ¼ CORNER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE S. 00° 16' 52" W. ALONG THE SECTION LINE A DISTANCE OF 1142.56 FEET; THENCE EAST A DISTANCE OF 615.45 FEET TO THE REAL POINT OF BEGINNING;

THENCE S. 02° 35' 11" W. A DISTANCE OF 154.14 FEET TO THE POINT OF ENDING.

### TRAIL EASEMENT #3

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ¼ CORNER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE S. 00° 16' 52" W. ALONG THE SECTION LINE A DISTANCE OF 1062.52 FEET; THENCE EAST A DISTANCE OF 618.68 FEET TO THE REAL POINT OF BEGINNING;

THENCE N. 02° 35' 11" E. A DISTANCE OF 71.38 FEET; THENCE N. 02° 37' 54" E. A DISTANCE OF 285.53 FEET; THENCE N. 10° 21' 24" W. A DISTANCE OF 419.94 FEET; THENCE N. 07° 56' 06" W. A DISTANCE OF 288.11 FEET; THENCE N. 07° 55' 13" W. A DISTANCE OF 749.80 FEET TO THE POINT OF ENDING.

### TRAIL EASEMENT #4

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ¼ CORNER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE N. 00° 22' 37" E. ALONG THE SECTION LINE A DISTANCE OF 901.47 FEET; THENCE EAST A DISTANCE OF 382.98 FEET TO THE REAL POINT OF BEGINNING;

THENCE NORTHEASTERLY A DISTANCE OF 243.90 FEET ALONG THE ARC OF A 660.00-FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 21° 10' 24", SUBTENDED BY A CHORD THAT BEARS N. 06° 24' 31" E A DISTANCE OF 242.51 FEET TO THE POINT OF ENDING.

Continued on Page 2

**TRAIL EASEMENT #5**

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH  $\frac{1}{4}$  CORNER OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE EAST A DISTANCE OF 1810.16 FEET; THENCE NORTH A DISTANCE OF 3545.37 FEET TO THE REAL POINT OF BEGINNING;

THENCE N.  $65^{\circ}15'16''$  E. A DISTANCE OF 172.17 FEET; THENCE N.  $70^{\circ}05'12''$  E. A DISTANCE OF 187.33 FEET; THENCE N.  $77^{\circ}45'37''$  E. A DISTANCE OF 128.11 FEET; THENCE N.  $82^{\circ}28'48''$  E. A DISTANCE OF 271.84 FEET; THENCE N.  $85^{\circ}19'50''$  E. A DISTANCE OF 351.97 FEET; THENCE N.  $74^{\circ}16'33''$  E. A DISTANCE OF 198.26 FEET; THENCE N.  $51^{\circ}26'02''$  E. A DISTANCE OF 277.27 FEET TO THE POINT OF ENDING.

**TRAIL EASEMENT #6**

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST  $\frac{1}{4}$  CORNER OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE S.  $00^{\circ}16'52''$  W. ALONG THE SECTION LINE A DISTANCE OF 968.06 FEET; THENCE WEST A DISTANCE OF 2620.77 FEET TO THE REAL POINT OF BEGINNING;

THENCE N.  $02^{\circ}58'33''$  E. A DISTANCE OF 102.53 FEET; THENCE N.  $13^{\circ}07'32''$  E. A DISTANCE OF 62.74 FEET; THENCE N.  $23^{\circ}41'52''$  E. A DISTANCE OF 124.13 FEET; THENCE N.  $47^{\circ}06'44''$  E. A DISTANCE OF 42.57 FEET; THENCE N.  $63^{\circ}01'52''$  E. A DISTANCE OF 89.73 FEET; THENCE N.  $78^{\circ}24'23''$  E. A DISTANCE OF 92.47 FEET; THENCE N.  $67^{\circ}49'23''$  E. A DISTANCE OF 52.86 FEET; THENCE N.  $51^{\circ}24'30''$  E. A DISTANCE OF 31.93 FEET; THENCE N.  $13^{\circ}11'42''$  E. A DISTANCE OF 61.33 FEET; THENCE N.  $04^{\circ}12'51''$  W. A DISTANCE OF 85.42 FEET; THENCE N.  $17^{\circ}38'48''$  E. A DISTANCE OF 92.74 FEET; THENCE N.  $37^{\circ}30'53''$  E. A DISTANCE OF 108.98 FEET; THENCE N.  $45^{\circ}04'50''$  E. A DISTANCE OF 95.08 FEET; THENCE N.  $52^{\circ}15'53''$  E. A DISTANCE OF 154.46 FEET; THENCE N.  $57^{\circ}24'08''$  E. A DISTANCE OF 101.21 FEET; THENCE N.  $31^{\circ}18'37''$  E. A DISTANCE OF 27.99 FEET; THENCE N.  $21^{\circ}50'23''$  E. A DISTANCE OF 19.52 FEET TO THE POINT OF ENDING.

**TRAIL EASEMENT #7**

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH  $\frac{1}{4}$  CORNER OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE EAST A DISTANCE OF 309.20 FEET; THENCE NORTH A DISTANCE OF 1009.10 FEET TO THE REAL POINT OF BEGINNING;

THENCE WEST A DISTANCE OF 309.20 FEET; THENCE N.  $00^{\circ}33'57''$  E. A DISTANCE OF 1009.10 FEET TO THE POINT OF ENDING.

**TRAIL EASEMENT #8**

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST  $\frac{1}{4}$  CORNER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE EAST A DISTANCE OF 411.24 FEET; THENCE NORTH A DISTANCE OF 735.01 FEET TO THE REAL POINT OF BEGINNING;

THENCE N.  $07^{\circ}38'10''$  W. A DISTANCE OF 167.81 FEET TO THE POINT OF ENDING.

**TRAIL EASEMENT #9**

A 20 FOOT EASEMENT, 10 FOOT ON EACH SIDE OF A CENTERLINE, WHICH CENTERLINE IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST ¼ CORNER OF SECTION 31, TOWNSHIP 4 SOUTH, RANGE 2 EAST, S.L.B. & M.; THENCE S. 89°54'53" W. ALONG THE SECTION LINE, A DISTANCE OF 1881.76 FEET TO THE REAL POINT OF BEGINNING;

THENCE N. 18°40'25" E. A DISTANCE OF 91.71 FEET; THENCE N. 28°36'57" E. A DISTANCE OF 81.02 FEET; THENCE N. 36°31'37" E. A DISTANCE OF 92.31 FEET; THENCE N. 40°03'14" E. A DISTANCE OF 58.55 FEET; THENCE N. 47°21'14" E. A DISTANCE OF 50.12 FEET; THENCE N. 53°02'20" E. A DISTANCE OF 36.80 FEET; THENCE N. 57°13'48" E. A DISTANCE OF 68.33 FEET; THENCE N. 62°11'11" E. A DISTANCE OF 188.34 FEET; THENCE N. 63°52'49" E. A DISTANCE OF 573.86 FEET; THENCE N. 36°53'21" E. A DISTANCE OF 18.39 FEET; THENCE N. 21°36'16" E. A DISTANCE OF 49.80 FEET; THENCE N. 16°50'28" E. A DISTANCE OF 58.39 FEET; THENCE N. 25°20'43" E. A DISTANCE OF 34.40 FEET; THENCE N. 41°26'05" E. A DISTANCE OF 24.18 FEET TO THE POINT OF ENDING.

IN WITNESS WHEREOF, said Ken Briggs has caused this instrument to be executed by its proper officers thereunto duly authorized, this 16<sup>th</sup> day of Feb, A.D. 2001.

STATE OF )

) ss.

Limited Liability Company

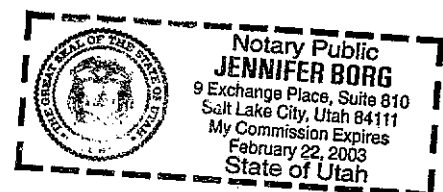
COUNTY OF )

By [Signature]  
Manager

On the date first above written personally appeared before me, Kenneth Briggs, who, being by me duly sworn, says that he is the Manager of Lone Peak Links, LLC, a Limited Liability Company, and that the within and foregoing instrument was signed in behalf of said company by authority of its Articles of Organization, and said Kenneth Briggs acknowledged to me that said company executed the same.

WITNESS my hand and official stamp the date in this certificate first above written:

[Signature]  
Notary Public





WHEN RECORDED MAIL TO:  
Grantees

ENT 21551:2001 PG 81 of 142

WARRANTY DEED

LONE PEAK LINKS, L.L.C., a Utah Limited Liability company, for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable consideration, hereby **CONVEY and WARRANT** to

CITY OF CEDAR HILLS,

as GRANTEES, the following described real property situated in Utah County, State of Utah, to-wit:

Parcel 1:

Lots 109, 106, 108, 114, and 119, Plat "B", THE CEDARS AT CEDAR HILLS SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah County Recorder.

Parcel 2:

Lot 207, Plat "H", THE CEDARS AT CEDAR HILLS SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah county recorder.

Parcel 3:

Lot 209, Plat "A", THE CEDARS AT CEDAR HILLS SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah county recorder.

Subject to current general property taxes.

Subject to easements, conditions, covenants and restrictions of record.

Dated this 22 day of FEB , 2001.

LONE PEAK LINKS, L.L.C

  
\_\_\_\_\_  
Ty Briggs, Manager

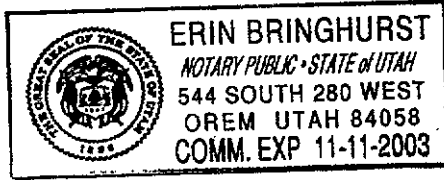
STATE OF UTAH )

:SS.

COUNTY OF SALT LAKE )

ENT 21551:2001 PG 82 of 142

The foregoing instrument was acknowledged before me this 22 Day of February, 2001,  
Ty Briggs, Manager of Lone Peak Links, L.L.C., a Utah Limited Liability Company.



*Erin Bringham*  
NOTARY PUBLIC

**WARRANTY DEED**

LONE PEAK LINKS, L.L.C., a Utah Limited Liability company, for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable consideration, hereby **CONVEY and WARRANT to**

CITY OF CEDAR HILLS,

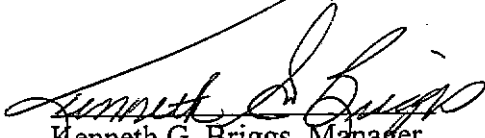
as GRANTEES, the following described real property situated in Utah County, State of Utah, to-wit:

The Cedars, Plat "G", a CEDAR HILLS SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah County Recorder.

Subject to easements, conditions, covenants and restrictions of record.

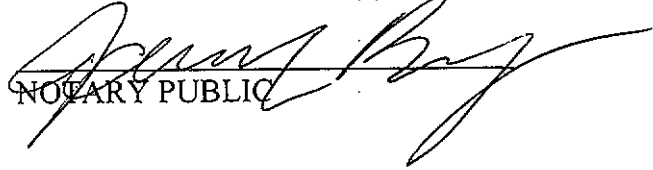
Dated this 16<sup>th</sup> day of Feb, 2001.

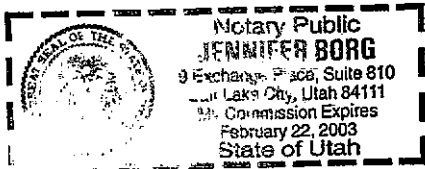
LONE PEAK LINKS, L.L.C

  
Kenneth G. Briggs, Manager

STATE OF UTAH                    )  
  :SS.  
COUNTY OF SALT LAKE    )

The foregoing instrument was acknowledged before me this 16 Day of Feb, 2001, Kenneth G. Briggs, Manager of Lone Peak Links, L.L.C., a Utah Limited Liability Company.

  
NOTARY PUBLIC





**WARRANTY DEED**

LONE PEAK LINKS, L.L.C., a Utah Limited Liability company, for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable consideration, hereby **CONVEY and WARRANT to**

CITY OF CEDAR HILLS,

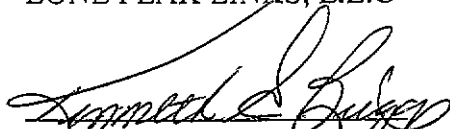
as GRANTEES, the following described real property situated in Utah County, State of Utah, to-wit:

The Cedars, Plat "K", a CEDAR HILLS SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah County Recorder.

Subject to easements, conditions, covenants and restrictions of record.

Dated this 16<sup>th</sup> day of Feb , 2001.

LONE PEAK LINKS, L.L.C

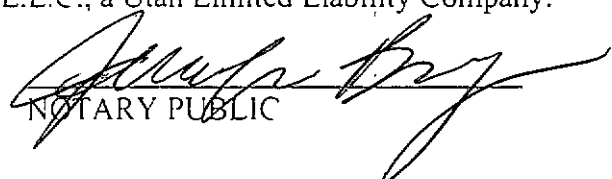
  
Kenneth G. Briggs, Manager

STATE OF UTAH )

:ss. ---

COUNTY OF SALT LAKE )

The foregoing instrument was acknowledged before me this 16 Day of Feb , 2001, Kenneth G. Briggs, Manager of Lone Peak Links, L.L.C., a Utah Limited Liability Company.

  
NOTARY PUBLIC

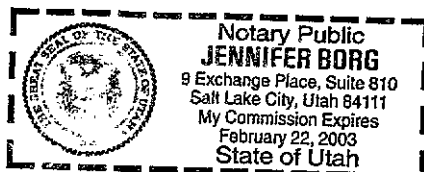
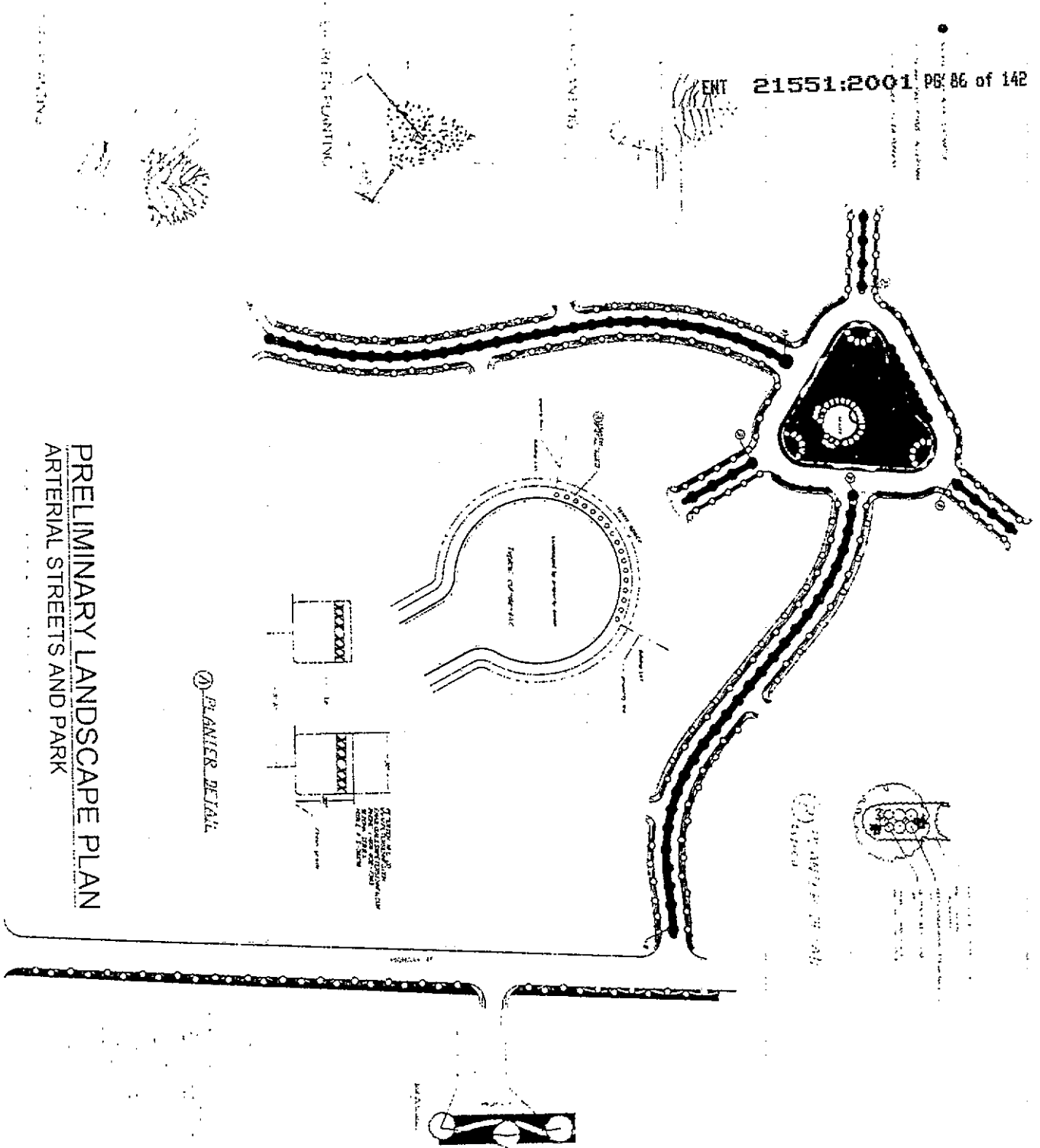


EXHIBIT H  
 LANDSCAPE PLAN FOR PLATS B,C,D,F,I

ENT 21551:2001 PG 86 of 142

PRELIMINARY LANDSCAPE PLAN  
 ARTERIAL STREETS AND PARK



<p>Drawn By: [Blank]</p> <p>Checked By: [Blank]</p> <p>Scale: 1/8" = 1'-0"</p> <p>Date: 8/17/01</p>	<p>PRELIMINARY LANDSCAPE PLAN</p> <p>ARTERIAL STREET AND PARK</p>		
<p>Project: [Blank]</p> <p>Sheet: L1</p>	<p>THE CEDARS AT CEDAR HILLS, UTAH</p>		

SUMMARY OF GOLF COURSE AND OPEN SPACE LOTS  
FOR THE CEDARS

GOLF COURSE LOTS  
(EASEMENTS)

206-H  
111-B  
110-B  
104-B  
105-B  
107-B  
113-B  
112-B

NON-BUILDABLE OPEN SPACE  
(DEEDED TO THE CITY)

207-H  
109-B  
106-B  
108-B  
114-B  
115-B  
2-G  
4-G

PARK AND TRAILS  
(DEEDED TO THE CITY)

1-K  
2-K  
16-J

PUBLIC FACILITIES  
(DEEDED TO THE CITY)

1-G  
3-G

OPEN SPACE CONSERVATION EASEMENT

LONE PEAK LINKS L.L.C., Owner of Real Property Situated And Located in Utah County, Utah, (Grantor) hereby convey, grant and release to THE CITY OF CEDAR HILLS, UTAH, a municipal corporation of the State of Utah, (Grantor and Holder), for the sum of ten dollars (\$10) and other good and valuable consideration, an easement over, under and through the following described real property:

The Cedars Subdivision, Plat B, Lots 111, 110, 104, 105, 107, 113, 113

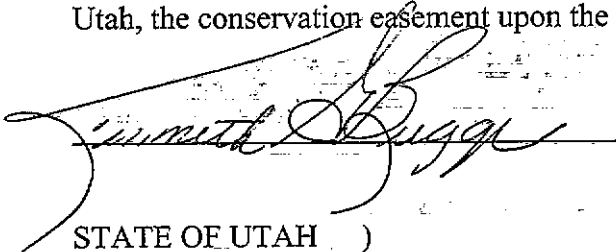
AND

The Cedars Subdivision, Plat H, Lot 206

The easement is granted pursuant to authorization of the "Utah Land Conversation Easement Act" (UCA 57-18-1 et. Seq.) and subject to the terms and conditions set forth in **Attachment B**.

The easement herein granted is perpetual.

The Grantor covenants and warrants that they are lawfully seized of the premises and hereby conveys and warrants, against all claiming by through or under Grantor, to the City of Cedar Hills, Utah, the conservation easement upon the herein above described real property.



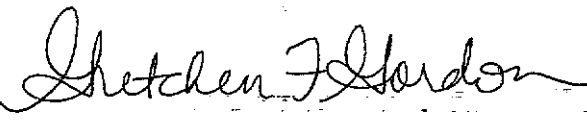
STATE OF UTAH )

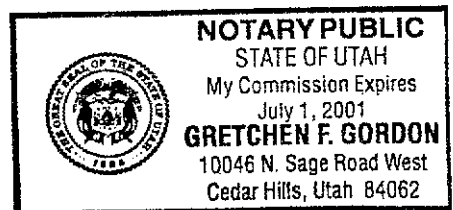
: ss.

COUNTY OF UTAH )

The foregoing instrument was acknowledged before me the 22<sup>nd</sup> day of February, 2001, by Ken Briggs in his capacity as a manager of Lone Peak Links L.L.C.

NOTARY PUBLIC  
Residing at: 10046 N Sage Road West  
Cedar Hills, Utah 84062







## Attachment B

## Terms and Conditions

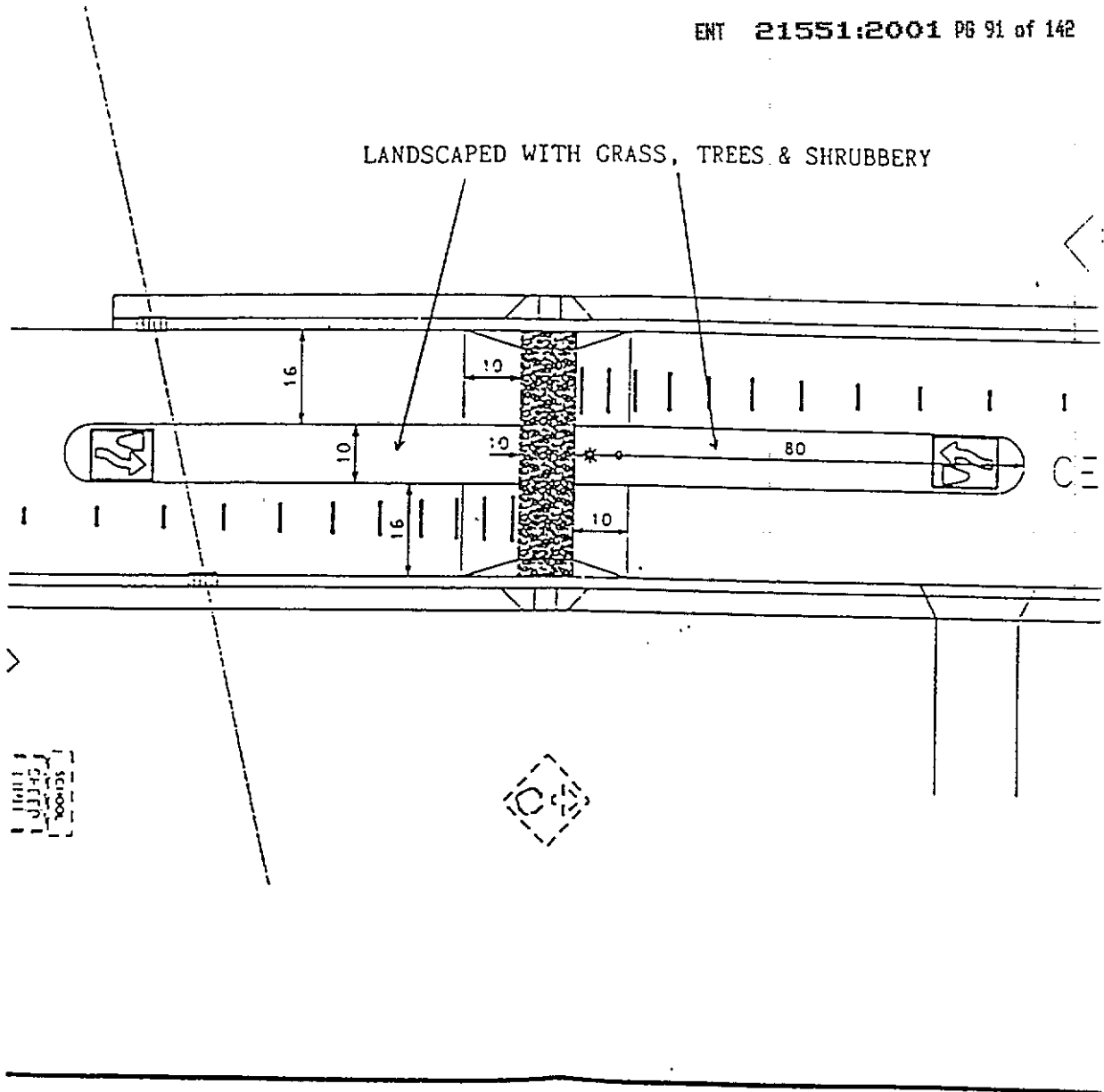
- A. Purpose - The conservation easement is conveyed for the purpose of facilitating the preservation and maintenance of the land area predominantly in a natural, scenic and open condition and for the development of a golf course.
- B. Future use - The real property included within the easement shall remain as open natural area, except as follows:
1. All development rights are removed from the site, except for the purpose of open space, recreational space and the construction of a golf course and related golf course facilities.
  2. Installation of supplemental vegetative landscape material, together with any irrigation facilities required to provide water to the golf course.
  3. Installation of new trails for pedestrians, and golf course use and the construction of such additional golf course related equipment including but not limited to; paving or surfacing of the trail, installation of trail head access facilities, restrooms and such other facilities as essential to the proper operation of the golf course.
  4. Appurtenant easements and vehicular access routes necessary for construction and maintenance of the golf course and related facilities.

EXHIBIT J

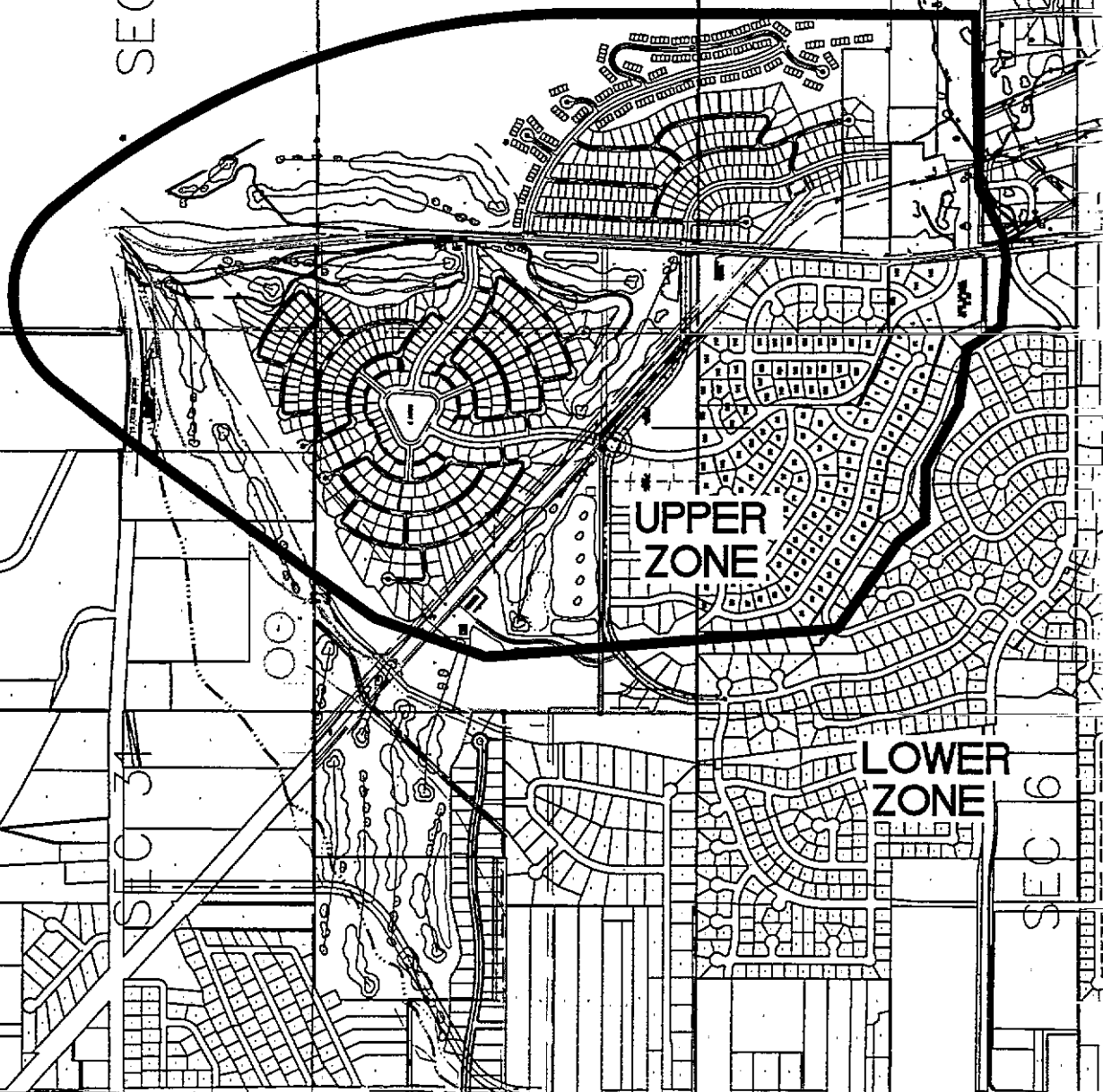
WILL BE FINALIZED BY DEVELOPER & CITY ATTORNEYS

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LANDSCAPED WITH GRASS, TREES & SHRUBBERY



SEC 32



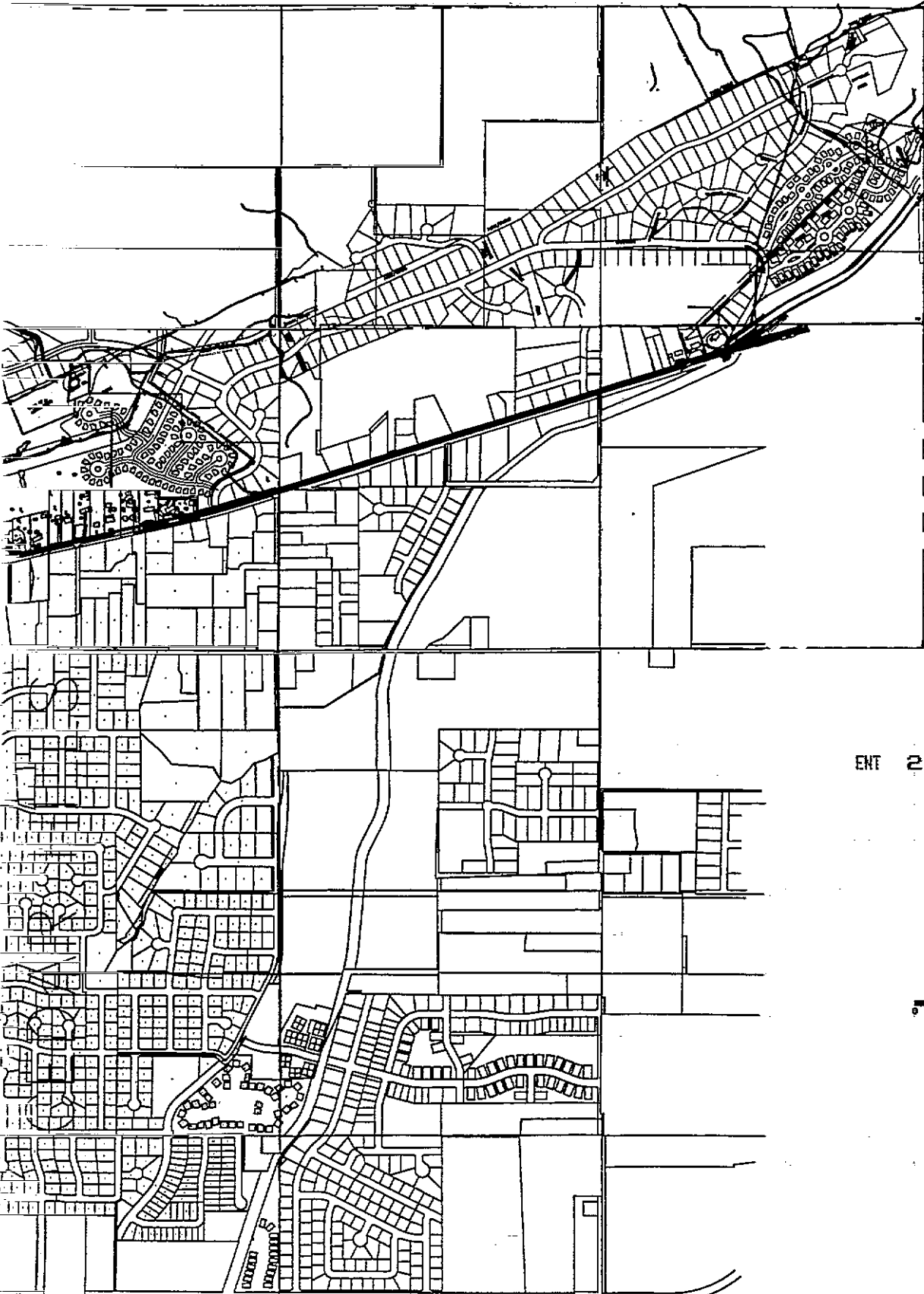
NO.	REVISIONS	BY	DATE	DESIGNED BY:	DATE:
5				DRAWN BY:	DATE:
4				CHECKED BY:	DATE:
3				APPROVED:	DATE:
2				COGD FILE:	DATE:
1				REV. COGD FILE:	DATE:

K:\3-99-193-00\Drawings\VICINITY-MAP.dwg 02/13/01 11:37:32 AM MST

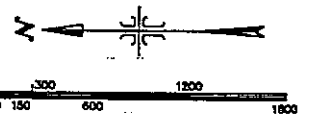


**HUBBLE ENGINEERING, INC.**  
ENGINEERING-SURVEYING-PLANNING

UPPER WATER PRESSURE ZONE AREA MAP



ENT 21551:2001 P6 93 of 142



(24"x36")  
HORIZONTAL 1" = 600'

(11"x17")  
HORIZONTAL 1" = 1200'

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH HUBBLE ENGINEERING, INC.

471 N. 1200 W.  
REM, UTAH 84057  
801) 802-8992

THE CEDARS AT CEDAR HILLS

CITY OF CEDAR HILLS  
CULINARY WATER ZONE

JOB NO.  
3-99-193

SHEET NO.  
**2**



# The Cedars

## Design Standards

### SECTION I: Architectural Review Committee

- 1.1 Purpose and Intent
- 1.2 Committee Organization
- 1.3 Architectural Review Process

### SECTION II: Architectural Standards

- 2.1 Purpose and Intent
- 2.2 Architectural Style
- 2.3 Architectural Standards

### SECTION III: Landscaping Standards

- 3.1 Purpose and Intent
- 3.2 Community Entries
- 3.3 Boulevards
- 3.4 Residential Streets
- 3.5 Individual Lots
- 3.6 Pedestrian Connections
- 3.7 Materials
- 3.8 Maintenance

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**SECTION IV: Signage**

4.1 Purpose and Intent

4.2 Styles

**SECTION V: Lighting**

5.1 Purpose and Intent

5.2 Styles

**SECTION VI: Fencing**

6.1 Purpose and Intent

6.2 Location and Height

**SECTION VII: STREETS**

7.1 Purpose and Intent



## Document Goals

- To facilitate the creation of a distinct community, to create a sense of place
- To set standards to ensure quality and continuity
- To accommodate and encourage a variety of house sizes and designs
- To create a community which increases in value over time
- To compliment the surrounding area and community

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The Cedars comprise a distinct, uniquely planned community located at the mouth of the majestic American Fork Canyon. It is anticipated that this exemplary development will compliment the beauty of the surrounding area. The purpose of this document is to facilitate the type and quality of development that will promote the goals presented by the architects of The Cedars.



The site plan for The Cedars has been prepared in accordance with a neo-traditional model of community design. Simply put, this method of designing centers around creating an enjoyable, livable community. Neo-traditional neighborhoods are specifically designed so as to encourage interaction and socializing. Creating neighborhoods that focus on human scale and orientation requires that much thought be given to de-emphasizing the presence of the automobile. Critical design elements include proper street design, the incorporation of porches with minimal front setbacks and the removal of the garage from the streetscape.

The Cedars is planned to provide the elegance and distinction of a planned community without sacrificing opportunities for the inclusion of families and individuals in all of life's various stages.

Particular emphasis has been placed on creating an inviting, interesting streetscape throughout the community. This is an attempt to calm traffic through residential areas, to make the community more appealing to the pedestrian and, therefore, more livable. The following Standards have been established to ensure quality and adherence to the original design concepts.

# SECTION I

## Architectural Review Committee

### 1.1 Purpose and Intent

The Architectural Review Committee, hereinafter referred to as "ARC", shall be established to ensure compliance with the Design Standards, as approved and adopted by the City of Cedar Hills. Although enforceable by the City, the Design Standards shall first and foremost be applied by the Committee during home plan review, prior to issuance of a building permit.

The Architectural Review Committee shall be primarily responsible for maintaining the architectural integrity of the community. The ARC shall use these Design Standards as the basis of review as individual house plans are submitted for approval. House plans that fail to meet the criteria as outlined in this document shall not be approved.

### 1.2 Committee Organization

Five (5) individuals shall comprise the Architectural Review Committee with three (3) members constituting a quorum. Members of the Committee shall initially be appointed by Lone Peak Links, L.L.C. and shall primarily be made up of design and building professionals. Residents of the City of Cedar Hills who are not design professionals shall also be considered for appointment on the ARC. Although residents at large appointed to the ARC must be residents of Cedar Hills, design and building professionals appointed to the ARC do not.

Each member of the ARC shall carry one vote and a simple majority shall rule. The ARC shall elect a chairman and vice chairman who shall serve one-year terms. New elections must be held each year and consecutive terms as chairman and vice chairman are permissible.

Upon occupancy of all of the homes within The Cedars, the presidency of the Home Owners' Association shall appoint the members of the Architectural Review Committee upon expiration of terms of the sitting members.

### 1.3 Architectural Review Process

The Architectural Review Committee shall meet weekly for the review of home plans to be built within The Cedars. The Committee shall establish the time and dates for meetings. Prior to application for a building permit, each home plan must be reviewed and approved by the ARC. The City should not accept plans for building permit review without the approval of the ARC.

Architectural Review Committee approval shall not constitute City approval for a building permit. A fee of \$50 per home plan must be paid to the ARC at the time application is made for building plan review.

**APPLICANTS**

SUBMIT REQUIRED MATERIALS TO THE ARCHITECTURAL REVIEW COMMITTEE MANAGER

**ARCHITECTURAL REVIEW COMMITTEE MANAGER**

CHECKS SUBMITTALS FOR COMPLETENESS, SETS MEETING DATES, PREPARES MATERIALS AND AGENDAS FOR MEETINGS

**ARCHITECTURAL REVIEW COMMITTEE**

REVIEWS APPLICATIONS FOR CONSISTENCY WITH THE DESIGN GUIDELINES AND BASIC DESIGN PRINCIPLES,  
APPROVES OR DENIES APPLICATIONS

**ARCHITECTURAL REVIEW COMMITTEE MANAGER**

PREPARES MINUTES OF ARCHITECTURAL REVIEW COMMITTEE MEETINGS, PROVIDES WRITTEN VERIFICATION OF APPROVALS,  
PREPARES FILES FOR APPROVED PLANS

**APPLICANTS**

PROVIDE THE CITY WITH WRITTEN VERIFICATION OF ARCHITECTURAL REVIEW COMMITTEE  
APPROVAL, APPLY FOR AND OBTAIN A BUILDING PERMIT FROM THE CITY OF CEDAR HILLS

**ARCHITECTURAL REVIEW COMMITTEE INSPECTOR**

RECEIVES APPROVAL FILES FROM THE ARCHITECTURAL REVIEW COMMITTEE MANAGER, INSPECTS HOMES FOR

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ERROR: undefined  
OFFENDING COMMAND: 1782  
STACK:

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# The Cedars

## Design Standards

### SECTION I: Architectural Review Committee

- 1.1 Purpose and Intent
- 1.2 Committee Organization
- 1.3 Architectural Review Process

### SECTION II: Architectural Standards

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**5.1 Purpose and Intent**

**5.2 Styles**

**SECTION VI: Fencing**

**6.1 Purpose and Intent**

**6.2 Location and Height**

**SECTION VII: STREETS**

**7.1 Purpose and Intent**

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## Document Goals

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ENT 21551:2001 PG 105 of 142

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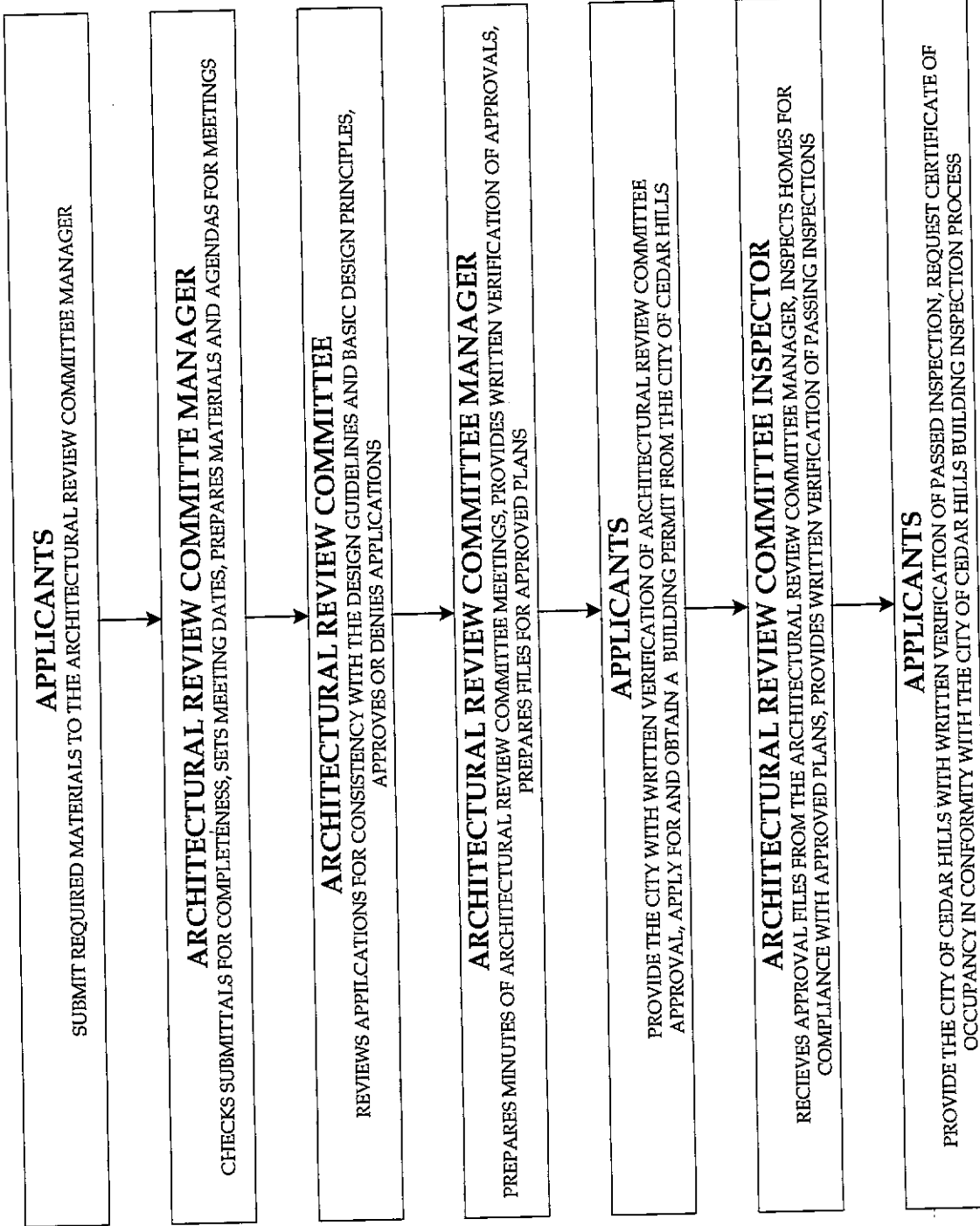
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Architectural Review Committee approval shall not constitute City approval for a building permit. A fee of \$50 per home plan must be paid to the ARC at the time application is made for building plan review.



Outline of Architectural Review Committee process. This process is to be repeated, in accordance with the Home Owners' Association bylaws and the Codes, Covenants and Restrictions, for any significant alterations of existing homes.

To ensure compliance with these Design Standards and to receive approval by the ARC, it is recommended that architects and other design professionals be utilized in the preparation of house plans. The ARC shall require, at a minimum, the following:

- a. A plot plan, to scale, that illustrates the property lines, setback lines or building envelopes, easements, home location or footprint, driveway and accessory buildings. If the lot contains slopes in excess of eight percent, a cross section of the driveway, home and finished grading shall accompany the plot plan.
- b. A landscaping plan showing the location of irrigation systems, types of groundcover, shrubs and trees. This plan shall also include locations and details on any proposed retaining walls and fences.
- c. Floor plans of each floor, to scale.
- d. Elevations of all sides of the home, to scale.
- e. Specifications of all outside materials to be used on the exterior of the residence. Material boards may be required at the discretion of the ARC.
- f. A color board illustrating all colors to be used on the exterior of the home.

Within ten (10) days of receipt of the above listed materials, the ARC shall review and approve, approve with conditions, or deny the submitted plans. The ARC may approve plans conditionally or may offer suggestions for denied plans. Making conditional approvals and recommendations for denied plans shall or shall not be made at the sole discretion of the ARC. For preservation and reference in the ARC's files, any conditionally approved plans shall be resubmitted with revisions made as per the conditions of approval.

The ARC will appoint individual(s) to perform inspections to assure construction compliance with approved home and landscape plans.

## SECTION II

### Architectural Standards

#### 2.1 Purpose and Intent

The architectural style and standards are intended to encourage a variety of housing types and architectural styles which meet the demands of the Utah market, with attention to detail being a primary objective. Such elements as detached or recessed garages, front porches and traditional building materials are essential to the successful implementation of The Cedars Design Standards.

The prescribed architectural style and standards shall be followed on all structures throughout the community.

#### 2.2 Architectural Style

Architectural styles will be time-tested, traditional-style homes with classic appeal achieved through proper use of traditional materials, elegant proportions, authentic colors and details are essential to the successful implementation of The Cedars. The homes will be characterized by the use of classic details such as domers, covered porches, traditional roof styles and pitches, proper fascia thickness and details. Classic doors, windows and shutter shapes with authentic hardware will be used. The homes will show stately elegance, symmetry and balance with a high degree of curb appeal and interest.

While homes built at The Cedars should be of the classic American tradition, careful consideration must be given to the proper incorporation of modern architectural elements. Garage location must not have an adverse impact on such basic principles of design as scale and proportion and should not be a dominant feature of the streetscape.

The common replication of any one floor plan or elevation on adjacent lots will not be permitted. As the ARC reviews individual applications from lot to lot, substantial changes in the elevations, materials and colors will be required.

Careful attention should be given to the design of each home. The architectural styles of all homes shall incorporate appropriate design treatments so as to maintain the overall character and flavor of the community. The incorporation of classical roof pitches, door and window treatments and the use of proper materials and colors will all be of critical importance as the ARC focuses on any one architectural style.

2.3 Architectural Standards

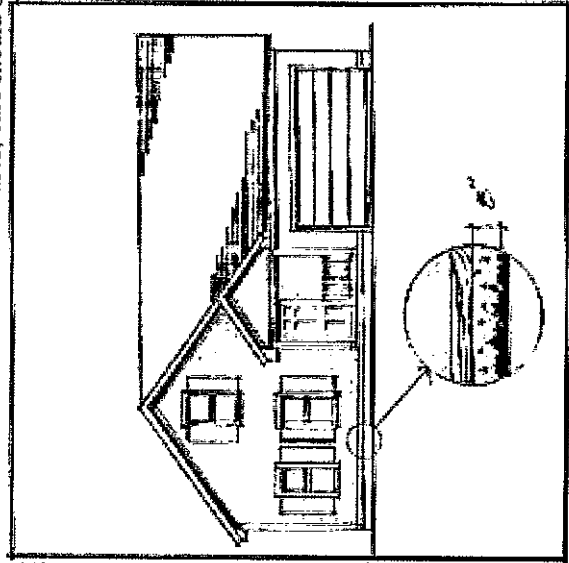
The following design standards shall be used by the Architectural Review Committee to review all building plans prior to their approval.

In cases where it is found that a proposed home plan, along with proposed materials and colors, is consistent with good architectural design but fails to meet a specific design standard, the ARC may opt to waive that individual standard. Standards shall only be waived if the ARC finds that such action would significantly enhance the overall design.

No building permit shall be issued by the City of Cedar Hills without the written approval of the ARC.

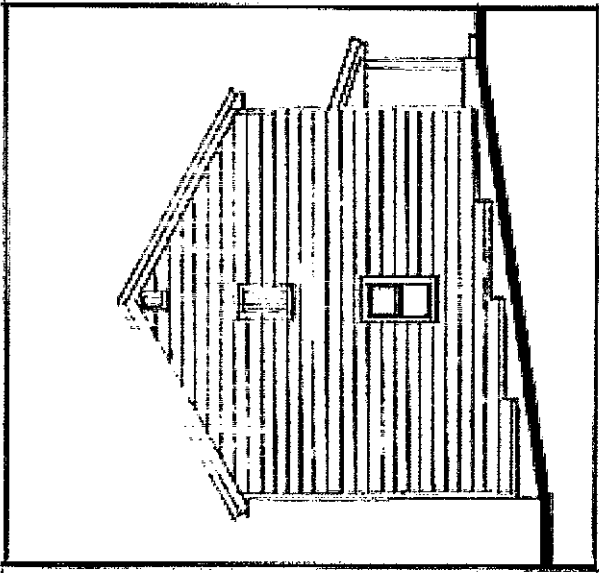
2.3.1 General Requirements

- A. Square Footage Requirements - Ramblers shall consist of a minimum of 1200 square feet finished on the main floor. Multi-Level shall consist of a minimum of 1,400 square feet finished. Two-story homes shall consist of a minimum of 1,600 square feet finished
- B. Building Height - Residential building shall not exceed two stories above the natural grade, or thirty -five (35) feet measured from the average natural grade to the mid-point of the roof, which ever is less.
- C. Foundation - A maximum of eight (8) inches of exposed concrete foundation shall be permitted on lower slopes. A maximum of eight (8) inches on the front elevation and twenty (20) inches of exposed concrete foundation shall be permitted at a side elevation where grade slopes along the building. The ARC may approve exposures in excess of these standards in cases where the sewer depth does not allow the builder to meet these standards. In such cases, care should be taken to minimize this affect.

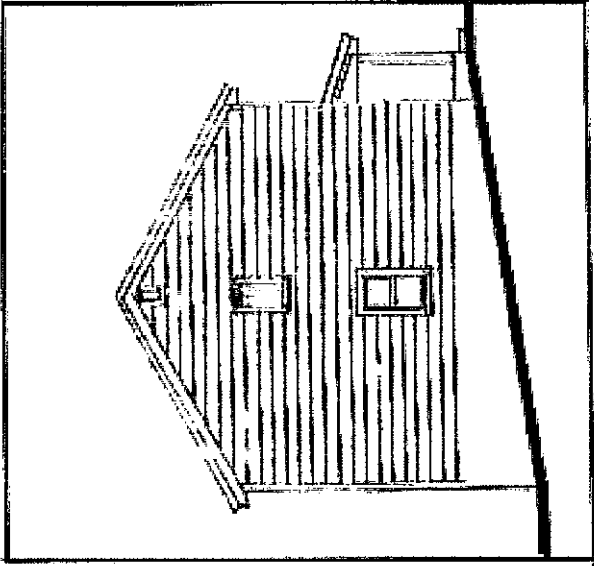


Acceptable - maximum amount of foundation exposure, 8"





Appropriate



Inappropriate

Concrete or concrete masonry units used as foundations shall be plastered and painted/colored to blend with the color palette of the home.

C. Setbacks

The incorporation of different setbacks for different areas is designed so as to maintain appropriate proportions according to the size and mass of homes. The front setback to the occupied portion of each dwelling shall be no less than ten (10) feet. In most areas the front setback shall be fifteen (15) feet, as identified on the lotting plan, to the occupied portion of the home. However, side loading garages located at the front of the home shall be set back no less than ten (10) feet. Setbacks shall be measured from the home side of the sidewalk. The minimum side yard setbacks shall be five (5) feet. The minimum rear setback shall be fifteen (15) feet. But in any instance, the lotting plan shall govern the setbacks on every lot. No portion of the main structure or garage may extend into any of portion of the setbacks, except for the eaves. The rear setback is 10" feet and no portion of the home may encroach within this area.

Attached garages, with the exception of side loading garages, shall not be located closer than twenty - two (22) feet to the sidewalk. Detached garages shall be located a minimum of five (5) feet from the dwelling.

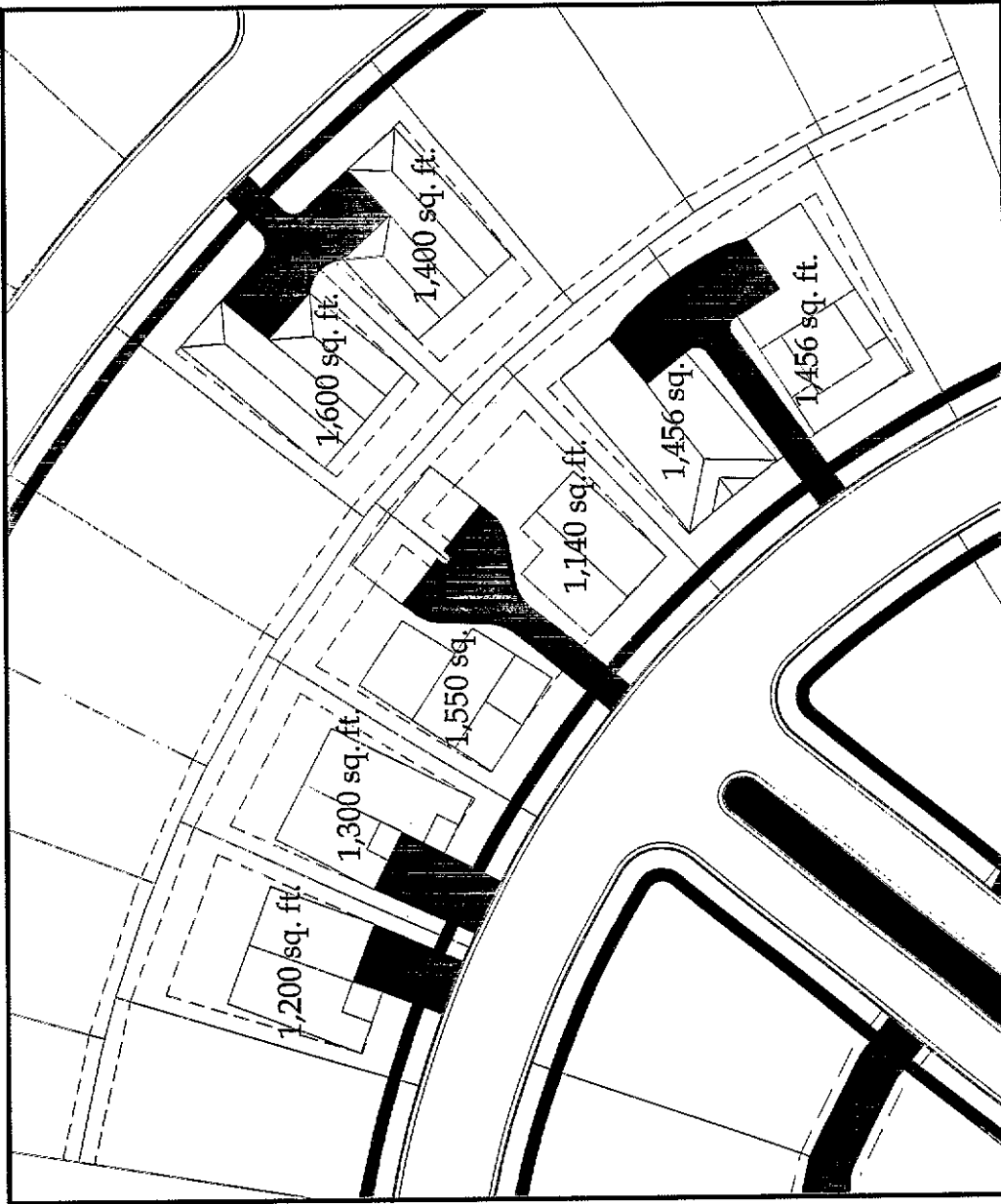


Illustration of the lotting plan of ten (10) foot front setbacks, five (5) foot side setbacks, fifteen (15) foot rear setbacks and garages which aren't a dominant part of the streetscape. This diagram represents the smallest lots in the community, the square footages provided only describe the main floor and do not include a 400 square foot 2 car garage.



Examples of home with less than ten (10) feet between homes.

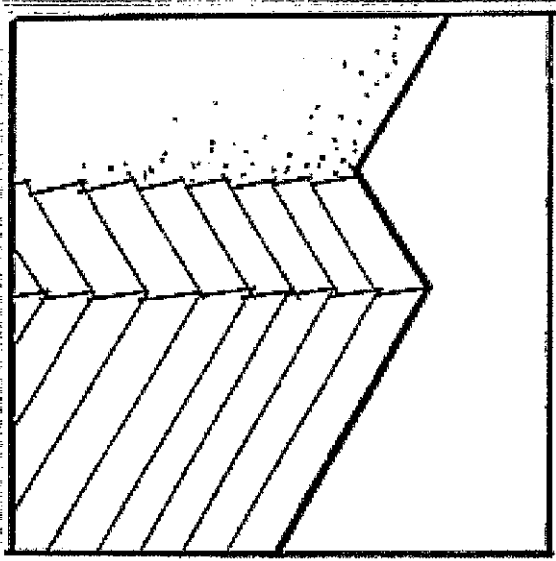
D. Materials

Minimum percentages of a cladding material (stone, brick, stucco, hardy plank, cedar or equivalent) shall not be required, however, when the primary material of the front elevation is stone, brick or stucco, that material shall be used on a minimum of twenty - five percent (25%) of the surface area on each side elevation. The design review committee shall take into consideration and encourage a variety of materials that are appropriate for all elevations of the home. However, it is recommended that all materials be maintenance free. Eighty percent (80%) of the homes must have as least fifty percent (50%) masonry on the front elevation. No more than two (2) all stucco or all siding homes in a row.

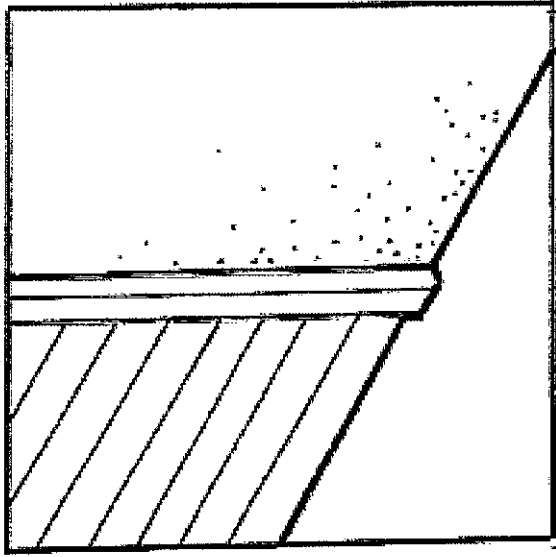
Materials shall be consistently applied to harmonize with adjacent materials.

Frequent changes in materials shall not be permitted.

Material changes shall occur at inside corners or be wrapped a minimum of two feet around a corner.



Appropriate



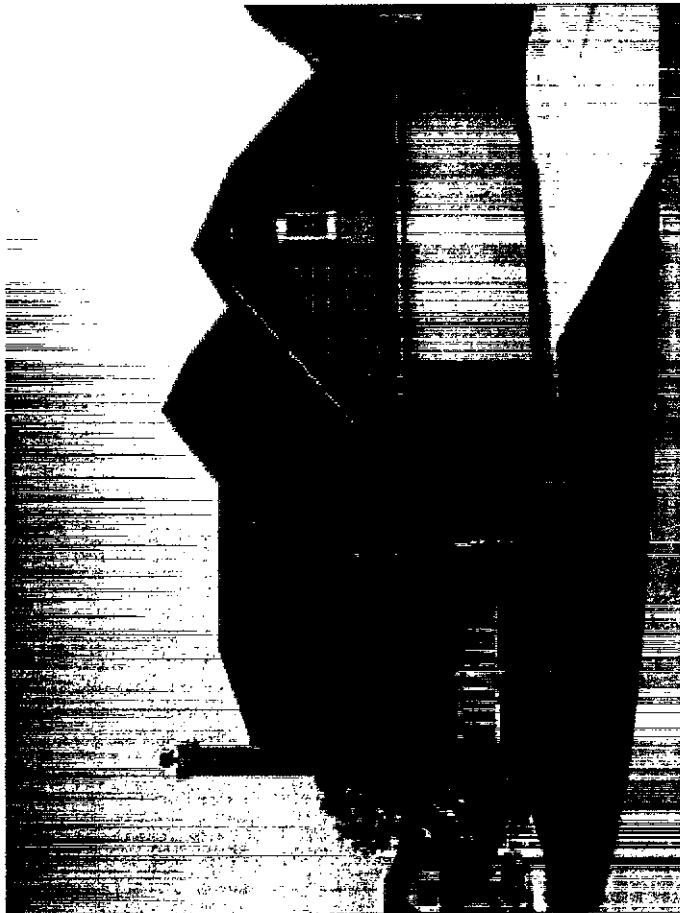
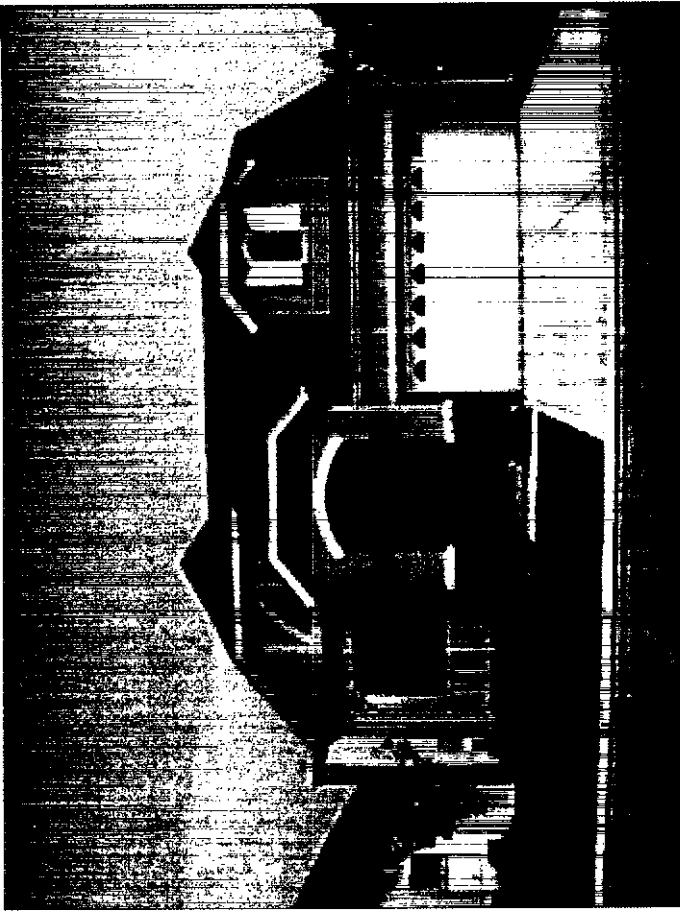
Inappropriate

Reflective materials and finishes shall be prohibited.

Siding:

- Neither vinyl nor aluminum siding shall be permitted (with the possible exception of soffits).
- Siding dimensions from the front elevation shall be consistent with all elevations.
- A minimum of six-inch trim at window heads and four-inch trim at window jambs and sills shall be required.
- A minimum of four-inch trim shall be required beneath soffits and rake conditions.
- A minimum of four-inch corner boards shall be required on both planes and outside corners.
- A skirt board of eight inches (minimum) shall be required at the base of bays and in locations where siding meets foundation.
- Unarticulated four foot by eight-foot butt-jointed sheets of any material shall be prohibited as a cladding material.
- The maximum width of siding shall be eight inches.
- Doors shall be trimmed to match windows and other openings.

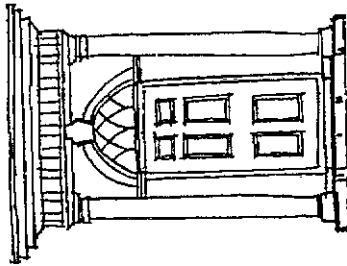
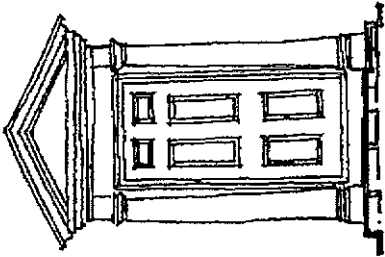
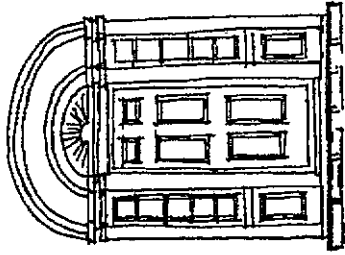
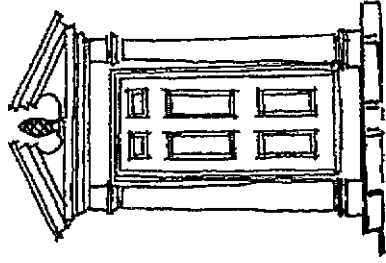
The ARC shall consider the materials used on adjacent homes, when applicable, when reviewing individual home plan approval applications. To prevent monotony, substantial variations in materials shall be incorporated from home to home.



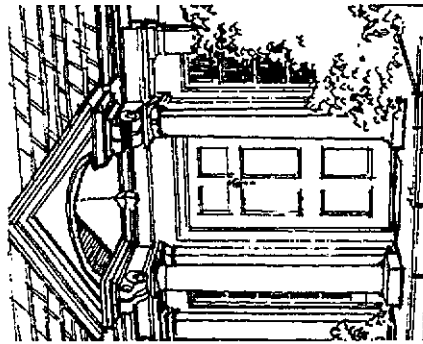
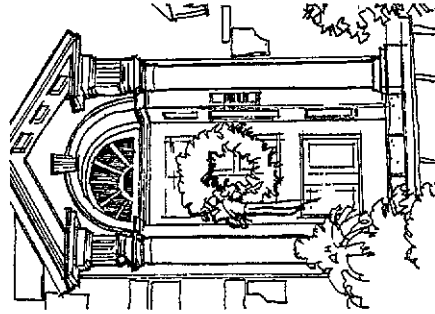
Example of appropriate material variations from home to home.  
While materials change from home to home, a distinct sense  
of place is created as continuity is maintained.

E. Details

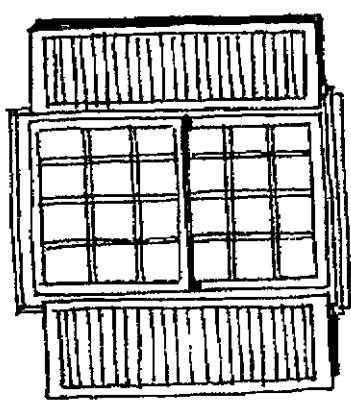
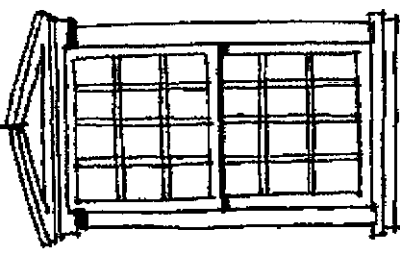
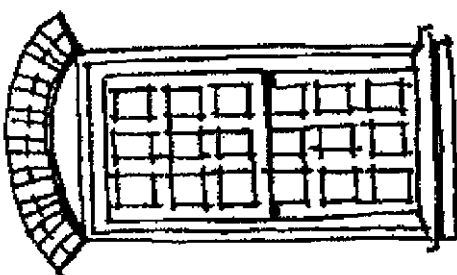
Particular attention will be paid to the incorporation of appropriate details at windows doorways and other locations on the homes.



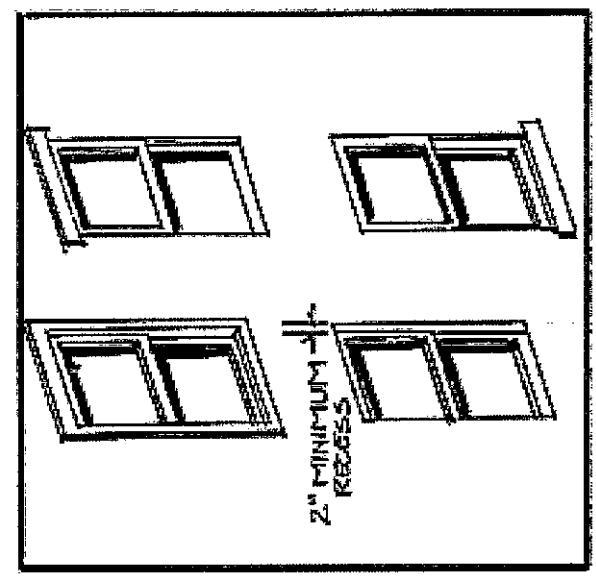
Samples of appropriate door designs.



Samples of appropriate door treatments.



Examples of appropriate window accents and shutter proportions.



Openings at stucco locations shall have trim at all four sides, a 2" minimum recess from the façade, or a header or sill detail.

F. Solar Panels

Solar panels shall be integrated into the roof design and consistent with the roof slope.

Frames shall be colored to match the roof.

All associated mechanical equipment shall be screened from view.

G. Evaporative Coolers

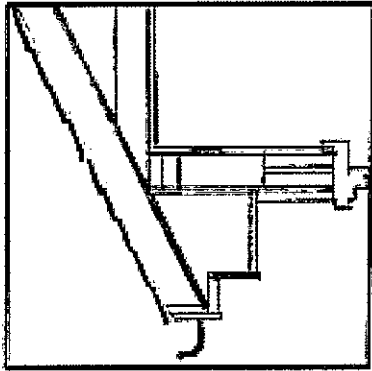
Evaporative coolers of any kind shall not be permitted.

H. Roofs

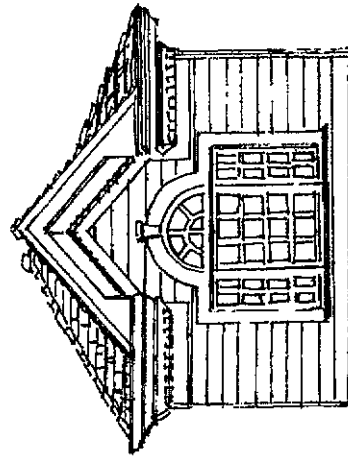
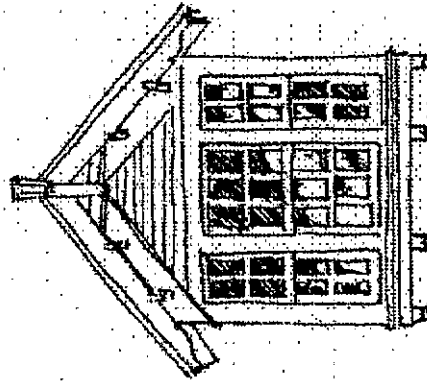
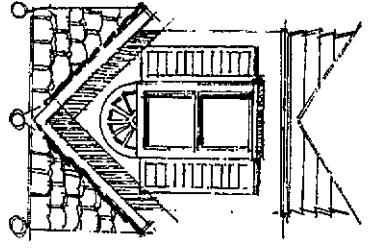
Architectural grade shingles and cedar shakes are all acceptable roofing materials. Other materials must be specifically approved by the ARC.

A minimum of 12-inch eave overhang with boxed soffit shall be required.



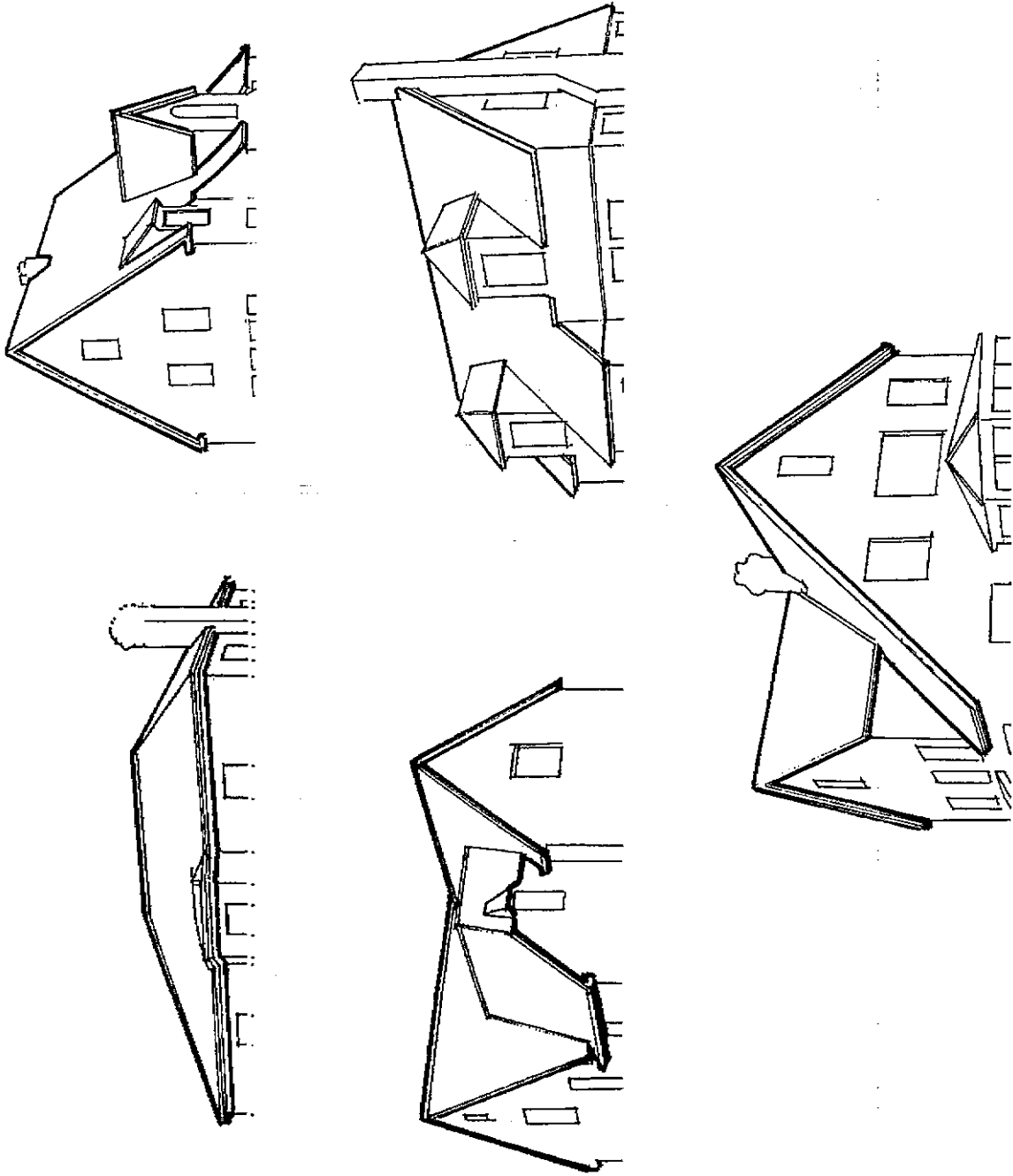


Example of boxed soffit



Examples of dormers with appropriate window and shutter proportions.

Rooflines shall be consistent with the selected architectural style of the home.



Examples of proper rooflines.

## I. Garages

Garages should not dominate the streetscape. To accomplish this on homes with front-loading garages, the home must represent at least thirty - five percent (35%) of the front face of the house. Homes where the garage extends more than ten (10) feet beyond the front of the home and does not meet this thirty - five percent (35%) minimum stand shall not represent more than ten percent (10%) of the homes in the development. Homes with garages located within the rear yard of the home are encouraged. The remaining homes may either be side-loading in front of the home or front-loading with a minimum setback behind the occupied portion of the home of five (5) feet. But in no circumstances shall front-loading garages be closer than twenty two feet (22') from the setback

Front-loaded garage doors shall be recessed a minimum of eight inches from the face of the garage door wall. Sectional garage doors are mandatory.

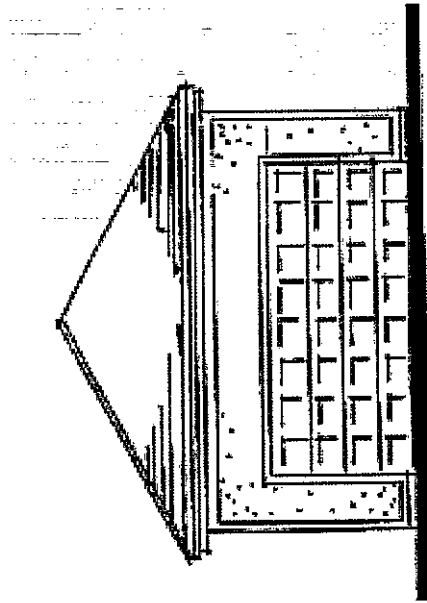
Garage doors shall match painted base color of the home. Upon specific approval of the ARC, the garage door color may match this trim color of the home. White doors shall only be approved if it is found that white would significantly enhance the aesthetics of the design.



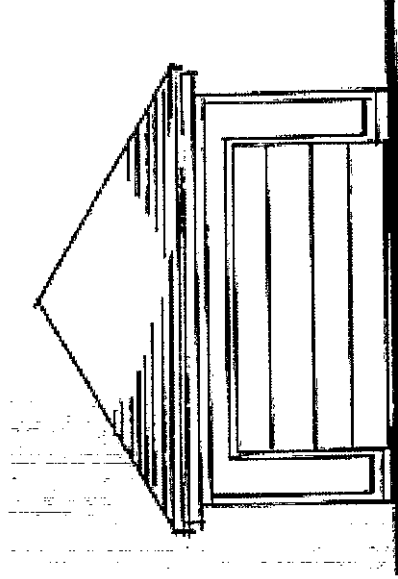
Example of appropriate coloring of garage door



Examples of appropriately situated, side entry garage.



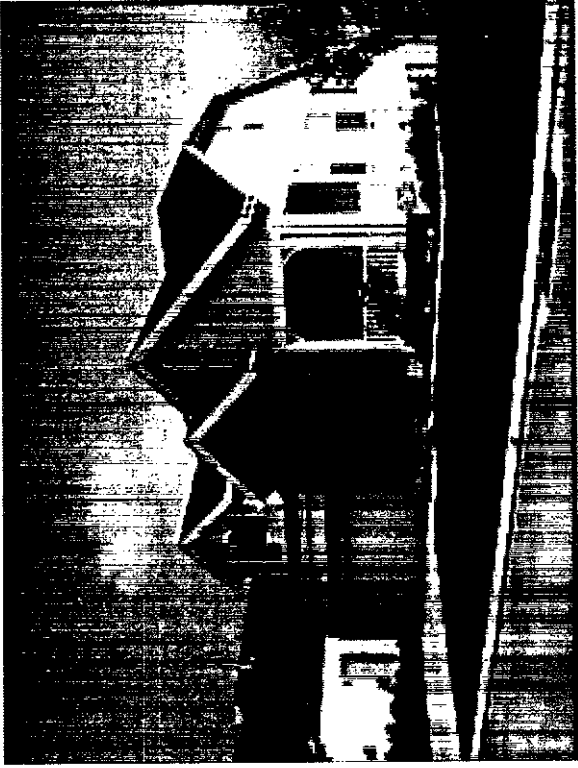
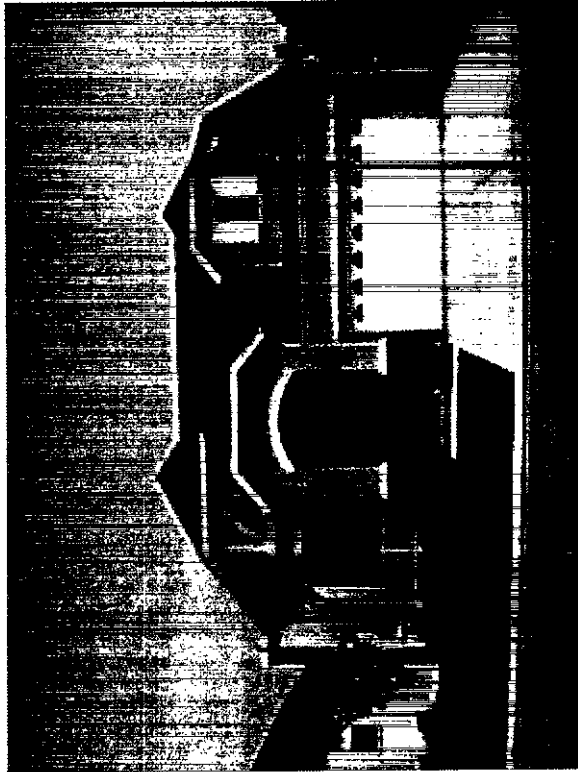
Appropriate detail on garage door



Inappropriate garage detail, lack of design

J. Porches and Covered Entries

Homes with covered entries are encouraged. A covered entry is not a porch.



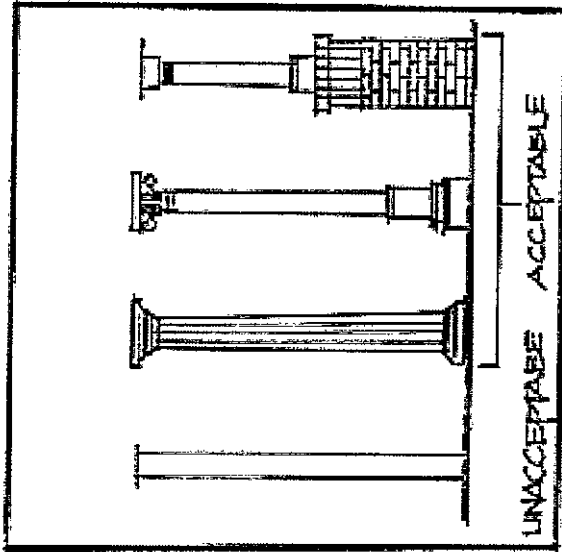
Samples of homes with appropriate porches.

When a house has a porch, the following standards shall apply:

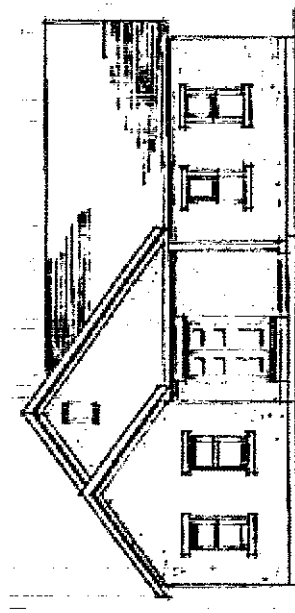
- a. A minimum porch column size of six inches (6") by six inches (6") with trimmed cap and base, or decorative columns proportioned to fit the facade of the house shall be required.
- b. It is recommended that porches have a minimum depth of six feet and a minimum area of eighty (80) square feet.
- c. Porches for recessed garage designs shall have a width no less than twenty percent (20%) of the front elevation.
- d. Railings are required.
- e. Exposed wood shall be stained or painted.

K. Streetscape

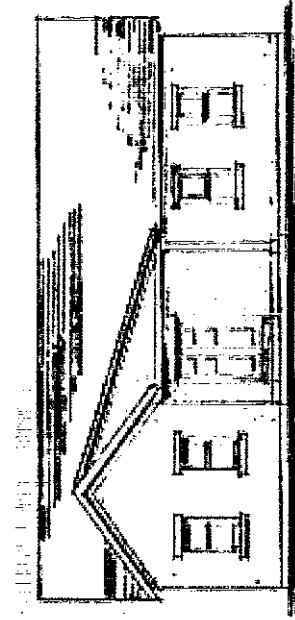
If a house plan is repeated, a minimum of five (5) distinct color schemes and elevations shall be developed.



A decorative column or minimum 6" x 6" trimmed column shall be required



Covered decks shall have roof forms consistent with rooflines.



Covered decks shall not detract from the design of the home.

Houses sited on five (5) adjacent lots (on the same side of the street) or three (3) lots directly across the street (sharing frontage) shall have different plans or elevations.

Houses sited on five (5) adjacent lots (on the same side of the street) or three (3) lots directly across the street (sharing frontage) shall have different color schemes.

L. Colors

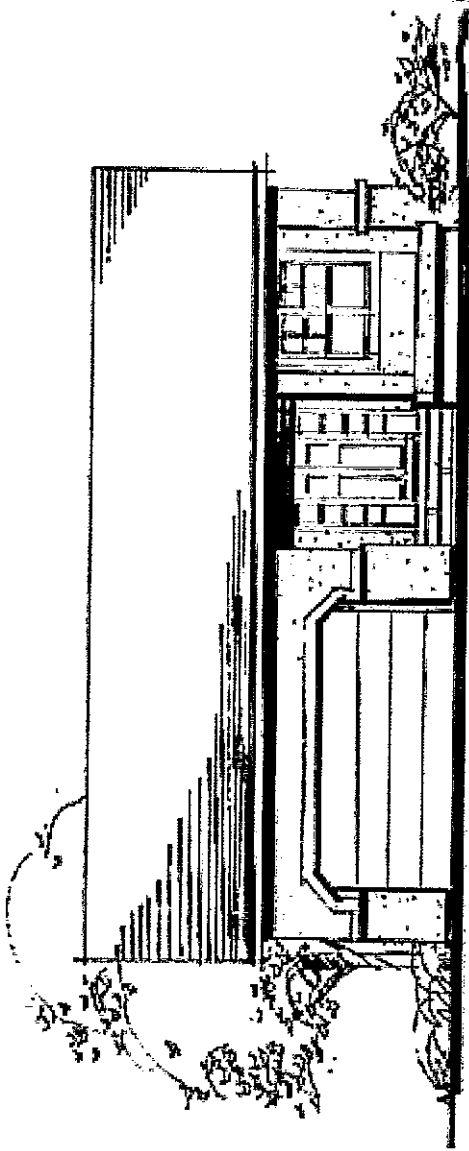
All color schemes shall be consistent with, and shall complement, the selected architectural style of the home. It is strongly suggested that design professionals participate in the selection of color schemes prior to plan submittal. Sherman-Williams has prepared a "Preservation Palette" which may be an excellent tool in selecting appropriate colors for each home.

Garage door color(s) shall compliment the body color(s). White doors shall not be permitted unless the Architectural Review Committee finds that white doors would enhance the design of the home.

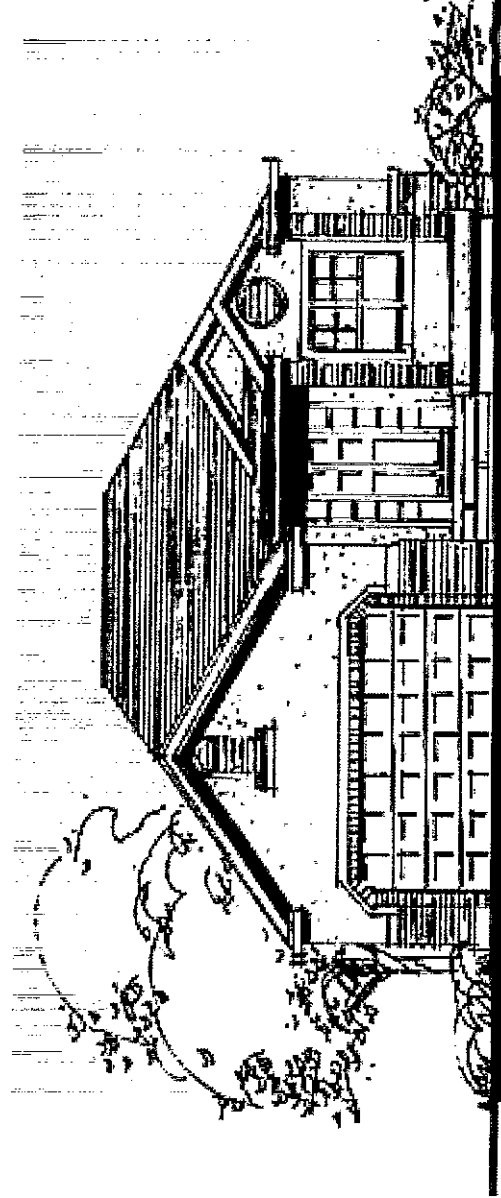
Trim colors shall contrast with the body color.

Trim, soffit, gutter and downspout colors shall be complimentary or match.

While diversity and variety is expected along any given street, variation alone shall not be the only element considered when selecting colors from one home to the next. Colors selected from homes along any given street should help to create a harmonious atmosphere. Ken Harris & Associates has developed a series of color palettes that would be acceptable in The Cedars. These color palettes will be available at the ARC and encouraged as acceptable color schemes within the community.



Inappropriate design: Poor roofline design, mundane materials, lack of detail, etc...



Appropriate design: Good roofline design, good use of materials, attention to details, etc...



## SECTION III Landscaping Standards

### 3.1 Purpose and Intent

The following landscape standards are intended to create a uniformity of quality, materials and designs for front yards and park strips throughout the community. Landscaping must be completed prior to occupancy of each home or a bond for such landscaping must be posted with The Cedars Home Owners' Association if landscaping cannot be completed due to inclement weather.

Landscaping shall be constructed in accordance with the Final Landscape Plan and developers agreement. This includes the construction of landscaping in common areas, street rights-of-way and individual lots.

### 3.2 Community Entries

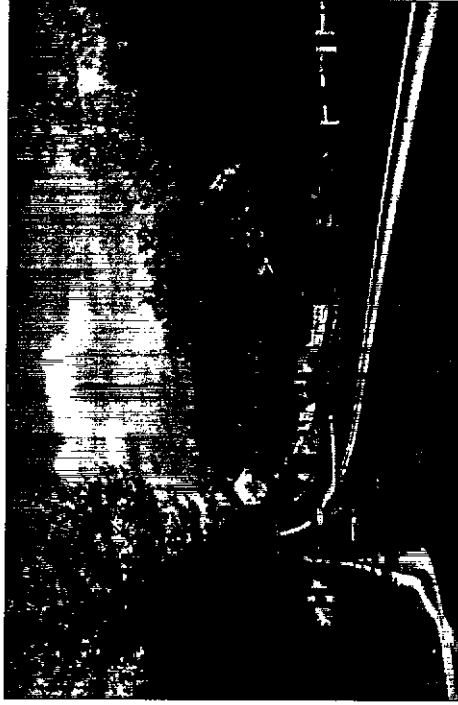
Community entries are of primary importance to the City of Cedar Hills, as well as to The Cedars development team. Community entries shall include signage distinct to Cedar Hills that is aesthetically pleasing. This signage may be replicated by the City at other points of entry to the City.



Conceptual drawing of proposed entrance monument.

**3.3 Boulevards**

The boulevards within The Cedars include seven-foot (7') park strips as well as a sixteen-foot (16'), planted median. Because the boulevards will set the tone for the community prior to actual arrival, emphasis shall be placed on creating a park-like, pedestrian-friendly atmosphere.



Similar boulevard design.

**3.4 Residential Streets**

Residential streets shall be provided with six-foot (6') parkstrips on each side. This will allow for ornamental trees but is not intended to support large shade trees. The species of ornamental trees is designated on the landscape plan. Street trees shall be installed in accordance with the Final Landscape Plan. It shall be the responsibility of the Home Owners' Association to maintain the street trees as outlined in the C.C.&Rs.

**3.5 Individual Lots**

Landscaping, including the installation of an irrigation system, grass and the specified street trees in the parkstrip, must be completed prior to occupancy of each home. A landscaping plan shall be presented to the architectural review committee as part of the home plan review process. The Architectural Review Committee shall consider factors such as solar orientation, slopes, setbacks, consistency with the proposed home plan and consistency with the required street trees in their review of proposed landscape plans. In the event that the growing season, or immediate lack of, would make the installation of landscaping prior to occupancy unreasonable, a performance bond for the installation of landscaping must be posted with The Cedars Home Owners' Association. Each yard must have three (3) trees, two in the front yard and one in the back yard. One of the front yard trees must have a 4 inch caliper.

### 3.6 Pedestrian Connections

The pedestrian connections shall be landscaped in accordance with the Final Landscape Plan. Maintenance of landscaping in these connections shall be the responsibility of the Home Owners' Association.

### 3.7 Materials

The following list of planting materials is recommended for use. Alternative types may be used upon approval of the ARC. The minimum size for deciduous trees shall be 1 ½ inch caliper and the minimum side for coniferous trees shall be five feet. The minimum shrub size shall be five gallons unless a one-gallon shrub is specifically recommended by a landscape architect and approved by the Committee.

#### Evergreen Trees

Colorado Spruce (*Picea Glauca*)  
 Scotch Pine (*Pinus Sylvestris*)  
 Austrian Pine (*Pinus Nigra*)  
 White Fir (*Abies concolor*)

#### Shade Trees

Norway Maple (*Acer Platanoides*)  
 Little Leaf Linden (*Tilia Cordata*)  
 Armstrong Red Maple (*Acer rubrum "Armstrong"*)  
 Red River Birch (*Betula nigra*)

#### Large Ornamental Trees

Chatricleer Pear (*Pyrus Callendryana "Capital"*)  
 Bradford Pear (*Pyrus Callendryana "Bradford"*)  
 Purple Leaf Plum (*Prunus c. "Krauter Vesuvius"*)  
 Kwanzan Cherry (*Prunus Serrulata*)

#### Small Ornamental Trees

Japanese Maple (*Acer Palmatum*)  
 Brandywine Crab (*Malus Brandywine*)

#### Shrubs

Pumilo Dwarf Mugo Pine (*Pinus Mugo Pumilo*)  
 Shrubby Cinquefoil (*Potentilla Fruticosa*)  
 Dwarf Burning Bush (*Euronymus Alatus "Compacta"*)  
 Creeping Mahonia (*Mahonia Repens*)  
 Horizontal Juniper (*Juniperus Horizontalis*)  
 Rose of Sharon (*Hibiscus syriacus*)  
 Spirea (*Spirea "Little Princess"*)

3.8 Maintenance

As this plan has been designed to help establish a community theme, it shall be the responsibility of the following parties to perpetually maintain various landscaped areas:

- |                                  |  |
|----------------------------------|--|
| Common areas (parks and trails)  | The Cedars Home Owners' Association                                    |
| Collector street rights-of-way   | The Cedars Home Owners' Association                                    |
| Pedestrian Connections           | The Cedars Home Owners' Association                                    |
| Residential street rights-of-way | The Cedars Home Owners' Association                                    |
| Individual lots                  | Individual lot owner with responsibilities as outlined in the C.C.&R.s |

# SECTION IV Signage

## 4.1 Purpose and Intent

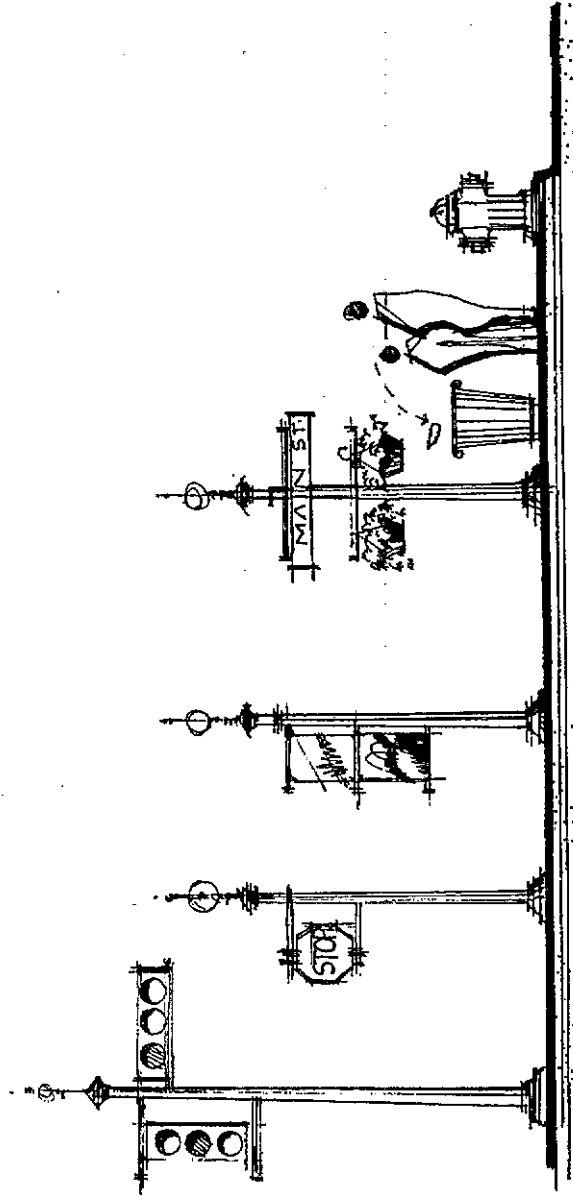
Distinct signage will help establish a sense of arrival upon entering The Cedars. Also, as signage plays an important role in the landscape of public spaces, the signage standards will help to foster a feeling of community throughout The Cedars.

## 4.2 Styles

The following standards and designs shall be followed for entrance features, traffic signs, street signs and sales signs within the community.

The entrance features shall be constructed in accordance with the designs as prepared by Landco Development Company. These features shall be perpetually maintained by the Cedars Home Owner's Association as specified in the C.C.&Rs.

Traffic signs shall be constructed in accordance with the design selected by Landco Development Company.



Conceptual rendering of the lighting and signage that is anticipated.

Traffic, street and other signage shall reflect the architectural theme of the development. Temporary signs identifying home or lots that are for sale, rent, or lease shall conform to the following standards.

- Temporary signs shall not exceed a total of four (4) square feet per side.
- Fluorescent colors are not permitted in any part of temporary signs.
- Temporary signs shall be kept in good repair at all times.

Individual home addresses shall be placed on approved, provided, plaques for non-masonry homes and shall be built into masonry homes in accordance with the design prepared by The Cedars development team.

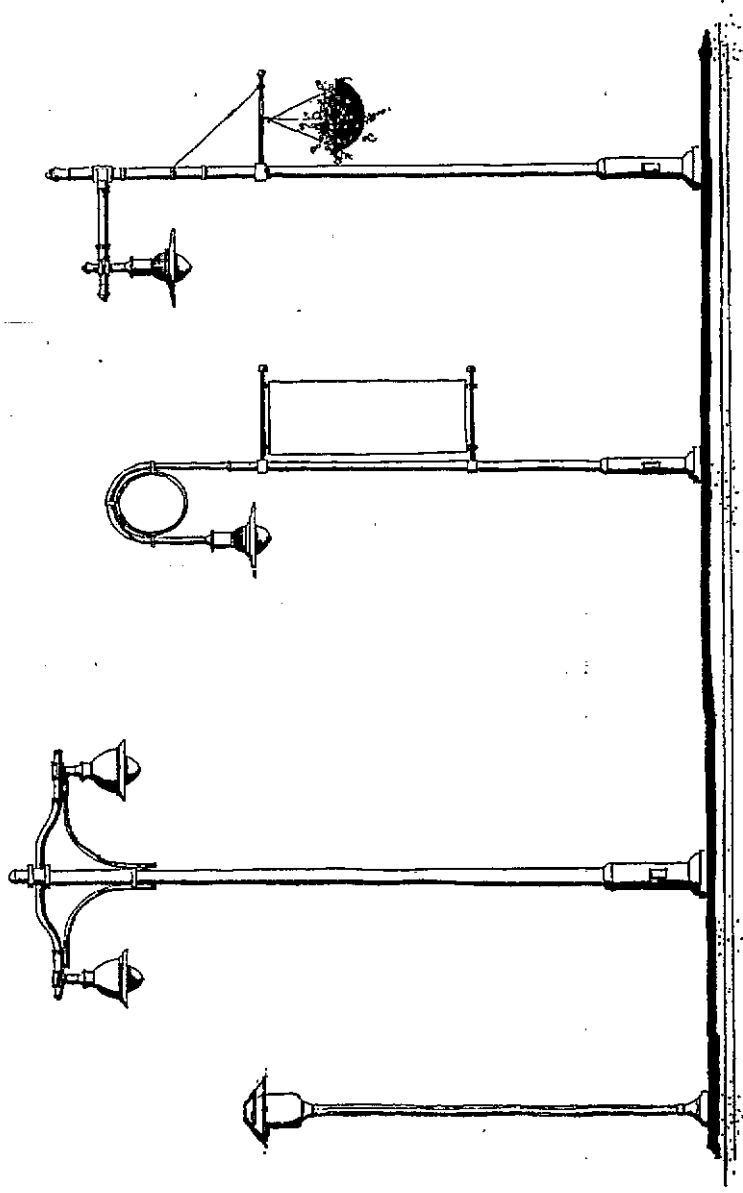
## SECTION V Lighting

### 5.1 Purpose and Intent

Lighting in the Cedars shall provide a safe, inviting environment without detracting from the tranquility of the community.

### 5.2 Styles

Light shall be installed as specified on the lighting plan.



Conceptual rendering of street lighting style.

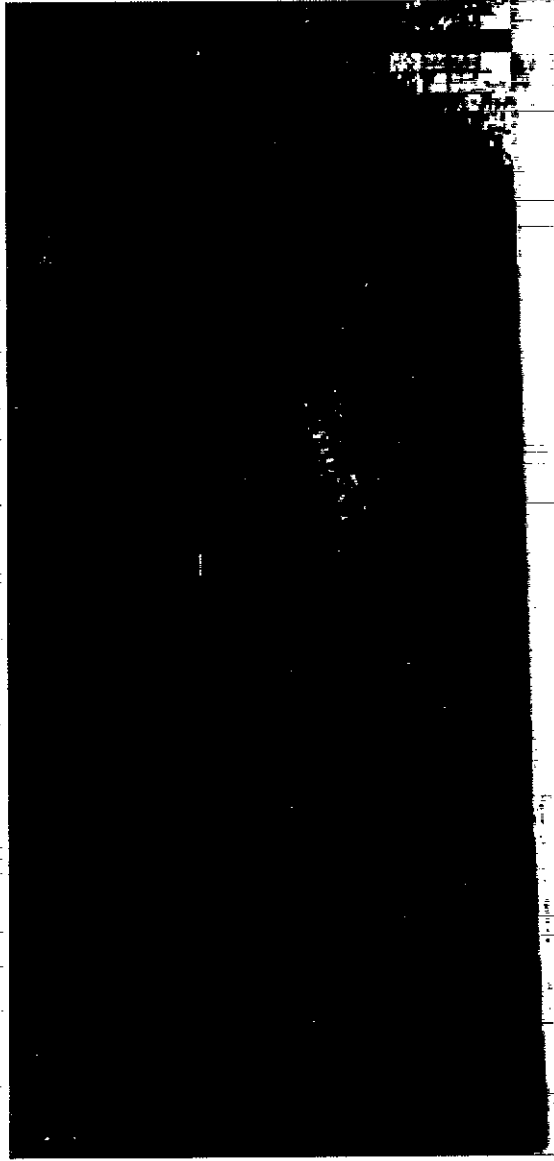
Individual lots shall provide lighting which, to a reasonable extent, is consistent with the architectural theme and provides a safe and attractive environment. As such, yard lighting shall be encouraged. Individual lot lighting shall be reviewed by the Architectural Review Committee as part of the house plan approval process.



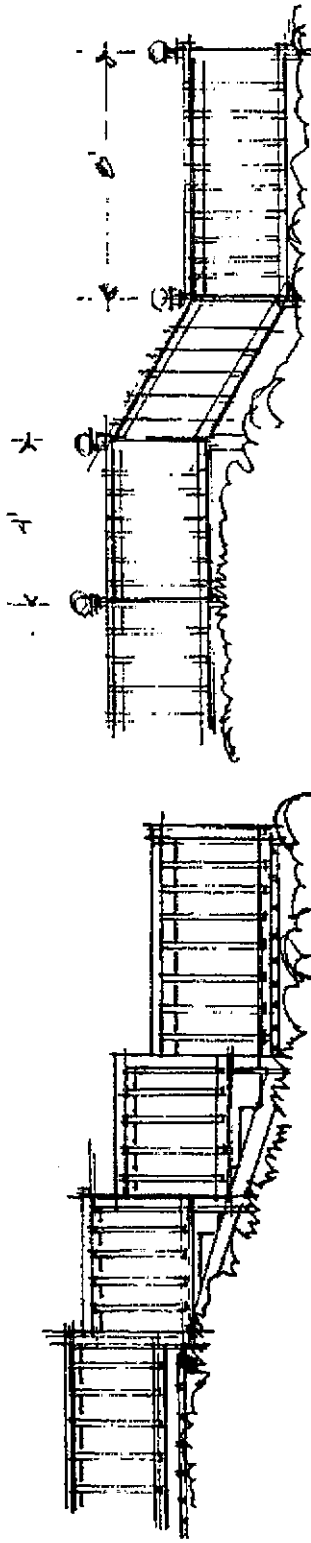
## SECTION VI Fencing

### 6.1 Purpose and Intent

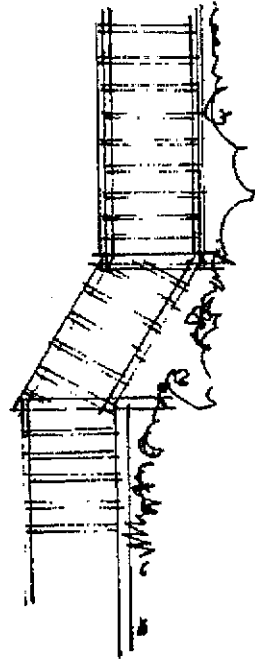
Fencing often dominates the landscape in today's residential neighborhoods. With this in mind, only rough-iron fences approved by the Home Owners' Association shall be allowed and this fence will uniform through the development.



Fencing in the hillside areas shall be installed in accordance with the example below:



Example of fencing correctly installed on hillside.



Example of fencing incorrectly installed on hillside.

**6.2 Location and Height** Any fence or hedge located in the front yard shall not exceed three (3) feet in height. Any fence or hedge located behind the front of the home shall not exceed five (5) feet in height.

## SECTION VII Streets

### 7.1 Purpose and Intent

All streets within The Cedars have been designed to beautify the community and to encourage pedestrian use. Appropriate asphalt widths, increased landscaping and the separation of vehicular travel lanes and pedestrian ways are common to all streets.



Street with median to help calm traffic and to beautify corridor, grade separated sidewalks to create a safe environment for pedestrians and decorative lighting to help create a sense of place.

WHEN RECORDED MAIL TO:  
Grantees

**WARRANTY DEED**

LONE PEAK LINKS, L.L.C., a Utah Limited Liability company, for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable consideration, hereby **CONVEY and WARRANT** to

CITY OF CEDAR HILLS,

as GRANTEES, the following described real property situated in Utah County, State of Utah, to-wit:

Parcel 1:

Lots 7, 8, 9, and 10, Plat "D", THE CEDARS AT CEDAR HILLS SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah County Recorder.

Subject to current general property taxes.  
Subject to easements, conditions, covenants and restrictions of record.

Dated this        day of        , 2001.

LONE PEAK LINKS, L.L.C

\_\_\_\_\_  
Kenneth G. Briggs, Manager

STATE OF UTAH                    )  
  :ss.  
COUNTY OF SALT LAKE        )

The foregoing instrument was acknowledged before me this    Day of    , 2001, Kenneth G. Briggs, Manager of Lone Peak Links, L.L.C., a Utah Limited Liability Company.

\_\_\_\_\_  
NOTARY PUBLIC



