



\*W2583258\*

EH 2583258 PG 1 OF 98  
ERNEST D ROWLEY, WEBER COUNTY RECORDER  
28-JUN-12 126 PM FEE \$218.00 DEP SPY  
REC FOR: OGDEN SOUTH RIVER TOWNHOMES LL

## MIXED USE ZONE DEVELOPMENT AGREEMENT

### (THE MEADOWS AT RIVERBEND)

03-046-0001 to 0016

<sup>7<sup>th</sup></sup> This Mixed Use Zone Development Agreement (“**Agreement**”) is entered into on this day of June, 2012, by and between Ogden City, a Utah municipal corporation (“**City**”), 2549 Washington Boulevard, Ogden, Utah, 84401, SOUTHRIVER TOWNHOMES, LLC, a Utah limited liability company (“**Developer**”), 2262 Silver Pointe Way, Bluffdale, Utah 84065, and Ogden City Redevelopment Agency, 2549 Washington Boulevard, Ogden, Utah 84401 (“**Agency**”). City, Developer and Agency may each be hereinafter referred to as a “**Party**” or collectively as the “**Parties**.”

WHEREAS, Developer has proposed to develop a portion of the property within the Ogden River Redevelopment Project Area (the “**ORRPA**”); and

WHEREAS, the Final Project Area Plan (“**Redevelopment Plan**”) for the ORRPA, dated June 20, 2002, includes development objectives, design objectives, and specific design objectives and controls to achieve the purposes for which the Redevelopment Area was established; and

WHEREAS, the land covered by this Agreement is also located in a mixed use zone, for which the Ogden Bend Redevelopment Master Plan and Design Guidelines, dated May 2011, prepared by Urban Design Associates (“**Master Plan**”), has been adopted to guide and regulate development within the ORRPA and in support of the Redevelopment Plan (a copy of the Master Plan is attached as **Exhibit A** and incorporated herein by reference) For purposes of this Agreement “**Design Guidelines**” shall mean the design guidelines as contained in the Master Plan; and

WHEREAS, Developer is prepared to comply with the Master Plan in the development of the land in the manner described in this Agreement in exchange for the increased density and development opportunities which are afforded it in the mixed use zone;

NOW THEREFORE, in consideration of the mutual covenants and conditions contained herein, the Parties agree as follows:

1. Project Area and Ownership: The land which is the subject of this Agreement is located in Weber County, State of Utah, and is more fully described as follows:

All of Lot 5, Ogden River Drive Subdivision, as recorded with the Weber County Recorder’s Office on December 19, 2006, at Book 65 Page 6 of plats.

SS.  
HW

(hereinafter referred to as "Lot 5," Lot 5 as it shall be subdivided and improved is referred to herein as the "Project")

Lot 5 is currently split into two parcels with the Agency owning about 2.91 acres (Land Serial #03-041-0011) and Developer owning about 1.19 acres (Land Serial # 03-041-0010). Both Agency and Developer grant their consent to this Agreement and consent to the recording of this document making all of Lot 5 subject to the terms and conditions of this Agreement. Developer, or its affiliated entities, has entered into a contract with the Agency to purchase the remainder of Lot 5. Developer and City have determined to enter into this Agreement to outline certain agreements in regards to the development of Lot 5 according to the terms contained herein.

2. Project Configuration: Lot 5 is generally configured as shown on page 1.11 of the Master Plan as the western half of the development block between Grant Avenue and Washington Boulevard and between Park Boulevard and 20<sup>th</sup> Street, and as more fully depicted in the site plan documents attached hereto as **Exhibit B**, (the Project Site Plan) which is incorporated herein by reference.
3. Project Development Standards: The following development standards and regulations shall govern the residential units (each a "Unit") constructed within the Project under this Agreement.
  - a. The placement of a building on a lot, the building configuration and the architectural style of the building shall comply with the chart on page 2.11 of the Design Guidelines, except that Units 3-5 shall have a front yard setback as shown on the Project Site Plan to allow for installation of additional open space.
  - b. Four different types of townhome units have been reviewed and approved by City. They are: transitional Modern, Victorian, Arts & Crafts A and Arts & Crafts B. Minor floor plan modifications may be made by Developer to fit a Unit onto a particular lot, but in no case shall the total square footage of any Unit drop below 1,300 square feet. The exterior design of each Unit shall be consistent with the character sketches included in **Exhibit C** (the Unit Plans) and with the Design Guidelines. The final exterior elevation and the color and materials palette for each Unit shall be reviewed and approved by the City's Planning Department prior to the issuance of a building permit to determine compliance with the Design Guidelines. The Unit Plans will incorporate variations based on the Design Guidelines and buildings will not utilize a repetitive exterior elevation. It is the Developer's duty to maintain the exterior of a completed building, including entry porches and stairs, until all Units in a given building are sold and exterior maintenance is assumed by the The Meadows at Riverbend Homeowner's Association (the "**Association**") as provided in the recorded Community Declaration for the Association.
  - c. Each Unit shall be located on a lot, and lots shall be arranged as shown on final recorded plats for subdivision phases within the Project. Lots shall not be smaller than 860 square

S.S.

feet nor larger than 1,350 square feet. Stairs leading to a Unit shall not extend into the public right of way.

- d. Each Unit shall include two parking spaces within an enclosed garage. Additional guest parallel parking shall be provided within the Project as shown on the Project Site Plan. Except for designated parallel parking locations, no parking is allowed within the boundary of the Project, including in any alleyway, access way, roadway or in any rear alley setback.
- e. Landscaping within the Project shall comply with the Design Guidelines.
  - i. The final elevation of all Units shall not utilize mounding of earth around the base of the buildings, but shall include a building base with detail which shall be shown on the approved plans.
  - ii. Where a rear alleyway is perpendicular to a public street and is not shielded from the public right of way by a building, Developer shall provide a screening detail, approved by the Ogden City Planning Department, with a minimum height of four feet that is consistent with the design of the overall Project and adjacent buildings, and as generally shown on **Exhibit D** (the Alleyway Screening Plan), attached hereto and incorporated herein by reference.
  - iii. Mailboxes for the entire Project shall be placed in a single location at the south end of the green space / detention area located in the Phase 1 area.
  - iv. Trash service, including recycling and green waste, shall not be provided by City. All trash or waste shall be picked up either from individual containers in a rear alleyway behind the Units or from dumpsters in an enclosed masonry structure whose location and design are approved by the City Planning Department. Unit owners shall not place any waste or waste container in front of, or to the side of their respective Unit.
  - v. All landscaping within the Project, and within the public right of way abutting the Project, shall be maintained by Developer and, after the Project is complete, by the Association. Street trees on 20<sup>th</sup> Street, Grant Avenue, and Park Boulevard shall meet City standards, including location, caliper size and species. Within the Project boundary, trees shall be at least 2-inch caliper or, for an evergreen tree, a minimum of eight feet in height. Trees shall be planted as shown in **Exhibit E** (the Landscaping Plan), attached hereto and incorporated herein by reference. At least five 5-gallon shrubs (including at least one flowering shrub) shall be installed for every two Units in a given phase. Landscaping shall be installed in all areas not occupied by buildings, parking, storage, future phased plan areas or access ways prior to occupancy of any Unit in the phase, except that the Planning Department may allow, in writing, landscaped areas within fifteen feet of a building in the phase that has not yet been built to be deferred until the building is constructed. In the case of inclement weather that prevents the installation of the required landscape improvements, the time

S.S.

completion of the improvements may be extended, in writing, upon the approval of the Planning Department. In no case shall the time for completion be extended beyond the next June 1 immediately following the completion date of a phase.

- f. Signs, fencing and walls shall comply with the Mixed Use Zone requirements for such items as adopted in the Ogden City municipal code. Concrete site/theme walls as shown on the Project Site Plan that are consistent with the overall design of the Project shall be finished with masonry as approved by the Planning Department. Each of these components shall be maintained by the Developer until such time as the Association assumes maintenance responsibilities for such components.

4. Development widths for public and private rights of way:

- a. No new public street is being developed as part of the Project.
- b. All alleys and access-ways within the Project shall have a minimum paved width of twenty feet (20').
- c. The minimum concrete apron from the paved alley or access-way to the face of a garage shall be three feet.

5. Description of public facilities, services and utilities:

a. Except for Units receiving utility service from a public street, all utility services, including water, storm sewer, and sanitary sewer service, will be provided by private utility lines to be constructed by the Developer. These private lines shall be owned, operated and maintained by the Association. Units receiving utility service from a public street shall have individual water and sewer laterals as required by the Ogden City municipal code and shall be installed according to the engineering standards adopted by Ogden City at the time a building permit is issued.

b. Where any new infrastructure for the Project is required by the City's Engineering Department to be installed in public streets, the infrastructure shall be sized to meet the needs of the ORRPA in general and is not limited to the individual needs of the Project. Any infrastructure sizing in excess of the needs of the Project shall not be compensated by City or by future development, but shall be provided by Developer in order to obtain the advantages of development under this Agreement.

6. Description of recreational or open space facilities and amenities:

- a. Public Pedestrian Walkways within the Project: The Project includes two areas identified on page 1.10 of the Master Plan as publicly accessible but privately maintained open space. Developer shall install a publicly accessible concrete north-south walkway with a minimum width of six feet across the westerly area and a concrete north-south sidewalk with a minimum width of five feet across the easterly area. The concrete surfaces shall

S.S.

extend the entire length of the walkways, including where they cross internal alleyways or access areas. The walkways shall be installed in connection with each phase as shown on the phasing plan, attached hereto as **Exhibit F** (the Phasing Plan), and incorporated herein by reference, and shall be maintained by the Association.

- b. **Grant Avenue Promenade:** The Grant Avenue Promenade (the Promenade) is an enhanced and enlarged ten foot wide pedestrian sidewalk and landscaped area along the east side of Grant Avenue. Developer is not required to complete any Promenade improvements to the west of the existing curb line on Grant Avenue. Developer shall, as part of Phase 1 of the Project, install all of the sidewalk and landscaping, including lighting features and irrigation systems for the Promenade between the right of way line for the east side of Grant Avenue and the existing curb line on Grant Avenue. All materials, plants and final layout for the Promenade shall be approved by the Ogden City Planning Department and Engineering Department and the costs of Developer's improvements to complete the Promenade shall be included in the subdivision escrow for Phase 1. Developer shall maintain the Promenade until such time as the Association is in place to maintain the landscaping. Except for the entrance alleyway to the Project, Developer will not cross the improved Promenade at any time with construction or other vehicles.
- c. **Park Boulevard and 20<sup>th</sup> Street:** Developer shall install sidewalks with a minimum width of six feet along Park Boulevard and 20<sup>th</sup> Street. The portion of the sidewalk installed shall correspond with the phase being developed. Developer shall also install a concrete plaza as part of the easterly entry from Park Boulevard as depicted in the Project Site Plan. The sidewalks, including any new curb or gutter required by the City Engineering Department, and the plaza shall be installed as part of each individual phase, as applicable.
7. **Description of the timing and phasing of development:** The Project includes 69 units and is divided into four phases, as shown on the Phasing Plan. Each phase shall be commenced by the Developer by submitting a final subdivision plat for review and approval by City.

**Phase 1:** Phase 1 consists of 15 Units. The final plat for Phase 1 shall be submitted no later than forty five (45) days after full execution of this Agreement. The central open space in Phase 1 shall be designed to be multi-functional such that it can serve both as a storm water detention basin and as usable green space and shall include masonry of local materials, grading and landscaping to provide gradual transitions, or artistic design elements.

**Phase 2:** Phase 2 includes 20 Units. The final plat for Phase 2 shall be submitted when 80% of the Units (12 Units) in Phase 1 have received a certificate of occupancy, or such earlier time as allowed by the Developer's agreement with the Agency.

*Handwritten initials/signature*

Phase 3: Phase 3 includes 13 units. The final plat for phase 3 shall be submitted when 80% of the Units (16 Units) in Phase 2 have received a certificate of occupancy, or such earlier time as allowed by Developer's Agreement with the Agency.

Phase 4: Phase 4 includes 21 Units. The final plat for Phase 4 shall be submitted when 80% of the Units (13 Units) in Phase 3 have received a certificate of occupancy, or such earlier time as allowed by Developer's Agreement with the Agency. Developer shall address the use of certain lots within Phase 4 as live-work units (Units 61 and 62 on the east side of the phase) or as detached dwellings (Units 63 through 66) at the time the final plat for Phase 4 is submitted for review.

The Phasing Plan may be accelerated or reordered by Developer so long as the final plat for the next phase is submitted no later than when 80% of the Units in the current phase have received a certificate of occupancy; except that Phase 3 may not be commenced until after all improvements for either Phase 2 or Phase 4 have been installed. Additional land and units may be developed under the terms of this Agreement as long as such land is contiguous to the Project and a written agreement, signed by City, is recorded for such land.

8. Description of city approvals: Developer shall follow all existing City procedures and standards in constructing the Project. These include, but are not necessarily limited to: storm water pollution prevention permits, building permits, final subdivision review for individual phases, and escrows and guarantees for public improvements.
9. Additional Agreements: Developer shall complete and record appropriate covenants, conditions and restrictions for each phase of the Project to ensure that the Project and all Project features are adequately maintained and replaced in accordance with the terms of this Agreement, the Master Plan, and the Redevelopment Plan.
10. Periodic Review: Until such time as Developer has completed its initial construction of all of the phases of the Project, the Project shall be subject to semi-annual reviews to ascertain compliance with the requirements of this Agreement. The purpose of such review is to provide an opportunity for City and Developer to resolve any issues relating to the Project and identify any changes to future construction or development which may be necessary to improve the Project. Developer agrees to provide any information or personnel deemed reasonably necessary by City to complete such reviews. The review process may include physical inspections of the Property, improvements to the Property, or unoccupied structures located on the property. These reviews are in addition to any inspections or reviews associated with building or other permits issued by City and in addition to those required as part of any code enforcement or other regulatory activity conducted by City.
11. Provisions for enforcement of the terms and conditions of the development agreement:
  - a. City may withhold building permits within the Project, whether applied for by Developer or any other person, and may withhold building permits at any other location within the

SS.

City applied for by the Developer if Developer has failed at such time to comply with any provision of this Agreement.

- b. City, at its discretion, may complete any work not performed or incorrectly performed by Developer, after first giving Developer written notice of the items that have not been completed or that have been improperly completed and an opportunity to cure such defect within thirty days. If City elects to complete any such work, it may file a lien against the Project property on which the City completed such work, including common area and individual lots, in the amount of its costs and expenses, including administrative expenses, and may seek a judgment against Developer, including City's court costs, expenses and attorney's fees. A lien filed pursuant to this section is subordinate to any mortgage, deed of trust, or other purchase money security interest recorded with the office of the Weber County Recorder prior to the date City's lien is filed.
  - c. In the event of any breach, or threatened breach, of this Agreement by either party hereto, the non-defaulting party shall have the right to any remedy available at law or in equity, including but not limited to, injunctive relief and specific performance.
  - d. As each phase of the Project is commenced, Developer shall provide City with an escrow for Project landscaping within such phase, walkways and other common area amenities described herein which are not otherwise included in the escrow requirement for public works improvements or building permits. Developer shall utilize the standard escrow procedures used by city, including a warranty of such work for a period of one year after the work is completed.
  - e. The use of any one of the remedies provided for in this section is not exclusive and the City may resort to more than one remedy for each violation of this Agreement.
  - f. All of the terms, agreements, and conditions contained in this Agreement shall inure to the benefit of and be binding upon the Parties and their respective successors and assigns.
12. Amendment or Modification: This Agreement may be amended, modified, or supplemented, as it is mutually agreed to by the parties by written modification, executed by the parties hereto and attached to the original signed contract. During the period in which Developer is in the process of constructing the phases within the Project, the Developer shall have the right to modify this Agreement by executing a writing with the other parties hereto without the requirement of the consent of the Association. At such time as the Developer has completed its construction activities in regards to the Project and administration of the Project has been finally turned over to the Association, the Association may act on behalf of all unit owners as provided in the Association's governing documents to make any amendments, modifications or supplements and the signature of each Unit owner shall not be required.

13. Additional Terms:

S.S.

- a. No-Third Party Beneficiaries. The parties have entered into this Agreement for their sole benefit and no third party beneficiary is intended or created by the execution of this Agreement.
  - b. Conflict Resolution. In the event there is any discrepancy between the terms of this Agreement and a specific provision of the Design Guidelines, the more specific provision shall prevail. If there is any doubt about which term is more specific, the Design Guidelines shall be controlling.
  - c. Integration and Modification. This Agreement constitutes the entire agreement between the Parties and may not be modified, amended, or terminated except by an instrument in writing signed by both Parties;
  - d. Appeals. If Developer believes that the any provision of this Agreement has been applied or interpreted incorrectly, it may appeal such application or interpretation to the Planning Commission, whose decision shall be final. An appeal must be made in writing within twenty days after the date on which the challenged application or interpretation is made. On appeal, the Planning Commission may not waive any requirement imposed by this Agreement.
  - e. Recording. This Agreement shall be recorded with the office of the Weber County Recorder and shall be governed and construed in accordance with the laws of the State of Utah and the ordinances of Ogden City;
  - f. No Waiver. Any forbearance by either the City or the Developer in exercising any right or remedy afforded under this Agreement or by law shall not be a waiver or preclude the exercising of any such right or remedy.
  - g. Runs with Land. This Agreement is a covenant against the land comprising the Project, shall run with the land, and shall be enforceable against any successor-in-interest to the Developer (including the Association), in whole or in part, of any portion of the Project.
14. Notices: Any notification required by this Agreement shall be made to the following addresses (or such other address as a Party may provide to the other Party in writing hereafter):

If to City:

Ogden City Planning Manager  
2549 Washington Boulevard  
Ogden, Utah, 84401

If to Developer:

Ogden SouthRiver Townhomes LLC  
2462 Silver Pointe Way  
Bluffdale, Utah 84065

With a copy to:

H. Blaine Walker

SS.



P.O. Box 902587  
Sandy, Utah 84090-2587

WHEREFORE, the Parties have executed this Agreement on the date first above written.

DEVELOPER:

OGDEN SOUTHRIVER TOWNHOMES, LLC, a Utah limited liability company

*H. Blaine Walker*  
Signature

H. Blaine Walker  
Printed Name

Manager  
Title

*Scott Sauric*  
Signature

Scott Sauric  
Printed Name

Manager  
Title

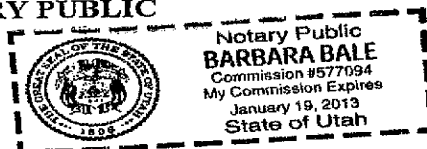
STATE OF UTAH                    )  
  ) :ss.  
COUNTY OF Utah            )

I hereby certify that on this 5<sup>th</sup> day of June, 2012, before the subscriber, a Notary Public of the State of Utah, and for the County of Salt Lake, personally appeared H. Blaine Walker & Scott Sauric, known to me (or satisfactorily proven) to be the person(s) described in the foregoing instrument, who did acknowledge that (he)(she)(they), having been properly authorized, executed the same in the capacity therein stated and for the purposes therein contained.

IN TESTIMONY WHEREOF, I have affixed my hand and official seal.

*Barbara Bale*  
NOTARY PUBLIC

My Commission Expires: 1-19-13





RDA:

OGDEN CITY REDEVELOPMENT AGENCY

*[Signature]*  
Michal P. Caldwell, Executive Director



Attest:

*[Signature]*  
Lee Ann Peterson  
City Recorder - Acting

Approved as to Form:

*[Signature]*  
Agency Counsel

STATE OF UTAH )  
COUNTY OF Weber ) ss.

I hereby certify that on this 21<sup>st</sup> day of June, 2012, before the subscriber, a Notary Public of the State of Utah, and for the County of Weber, personally appeared Michael P. Caldwell, known to me (or satisfactorily proven) to be the person(s) described in the foregoing instrument, who did acknowledge that (he)(she)(they), having been properly authorized, executed the same in the capacity therein stated and for the purposes therein contained.

IN TESTIMONY WHEREOF, I have affixed my hand and official seal.

*[Signature]*  
NOTARY PUBLIC

My Commission Expires:  
01/27/2013



*[Handwritten mark]* S.S.

TABLE OF EXHIBITS

Exhibit A.	Redevelopment Area Master Plan and Design Guidelines
Exhibit B.	Project Site Plan
Exhibit C.	Unit Plans
Exhibit D.	Alleyway Screening Detail
Exhibit E.	Landscaping Plan
Exhibit F.	Phasing Plan

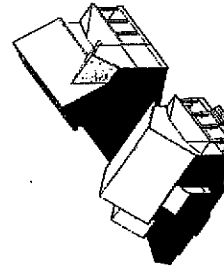
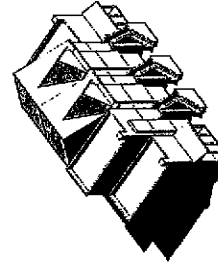
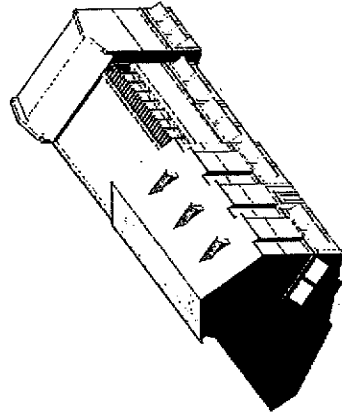
*AW* S.S.

EN 2583258 PG 13 OF 98

EXHIBIT 'A'

OGDEN, UTAH | MAY 2011

Ogden Bend  
*Redevelopment Master Plan &  
Design Guidelines*



URBAN DESIGN ASSOCIATES

Ogden Bend  
*Redevelopment Master Plan &  
Design Guidelines*

PREPARED FOR  
Ogden City

PREPARED BY  
Urban Design Associates

OGDEN BEND: REDEVELOPMENT MASTER PLAN & DESIGN GUIDELINES | OGDEN, UTAH | MAY 2011 | URBAN DESIGN ASSOCIATES

ACKNOWLEDGEMENTS

# Table of Contents

## Volume 1 | Redevelopment Master Plan

OVERVIEW	1
Analysis	2
The Planning Process	3
Design Principles	4
Connections	5
MASTER PLAN	6
Illustrative Master Plan	7
Alternative Illustrative Master Plan	8
Open Space Plan	9
Plan Frameworks	10
Building Types Plan	11
Building Use Plan	12
Phasing Plan	13
Perspective Views	14
Model Views	19

## Volume 2 | Design Guidelines

INTRODUCTION	1
The Design Guidelines Principles	2
How To Apply The Design Guidelines	3
COMMUNITY PATTERNS	4
Key Addresses	5
Landmark Locations	8
ARCHITECTURAL PATTERNS	9
Building Typologies	10
Architectural Styles	12
Victorian	13
Arts & Crafts	17
Transitional Modern	31
Loft Mercantile	35
LANDSCAPE PATTERNS	37
Neighborhood Landscape Character	38
Open Space Elements	39

## Appendix



**Volume 1 | Redevelopment Master Plan**

# Overview

THE OGDEN BEND NEIGHBORHOOD is a key target area in the re-invention of Ogden at the northern end of Downtown, a roughly 60 acre area lying north of 20th Street. The unique physical feature of the neighborhood is the Ogden River, which runs east to west through the area and makes a unique bend in its path. Recently the river has been substantially improved for active and passive recreation. In a major restoration effort, the banks have been pulled back to allow greater river capacity and the natural physical features of the river and its banks have been restored to bring back the vegetation and habitats. A wide bike trail alongside the river connects to the regional trail system of the lower Ogden Valley.

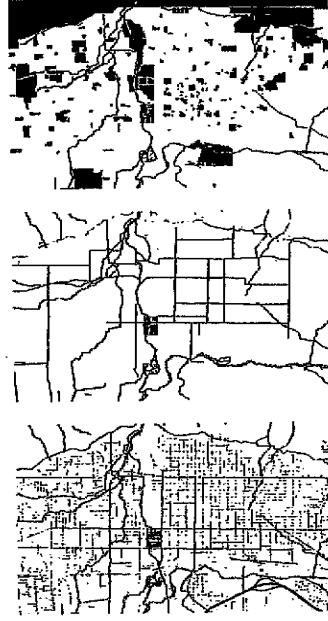
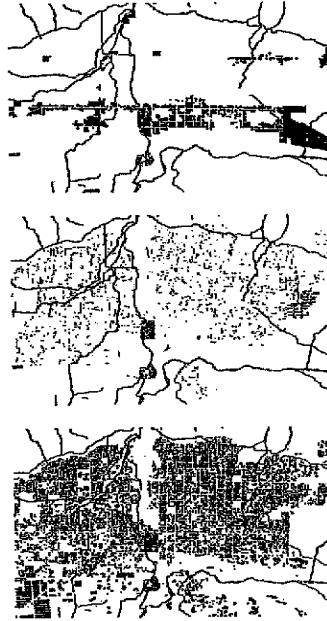
Other important anchors of the site are the new and rehabilitated buildings which signal reinvestment in the area. These sites include the Da Vinci Academy, which has been recognized as a successful Charter school, in the restored American Can buildings to south of the site boundary. On the corner of the Ogden River and 18th street, a successful commercial building has opened with retail that addresses the river. Future transportation plans include a downtown circular (bus or trolley route) that will provide transit opportunities for those who work in downtown, or use the existing commuter rail station.

Ogden City established this area as a redevelopment district, known as the Ogden River Redevelopment Project Area in 2002. The intent of the Redevelopment area is to create an attractive urban environment as a setting for high density urban residential and mixed-use neighborhood that will be a benefit to the downtown revitalization. To do this, new development will offer high density housing choices in walking distance of services and transit stops, and at the same time, respect the relationship with the Ogden River Parkway.

- 1 Ogden City Cemetery
- 2 Liberty Park
- 3 Lindquist Field
- 4 LDS Temple
- 5 Union Station
- 6 Ogden City Public Safety Building
- 7 The Junction
- 8 Municipal Gardens
- 9 Municipal Building
- 10 Lester Park
- 11 James Madison Elementary School



To better understand the general patterns of natural features and man-made systems in the city and surrounding areas, the design team performed an analysis exercise prior to arriving in Ogden. The result was the series of UDA X-Ray<sup>®</sup> diagrams seen to the right. Each x-ray illustrates a single network or physical feature, allowing patterns as well as gaps or missing links in a network to be studied. A solid knowledge of the broader regional context was very important for the design team, especially since the project site commands such a prominent location along a main natural feature at the core of the region and links into the larger open space, trail, and transportation networks.



# Analysis

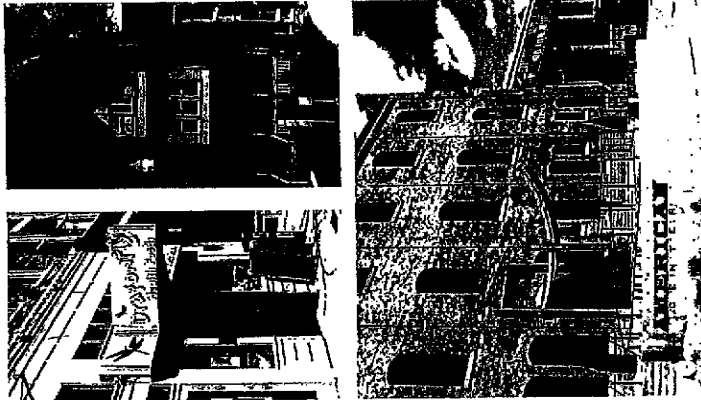
## The Planning Process

During the course of the workshop, the planning team, which consisted of urban designers and architects, conducted a three-phase process including: Data Collection and Analysis; Alternative Strategies; and Development of the Preferred Plan.

The process included focus group meetings with landowners, businesses, local developers, local builders, the Ogden Arts Committee, City Staff and Elected Officials. The process was led by the Community Development Department, and a Committee of city representatives who guided the team through plan development. The Committee provided insight into available resources, collaboration potential and strategic advice.

The open, interactive process created a consensus approach for improving the neighborhood and creating opportunities to grow as part of a larger city. The approach involved working between the quantitative requirements and the development potential, and the qualitative goals of what the place 'should feel like'. In this manner the design team was able to simultaneously check the design against those requiring development data and those interested in the look and feel of the new neighborhood.

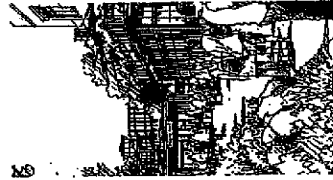
This document presents the consensus Master Plan and a development framework for the Ogden Bend neighborhood. Principles for Sustainable design set goals that will yield an environmental responsible neighborhood. Guidelines for Architecture and Landscape document the vision for the site and will serve as a starting point for the City when engaging developers and designers.



Architecture of the city served as an influential starting point for the design.

## THEMES DEVELOPED THROUGH COMMITTEE & STAKEHOLDER INPUT

SENSE OF COMMUNITY	HEALTH & WELLNESS	REVITALIZATION
<ul style="list-style-type: none"> <li>Sense of Place: Feels like an Ogden Neighborhood</li> <li>Connected to History: Acknowledge the past and look to the future</li> <li>Safe, Secure, Public: Create a place that feels safe, yet public and welcoming</li> </ul>	<ul style="list-style-type: none"> <li>Healthy Living: Exercise, connected to the outdoors</li> <li>Healthy Planning &amp; Architecture: Community Gardens, sustainable construction, reuse of Materials</li> <li>Learning: School, arts, nature</li> </ul>	<ul style="list-style-type: none"> <li>Connect to Existing Resources: River, trails, adjacent neighborhoods, temple, schools, the Junction, downtown,</li> <li>Sustainability: Manage water resources, climate orientation, green infrastructure, and energy efficiency.</li> </ul>



# Design Principles

In the early stages of design it is imperative to assimilate all ideas and input into clear Design Principles. These principles then become guides by which the design should proceed. For the Ogden Bend project, seven design principles were adopted from the Ogden Redevelopment Master Plan which developed in previous efforts for the site. Three additional principles were arrived at during the initial meetings of this process.



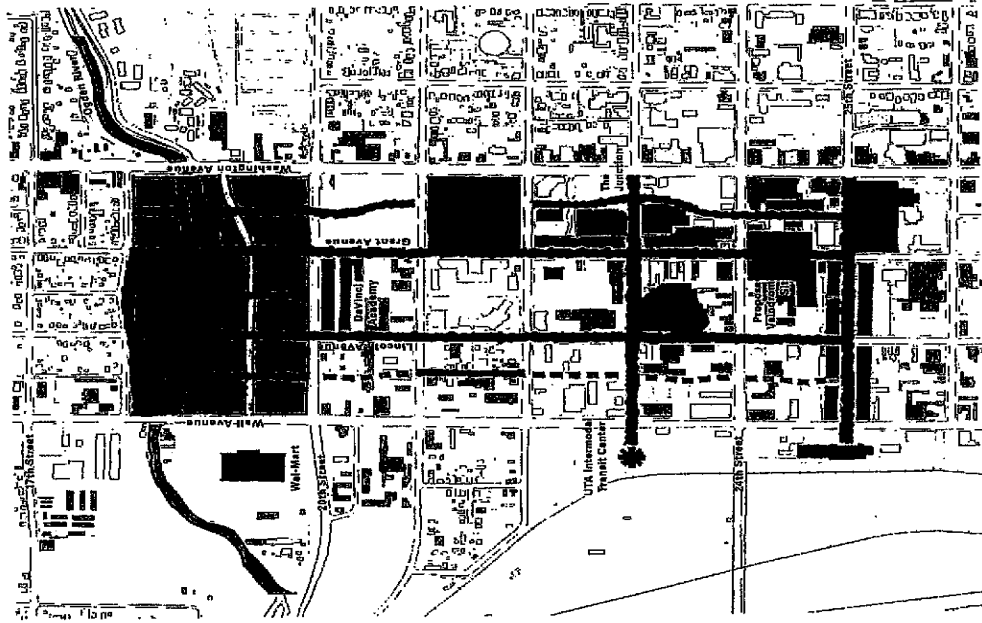
Strong Design Principles, urban upfield, yield successful results

DESIGN PRINCIPLES
<p>All principles but the final three were developed as part of the Ogden Redevelopment Master Plan. The final three were arrived at through discussions with the Committee at the outset of this process.</p> <ul style="list-style-type: none"> <li>▪ Provide an attractive urban environment for a higher density urban residential neighborhood.</li> <li>▪ Provide development compatible to Ogden River and parkway with pedestrian access to parkway and development designed to create eyes on the street.</li> <li>▪ Provide a variety of housing types that will produce higher density mixed use; townhouses, urban lofts, apartments, etc.</li> <li>▪ Provide adequate parking to the side or rear and in buildings and away from parkway.</li> <li>▪ Provide open space along the Ogden River with pedestrian walkways and park on the north side of the river between Lincoln and Grant Avenues.</li> <li>▪ Provide neighborhood and specialty retail along river between Grant and Washington Avenues.</li> <li>▪ Provide an adequate circulation system of roads and pedestrians that support higher mixed-use and an extension of Park Boulevard.</li> <li>▪ Provide clear connections to downtown and nearby resources.</li> <li>▪ Provide opportunities for views towards the river, mountains and downtown.</li> <li>▪ Provide various housing options in order to build the residential population in downtown.</li> </ul>

REVELOPMENT MASTER PLAN

## Connections

Linking the Ogden Bend neighborhood to nearby cultural, recreational, civic, and transportation resources was cited as a major design goal early in the planning process. Just as importantly, the site provides the closest and most immediate access to the river from downtown, so any proposed development should not restrict that access, but maintain and enhance it. Currently, the main access points to the restored river and trail occur at Washington Boulevard and Wall, Lincoln, and Grant Avenues. However, to best improve the general connectivity of downtown and the site, additional pedestrian and bike connections should be included in the site plan and extended south to link to downtown's main attractions and activity generators. The diagram to the right was developed to illustrate the envisioned connections and to establish a framework to guide proposed development at Ogden Bend.



© 2011 URBAN DESIGN ASSOCIATES

EH 2583258 PG 22 OF 98

# Master Plan

THE MASTER PLAN OFFERS a rich array of housing types and sizes to house the growing Ogden population in downtown neighborhood. A hotel, restaurants and retail shops will serve the neighborhood and create a destination within the city.

The vision for the river front is to become a parallel but distinctly different destination from 25th Street. Though these two areas are approximately a 10-minute walk apart, the two can grow together with a targeted strategy. The connections diagram (on page 5) shows where efforts should be made to increase downtown connectivity. Lincoln and Grant Avenues will have pedestrian and bike trails.

Additionally, future transit routes (see the Circulator) should enhance connections. Within the project boundaries, efforts have been made to increase north-south connections to the neighboring civic strongholds, the LDS Church and DaVinci Academy of Science of Arts, and the river to the north with park spaces and trails. The experience of the river will be felt deep within the site through view corridors and by careful landscape design.

A new river park has been planned on the north side of the river between Grant and Wall Avenues. This will become an adventure recreation park with play equipment for children. Additional public access to river through trails, gathering spaces and performance lawn will make this a destination within itself. Public parking along 18th Street is incorporated for those traveling by car.

New housing includes single-family homes, townhouses and apartments in a series of unique addresses. Some face streets, some face small parks, all emphasize living in the public realm and de-emphasize the car by parking in rear garages or lots.



Stakeholder groups provided the design team with valuable input throughout the week.



The design team worked concurrently to stakeholder sessions, developing the master plan, constructing a digital site model, and creating rendered perspective views.



A view of the waterfront trail and new mixed-use development spurring additional activity along it.

PHOTO COURTESY OF URBAN DESIGN ASSOCIATES

PHOTO COURTESY OF URBAN DESIGN ASSOCIATES



# Illustrative Master Plan

**OGDEN RIVER REDEVELOPMENT**  
 The Master Plan offers a rich array of housing types and sizes in a neighborhood setting. The river experience is enhanced with parks and trail systems that make north-south connections with the river. Commercial uses on the western side of the plan are thought to be more neighborhood serving and small destination tenants. A new hotel anchors the north-east corner of the plan. Commercial uses along 54th Avenue is compatible with the new retail being constructed along the corridor.

BUILDING USE KEY	
[Symbol]	SINGLE-FAMILY RESIDENTIAL
[Symbol]	MULTI-FAMILY RESIDENTIAL
[Symbol]	MIXED-USE
[Symbol]	COMMERCIAL/RETAIL



# Alternative Illustrative Master Plan



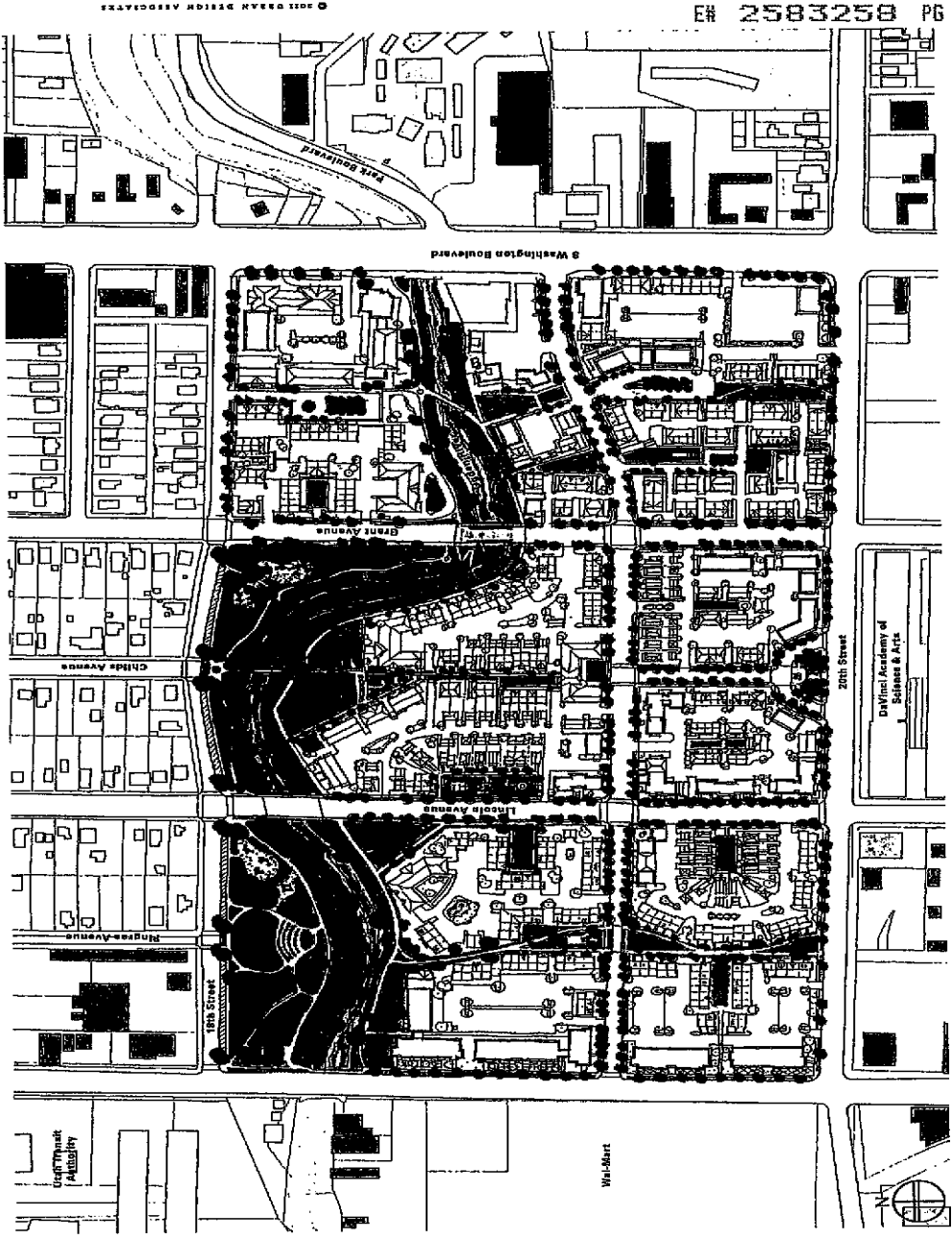
BUILDING USE KEY	
[Pattern]	SINGLE-FAMILY RESIDENTIAL
[Pattern]	MULTI-FAMILY RESIDENTIAL
[Pattern]	MIXED-USE
[Pattern]	COMMERCIAL/METAL

OGDEN BEND, REDEVELOPMENT MASTER PLAN & DESIGN GUIDELINES | OGDEN, UTAH | MAY 2011 | URBAN DESIGN ASSOCIATES

VOLUME I | REDEVELOPMENT MASTER PLAN 1.8  
MASTER PLAN

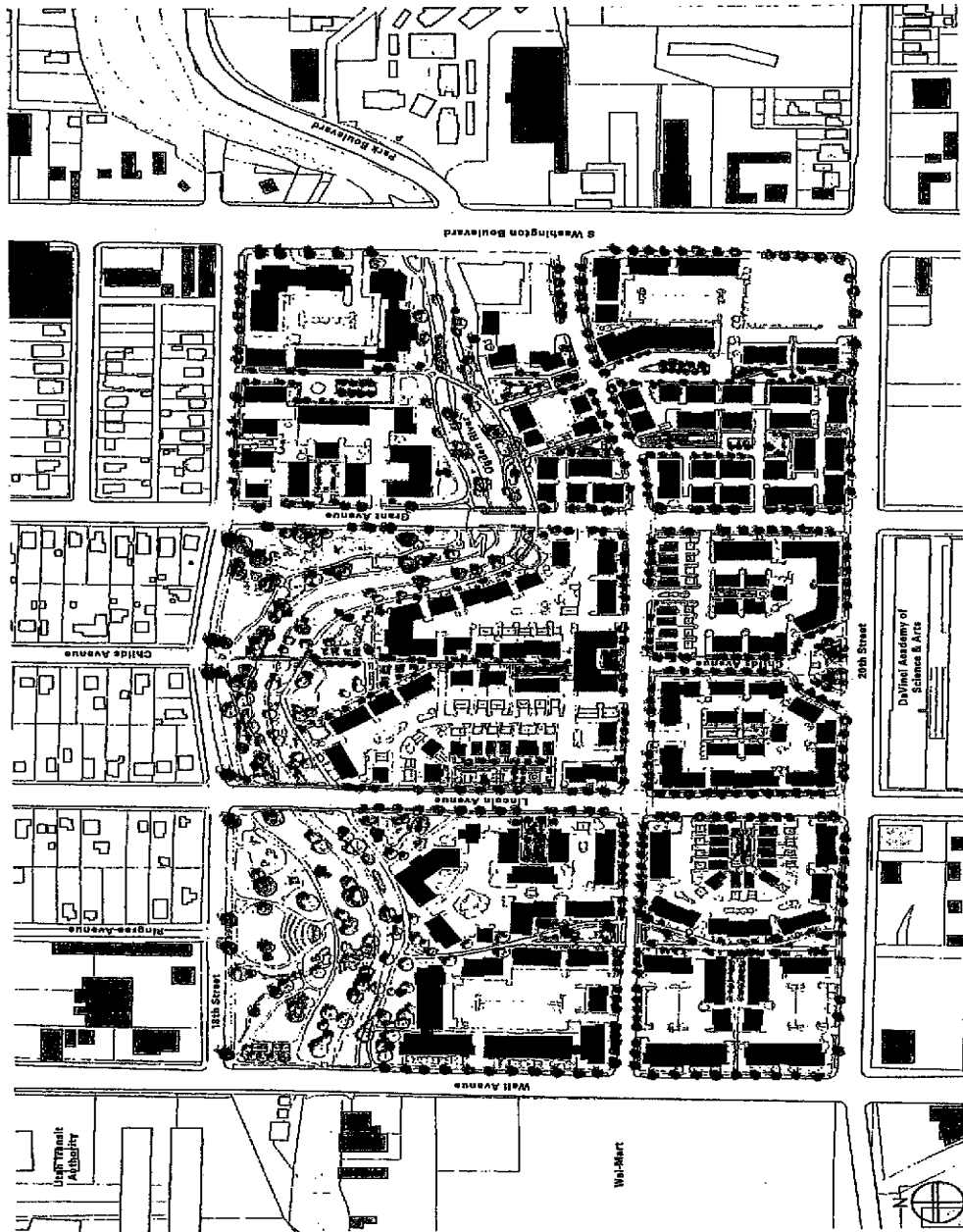
# Open Space Plan

**THE RIVER, PARKS AND TRAILS**  
 The Open River is the spine of a new system of interconnected trails, parks and open spaces that make this neighborhood truly unique. Most green spaces will also set as water infiltration areas to collect and drain stormwater in a sustainable way. In addition to the waterfront trail and river access, the large waterfront park can accommodate an expansive program of recreational and civic elements. Some features discussed or suggested during the workshop include playground and 'adventure' equipment, public art, an amphitheater, an outdoor classroom, memorial spaces, historic artifact displays, and a zip line.





# Building Types Plan



BUILDING USE KEY	
[Symbol]	COTTAGE
[Symbol]	TOWNHOUSE
[Symbol]	APARTMENTS
[Symbol]	MIXED-USE
[Symbol]	LIVE-WORK
[Symbol]	CARRIAGE HOUSES
[Symbol]	HOTEL
[Symbol]	COMMERCIAL/RETAIL

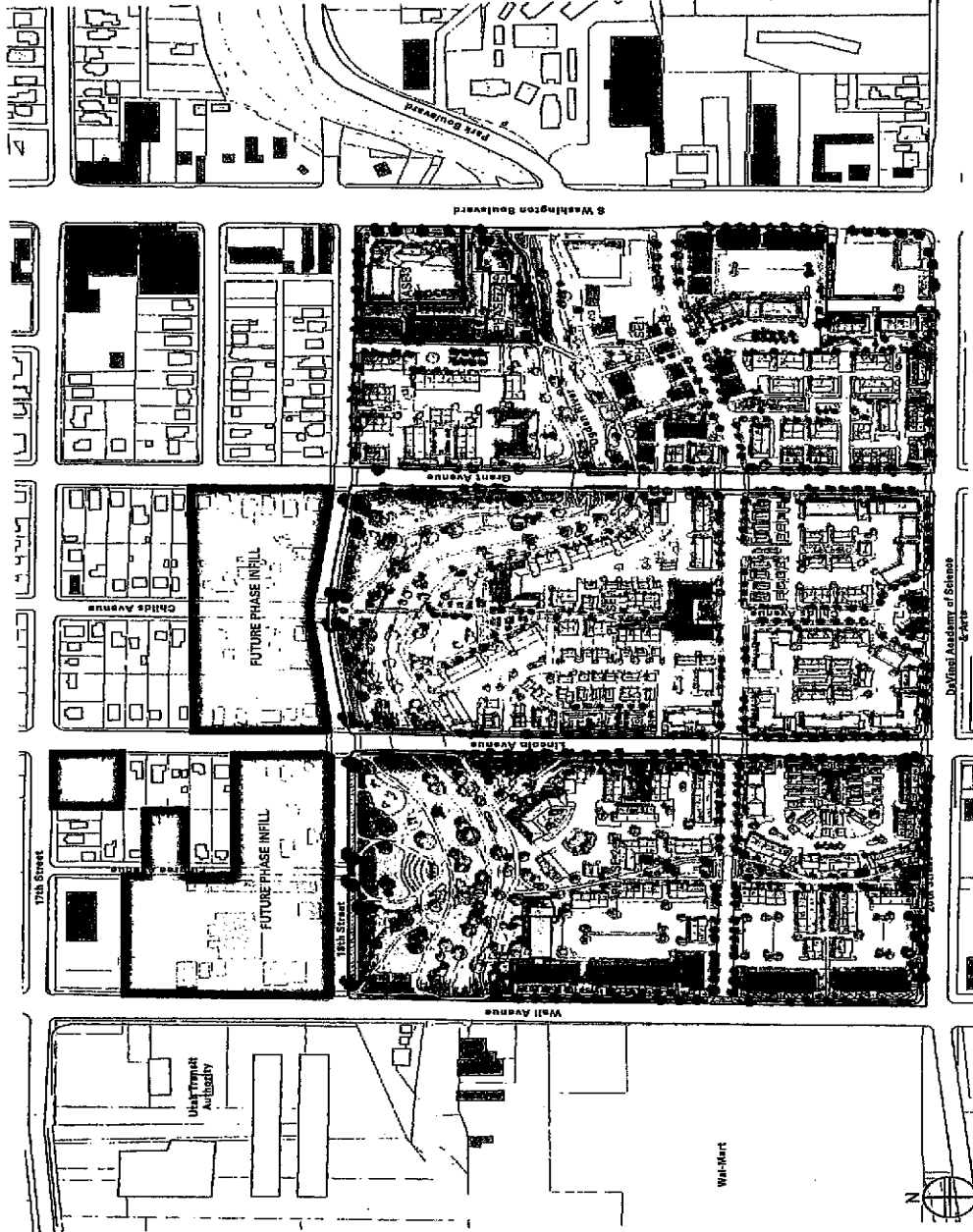


# Building Use Plan

DEVELOPMENT SUMMARY	
Carriage Houses	28
Cottages	24
Townhouses	383
Apartments	263
Live-work	23
Retail	82,525 SF
Hotel	80-100 keys
<b>TOTAL UNITS</b>	<b>721</b>
<b>OPEN SPACE</b>	<b>18.3 AC</b>

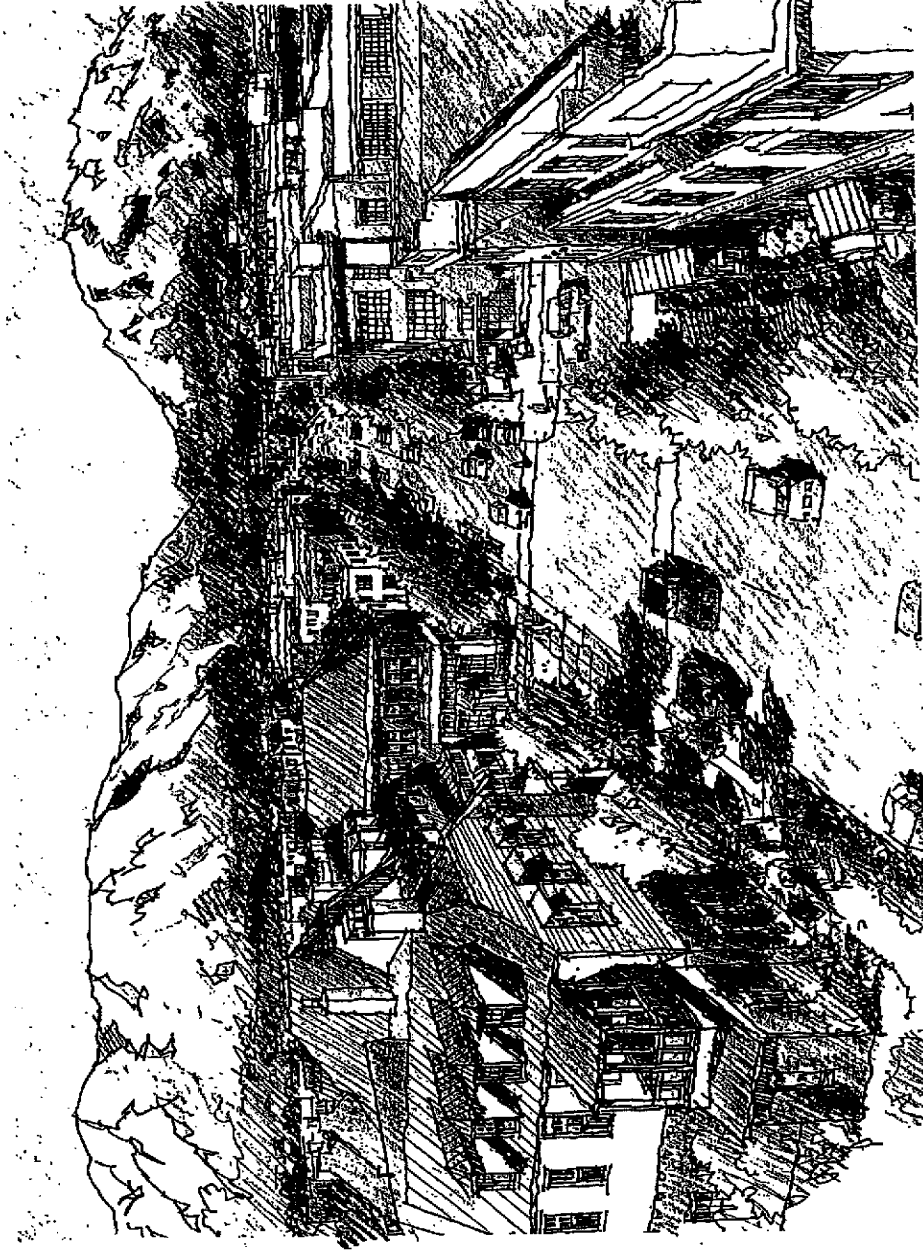
Note: Development numbers are based on this plan. Revisions to the plan or program may alter the totals, however the Retail square footage must remain as a minimum threshold.

BUILDING USE KEY	
	RESIDENTIAL
	MIXED-USE
	RETAIL/COMMERCIAL
	HOTEL



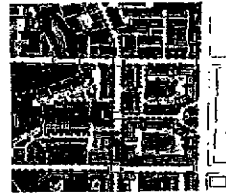
# Phasing Plan

**INCREMENTAL DEVELOPMENT**  
 The large urban site will take years to fully complete, but the plan was designed as a series of complete phases that would be successful and attractive even before the entire neighborhood is finished. The Phasing Plan serves as a guide to achieve this. The sequence has been selected based on a number of influences, and each phase can be completed as a series of smaller sub-phases.



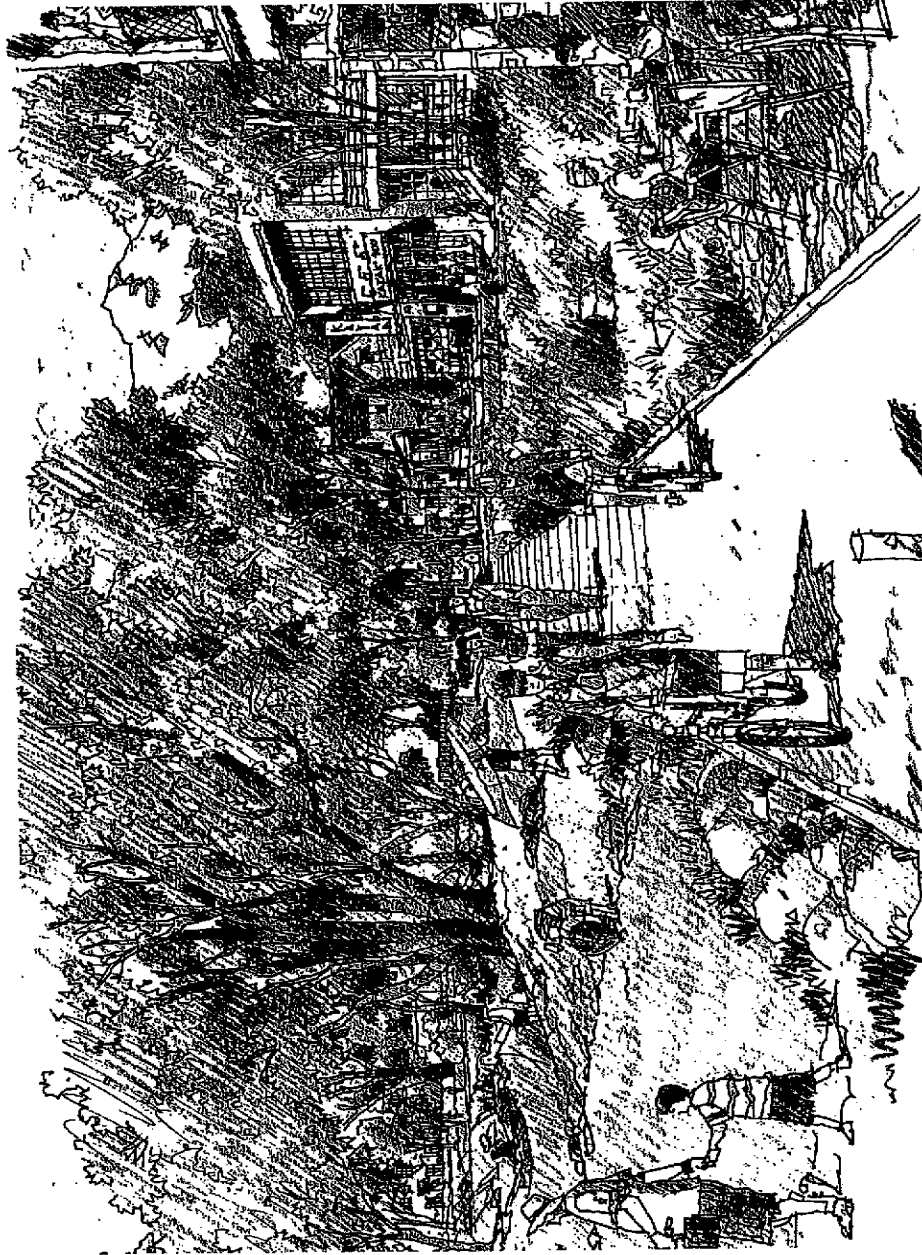
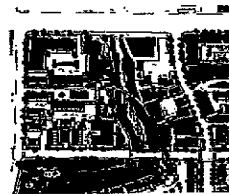
## Perspective Views

**A SENSE OF PLACE**  
 Once the Ogden Bend plan is realized, it will become a true Ogden neighborhood-venue, connected to history and nature, and entirely unique. A comfortable building scale, combined with architectural styles that acknowledge the past while looking to the future, will ensure that the new neighborhood evokes itself to current and future Ogden residents and endures as an integral part of the city well into the future.



Perspective Views, continued

**ACTION AT THE BEND**  
Ogden is already home to very  
simultaneously active people, and the  
recently resumed erosion of river and  
trail is attracting them to the Bend. New  
development, sensitive to the river and  
trail, will complement their own activities  
and generate additional energy here.



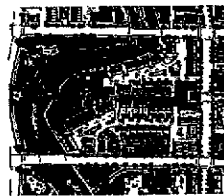
© 1984 BY THE ARCHITECTS



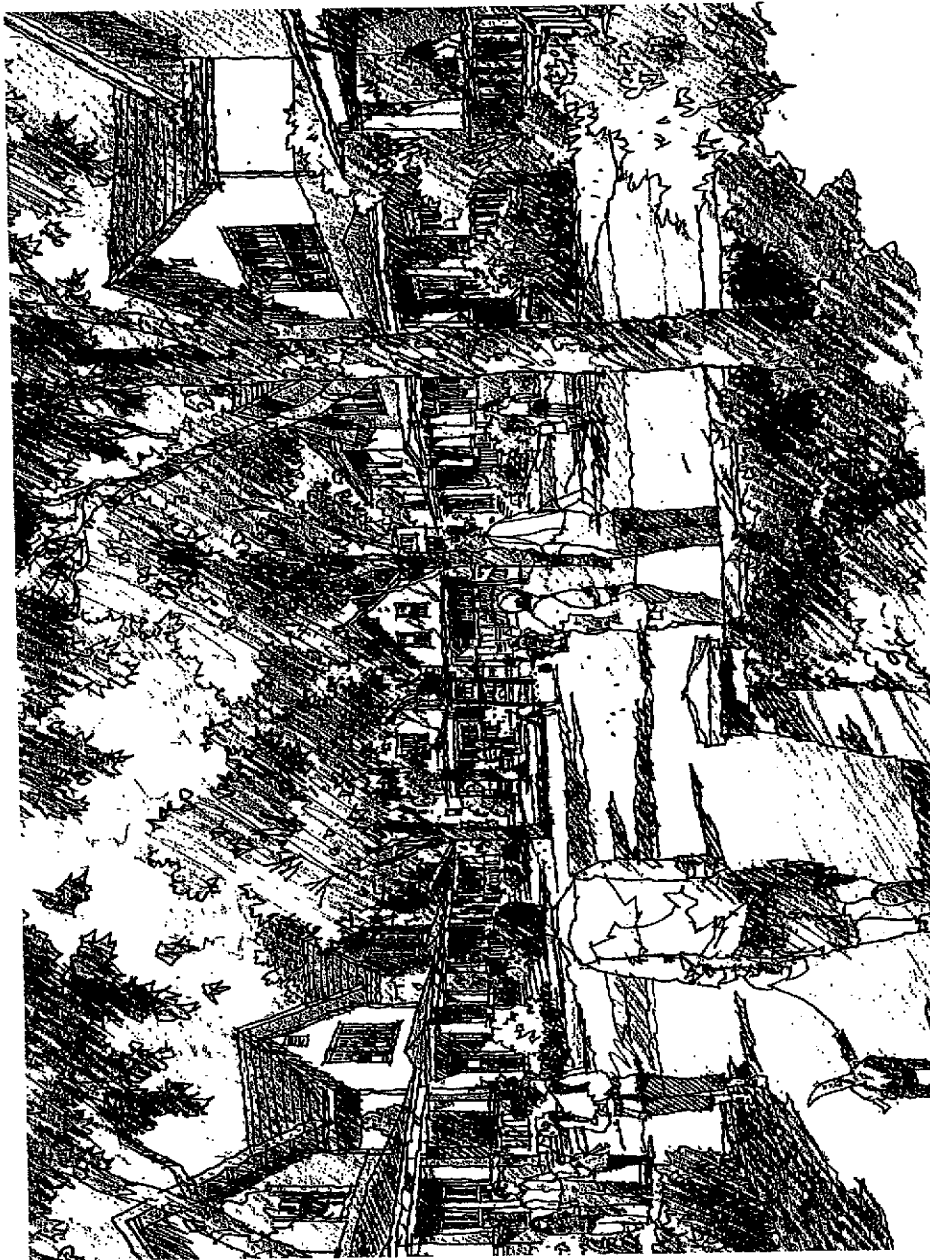


Perspective Views, continued.

**SAFETY AND HEALTH**  
 Open Bend will add a substantial amount of parks and green spaces to the city's open space network. To make all these parks and green spaces accessible, streets are programmed and programmed to generate activity, and programmed to provide a form of social recreation, foster a sense of responsibility for the local environment, and encourage a healthy lifestyle.

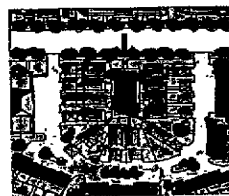


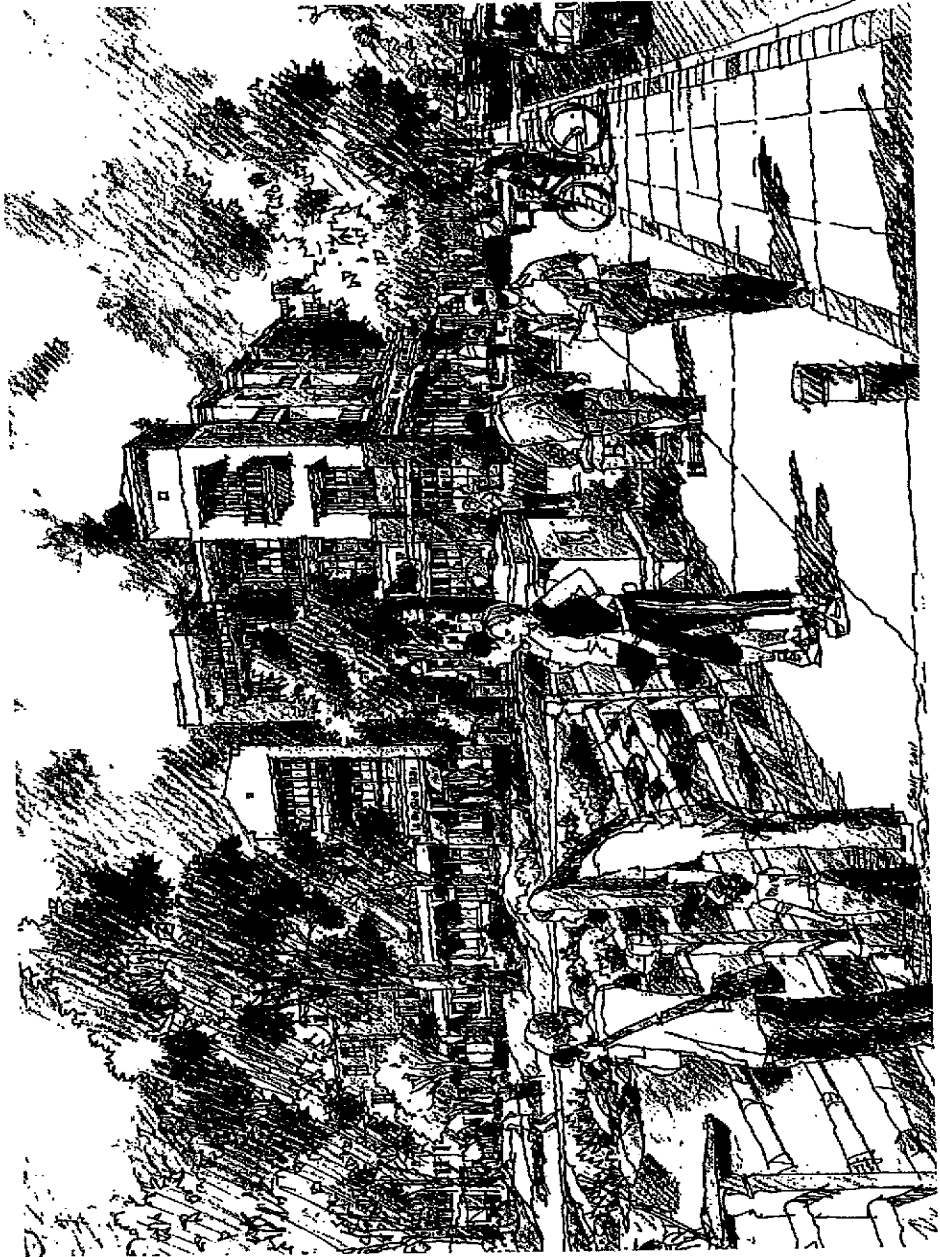
REDEVELOPMENT MASTER PLAN



Perspective Views, continued

**SMALL GREENS & COURTYARDS**  
 The new neighborhood will host a complete range of green spaces, from the large front yard park to small, intimate courtyards lined by cottages. Small green spaces like this one are perfect for small playgrounds, informal gatherings, short strolls, and other passive recreation.



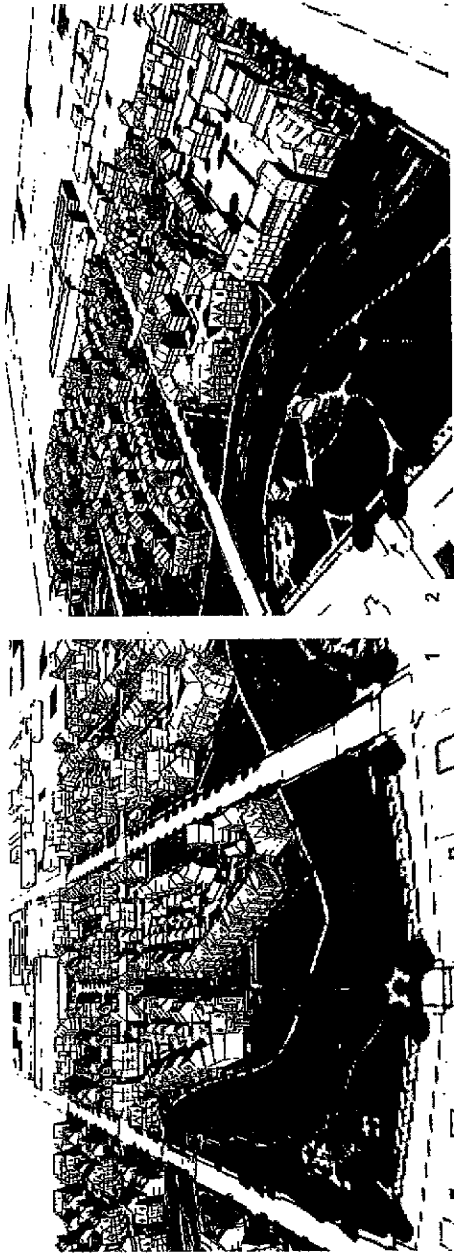


Respective Views, continued

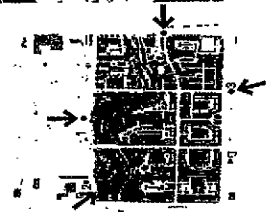
**A HEALTHY PLACE**  
 The relationship of the Ogden River to the new neighborhood will be a harmonious one. New development will respect the natural setting, while the river will drive many of the daily recreational and commercial activities that occur here.



# Model Views



**DIGITAL MODELING**  
 During the workshop, the design team used a 3-D modeling tool to help envision the quality of new spaces and the appearance of new places. These views illustrate the general scale of total new development, as well as the form of the overall master plan from different viewpoints.



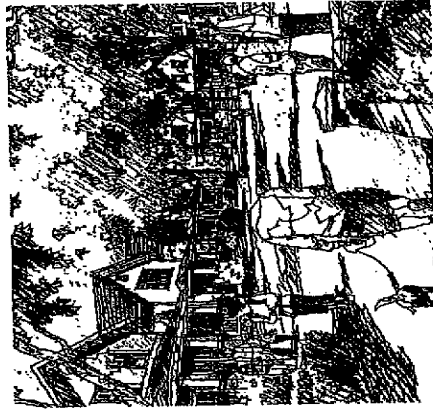
Volume 2 | Design Guidelines

# Introduction

The Design Guidelines are considered part of the Redevelopment Master Plan and have been crafted to help realize the vision set forth by the redevelopment plan process. While the overall intent and general principles have been determined by the plan, the Design Guidelines make further efforts to ensure that intent continues in the implementation stage. These Design Guidelines have been organized through a series of drawings, recommendations and instructions to guide the users through:

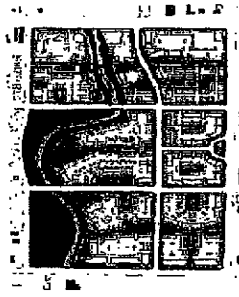
1. Establishing landmark buildings and unique addresses;
2. Determining building placement, scale and form; and,
3. Applying regionally appropriate and architecturally correct style.

By following these steps, any builder or developer can both visualize the goal and build a neighborhood that Ogden can be proud to have as part of the Downtown.



## COMMUNITY PATTERNS

Establishing landmark buildings and unique addresses



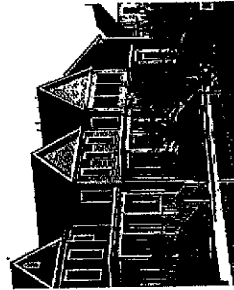
## BUILDING TYPOLOGIES

Determining building placement, scale and form



## ARCHITECTURAL STYLES

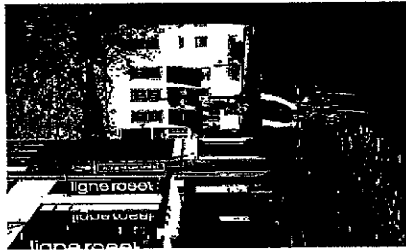
Applying regionally appropriate and architecturally correct style



# The Design Guidelines Principles

The Design Guidelines Principles build on the Design Principles established during the Planning Process (Volume 1, Pl. 4) by further articulating and applying them to Community Patterns and Architectural Patterns. By striving to achieve all these principles collectively, Ogden Bend will become an authentic Ogden neighborhood.

## COMMUNITY PATTERNS



### CONNECTIVITY AND WALKABILITY

- Establish strong north-south connections to 25th Street with both vehicular and pedestrian routes
- Build an inter-connected network of sidewalks, trails and bike routes



- Promote walkability through providing a healthy mix of uses



### OPEN SPACE AND RECREATIONAL OPPORTUNITIES

- Maximize the benefit of the Ogden River through access points, water-based activities and open vistas
- Create trail connections, recreation areas and passive open spaces that are inter-connected

## ARCHITECTURAL PATTERNS



### BUILDINGS ORIENT TO AND MAKE PUBLIC SPACES

- Buildings should front onto streets and park spaces
- Porches, balconies and terraces should be located to create outdoor living spaces in a semi-public manner



- Buildings and their front doors should be scaled relative to the size of the street or park they are fronting to shape public parks and spaces.



### DIVERSE MIX OF ARCHITECTURE

- A rich diversity of building types and styles should be employed throughout the neighborhood
- Architectural styles should be composed carefully to varied patterns and juxtapositions.



- Buildings should include qualities and details of the region

# How To Apply The Design Guidelines

This book is intended to give the builder and developer a context within which to build new construction in the vision of the Ogden Bend neighborhood. The neighborhood context, site characteristics, and development objectives influence a series of decisions related to the building, building type, architectural styles and parking strategies. These Design Guidelines are intended as a tool to visually articulate the standards of development expected by the city that can't be easily understood with words only.

## STEP 1 | LOCATION

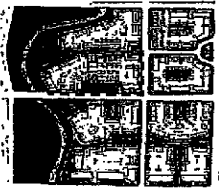
- » Locate your lot within the Key Addresses Plan and review neighborhood plans, opportunities, and appropriate characteristics for new construction.
- » Develop an understanding of your address within the context of Ogden Bend neighborhood and surrounding neighborhoods and open space resources.
- » Understand the significance of your property and develop a vision for the future.

## STEP 2 | BUILDING TYPOLOGIES

- » Review the site plan requirements including building massing, setbacks, facade zone requirements, encroachments, parking and other special provisions. (from Building Placement, pages 2.10 and 2.11).
- » Research the desired building type and massing recommendations as found in the typology and composition pages 2.13 through 2.20.

## STEP 1:

Identify your neighborhood and review restrictions and standards for site, building, and landscape design.



## STEP 2:

Review the requirements and guidelines for your building type.



## STEP 3 | ARCHITECTURAL DESIGN

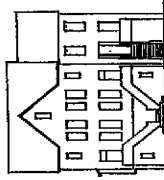
- » In Community Patterns, review the Addresses for guidance to the type and feel of the space, and the appropriate mix of architectural styles.
- » Choose from applicable architectural styles as presented in the Architectural Patterns and refer to design guidelines for that style (pages 2.21 through 2.35).
- » Based on the appropriate style, develop an understanding of the essential characteristics of that style. Each style has been carefully formulated to be region specific and to be distinguished from the others.
- » Follow the composition, detail and material recommendations for your style.

## STEP 4 | LANDSCAPE

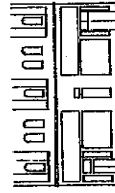
- » Review the landscape patterns for neighborhood-wide goals and recommendations to maintain the spirit of the Redevelopment Master Plan.

## STEP 2:

Consult with Architectural Patterns for guidance on your architectural style.

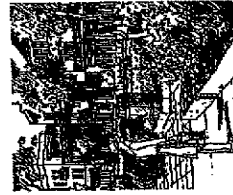


If your site is Mixed-Use, additional ground floor guidelines may apply.



## STEP 4:

Consult with the Landscape Patterns section for guidance on appropriate landscape elements.





# Community Patterns

**THE COMMUNITY PATTERNS** section describes character and provides recommendations for the Ogden Bend neighborhood. This content is meant to build on what was provided within the Redevelopment Master Plan, and users are encouraged to refer back to that information. The Community Patterns section contains the following information:

**KEY ADDRESSES** Describes each of the eight addresses in the plan, including their distinct characteristics and differences in architecture, building types and scale, character of open space, and the activities that occur there.

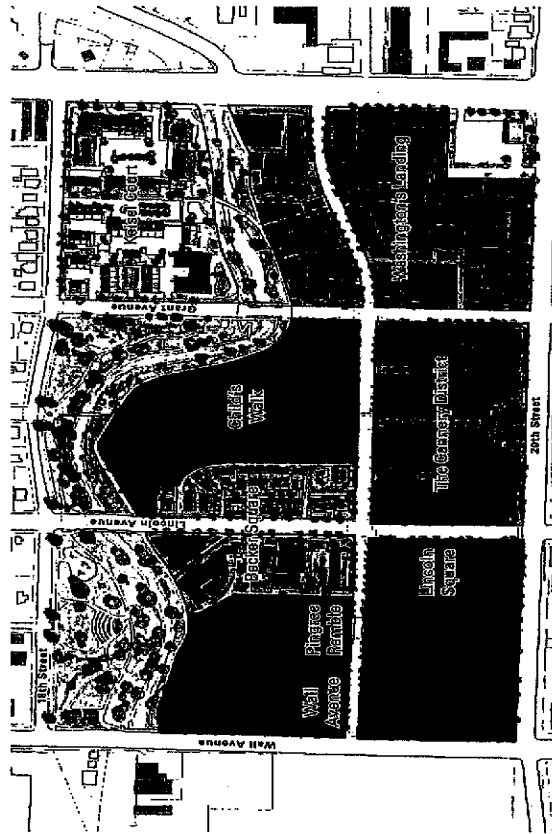
**LANDMARK LOCATIONS** Describes the significance and provides locations of foreground buildings which are essential to creating memorable places within the Ogden Bend neighborhood.



© 2011 URBAN DESIGN ASSOCIATES

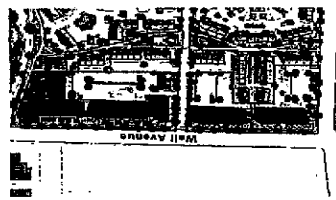
## Key Addresses

The master plan was conceived as a collection of unique and special addresses. Each of these addresses has distinct characteristics that distinguish it from the rest of the new neighborhood: differences in architecture, building types and scale, character of open space, and the activities that occur there. Ogden Bend will be composed of eight key addresses, which are briefly summarized below and described in greater detail on the following pages. Addresses have been derived by the primary urban qualities which make each area unique, rather than by limiting the character traits to project or parcel boundaries. This approach is essential to establishing a whole neighborhood that is greater than its parts.



- |  |   |   |
|--|---|---|
| <b>Wall Avenue</b><br>Loft-style buildings with a mix of uses create the western edge of the neighborhood.           | <b>Child's Walk</b><br>The north-south pedestrian link, Child's Walk, forms the spine of this central Ogden Bend neighborhood.                  | <b>Kessel Court</b><br>This address draws on its proximity to the river to form intimate, inviting courts.  |
| <b>Phoebe Avenue Ramble</b><br>Organic, winding park address that connects 20th Street to the river.                 | <b>The Canary District</b><br>As a main gateway into the neighborhood, this address is centered on a formal entry green at the DeVinci Academy. | <b>Washington's Landing</b><br>Unique neighborhood retail and residential fronting the Ogden River, complemented by a mix of commercial uses along Washington Avenue. |
| <b>Becker Square</b><br>Becker Brewery reborn as a residential address organized around three distinct green spaces. | <b>Lincoln Square</b><br>Intimate, neighborhood green ringed by small cottages and colorful cottage gardens.                                    |   |

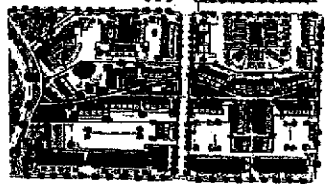
WALL AVENUE



Loft-style buildings line the western edge of the neighborhood, serving as a buffer to large parcels to the west. The tree selections along Wall Avenue, along with architectural devices, should provide a shade canopy that promotes a comfortable pedestrian environment.

ARCHITECTURAL STYLES  
 Arts & Crafts : 10%  
 Loft Mercantile : 40%  
 Transitional Modern : 50%

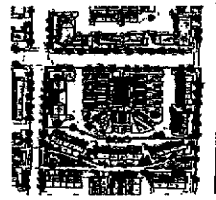
PINGREE RAMBLE



The Pingree Ramble is characterized by its organic, winding park space that connects 20th Street to the river. Townhouses have front doors on this park space lending a feel of garden living to this informal yet inviting address.

ARCHITECTURAL STYLES  
 Arts & Crafts : 40%  
 Victorian : 50%  
 Transitional Modern : 10%

LINCOLN SQUARE



The intimate neighborhood green on Lincoln Avenue gives this address its namesake. Ringed by courtyards, this space provides a place for active and passive recreation. The cottages are distinguished by simple forms, and historic styles with deep, full-width porches. The landscape installations should include colorful plant types to complement the lawn.

ARCHITECTURAL STYLES  
 Arts & Crafts : 25%  
 Victorian : 75%

BECKER SQUARE



Named for the old Becker Brewery, this address has a series of park spaces, each framed by a different residential housing type. Open spaces may celebrate the past with glass (board) art, history plaques and edible landscape types of the historic neighborhood that surrounds the Brewery.

ARCHITECTURAL STYLES  
 Arts & Crafts : 25%  
 Victorian : 50%  
 Loft Mercantile : 25%

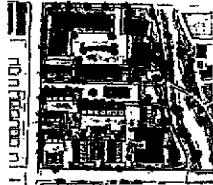
CHILD'S WALK



The north-south pedestrian link, Child's Walk, forms the spine of this central Ogden Bend neighborhood. The river edge features a combination of active and passive uses, including community gardens.

ARCHITECTURAL STYLES  
 Arts & Crafts : 50%  
 Victorian : 25%  
 Transitional Modern : 25%

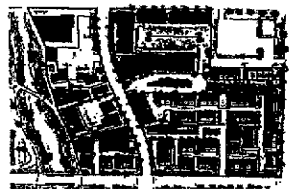
KEISEL COURT



This address features a variety of housing types and hotels that draw on their proximity to the river to form intimate, inviting courts. Existing trees should be retained to maintain a sense of maturity.

ARCHITECTURAL STYLES  
 Arts & Crafts : 75%  
 Victorian : 25%

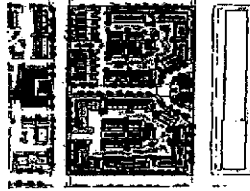
WASHINGTON'S LANDING



This riverside neighborhood is focused around creating a rich, mixed-use neighborhood of commercial and retail activity along the river and Washington Boulevard. The residential units are designed to form intimate neighborhood pockets that are linked to the river.

ARCHITECTURAL STYLES  
 Arts & Crafts : 50%  
 Victorian : 25%  
 Transitional Modern : 25%

THE CANNERY DISTRICT



As a main gateway into the neighborhood, this address is centered on a formal entry green and a pedestrian-friendly street of a diverse unit types. Landmark buildings should serve as comparisons to the historic American Can Building and landscape should have a more urban feel.

ARCHITECTURAL STYLES  
 Arts & Crafts : 25%  
 Victorian : 25%  
 Loft/Mesamille : 40%  
 Transitional Modern : 10%

# Landmark Locations

Cities are made up of Background Architecture and Foreground Architecture. Background Architecture composes most of the city and has attributes such as well designed facade compositions of simple (often repetitive) patterns and good quality materials and finishes. Foreground Architecture include buildings that warrant a high level of design because of their location and importance within the city. These buildings are typically at key gateway locations or terminate vistas. Key attributes include: facades of more complex compositions and unique elements and high quality materials and finishes.

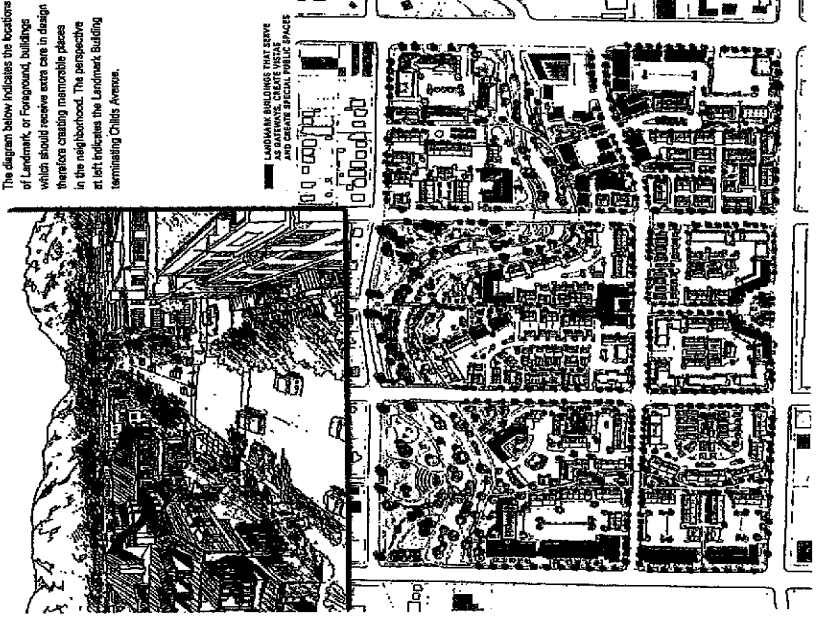
BACKGROUND BUILDINGS



FOREGROUND BUILDINGS



The diagram below indicates the locations of Landmark, or Foreground, buildings which should receive extra care in design therefore creating memorable places in the neighborhood. The perspective at left indicates the Landmark Building terminating Childs Avenue.



© 2011 URBAN DESIGN ASSOCIATES

EN 2583258 PG 4 OF 9

# Architectural Patterns

THE ARCHITECTURAL PATTERNS SECTION illustrates the key elements and design strategies employed in the region's most enduring neighborhoods. The documentation within this section is to be used as a design tool in the creation of a new neighborhood with distinctive regional character and quality of place. The goal is the creation of a neighborhood composed of a variety of architectural styles with a consistent quality of character and detail.

This section identifies the palette of building types that are appropriate for these neighborhoods, and provides guidelines for how individual buildings should be articulated. The pages that follow provide guidance about the following elements:

- » BUILDING TYPOLOGIES which identifies a range of building types, their proper placement on a lot, and how they may be expressed in various styles.
- » BUILDING ARTICULATION which provides key elements to consider when designing each building type
- » ARCHITECTURAL STYLES which identifies the key elements of the four styles: Victorian, Arts & Crafts, Transitional Modern and Loft/Mercantile; and includes the following components of each style:
  - » Facade Composition, Windows, and Doors
  - » Eave Details, Porches and Materials
  - » Specific Guidelines for Large Buildings

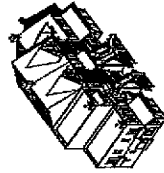
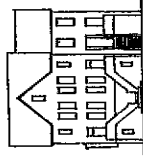
## BUILDING TYPOLOGIES

Understanding Building Types



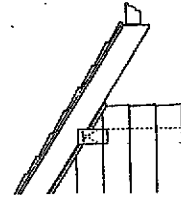
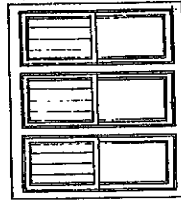
## BUILDING ARTICULATION

Composition of building elements



## ARCHITECTURAL STYLES

Applying Style-Based Elements, Details and Materials



## Building Typologies

The location, articulation and design of building typology is critical to the design of new neighborhoods. The chart on the following page details the appropriate articulation of buildings in the design process.

### BUILDING PLACEMENT

Great neighborhoods require appropriate building placement to create a physical environment for success. The overall building placement diagram, shown on this page, identifies general locations for building frontages that include streets and public spaces. This section provides prototypical setbacks and building placement standards by building type. In addition, these standards include side setbacks, which identifies relationship between buildings.

In the design of addresses of multiple units, consider the location and assignment of new property lines and setbacks to coordinate with architectural criteria identified in the chart of the following page.

### BUILDING CONFIGURATION

The requirements on the following page identify key quantitative components of building design including glazing and building height requirements. For transparency, this is the measure of the primary facade of each story in transparent windows. For windows to be considered transparent, the window glass must transmit at least 50% of visible daylight. Side Elevations facing public spaces and public ways, must be in the same spirit of the front facade design requirements.

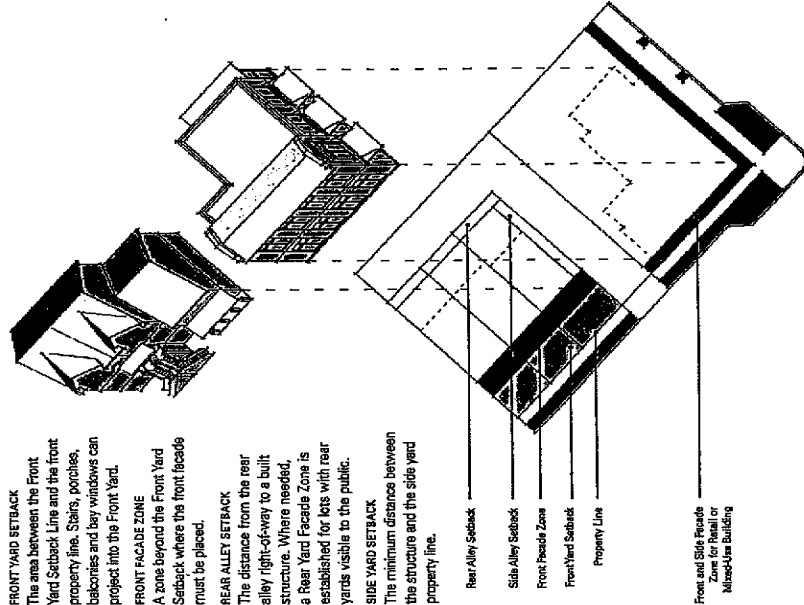
Building Height is typically driven by use, availability of parking, context of location, demand and even code requirements. Other key determinants are the building type and massing, and uses on each floor. The chart on the following page identifies recommended floor-

to-floor heights by building type. Story heights are measured from the floor to the bottom of the lowest structural member that supports the story above.















### APPROVED ARCHITECTURAL STYLES

The architecture of Ogden Bend is envisioned to blend with the existing character of Ogden while providing new options for housing and commercial needs. In order to help fulfill the vision of the plan, nine Building Types have been identified as a 'kit of parts'. Each can be designed in a selection of Architectural Styles that, when combined along streets and parks, create variety and interest for the neighborhood. The chart on the following page can be used to determine the appropriate, approved architectural styles should be applied to each building type.

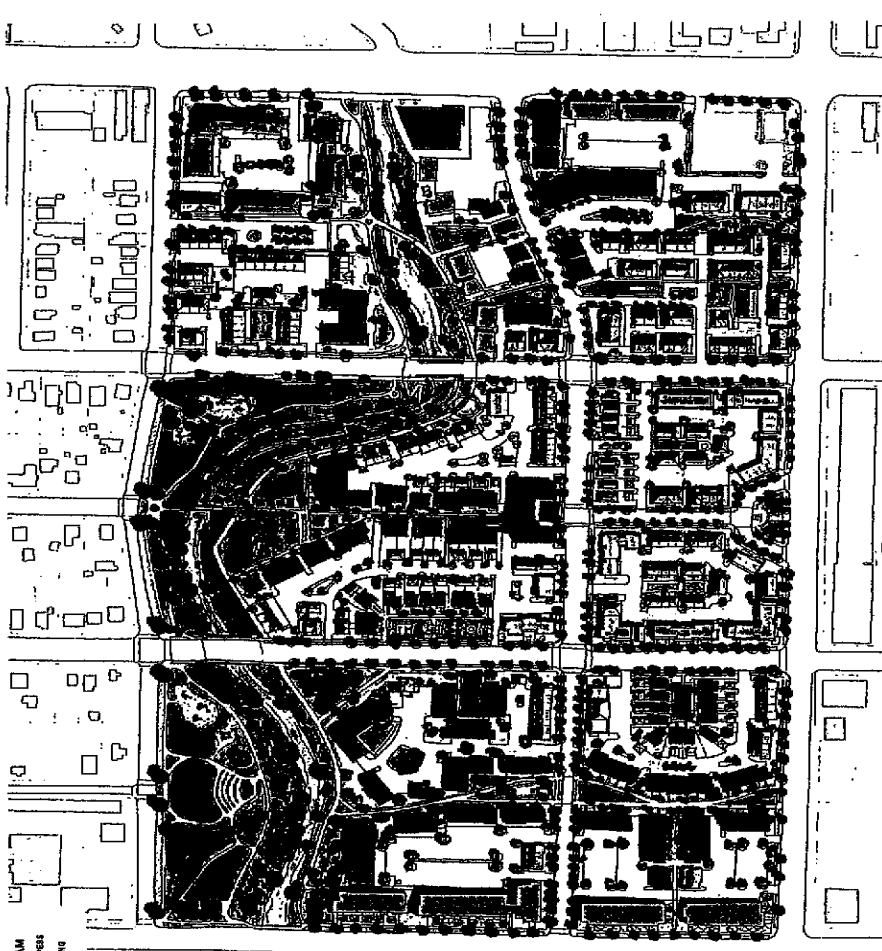
- » **FRONT YARD SETBACK**  
The area between the Front Yard Setback Line and the front property line. Stairs, porches, balconies and bay windows can project into the Front Yard.
- » **FRONT FACADE ZONE**  
A zone beyond the Front Yard Setback where the front facade must be placed.
- » **REAR ALLEY SETBACK**  
The distance from the rear alley right-of-way to a built structure. Where needed, a Rear Yard Facade Zone is established for lots with rear yards visible to the public.
- » **SIDE YARD SETBACK**  
The minimum distance between the structure and the side yard property line.



Building Typologies, continued

BUILDING TYPOLOGIES		BUILDING PLACEMENT				BUILDING CONFIGURATION					APPROVED ARCHITECTURAL STYLES						
Building Scale Reference	Type	Description	Precedent Photo	Front Yard setback	Front & Side Fronts	Rear & Side Alley Access	Side Yard Setback (min.)	Percentage of Lot Frontage Occupied (min.-max.)	Transparency Ground Floor (min.)	Transparency Upper Floor (min.)	First Floor Min. Height	Second Floor Min. Height	Third Floor Min. Height	Victorian	Arts & Crafts	Traditional	Modern Loft
SMALL RESIDENTIAL TYPES		Cottage	A compact single-family house of one, one-and-a-half or two stories. An attached or semi-detached garage is accessed by a rear alley.		12'	10'	5'	3'	70% - 90%	30%	10'	9'	9'	✓	✓		
		Carriage House	A stand-alone unit having two-car garage on ground level and a residential unit above. Several units can be grouped around shared outdoor space.		N/A	As req.	3'	70% - 100%	N/A	AS req.	9'	9'	9'	✓	✓		
		Townhouse	A unit with compact footprint, typically having two or three living floors, sometimes over a garage space. Often found in rows of three, four, five or six units, each with its own entrance and yard.		10'	15'	5'	0'	80% - 100%	30%	10'	9'	9'	✓	✓		
LARGE RESIDENTIAL & COMMERCIAL TYPES		Live-Work	A unit that is similar to a townhouse but has the ability of having a ground floor office or commercial use. The commercial space and residential unit share entrances.		5'	20'	5'	0'	90% - 100%	50%	14'	10'	9'	✓	✓		✓
		Apartment Building	A large building of multiple floors of apartment units with circulation cores and hallways. Typically, front doors face public streets or parks. Parking may be in rear lots or under a portion of the building.		10'	15'	As req.	5'	70% - 90%	40%	14'	10'	10'		✓		✓
		Mixed-Use Building	A large building of multiple floors with a mix of office, commercial and residential uses. Parking may be in rear lots or under a portion of the building.		0'	5'	As req.	0'	80% - 100%	50%	16'	10'	10'	✓	✓		✓
		Retail Building	A one or two-story commercial building typically in a stand-alone condition with a rear parking lot.		0'	5'	As req.	0'	70% - 90%	60%	16'	12'	N/A			✓	✓

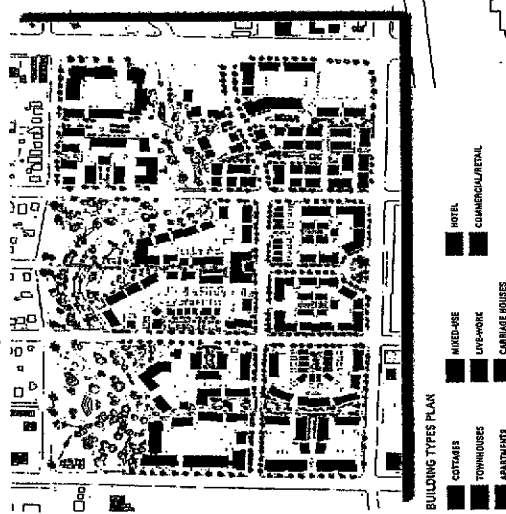




**LIMITATIONS DIAGRAM**  
 ■ FIXED BUILDING TYPES  
 ■ RESTRICTED BUILDING TYPES

Building Typologies, continued

The Ogden Bend Redevelopment Master Plan recognizes the close relation between building types and the character of spaces and streets they create. Below is a diagram developed during the workshop, illustrating an ideal mix of building types to achieve the intended variety of streets and open spaces. To the right is a diagram of recommended Fixed and Restricted Building Types, which are considered most important to the addresses they create. Fixed Buildings should not change from the proposed types. Restricted Buildings are flexible but must remain a commercial use (therefore types must be Retail, Live-Work or Mixed-Use). The remainder of the Master Plan allows a degree of flexibility with regards to building types.

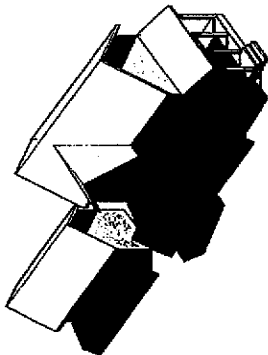


**BUILDING TYPES PLAN**  
 ■ COTTAGES  
 ■ TOWNHOMES  
 ■ APARTMENTS  
 ■ MIXED-USE  
 ■ LIVE-WORK  
 ■ CARRIAGE HOUSES  
 ■ HOTEL  
 ■ CHURCH/SCHOOL

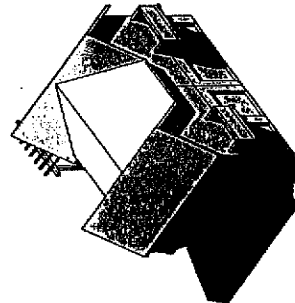
Building Typologies, continued

COTTAGE & CARRIAGE HOUSE

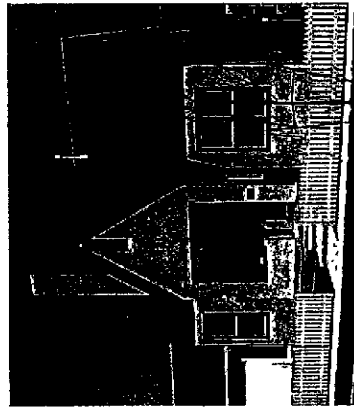
This page illustrates examples of new construction of cottages in new and existing neighborhoods. In all examples, note the simple roof forms, simple detailing, bright colors and large windows.



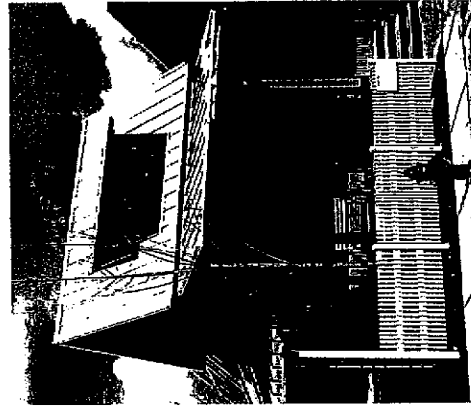
Cottage



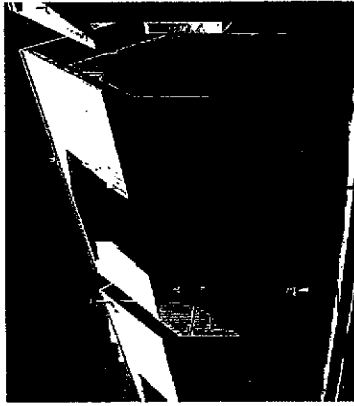
Carriage House



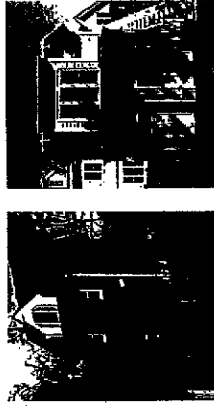
Cottage - New Construction, Dryden, UT



Cottage - New Construction, Dryden, UT



Cottage - New Construction, Frasier New Town, CO



Carriage House - New Construction, Charlotte, NC



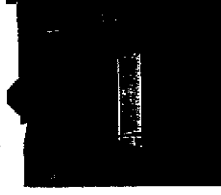
Cottage - Historic Preservation, Scottsdale, MA



Carriage House - New Construction, Westlake, FL



Carriage House - New Construction, Charlotte, NC

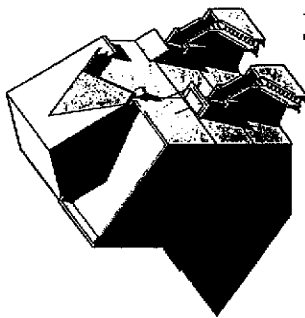


Cottage - New Construction, Prosper, New Town, CO

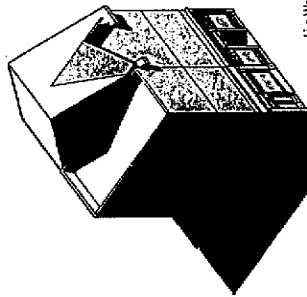
Building Typologies, continued

**TOWNHOUSE & LIVE-WORK**

This page illustrates examples of new construction in new and existing neighborhoods. In all examples, note a consistent use of elements that suggest house-like characteristics, detailing and scale to create neighborhoods that feel residential.



Townhouse



Live-Work



Live-work - New Construction, Southlake, TX



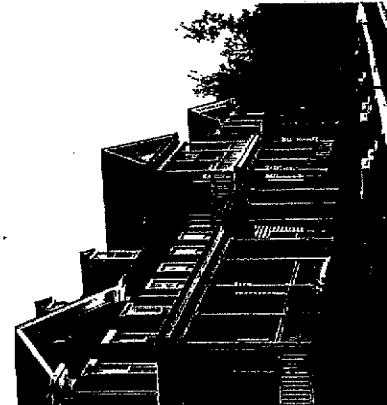
Townhouse - New Construction, Danvers, VT



Live-Work - New Construction, Charlotte, NC



Townhouse - New Construction, Portsmouth, VA



Townhouse - New Construction, Baxat, NC



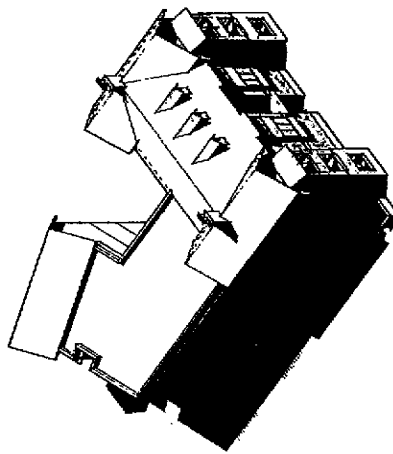
Townhouse - New Construction, Westchester, NY

© 2011 URBAN DESIGN ASSOCIATES

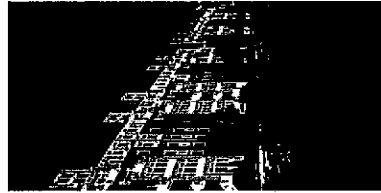
Building Typologies, continued

APARTMENT BUILDING

This page illustrates examples of new construction around the country. In all examples, notice the large windows, the rich detailing and unique stylistic characteristics on similar typologies.



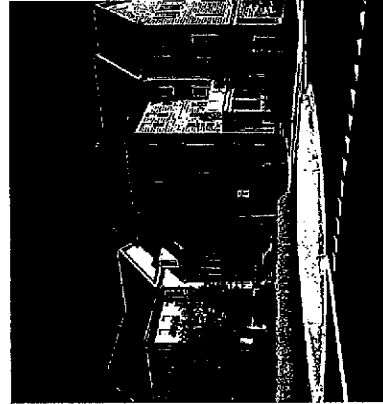
New Construction - Washington, DC



New Construction - Providence, RI



Historic Renovation - Windsor, CT



New Construction - Hanlands, MO

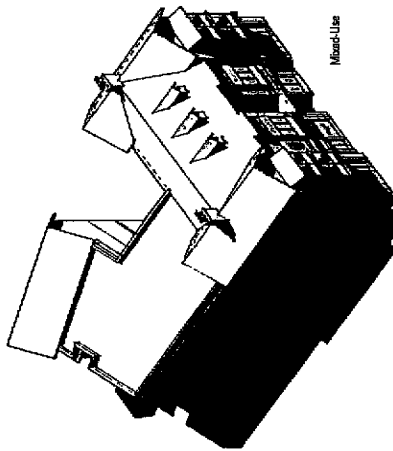


New Construction - Berkeley, CA

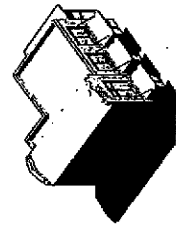
Building Typologies, continued

MIXED-USE & RETAIL BUILDING

This page illustrates a combination of examples of new construction and historic precedent that is applicable to practice today. Note the large windows, welcoming storefronts, and active public spaces around them.



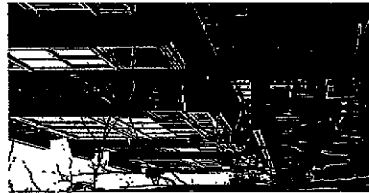
Mixed-Use



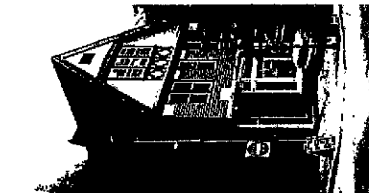
Retail Building



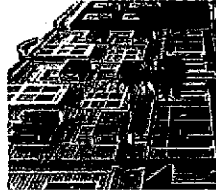
Mixed-Use - New Construction, Hanover, NH



Mixed-Use - New Construction, Concord Station, VT



Mixed-Use - Historic Precedent, Providence, RI



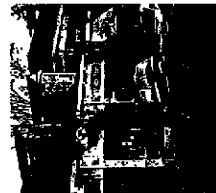
Mixed-Use - New Construction



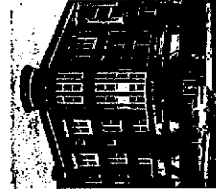
Retail - Historic Precedent, Southbridge, MA



Mixed-Use - New Construction, Southlake, TX



Retail - New Construction, Baxter, SC



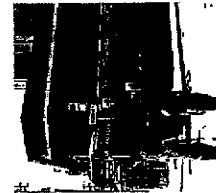
Mixed-Use - New Construction, Charlotte, NC



Mixed-Use - New Construction, Hanover, NH



Mixed-Use - New Construction, Baxter, SC



Retail - Historic Precedent, Providence, RI

## Articulations

### COTTAGE AND CARRIAGE HOUSE

All buildings should be designed such that the massing and form create variety, uniqueness and balance. Cottages are a very flexible unit type that can be arranged in countless ways with just minor repositioning of elements, thus creating many different buildings from one unit plan. A block elevation of cottage units should include a healthy mix of styles. Carriage units, when grouped in multiples, should be composed and detailed as one building.

STEP 1: MAIN BODY



STEP 2: MASSING & ADDITIONS



STEP 3: PORCHES & ENTRY ELEMENTS



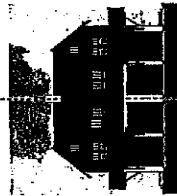
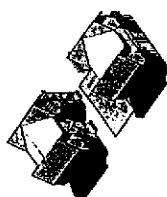
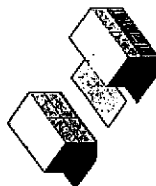
STEP 4: SPECIAL ELEMENTS, WINDOWS & DOORS



STEP 5: ELEVATION



© 2011 URBAN DESIGN ASSOCIATES

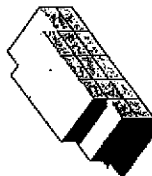


## Articulations

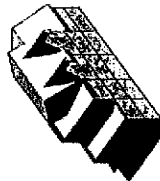
### TOWNHOUSE AND LIVE-WORK

All buildings should be designed such that the massing and form create variety, uniqueness and balance. Attached buildings such as Townhouses and Live-Work units should seek to provide individuality for each unit, while maintaining harmony for the whole building.

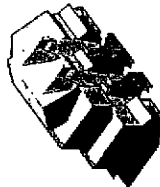
STEP 1: MAIN BODY



STEP 2: MASSING & ADDITIONS



STEP 3: PORCHES & ENTRY ELEMENTS



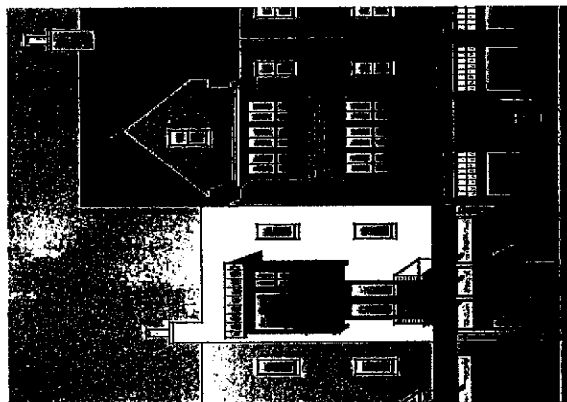
STEP 4: SPECIAL ELEMENTS, WINDOWS & DOORS



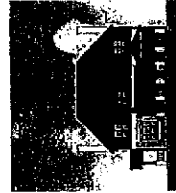
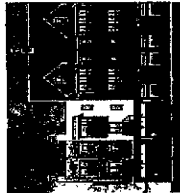
STEP 5: ELEVATION



LIVE-WORK



TOWNHOUSE - MULTI-PLEX CONFIGURATION



© 2011 URBAN DESIGN ASSOCIATES

## Articulations

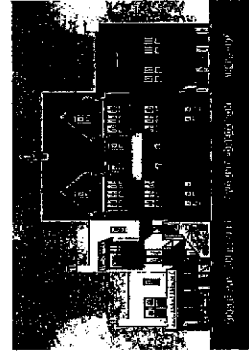
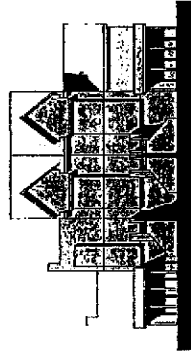
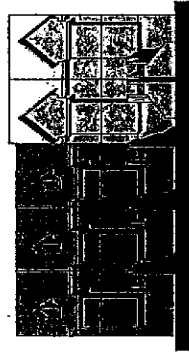
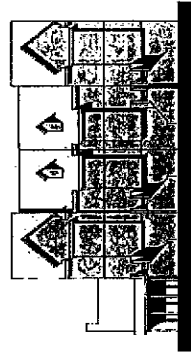
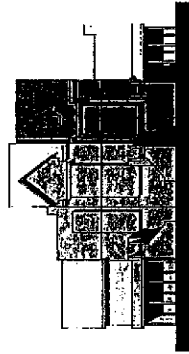
### TOWNHOUSE AND LIVE-WORK ASSEMBLY AND SCRIPTING

In the design of neighborhoods of townhouses, there are critical placemaking characteristics. In the design of assemblies of groups of townhouses, repetition of the same unit of the style, can be detrimental to the feeling of a neighborhood that has developed over time. This sample scripting page illustrates these principles on a suite of five-unit townhouses. Generally, townhouses are designed in groups of two to six units at a time, but the principles remain the same.

In the design of a composition of townhouses, it is recommended to vary architectural style and unit cadence to read as buildings of varied width and style. These examples articulate moments of unit repetition of two- to four-units of a composed group of a similar unit type and/or style.

In the placement of units, the examples to the right also articulate two different approaches toward unit size and placement. This includes placement of the deepest and tallest units to the center or the ends of a composition.

A sample elevation shows the implementation of these principles in a five-unit building.



Sample Elevation



# Articulations

## APARTMENT AND MIXED-USE BUILDINGS

### STEP 1: BASIC MASSING & PROGRAMMING DIAGRAM

Based on site constraints and program, establish a layout for the building. Pay particular attention to relationships to the Master Plan, including the orientation of dwelling units and the location of pedestrian entries.

### STEP 2: ESTABLISH LOCATIONS FOR EMPHASIS

In consideration to the Master Plan, choose areas of the building that may require additional articulation. In this particular case, the location is the building corners.

### STEP 3: ARTICULATED MASSING DIAGRAM

Articulate the location of units and at the same time, establish an architectural evidence for the building articulation.

### STEP 4: DESIGN ROOFSCAPE

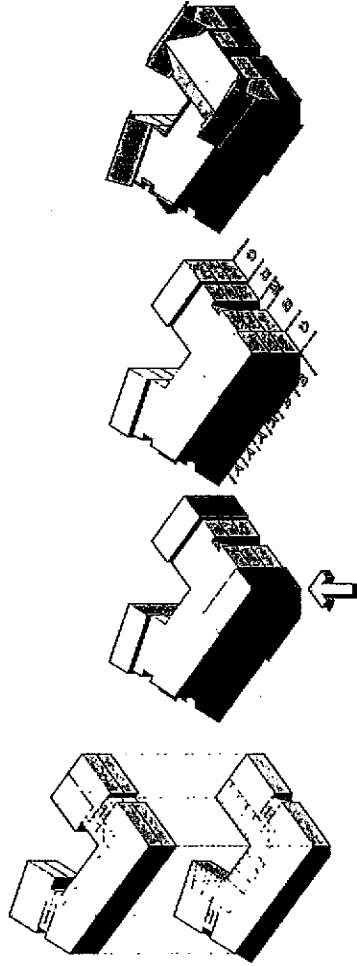
The roofscape is a critical component of the building skyline. In the case of a residential neighborhood, it is important that the roofscape includes residential roof forms in the scale of the neighborhood. These roof forms should be informed by the locations for emphasis described in Step 2, and the selected building style from the Architectural Patterns.

### STEP 5A & 5B: ADD OUTDOOR SPACES AND SCALE ELEMENTS FOR ARTICULATION

An important part of the creation of great neighborhood is the sense of human habitation. Note that care should be placed in creating simple, local symmetries that correspond with massing locations to create the feeling of an assembly of small buildings. In the case of Mixed-Use buildings, the ground floor should include storefronts that are resolved with the building above.

### FINAL VISION:

Add the windows, details from the Architectural Style section. In this case, the project is shown in Arts & Crafts, a popular building style in a building of this scale.

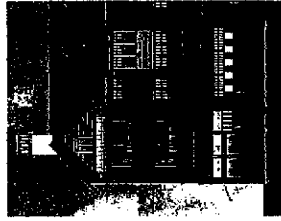


1. Basic Massing & Program Diagram

2. Establish Locations for Emphasis

3. Articulated Massing Diagram

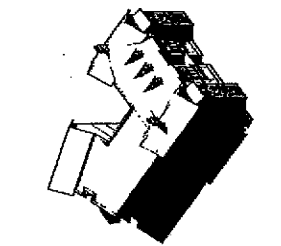
4. Design Rooftopscape



FINAL VISION - MIXED-USE BUILDING



FINAL VISION - APARTMENT BUILDING



5a. Add Outdoor Spaces and Scale Elements for Articulation

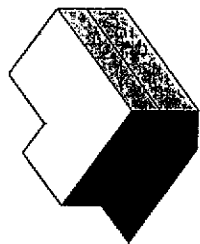
5b. Mixed-Use Condition: Add Outdoor Spaces and Scale Elements for Articulation

## Articulations

### RETAIL BUILDINGS

#### STEP 1: BASIC MASSING DIAGRAM

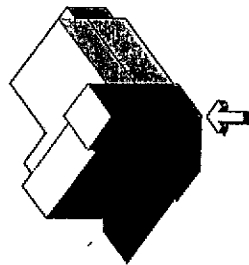
Based on site constraints and program, establish a layout for the building. Pay particular attention to relationships to the Master Plan, including the orientation of dwelling units and the location of pedestrian entries.



1. Articulated Massing Diagram

#### STEP 2: ESTABLISH LOCATIONS FOR EMPHASIS

In consideration to the Master Plan, choose areas of the building that may require additional articulation. In this particular case, the location is the building corner.



2. Establish Locations for Emphasis

#### STEP 3: ESTABLISH AN ARCHITECTURAL CADENCE

Articulate a system of bays for storefronts.

#### STEP 4: ARTICULATE THE ROOFSCAPE

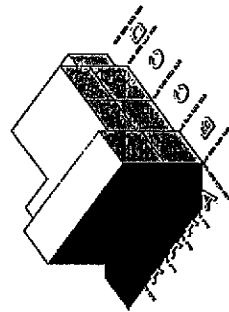
The roofscape is a critical component of the building character. In correspondence with the selected building style, create identifying features and elements.

#### STEP 5A & 5B: ARTICULATE BUILDING DESIGN

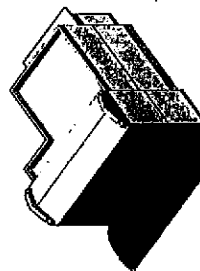
Great retail environments contain buildings with great transparency. Large openings including windows and storefronts, are critical to success of the buildings occupant and the retail district. Screen windows from the harsh sun with appropriately design window shade devices that correspond to the building style.

#### FINAL VISION:

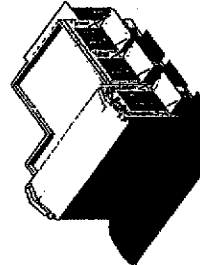
Add the windows, details from the Architectural Style section. In this case, the project is shown in Loft Industrial.



3. Design Rooftscape



4. Add Outdoor Spaces and Scale Elements for Articulation



5. Mixed-Use Condition: Add Outdoor Spaces and Scale Elements for Articulation



FINAL VISION - RETAIL BUILDING

# Architectural Styles

A series of well-developed styles and architectural vocabularies were popular throughout the United States in the 19th and 20th Century. These styles were adapted by local builders through the use of early pattern books and later catalogs of house plans. In Ogden, many of the neighborhoods are comprised of a rich mix of remarkable examples of historic styles. In each house, they display characteristics of the national style but at the same time, remain rooted in Ogden through a regional interpretation of the style.

As a new neighborhood for Ogden, Ogden Bend will also incorporate a mix of styles. These styles are applicable to a variety of building types found in Ogden. Victorian and Arts & Crafts are common, national styles based on time-tested conventions. Transitional Modern combines traditional town-making prototypes and principles with large areas of glazing and modern detailing. Loft Mercantile draws from the industrial history, and local surviving building prototypes in new uses. Each style will be adapted to modern typologies and modern living.

## VICTORIAN

- » Simple massing with additive elements to create variety
- » Asymmetrical facade compositions common
- » Moderate to steep roof pitches
- » Prominent porch elements
- » Delicate and ornate detailing
- » Vertical window and door proportions
- » Orderly, symmetrical relationship of windows

## ARTS & CRAFTS

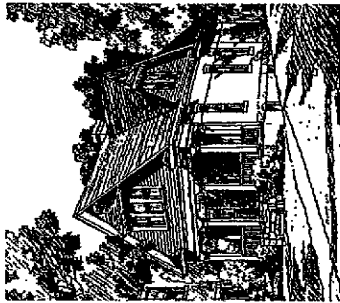
- » Shallow-pitched roofs with deep overhangs
- » Deep, broad porch elements with expressive structural components
- » Exposed structural elements in the eaves such as rafters and brackets
- » A mixture of materials such as brick, stonings, and siding
- » Asymmetrical window and door compositions
- » Grouped windows

## TRANSITIONAL MODERN

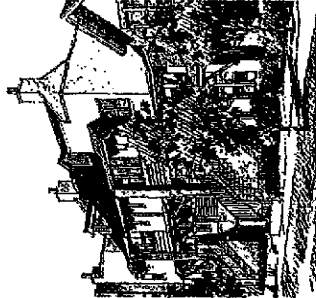
- » Traditional architectural massing
- » Building design & programming orient to public spaces around it
- » Continuous flow of space between interior and exterior
- » Use of porches and clearly defined entrances
- » Expressive use of materials to highlight varied forms
- » Material use relates to climatic considerations and modern design aesthetic

## LOFT MERCANTILE

- » Simple rectangular volumes, usually three to four stories tall
- » Regular pattern of simple windows
- » Facades are composed of repetitive elements that express the structural grid
- » Simple details
- » Masonry materials
- » Storefronts may be one-story in height, and create a composition in alignment with those windows above



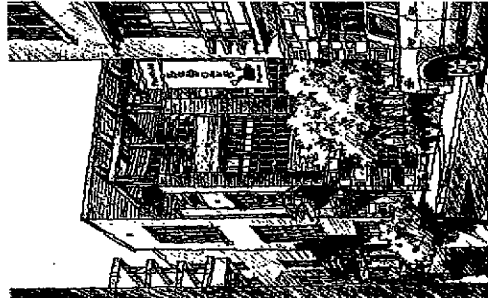
Victorian



Transitional Modern



Arts & Crafts



Loft Mercantile

# Victorian

The Victorian style achieved widespread popularity in the United States in the mid-1800s. Named for the last decades of the reign of Queen Victoria in England, the style was readily accessible to many home builders as a result of pattern books that provided drawings of these early house designs, making it easier for the builders of both country estates and modest dwellings to adopt the style. While the style initially became fashionable in the East, it spread into this region with the initial settlers in the 1850s.

Dramatic changes in construction techniques (mass production for example) and railroad shipping (which allowed construction materials to move more easily around the country at low cost) contributed to the broad appeal and proliferation of the Victorian style. The evolution in construction techniques also allowed for greater expression in both the massing and details of Victorian style houses and commercial buildings.

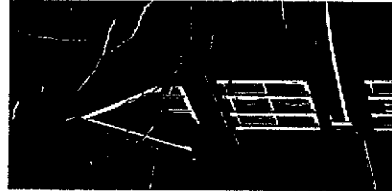
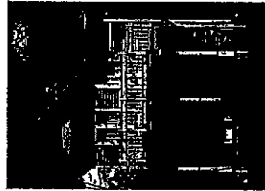
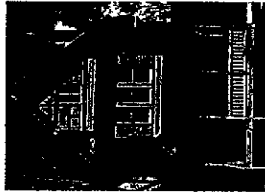
The Ogden Bend Victorian is centered on the simple, elegant forms that were adapted to houses in the smaller towns and the rural farmhouse and western town centers. The massing forms are quite simple, and the ornamentation is restrained and typically limited to the porches, entries and cornices.



Cottage Carriage House Townhouse Live-Work Mixed-Use

## Key Elements of the Victorian Style

- » Simple massing with additive elements to create variety
- » Asymmetrical facade compositions common
- » Moderate to steep roof pitches
- » Prominent porches and porch elements
- » Delicate and ornate detailing
- » Vertical window and door proportions
- » Orderly, symmetrical relationship of windows





## Small Residential Types

### EAVES

- » Eave returns on gable elevations are typical, use low profile metal flashing on top of return.
- » Raking eaves may have an oversized, decorative board at the gable end.

### ROOF

- » Typical pitches of 8/12 to 16/12.
- » Materials: Dimensional architectural grade asphalt or fiber-glass shingles; Metal, narrow standing seam or 5/4 panels, metal finish or painted, slate or synthetic slate.

### CLADDING

- » Consistent on all facades of primary mass. Exceptions include: secondary masses (wings) gables, dormers, and garages
- » Materials: Siding is to be hard cement board (with 8- to 10-inch-wide skirt boards); shingles, brick, or stucco (as an accent to brick)

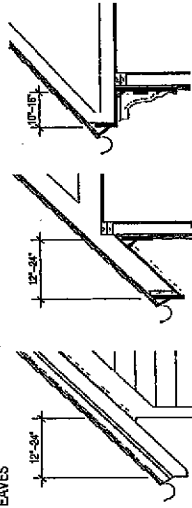
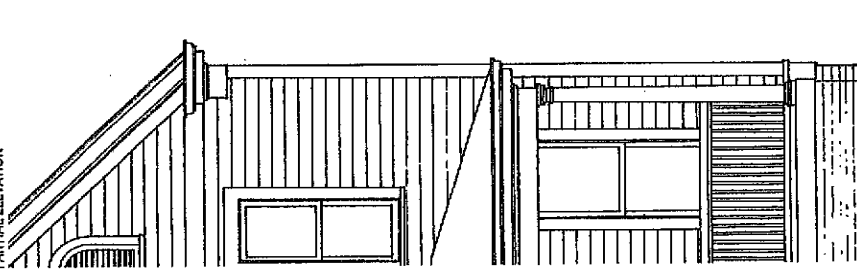
### PORCHES

- » Design of eave details must be equal to, or of higher quality than the eaves of the main body roof.
- » Porch columns should be spaced to create vertical proportions in between columns.

- » Materials: Columns may be fiberglass, polymer, or wood. Straight or turned wood balusters, solid rail clad in wood, cut shingle, siding, or brick are permitted.



### PARTIAL ELEVATION

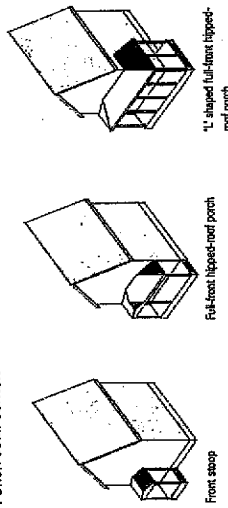


Common raking eave, gable elevation

Raking eave - closed with molding and fascia board

Flat based eave with fascia board and crown molding

### PORCH COMPOSITION

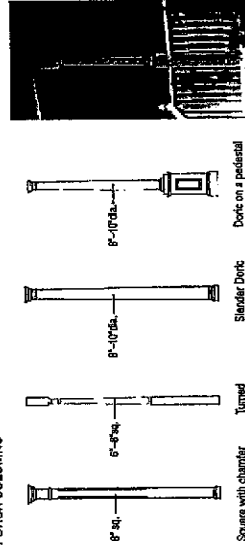


Front stoop

Flat-roof hipset-roof porch

'L' shaped full-front hipset-roof porch

### PORCH COLUMNS



8" sq.

6"-6"sq.

8"-10"dia.

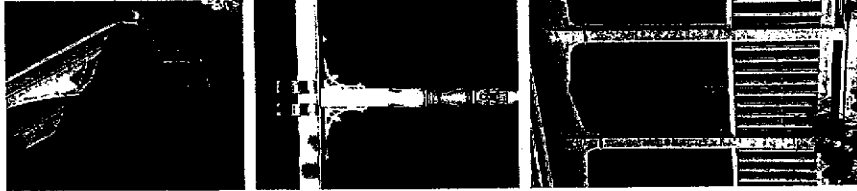
8"-10"dia.

Square with chamfer

Turned

Slender Dork

Dork on a pedestal



© 2015 URBAN DESIGN ASSOCIATES

## Large Residential & Commercial Types

### MASSING

- \* Front facades are designed as parapet wall fronts with some form of cornice expression, or as pitched roofs.
- \* Articulated cornices using brackets, pediments, and shaped moldings, or the top may be defined using cut or cast stone elements and accent brickwork.
- \* Massing is typically a two- or three-story building with a tall ground floor and vertical proportions.

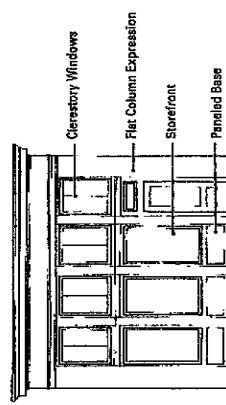
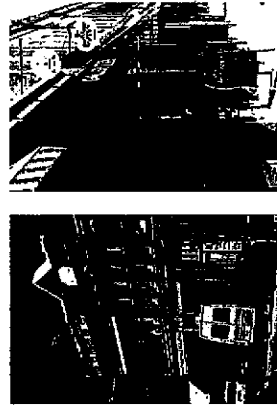
### FACADE COMPOSITION

- \* Composed into three and four bay compositions; five or six bay composition for larger buildings.
- \* In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.
- \* Variation of building height to neighboring buildings is recommended.

### WINDOWS AND STOREFRONTS

- \* Storefront windows are double hung with a one-over-one pattern or two-over-two pattern of divided lights. Storefronts are predominantly large panes of glass, often with transoms above.
- \* Ground-floor retail spaces have a recommended minimum clearance of 12 feet from floor-to-calling.
- \* Storefront design must utilize the full height of the ground-floor facade frontage.
- \* Typically the storefront will have a deep entablature/cornice expression above the shopfront that serves as an area for signs.
- \* Design facade for maximum transparency.

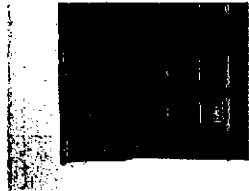
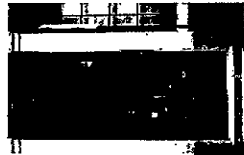
### STOREFRONTS



Cornice with ornate brick masonry



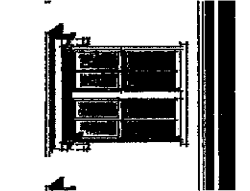
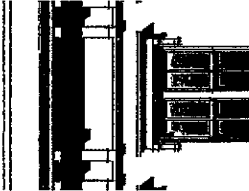
Simple wide windows in a brick facade



Cornice with traditional bracket detail



Window with ornate brick and stone lintel and brick string courses



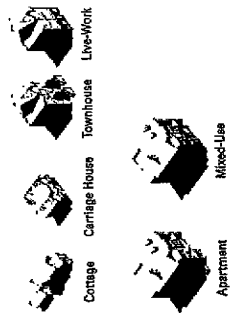
RENDERING COURTESY OF THE UNIVERSITY OF CALIFORNIA ARCHITECTURAL RECORD



# Arts & Crafts

Arts & Crafts houses, derived from the traditions of Bungalow design, gained widespread popularity in the United States in the 1920s. This movement was influenced by the revival and interest in a return to unique crafting of furniture, housewares, and everyday objects, as well as painting and sculpture in England at the end of the nineteenth century. Architecture was influenced by a more natural and expressive use of materials and forms. This enduring style flourished in the early twentieth century, especially in the design of modest cottages. The movement was centered in California and the West Coast as builders used pattern books and mass-marketed house plans and packages to attract a broad spectrum of homebuyers. These can be seen in the traditional neighborhoods of the Salt Lake City Valley and Ogden.

The Arts & Crafts house is characterized by broad open porches, low sloping roofs with deep overhangs, asymmetric window and door compositions, expressive trim, exposed rafters, and bracketed porches. The popularity of the style expanded to large apartment and mixed-use buildings. These common western buildings are inspired by the expressive eaves, organic ornamentation, and earth-tone color palette.



## Key Elements of the Arts & Crafts Style

- » Shallow-pitched roofs with deep overhangs
- » Deep, broad porch elements with expressive structural components
- » Exposed structural elements in the eaves such as rafters and brackets
- » A mixture of materials such as brick, shingles, and siding
- » Asymmetrical window and door compositions
- » Grouped windows





## Small Residential Types

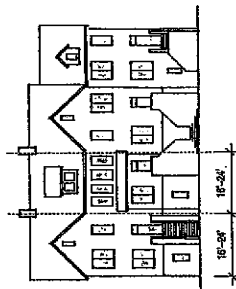
### FACADE COMPOSITION

- » Often broken into 2- or 3-part bays to emphasize a horizontal proportions.
- » Local symmetries based around strong elements such as heavy porches or wide bay projections
- » Often, first-floor windows are larger than second floor windows.
- » Sillies may not be used where they are visible from public thoroughfares.

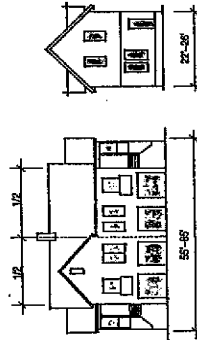
### DOORS

- » Typically 6'-8", 7'-0", 8'-0" heights
- » Often, glass is incorporated in exterior front doors.
- » Painted or stained wood; aesthetic equivalent acceptable
- » Typical gridded pane configurations include: 4-over-1, 4-over-4, 6-over-1, 6-over-6 with vertical proportions or 3-or 4-vertic planes over-1
- » Profiled muntin bars between panes are recommended.
- » Most often, houses have the same window design throughout, with the exception of special windows in hierarchical positions such as the gable, dormers, and/or bay windows.

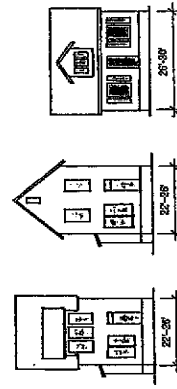
### FACADE COMPOSITION



Townhouses

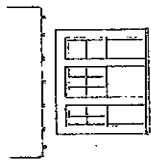
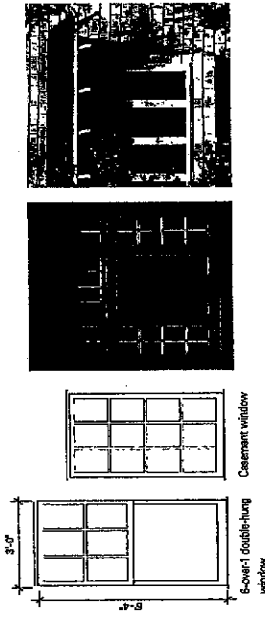


Carriage Houses



Cottages

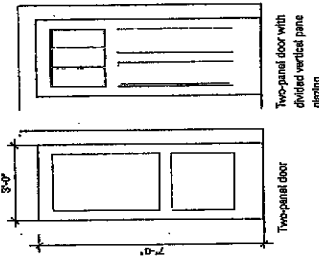
### WINDOWS, BAYS & DORMERS



Bay bay with triple double-hung windows

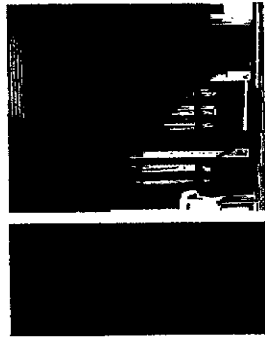


### DOORS



Two-panel door with divided vertical pane glazing

Two-panel door with single-pane glazing, decorative design, and two sidelights



FOR GREAT DESIGN ASSOCIATES



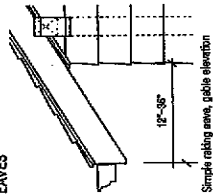
Cottage Carriage House Townhouse Live-Work

## Small Residential Types

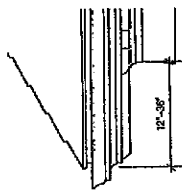
### EAVES

- » Deep eaves are a dominant characteristic.
- » Open eaves typically have a 2x6-inch or 2x8-inch shaped rafter tail 16 to 24 inches on center. Gables feature deeper rafter boards.
- » Board eaves often have profiled outriggers or brackets at 24 inches on center.

### EAVES



Simple rafter eave, gable elevation



Fit board eave, high elevation with outriggers at 24 inches on center



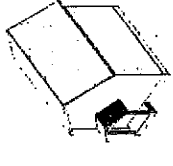
### ROOF

- » Dimensional architectural grade asphalt or fiberglass shingles
- » Metal, narrow standing seam or 5-V panels, metal finish or painted
- » Slate or synthetic slate cladding

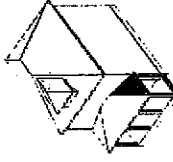
### CLADDING

- » Cladding should be consistent on all facades of primary mass. Exceptions include: gables, dormers, and garages.
- » Often, the top floor material is an alternate material or cladding pattern from the building base.

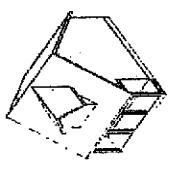
### PORCH COMPOSITION



Front stoop



Hipped gable full-front porch

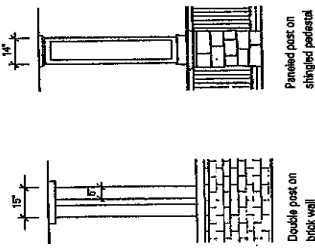


Full-front inset porch

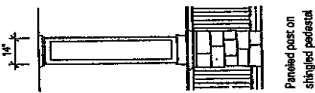
### PORCHES

- » Design of eave details must be equal to, or of higher quality than the eaves of the main body roof.
- » Columns may be fiberglass, polymer, or wood.
- » Straight or turned wood balusters; solid rail clad in wood, or shingle, siding, or brick permitted.

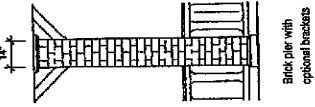
### PORCH COLUMNS



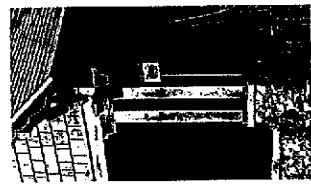
Double post on brick wall



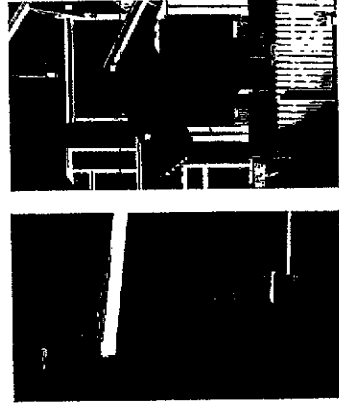
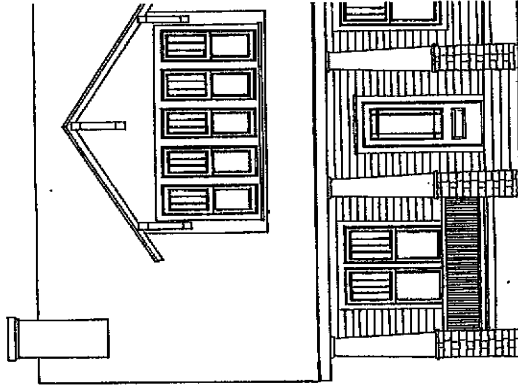
Paneled post on shingled postel



Brick pier with optional brackets



### PARTIAL ELEVATION



© 2011 URBAN DESIGN ASSOCIATES

EN 2583258 PG 66 OF 98



Cottage Carriage House Tomlinson Live-Work

## Large Residential & Commercial Types

### MASSING

- » Facades will have a variety of forms and compositions.
- » Front facades are designed as parapet wall fronts with some form of cornice expression, or as pitched roofs.

### WINDOWS AND STOREFRONTS

- » The parapet may be continuous with either an articulated cornice using brackets, purlins and slanted moldings, or the top may be defined using cut or cast stone elements and accent brickwork.

- » Massing is typically a two- to four-story building with a tall ground floor and more vertical proportions.

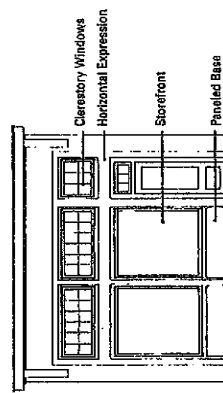
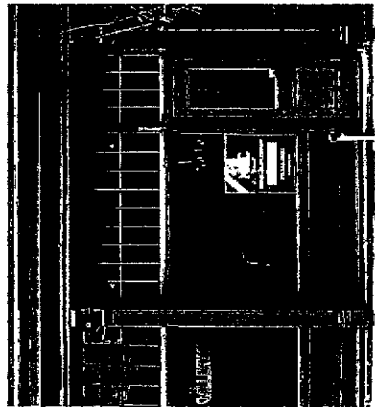
### FACADE COMPOSITION

- » Typically, these buildings will have three- to four-bay door and window compositions.
- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.



Live-Work  
Mixed-Use  
Apartment

### STOREFRONTS



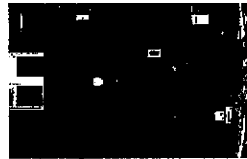
Clerestory Windows  
Horizontal Expression  
Storefront  
Paneled Base



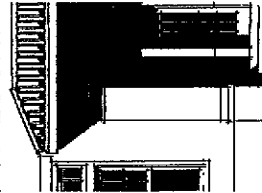
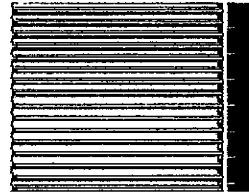
CORNICE ELEMENTS



MIDDLE ELEMENTS



BASE ELEMENTS



RELATIONSHIP BETWEEN MASSING AND STOREFRONT

## Transitional Modern

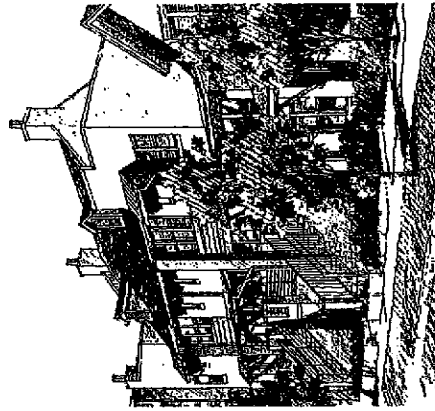
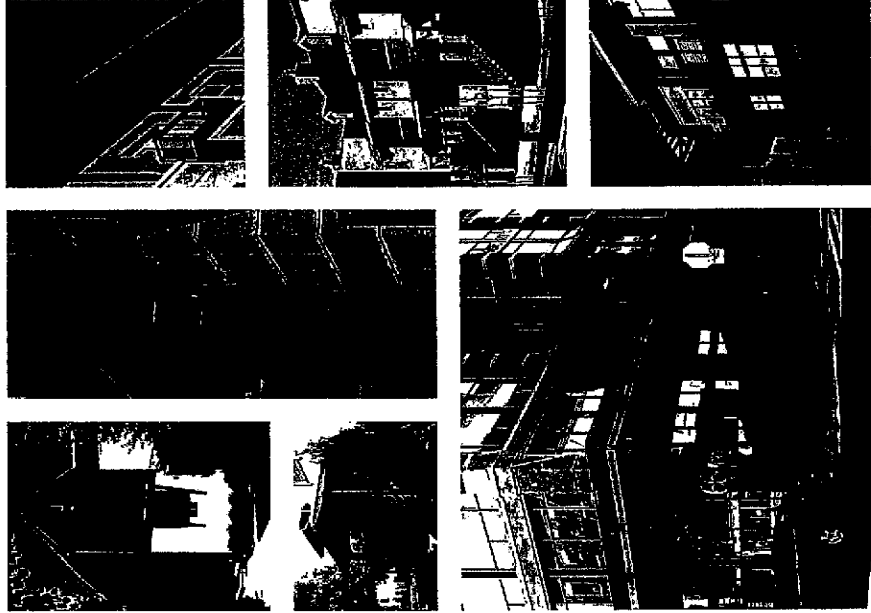
In the 20th century, many advocates of the Modern movement called for a break with the past and for the invention of new forms and details that would create the vision of a new world. However, many of today's architects recognize the importance of time-tested principles in the creation of new neighborhoods. This style intersects a broad palette of influences from traditional styles with modern, local architectural practice. Together it represents a distinctive feel of Northern Utah.

This section is developed from three important characteristics. The first is to provide buildings that contribute to the character and quality of the public space. Elements such as porches, windows, and clearly defined entrances facing the street are critical. The second is the creation of strong connections between the interior and the exterior. Large openings of glass and doors that can be opened up are critical to the implementation of this concept. The third is to follow the principles of green design, which include shading devices, passive solar design, the use of overhangs, trellises, and porches, as well as providing proper orientation to the sun. In this case, details may incorporate playful, modern sensibilities.



### Key Elements Of The Transitional Modern Style

- » Traditional architectural massing
- » Building design & programming orient to public spaces around it
- » Continuous flow of space between interior and exterior
- » Use of porches and clearly defined entrances
- » Expressive use of materials to highlight varied forms
- » Material use relates to climatic considerations and modern design aesthetic



22AVI00000V K00000 N00000 000 0

EN 2503250 PG 60 OF 90

## Small Residential Types

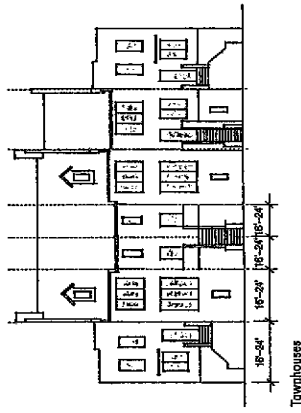
### FAÇADE COMPOSITION

- » May be broken into bays to emphasize vertical elements
- » Local symmetries based around strong elements such as heavy porches or wide bay projections
- » Slides may not be used where they are visible from public thoroughfares.
- » Align window head with door heads.

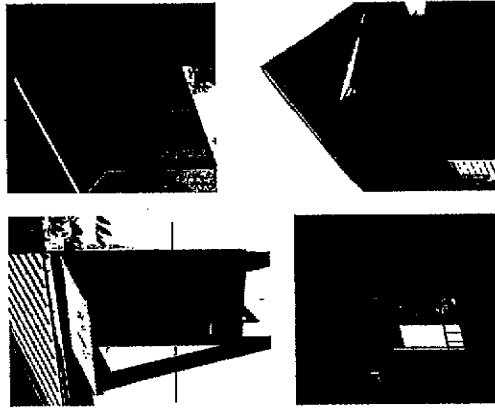
### WINDOWS, BAYS, & DORMERS

- » Repetitive compositions of the same may be set in contrast to hierarchical windows of an alternate type.
- » Corner windows may be used.
- » Combinations of picture, casement and double-hung windows may be composed together.
- » Windows should be set deep for shadow; use traditional profiles.
- » Typical gridded pane configurations of Victorian and Arts and Crafts may be used.
- » Profiled muntin bars between panes are acceptable. External 1-inch-wide or more projecting muntin bars preferred.

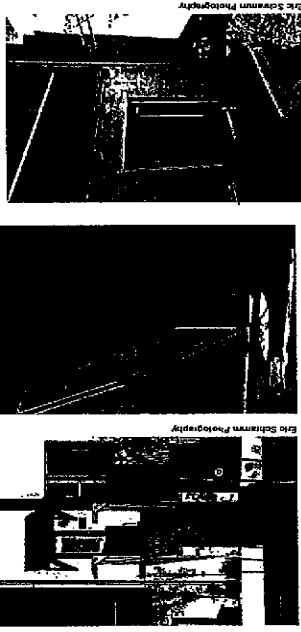
### FAÇADE COMPOSITION



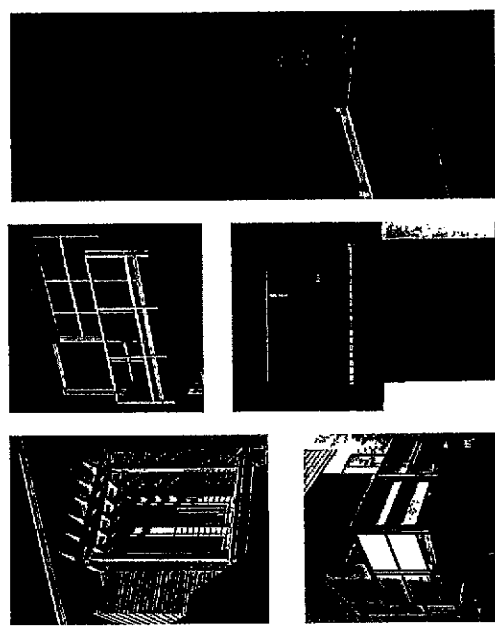
### WINDOWS



### DOORS



### BALCONIES



© 2011 URBAN DESIGN ASSOCIATES



## Small Residential Types

### EAVES

- » Open or closed eaves are permitted. Detailing shall be simple and elemental.
- » Open eaves typically have a 2x6-inch or 2x8-inch straight cut rafter tail 1/6 to 2/4 inches on center.

### ROOF MATERIAL

- » Dimensioned architectural grade asphalt or fiberglass shingles
- » Metal, narrow standing seam or 5-V panels, metal finish or painted
- » Slate or synthetic slate cladding

### PORCHES

- » Exposed rafters and structural members is strongly encouraged.
- » Columns may be metal, fiber-glass, polymer, or wood.
- » Straightforward simple detailing is required.

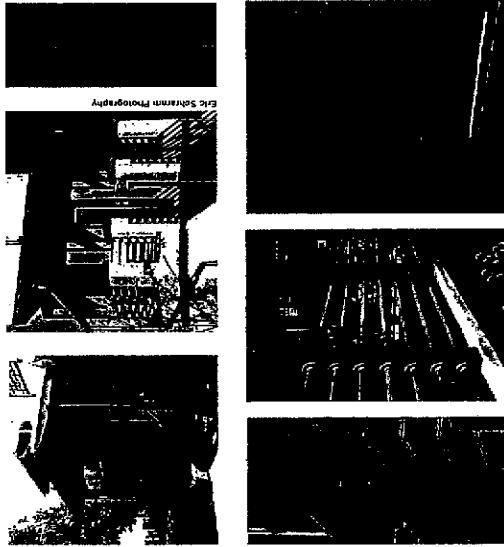
### CLADDING

- » Cladding should be consistent on to each facade or additive element or building story. Thoughtful compositions of adding materials is encouraged.

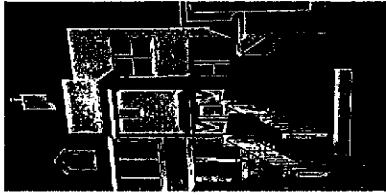
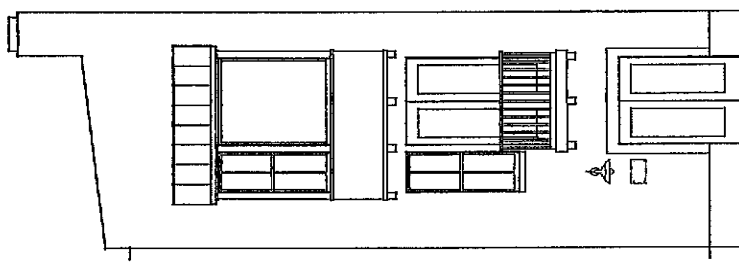
### EAVES



### PORCH ELEMENTS



### PARTIAL ELEVATION



© 2011 URBAN DESIGN ASSOCIATES

Eric Schramm Photography



## Large Residential & Commercial Types

### MASSING

- » Streets and public spaces should use high-quality materials.
- » Massing is typically a two- or three-story building with a tall ground floor and more vertical proportions.

### FACADE COMPOSITION

- » Facades will have a variety of forms and compositions.
- » Picturesque, asymmetrical compositions are recommended.
- » Larger buildings may have five- or six-story compositions above the ground floor with varying storefront treatments on the ground floor.
- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.



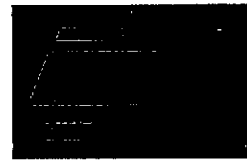
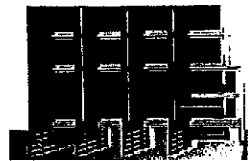
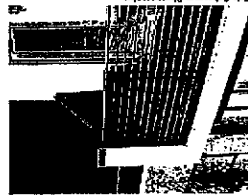
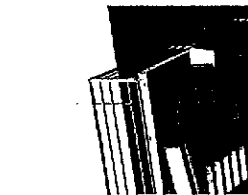
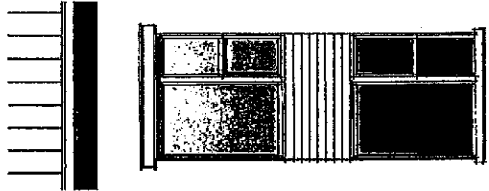
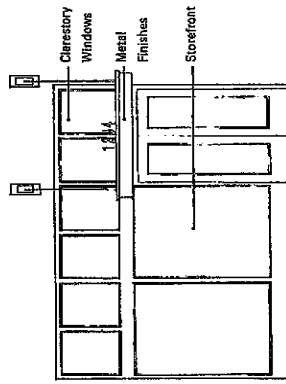
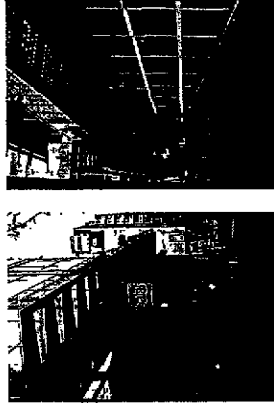
### WINDOWS AND STOREFRONTS

- » Windows above the ground floor are typically vertical in proportion. Storefronts are predominantly large panes of glass, often with transoms above.
- » Storefronts shall incorporate the spirit of traditional storefronts with rich materials and high transparency.
- » The entrance door should be recessed into the storefront to prevent the door from opening into the sidewalk.
- » Typically the storefront will have a deep entablature/cornice expression above the storefront for signage.

### CLADDING

- » Cladding should be consistent on to each facade or additive element, or building story. Thoughtful compositions of cladding materials is encouraged.

### STOREFRONTS



CORNICE ELEMENTS

MIDDLE ELEMENTS

BASE ELEMENTS

© 2011 URBAN DESIGN ASSOCIATES

# Loft Mercantile

Ogden has a remarkable collection of historic industrial buildings that are being recycled for new, active uses. Historically, this flexible building type developed to service a robust, regional manufacturing business that required close proximity to the busy transcontinental railroad system. Today, these structures remain excellent candidates for adaptive reuse to keep Ogden's past alive into the future.

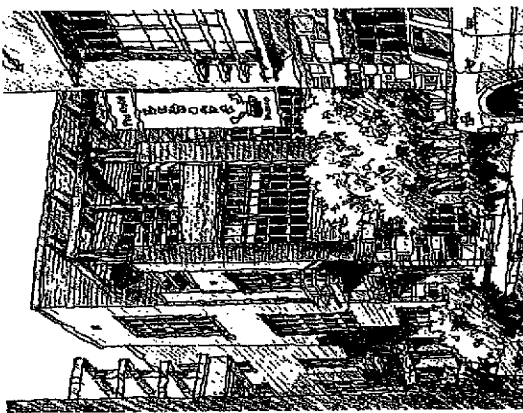
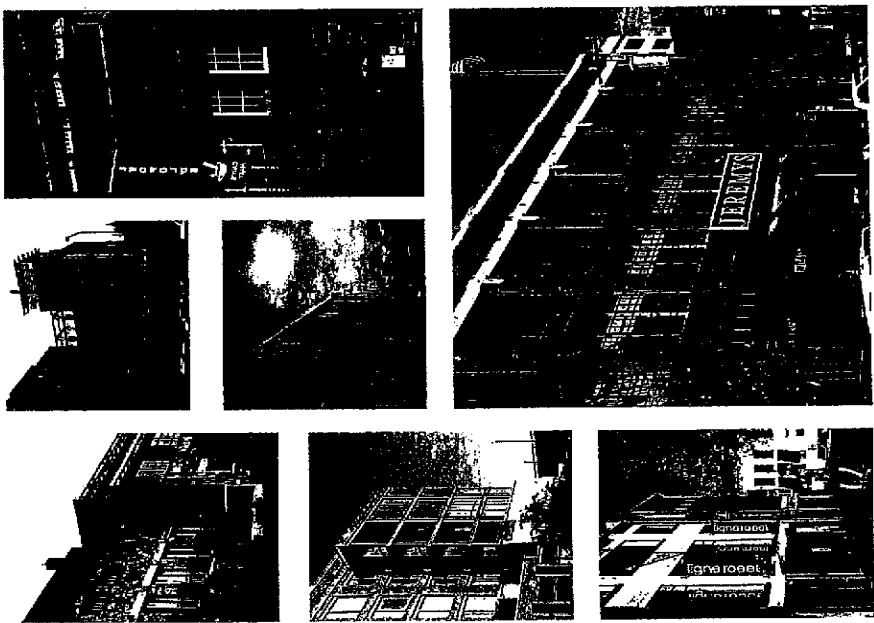
These buildings are typically of simple, rectangular masses. At times, and in the case of American Can, the project may be a campus of rectangular buildings that together, make remarkable, picturesque spaces in between.

In the construction of new buildings, they can be composed in configurations of one- to four-stories in height with facades in a regular pattern of windows above the ground level. The window bays are either punched openings into the masonry wall, or large window between spandrels. Vertical piers, either load-bearing or compositional, extend from the roof to the ground. Window glazing is often designed to be as large as possible.



## Key Elements of the Loft Mercantile Style

- » Simple rectangular volumes, usually three to four stories tall
- » Regular pattern of simple windows
- » Facades are composed of repetitive elements that express the structural grid
- » Simple details
- » Masonry materials
- » Storefronts may be one-story in height, and create a composition in alignment with those windows above
- » In a collection of buildings, arranged to make spaces between



222100551 N0122R N087A 1207 ©



Loft Mercantile, continued

## Large Residential & Commercial Types

### MASSING

- » Loft buildings are large rectangular masses, often wider than they are tall. With large floor plates, they are well suited for office uses.

- » Spaces between the buildings are often picturesque assemblies of buildings.

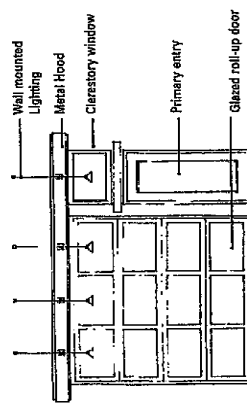
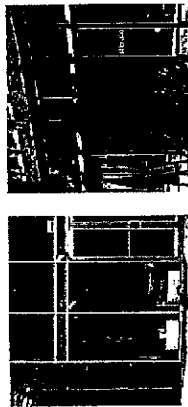
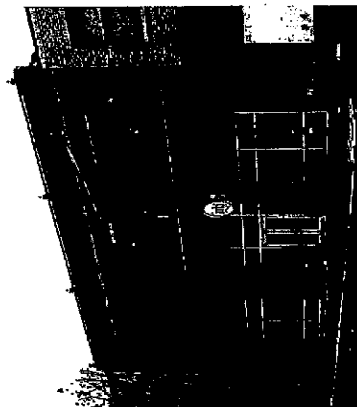
### FACADE COMPOSITION

- » The middle floors have a consistent pattern of windows within a masonry frame.
- » The top floor of the building may have a different pattern of windows, different masonry color, and a distinguishing parapet.
- » The ground floor may be designed with shop fronts. These storefronts are vertically proportioned into bays corresponding to the rhythm of windows above and are articulated as columns or piers supporting lintels.

### STOREFRONTS

- » Loft building storefronts may be composed in a manner independent of the structural columns of the building.
- » Relationships between the bay and spandrel system and the first-floor storefront may remain subtle as long as the facade reflects the proper proportional composition.
- » Large areas of glass should be the dominant element of these storefronts with large display windows becoming an integral part of the facade.
- » Display window sills shall be no higher than 30 inches and no lower than 4 inches above the sidewalk.

### STOREFRONTS



CORNICHE ELEMENTS

MIDDLE ELEMENTS

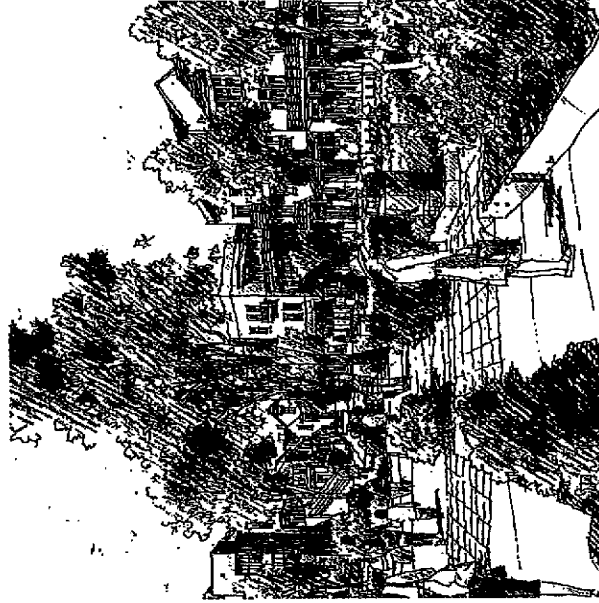
BASE ELEMENTS

© 2011 URBAN DESIGN ASSOCIATES

# Landscape Patterns

THE CAREFUL DESIGN AND maintenance of public open space and lot landscaping is a key design element to creating beautiful neighborhoods. Both public open space and landscaping on building lots should adhere to the following key principles.

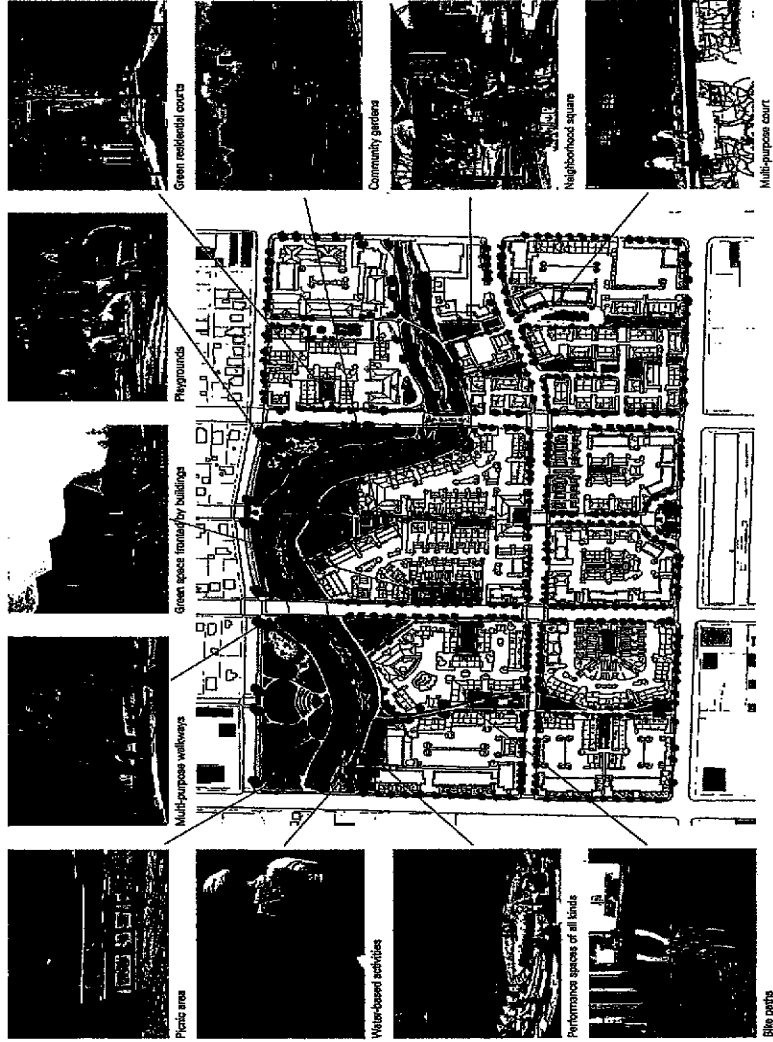
- » Open Space should enhance a neighborhood aesthetically, functionally and socially. Art installations, both interactive and static, are a recommended ingredient to achieving this goal.
- » Paths should be centrally located for easy access by foot, which naturally makes them an inviting and social place.
- » Trails or greenways should be interwoven into neighborhoods in order to complete and connect to existing systems.
- » Paths should be defined and designed as either active (playgrounds, ball fields) or Passive (flower gardens, community garden plots)
- » Landscape planting should be appropriate to the climate and use of area; and design should contribute to four important sustainability goals:
  - 1 reduce water runoff by using permeable paving surfaces and creating natural catchment areas or rain gardens
  - 2 plant native and water-wise species
  - 3 plant shade trees to reduce heat island effect
  - 4 conserve water through drip and zoned irrigation systems
- » Lawns, although permissible, are encouraged to complement landscape planting areas and not be dominant ground coverage.



REKVIDORBY NOISED NYVEN TIOE ©

# Neighborhood Landscape Character

2583258 75 OF 98

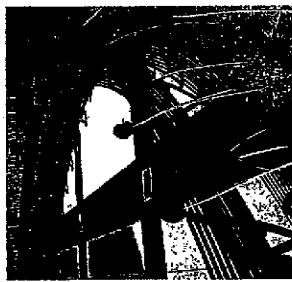


# Open Space Elements

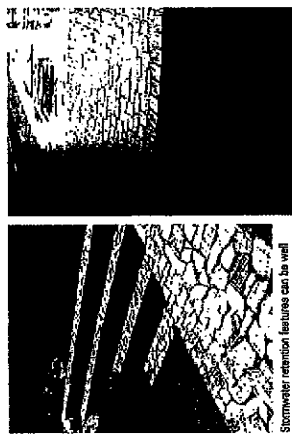
© 2011 URBAN DESIGN ASSOCIATES



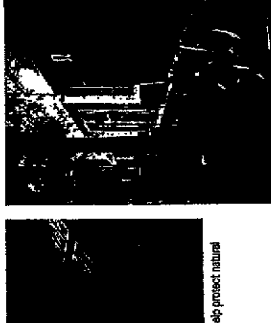
Public open space combines landscape, hardscape, lighting



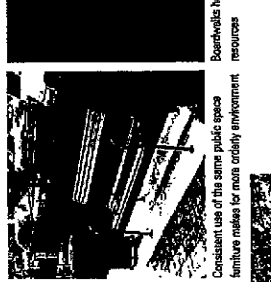
Porous parking surfaces reduce water runoff



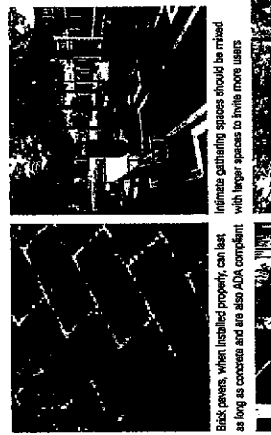
Stormwater retention features can be well designed and use local materials



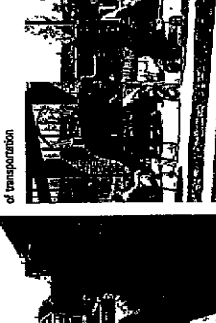
Benches promote use of an alternate mode of transportation



Intimate gathering spaces should be raised with lower spaces to invite more users



Small play areas or art features should be located within a residential address



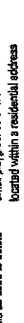
Boardwalks help protect natural resources



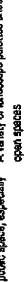
Conversation use of the same public space furniture makes for more orderly environment



A variety of landscape features should be used to define open spaces



Hedge rows serve to define private space from public space, especially in townhouse mixed (garden) locations



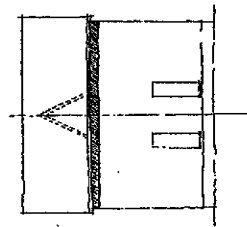
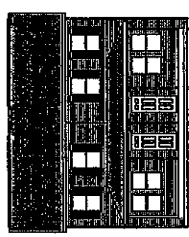
Sustainable stormwater landscapes include rain channels, planted verges, and porous paving

Appendix

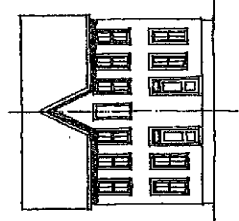
## Step-by-Step Transformation: Townhouse Two-Unit Composition

An Example of a Transformation of a Typical House Design

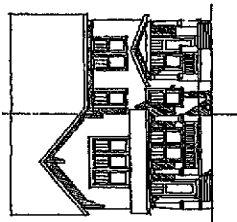
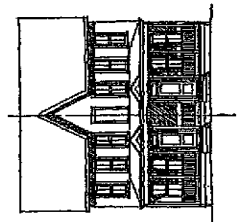
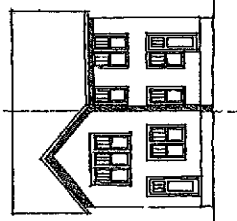
*Note: These principles can apply to two- or three-story townhouses typically found in the Salt Lake City region.*



OPTION 1: VICTORIAN



OPTION 2: ARTS & CRAFTS



### STEP 1: Review Existing Design

The design of this townhouse works well with the placement of the living spaces and porch at the front of the house. The windows may be composed in a more orderly fashion. The current design does not have a well-defined architectural character but could be transformed into the Victorian or Arts & Crafts style.

### STEP 2: Consult the Design Guidelines

Use the Design Guidelines to guide the transformation. In this case, the Victorian and Arts & Crafts style

sections apply. For townhouse scripting recommendations, see page 2.19.

### STEP 3: Develop a New Design Based on Existing Design

A. Adjust Massing, Roof Pitch and Form  
In the Victorian example, break the mass of the roof with the addition of a front gable form. For Arts & Crafts, the addition of a cross-gable for the left unit and further articulation of the plan of the left unit allows for the units to read as individual cottages.

### B. Adjust Window and Door Composition

Pick appropriate windows based on the Victorian style in option 1 and the Arts & Crafts style in option 2 of this house. Arrange windows and doors in the spirit of the compositions illustrated in the style sections of the Design Guidelines.

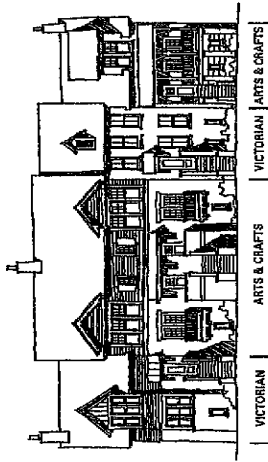
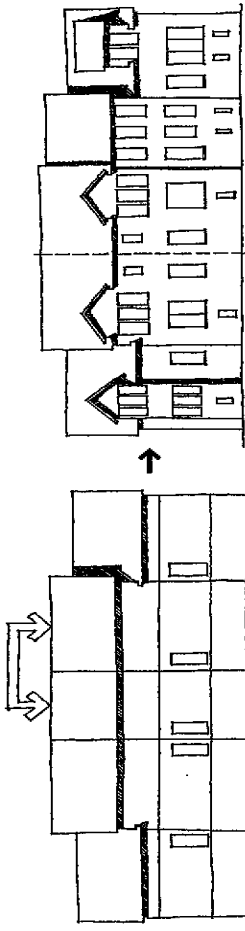
### C. Materials and Finishes

Use the appropriate style section to determine the materials and finishing of the building.

## Step-by-Step Transformation: Townhouse Five-Unit Composition

An Example of a Transformation of a Typical House Design

*Note: These principles can apply to two- or three-story townhouse typology found in the Salt Lake City region.*



### STEP 1: Review Existing Design

This townhouse composition attempts create variety by alternating styles and varying roof forms and heights. Although these are principles described in the townhouse scripting recommendations, further development can bring more harmony to the design. Rather than utilizing suburban techniques, such as a beam of landscape at the foundation wall it is suggested that the building come to the natural grade level. This will allow the opportunity for windows to bring light into the garage or bonus room at ground level and exterior gardens. In addition, composing the building a matching pair of units and exercising an option for a shared entry stair can introduce a different rhythm to the overall facade.

### STEP 2: Consult the Design Guidelines

Use the Design Guidelines to guide the transformation. For townhouse scripting recommendations, see page 2.19.

### STEP 3: Adjust Window and Door Composition

Arrange windows and doors in the spirit of the compositions illustrated in the style sections of the Design Guidelines. In this case, the Victorian and Arts & Crafts style sections apply.

### STEP 4: Develop a New Design Based on Existing Design

#### A. Adjust Massing, Roof Pitch and Form

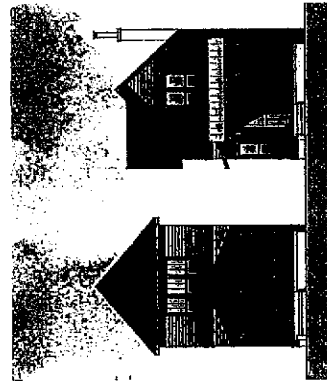
For all styles of rowhouses, it is important to have steep pitches for the main body mass. In the Victorian example on the left, introduce a bay and roof form to increase the vertical emphasis. For Arts & Crafts units at the center of the composition, the addition of a cross-gable element, at the appropriate roof pitch, introduces the domestic cottage scale.

#### B. Materials and Finishes

Use the appropriate style section to determine the materials and finishing of the building.

Sample Elevations

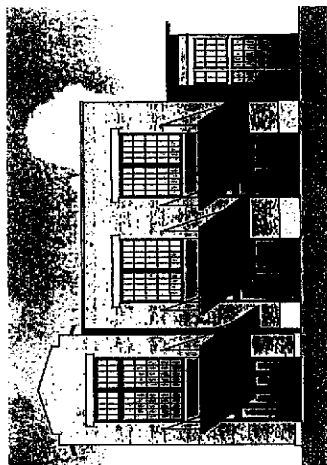
© 2011 URBAN DESIGN ASSOCIATES



BUILDING TYPE: COTTAGE  
STYLE: ARTS & CRAFTS



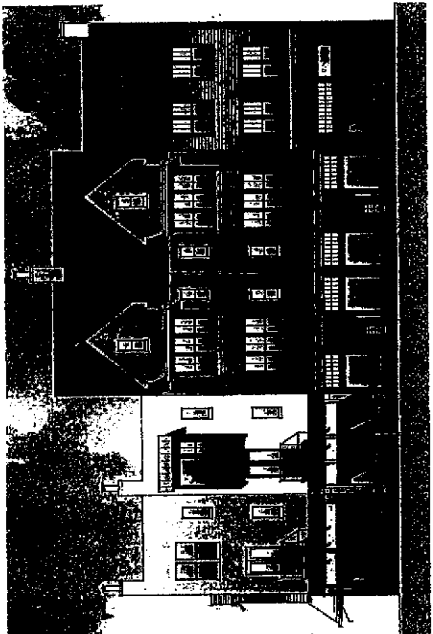
BUILDING TYPE: CARRIAGE HOUSE  
STYLE: ARTS & CRAFTS



BUILDING TYPE: RETAIL BUILDING  
STYLE: MERCANTILE LOFT



BUILDING TYPE: APARTMENT BUILDING  
STYLE: ARTS & CRAFTS

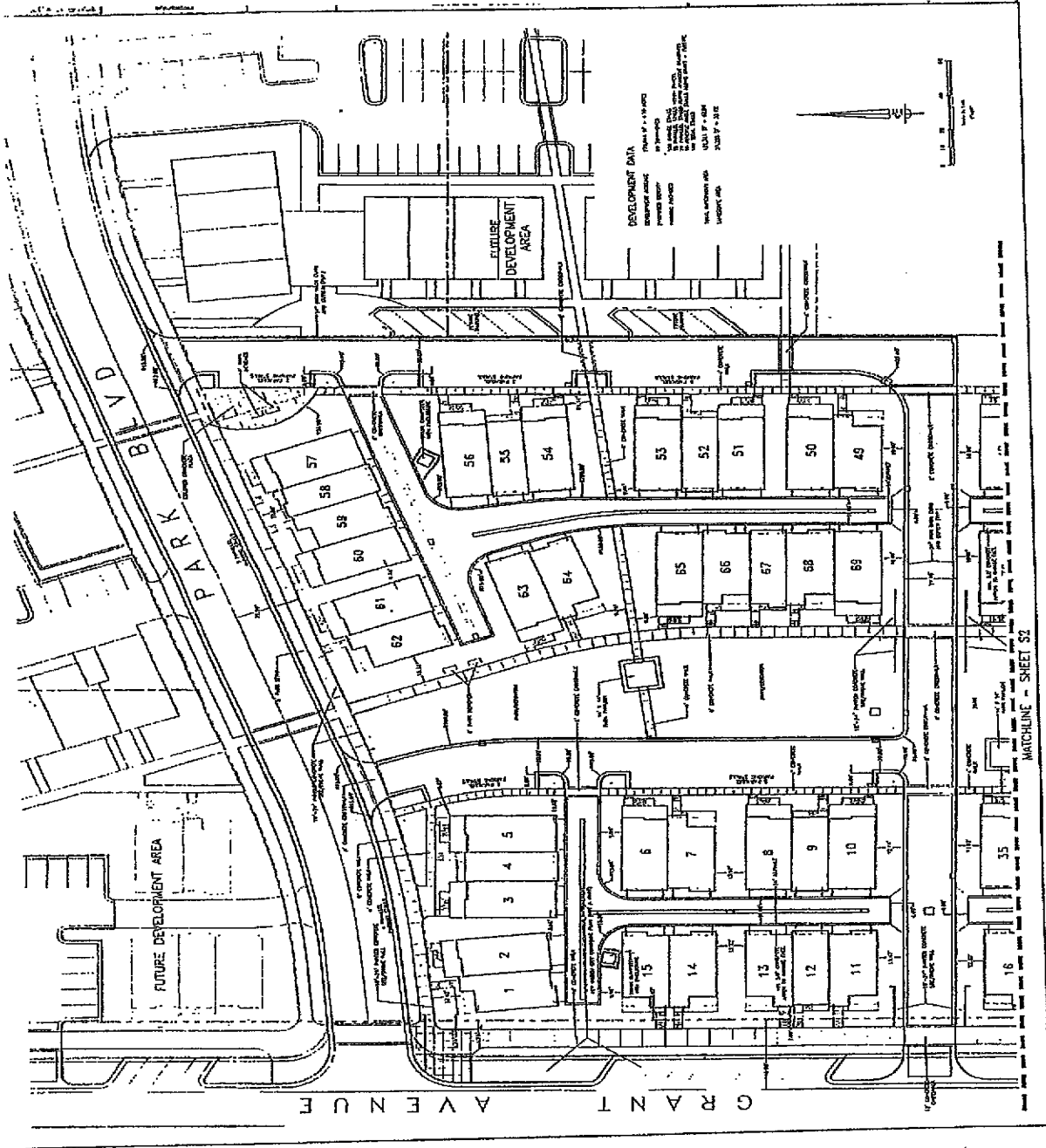


BUILDING TYPE: LIVE-WORK  
STYLE: TRANSITIONAL MODERN



EXHIBIT 'B'

*HW* SS.



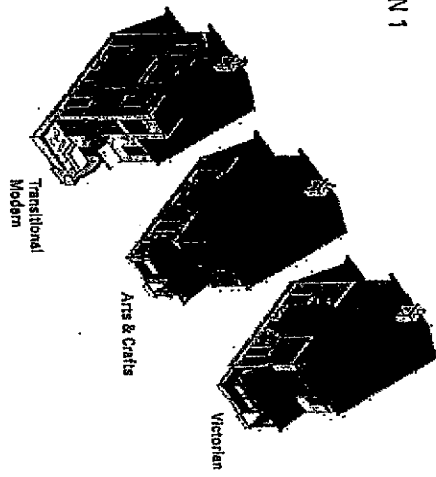
SS  
HW



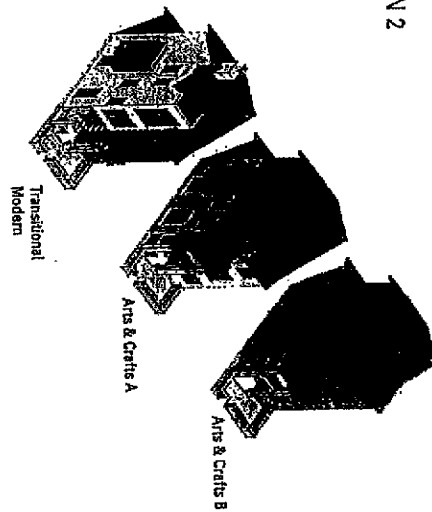
EXHIBIT 'C'

*How SS.*

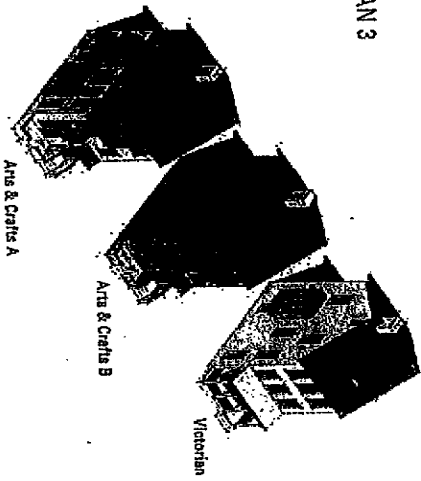
PLAN 1



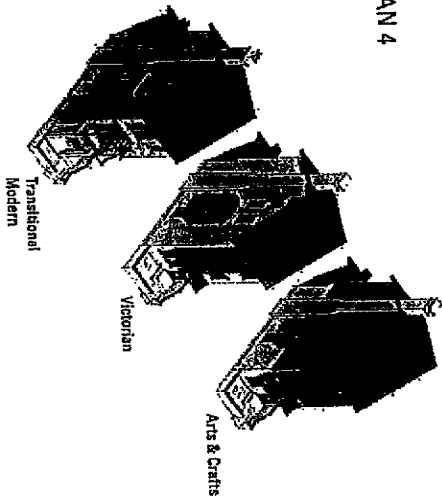
PLAN 2



PLAN 3



PLAN 4

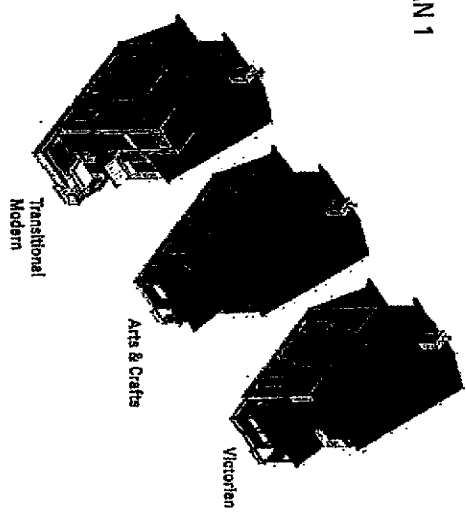


UNIT AXONOMETRICS  
 GORDEN BERND DESIGN STUDIO | OGDEN, UTAH

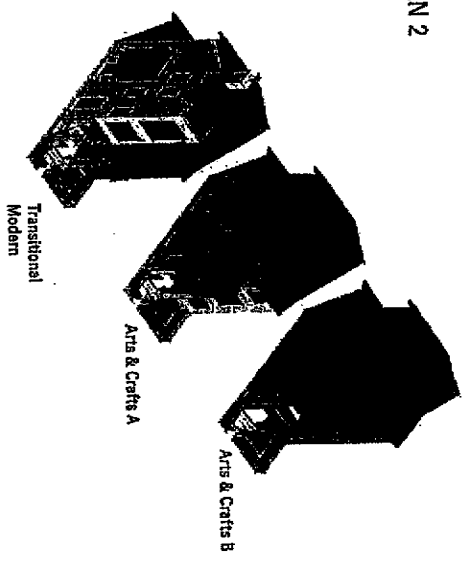
PHASE ONE DESIGN TRANSFORMATIONS  
 02 DECEMBER 2011

*Handwritten signature* S.S.

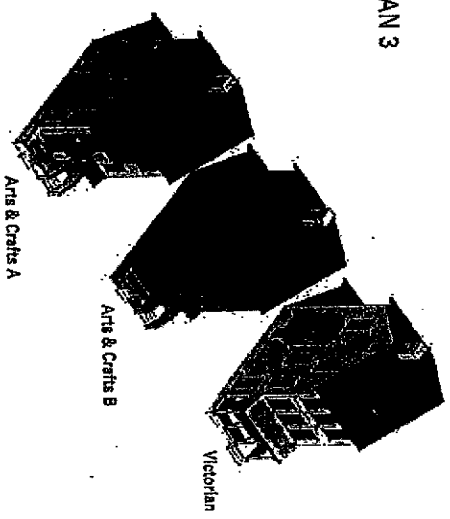
PLAN 1



PLAN 2



PLAN 3



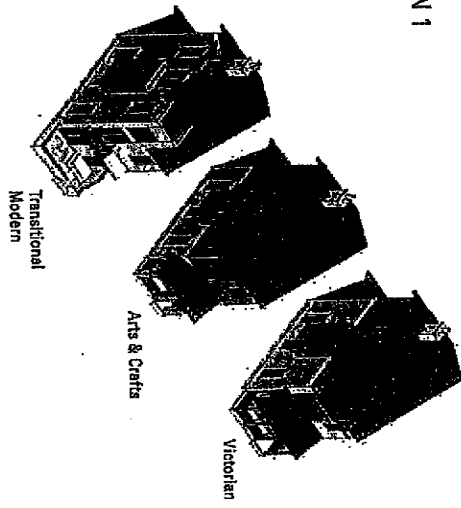
PLAN 4



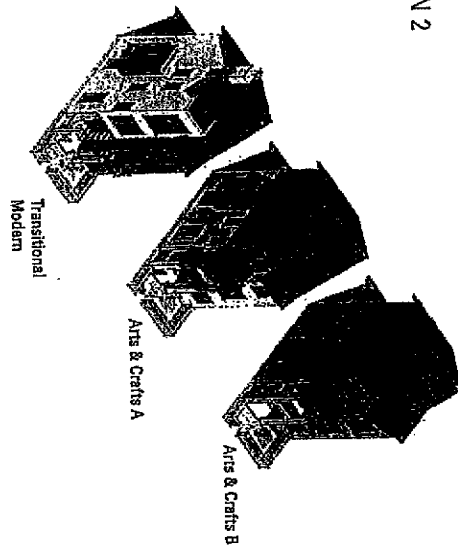
UNIT AXONOMETRICS  
ODDAN BOND DESIGN PARTNERS | OGDEN, UTAH

PHASE ONE DESIGN TRANSFORMATIONS  
02 DECEMBER 2011

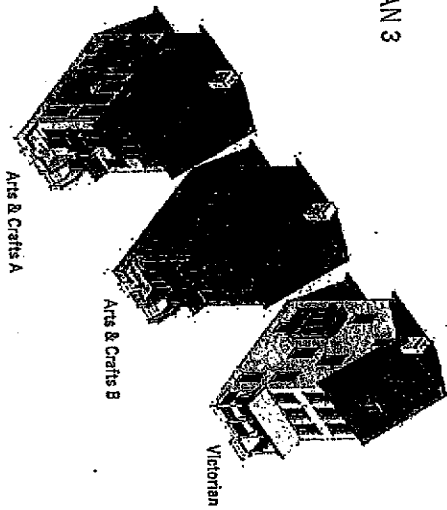
PLAN 1



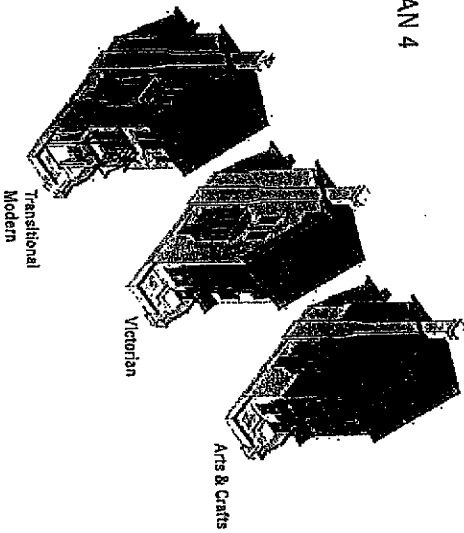
PLAN 2



PLAN 3



PLAN 4



UNIT AXONOMETRICS  
OGDEN BEND DESIGN REVIEW | OGDEN, UTAH

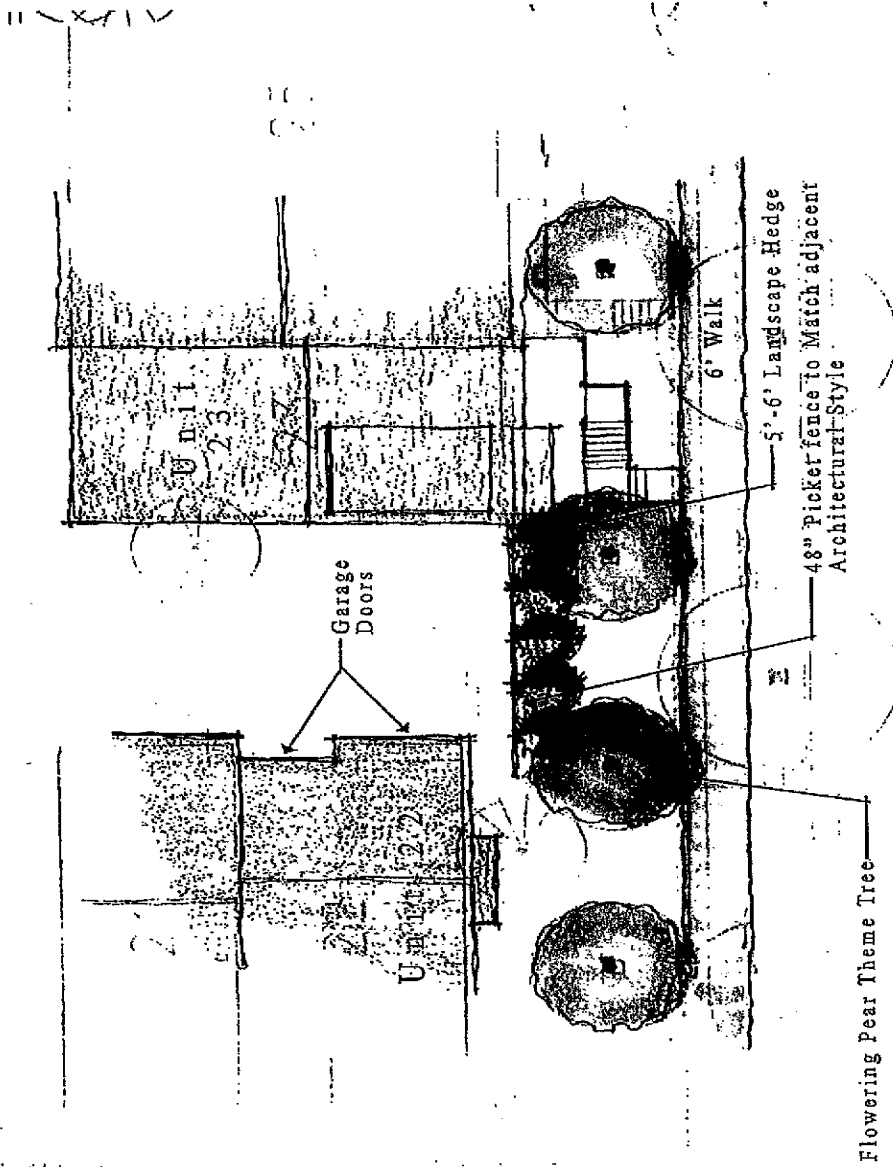
PHASE ONE DESIGN TRANSFORMATIONS  
02 DECEMBER 2011

EXHIBIT 'D'

How S.S.



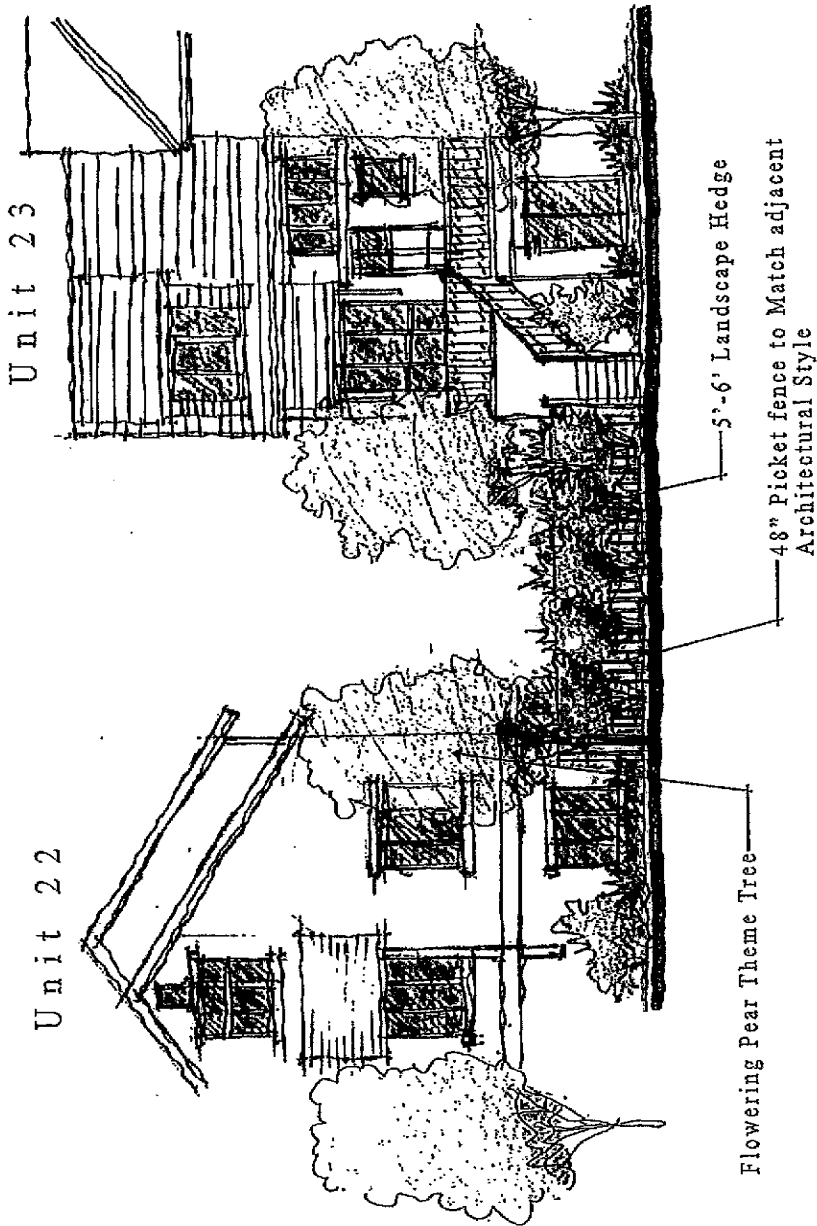




# Townhomes at South River

## Garage Screen Exhibit

Handwritten initials: *HW* S.S.



Unit 23

Unit 22

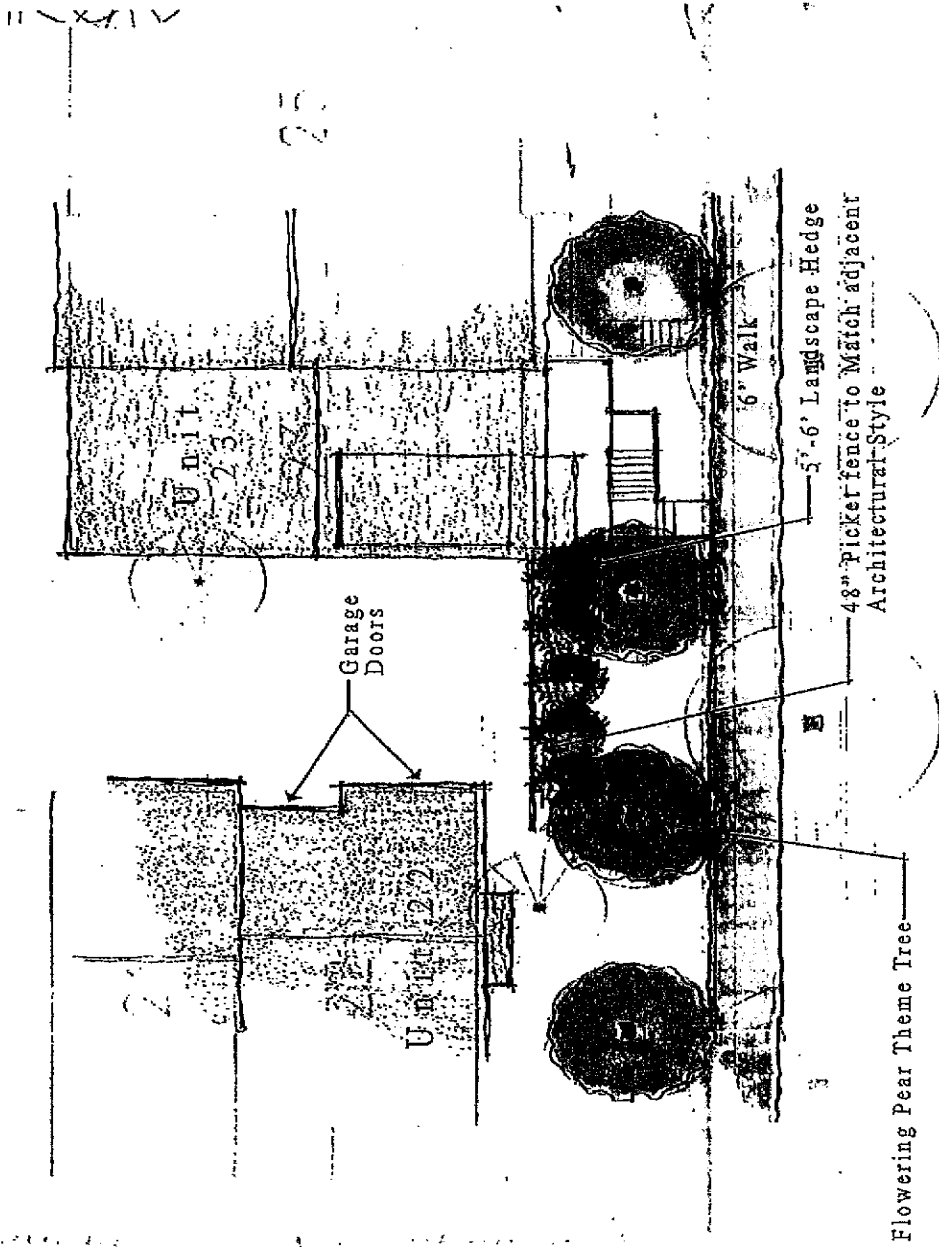
5'-6' Landscape Hedge

48" Picket fence to Match adjacent Architectural Style

Flowering Pear Theme Tree

# Townhomes at South River

Garage Screen Exhibit



# Townhomes at South River

Garage Screen Exhibit

EXHIBIT 'E'

*Hand* SS.



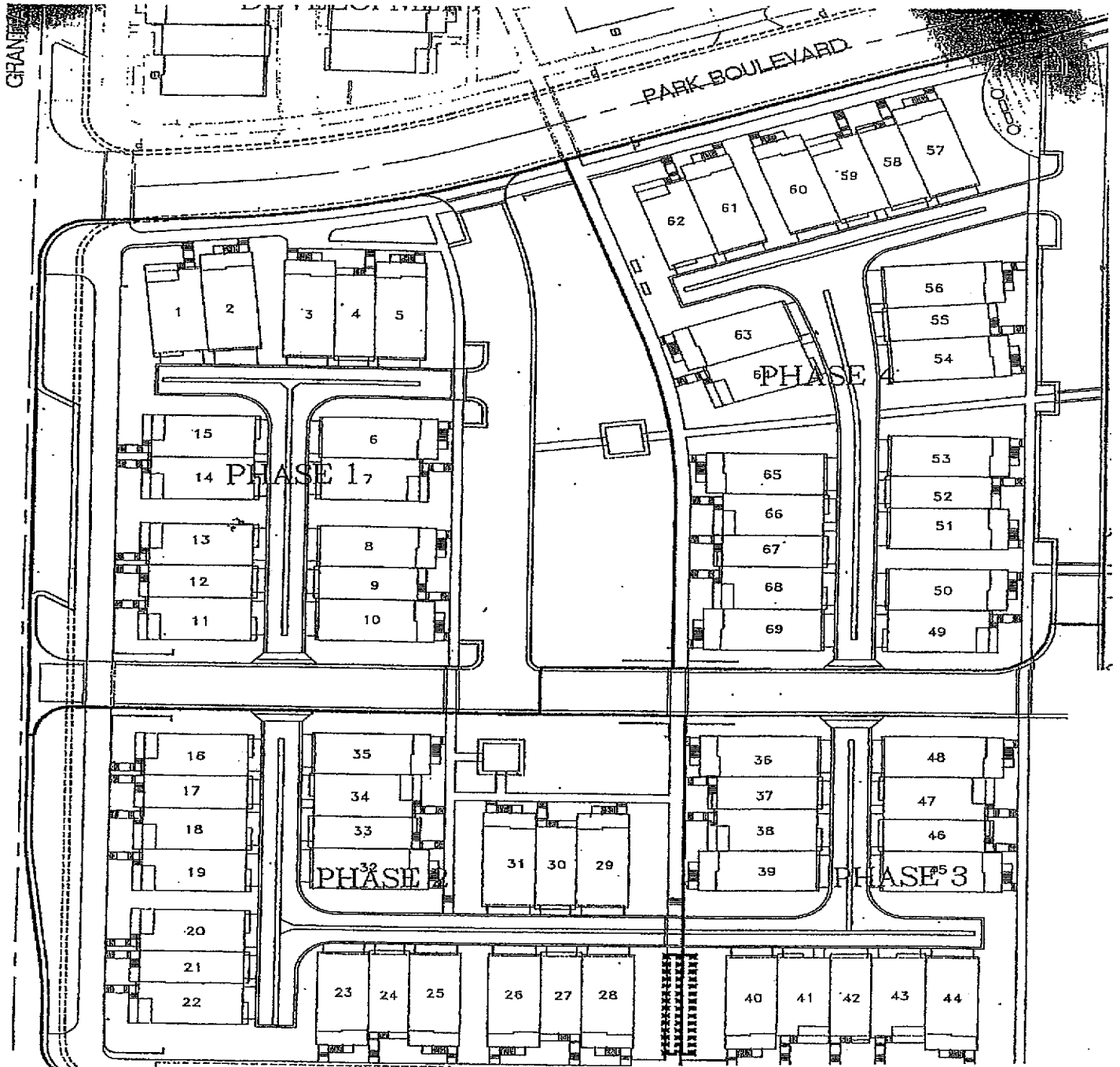






EXHIBIT 'F'

*Handwritten* S.S.



HAN S.S.