

AMENDMENT TO DEVELOPMENT AGREEMENT ?

This Amendment to Development Agreement entered into as of this ____ day of July, 2005, by and between ZERMATT RESORT, LLC (hereinafter called "Developer") and CITY OF MIDWAY, a political subdivision of the State of Utah (hereinafter called "City"), which amends that Development Agreement entered into as of the 4th day of February, 2002, by the parties.

RECITALS

WHEREAS, disputes have arisen concerning the construction of the Zermatt Resort; and

WHEREAS, the parties desire to amend the Development Agreement to resolve disputes and to establish a satisfactory working relationship between the parties through the construction of the Zermatt Resort.

NOW, THEREFORE, in consideration of the mutual promises and covenants herein contained and contained in the Development Agreement, the parties agree to amend the Development Agreement in accordance with Section 5 thereof involving disputes.

1. **APPLICABLE LAW.** While the Development Agreement contemplated the construction of the Zermatt Resort under the 1997 Uniform Building Code, the parties hereby agree that each element of the resort will be constructed under the building code designated on Exhibit "A" attached hereto and by reference made a part hereof.

2. **THE VILLAS.** The Villas will continue to be constructed under the 1997 Code, but with the specific modifications as are set forth in Exhibit "B" attached hereto and by reference made a part hereof.

3. **THE HOTEL.** The hotel portion of the resort development will be constructed under the 2003 Building Code with the conditions and provisions as set forth in Exhibit "C" attached hereto and by reference made a part hereof.

4. **THE CONFERENCE CENTER AND ANNEX BUILDING.** The Conference Center and Annex Building shall be designed and constructed under the provisions of the 2003 Building Code with the provisos as more fully set forth in Exhibit "D" attached hereto and by reference made a part hereof.

5. **FIRE ACCESS.** The fire access to the entire resort will be modified and shall be constructed as set forth in the Site Plan attached hereto as Exhibit "E" and by reference made a part hereof, subject to the written provisions and conditions as are set forth in Exhibit "F".

6. **PRIOR APPROVALS.** The letter dated May 10, 2005 from Sowby & Berg Consultants, Inc. to Robert Fuller, a copy of which is attached hereto as Exhibit G and by reference made a part hereof sets forth the approvals granted by Midway City with respect to Zermatt Resort. The parties hereby agreed to give precedence to such approvals to the extent possible and they hereby agree to depart from such approvals only to the extent necessary to provide for the health and safety of those utilizing the Resort.

696093_4.DOCv4

Ent 295973 Bk 825 Pg 773-816
Date: 31-JAN-2006 10:54AM
Fee: \$385.00 Check Filed By: MMC
ELIZABETH PALMIER, Recorder
WASATCH COUNTY CORPORATION
For: FIRST AMERICAN TITLE HEBER

7. TEMPORARY CERTIFICATES OF OCCUPANCY. It is understood that the prior building inspector, Brian Preece, had approved the granting of a Certificate of Occupancy for a sales model in The Villas as soon as such model is complete even though all building components are not in place and the City acknowledges such approval. It is further understood that a Temporary Certificate of Occupancy will be issued for all Phase One units until Phase Two and Phase Three are completed and that a Temporary Certificate of Occupancy will be issued for Phase Two Villas before Phase Three Villas are finished, to enable the conveyance of finished Villas in phases provided that Zermatt complies with Section 109.4 of the 1997 UBC as to conditions to be met for such occupancy.

8. INSPECTOR CREDENTIALS. The parties agree that Zermatt is entitled to have its buildings and other elements of the Resort inspected by those having proper credentials. In the event the City utilizes inspectors who do not have proper credentials, Developer shall have the right to request the assignment of an inspector having proper credentials and the City shall comply.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the day and year first above written.

ZERMATT RESORT, LLC

By: Robert L. Fuller
Robert L. Fuller, Manager

By: Thomas Whitaker
Thomas Whitaker, Manager

CITY OF MIDWAY

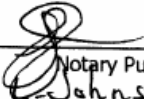
By: Bill Probst
Bill Probst, Mayor

ATTEST:

Brad Wilson
Brad Wilson, Recorder

STATE OF **UTAH**)
)Ss.
COUNTY OF **WASATCH**)

On 14 December, 2005, personally appeared before me, **Robert L. Fuller and Thomas Whitaker, Managers of Zermatt Resort LLC, a Utah Limited Liability Company** the signers of the within instrument, who duly acknowledged to me that they executed the same.



Notary Public
Darwin L. Johnson
(Printed Name)

My Commission expires: 7-22-07

{Seal or Stamp}

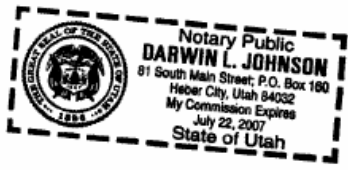


EXHIBIT A

APPLICABLE CODES

The Villas	1997
The Hotel	2003
The Conference Center	2003
The Annex Building	2003

EXHIBIT B

THE VILLAS

1. The Villas will continue to be built under the 1997 Uniform Building Code ("the 1997 Code"), and the drawings that were submitted and accepted by the city, shall be the governing documents.

2. The City has not inspected every detail of the Villas. In the event a subsequent inspection detects a significant violation of the 1997 Code, the City shall not be precluded from taking action. Otherwise, the building is acceptable in its presently constructed state with the following changes:

- a. There shall be three "Area Separation Walls" in the building as shown on the approved drawings attached hereto as Exhibit B-1. These walls will have the following "upgrades" made to them:
 - (1) A fire sprinkler shall be installed in all rooms, regardless of square footage, that are adjacent to both sides of these walls.
 - (2) The sprinkler head to be installed in the 36 bedrooms adjacent to the area separation walls is a Model F1FR Recessed Quick Response Extended Coverage Horizontal Sidewall Sprinkler with an EC-9 Deflector with a maximum coverage of 16' x 24' as shown on the specification sheet attached as Exhibit B-2. This sprinkler activates at the lowest heat temperature of 135-degrees Fahrenheit, which increases the output to 39 gpm to provide additional fire resistance from the openings in the exterior wall. These upgraded sprinklers are being allowed and installed as an alternative protection mechanism to allow the windows and doors, which are larger and closer to the area separation walls than specified by the Code, to remain as built.
 - (3) The ceilings of all rooms adjacent to the area separation wall shall receive two (2) layers of 5/8" type "X" sheet rock rather than one layer over resilient channel.
 - (4) The area separation wall in the center wing of the building will be relocated from Grid Line #204 to Grid Line #205.
- b. A fire sprinkler head will be installed in each cupola on the roof.
- c. The CC&Rs shall be modified to disallow the use of barbeques or other cooking appliances on the patios or decks.
- d. All other items as presently in place will remain in place and unchanged except as noted above.

EXHIBIT B-1

(Coming from Architect)

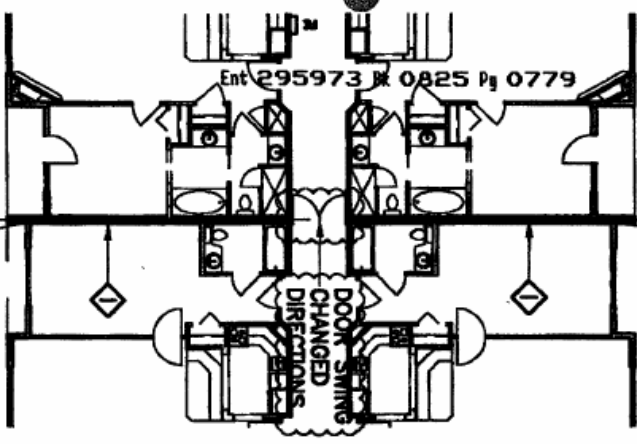
MAIN FLOOR AREA SEPARATION WALLS

1/16" = 1'-0"

304

2 HOUR AREA
SEPARATION WALL

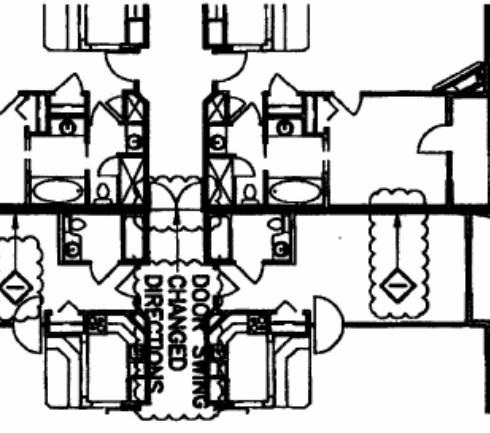
2 HOUR AREA
SEPARATION WALL



205

2 HOUR AREA
SEPARATION WALL
MOVED FROM
GRIDLINE 204

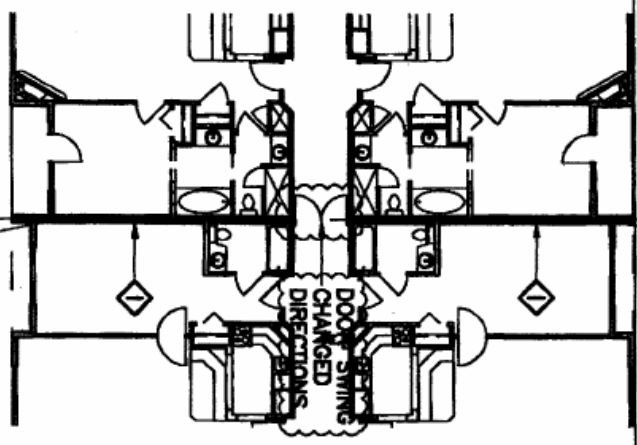
2 HOUR AREA
SEPARATION WALL
MOVED FROM
GRIDLINE 204



105

2 HOUR AREA
SEPARATION WALL

2 HOUR AREA
SEPARATION WALL



SHEET NO.
A-1.10

**ZERMATT RESORT
VILLAS**

MIDWAY

UTAH

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Zermatt Villas
Midway, Utah
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WWW.ARCHITECTURALCOALITION.COM

06/08/2005

Ent 295973 Bk 0825 Pg 0780

NO.	DATE	REVISION
1	10/1/00	ISSUED FOR PERMITS
2	10/1/00	ISSUED FOR PERMITS
3	10/1/00	ISSUED FOR PERMITS
4	10/1/00	ISSUED FOR PERMITS
5	10/1/00	ISSUED FOR PERMITS
6	10/1/00	ISSUED FOR PERMITS
7	10/1/00	ISSUED FOR PERMITS
8	10/1/00	ISSUED FOR PERMITS
9	10/1/00	ISSUED FOR PERMITS
10	10/1/00	ISSUED FOR PERMITS

ZERMATT VILLA MAIN FLOOR PLAN



SEE LIST OF ROOM NAMES ON SHEET 002

1. 10' - 0" CLEARANCE

2. 8' - 0" CLEARANCE

3. 6' - 0" CLEARANCE

4. 4' - 0" CLEARANCE

5. 3' - 0" CLEARANCE

6. 2' - 0" CLEARANCE

7. 1' - 0" CLEARANCE

8. 0' - 0" CLEARANCE



- 1. 10' - 0" CLEARANCE
- 2. 8' - 0" CLEARANCE
- 3. 6' - 0" CLEARANCE
- 4. 4' - 0" CLEARANCE
- 5. 3' - 0" CLEARANCE
- 6. 2' - 0" CLEARANCE
- 7. 1' - 0" CLEARANCE
- 8. 0' - 0" CLEARANCE
- 9. 10' - 0" CLEARANCE
- 10. 8' - 0" CLEARANCE
- 11. 6' - 0" CLEARANCE
- 12. 4' - 0" CLEARANCE
- 13. 3' - 0" CLEARANCE
- 14. 2' - 0" CLEARANCE
- 15. 1' - 0" CLEARANCE
- 16. 0' - 0" CLEARANCE

EXHIBIT B-1
Page 2

ZERMATT RESORT THE VILLAS

ARCHITECTURAL COALITION

1991 South State Street, Spaulding, VT 05475

CLASS 'B' ROOFING
MEMBRANE

Ent 295973 Bk 0825 Pg 0781

2 x Ⓞ 24" O.C. (CRICKET)

5/8" OSB

RIM JOIST

(2) 5/8" TYPE 'x' GYP. BD.

(2) 5/8" TYPE 'x' GYP.
BD. EXTEND TO ROOF
SHEATHING

2" FROM
F.O.S. TO F.O.S.

(2) 7/16" OSB

CONTINUE 3/4" T&G OSB
THRU FOR FIRESTOP

1 1/2" GYP. CRETE

RIM JOIST

(2) LAYERS 5/8" TYPE 'x'
GYP. BD.

(2) LAYERS 5/8"
TYPE 'x' GYP

GAP

2 x 4 STUDS

SOUND INSULATION

CONC. SLAB OVER
COMPACTED
GRAVEL FILL



GA FILE NO.
WP5520

U.B.C. FILE
504.6.4

ZERMATT VILLAS WALL SECTION @ 2 HR. SEPARATION WALL

SCALE: 3/4" = 1'-0"

K:\Drawings\Zermatt\ Villas\ villaA-335.dwg, 10/12/2005 9:41:32 AM

EXHIBIT B-2
(Sprinkler Specs)

Model F1FR Recessed Quick Response Extended Coverage Horizontal Sidewall Sprinkler

Deflector: EC-8

Ent 295973 & 0825 Pg 0783

Installation Wrench: Model GFR1 Sprinkler Wrench

Approval Type: Quick Response Extended Coverage-Light Hazard Occupancy

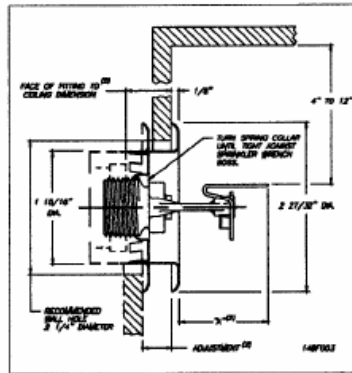
Installation Data:

Nominal Orifice	Thread Size	"K" Factor		Sprinkler Length	Approval ⁽¹⁾ Organizations	Temperature Rating ⁽¹⁾	Sprinkler Identification Number (SIN)
		US	Metric				
1/2" (15mm)	1/2" NPT (R1/2)	5.6	80	2.8" (71.1mm)	1, 2, 3, 4	135°F (57°C) 155°F (68°C) 175°F (79°C)	R4865

⁽¹⁾ FM Approval of recessed sprinkler - 135°F (57°C) only

⁽²⁾ Refer to escutcheon data table for approvals and dimensions.

COVERAGE AREA					
Flow Rate gpm (L/min)		Pressure psi (bar)		Maximum Coverage Area Width x Length ft. x ft. (m x m)	Deflector to Ceiling Dimension Min. - Max. Inches (mm)
UL	FM	UL	FM		
26 (98.4)	26 (98.4)	21.4 (1.5)	21.4 (1.5)	16 x 16 (4.9 x 4.9)	4 - 12 (102 - 305)
29 (109.8)	30 (113.6)	26.6 (1.8)	28.5 (2.0)	16 x 18 (4.9 x 5.5)	4 - 12 (102 - 305)
32 (121.1)	33 (125.0)	32.4 (2.2)	34.5 (2.4)	16 x 20 (4.9 x 6.0)	4 - 12 (102 - 305)



Model F1FR Quick Response Extended Coverage Horizontal Sidewall Sprinkler

Deflector: EC-9

Installation Wrench: Model D Sprinkler Wrench

Approval Type: Quick Response Extended Coverage-Light Hazard Occupancy

Installation Data:

Nominal Orifice	Thread Size	"K" Factor		Sprinkler Length	Approval ⁽¹⁾ Organizations	Temperature Rating ⁽¹⁾	Sprinkler Identification Number (SIN)
		US	Metric				
1/2" (20mm)	3/4" NPT (R3/4)	8.0	115	2.85" (72.4mm)	1, 2, 3, 4	135°F (57°C) 155°F (68°C) 175°F (78°C)	R4862



Model F1FR Recessed Quick Response Extended Coverage Horizontal Sidewall Sprinkler

Deflector: EC-9

Installation Wrench: Model GFR1 Sprinkler Wrench

Approval Type: Quick Response Extended Coverage-Light Hazard Occupancy

Installation Data:

Nominal Orifice	Thread Size	"K" Factor		Sprinkler Length	Approval ⁽¹⁾ Organizations	Temperature Rating ⁽¹⁾	Sprinkler Identification Number (SIN)
		US	Metric				
1/2" (20mm)	3/4" NPT (R3/4)	8.0	115	2.85" (72.4mm)	1, 2, 3, 4	135°F (57°C) 155°F (68°C) 175°F (78°C)	R4862

⁽¹⁾ FM Approval of recessed sprinkler - 135°F only.

⁽²⁾ Refer to escutcheon data table for approvals and dimensions.

COVERAGE AREA					
Flow Rate gpm (L/min)		Pressure, psi (bar)		Maximum Coverage Area Width x Length ft. x ft. (m x m)	Deflector to Ceiling Dimension Min. - Max. Inches (mm)
UL	FM	UL	FM		
26 (98.4)	-	10.6 (0.7)	-	16 x 16 (4.9 x 4.9)	12 (305)
29 (109.8)	32 (121.1)	13.1 (0.9)	16.0 (1.1)	16 x 16 (4.9 x 4.9)	4 - 12 (102 - 305)
29 (109.8)	36 (136.3)	13.1 (0.9)	20.2 (1.4)	16 x 18 (4.9 x 5.5)	4 - 12 (102 - 305)
32 (121.1)	40 (151.4)	16.0 (1.1)	25.0 (1.7)	16 x 20 (4.9 x 6.0)	4 - 12 (102 - 305)
36 (136.3)	44 (166.6)	20.2 (1.4)	30.2 (2.1)	16 x 22 (4.9 x 6.7)	4 - 12 (102 - 305)
39 (147.6)	48 (181.7)	23.8 (1.6)	36.0 (2.5)	16 x 24 (4.9 x 7.3)	4 - 12 (102 - 305)

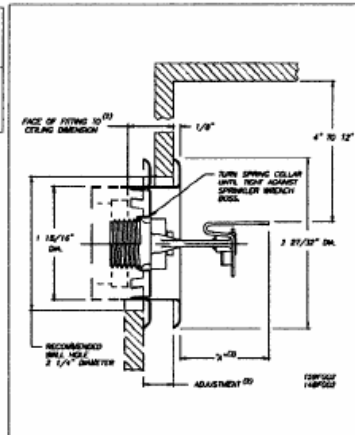


EXHIBIT C

THE HOTEL

1. The two columns coming into the lobby entrance to be 18" square finished with raised panel wood below chair rail height and mirrored on four sides above with an ADA sconce facing each column on the mirror. The finish material for the columns shall comply with Table 803.5 of the 2003 IBC.

2. The present design between the entrance/lobby and Bistro has one window (from vestibule) and three arched openings from the lobby. The change with the 2003 code will be as set forth in Schedule C-1 attached, which is composed of information and drawings showing the new separation walls, one-hour fire resistive glass and Bistro entry between the hotel lobby and Bistro identified as ASI #H024.

3. The upper lobby/mezzanine can be as follows:

- a. The area separation walls in the hotel are eliminated from the plan. The fire/smoke doors at each of the prior separate wall locations can also be eliminated from the plans.
- b. In the upper lobby overlooking the main floor lobby the design as redrawn for 2003 plans will separate the two guest rooms from the assembly area by adding a 20 minute rated door to each room as shown on Schedule C-2 attached. A new corridor has been constructed to separate the meeting area from the exit corridor of the north and south guest rooms on the second level off of the lobby. The doors 240a and 240b will be 45 minute rated doors.
- c. The service elevator in the upper lobby serves a residential occupant load of less than 10 and, therefore, does not require a smoke door. Side swinging elevator doors are not required in the second and third levels because the elevator does not open into a rated corridor.

4. Attached is Schedule C-3 containing information and drawings showing the fire rated door at the ground level of the service elevator and corridor.

5. As of the date of this Amended Development Agreement, the revised plans for the Hotel have not been submitted to the City. Therefore, the above items are not exhaustive and the City reserves the right to review the Hotel plans for other inspection issues. All items in the Hotel must comply with the 2003 IBC regardless of whether or not such items are discussed in this Amended Agreement or its exhibits, unless explicitly stated otherwise herein.

**Architect Supplemental
Information:**

#H024



1991 South State Springville, Utah 84663

Architectural Coalition

PH: (801) 491-0275 · FAX: (801) 491-0329 · E-mail: archcoalition@msn.com

To: Bob Holt
From: Bob Harrison
CC:
Date: Friday, June 03, 2005
Re: Changes to Plans for windows

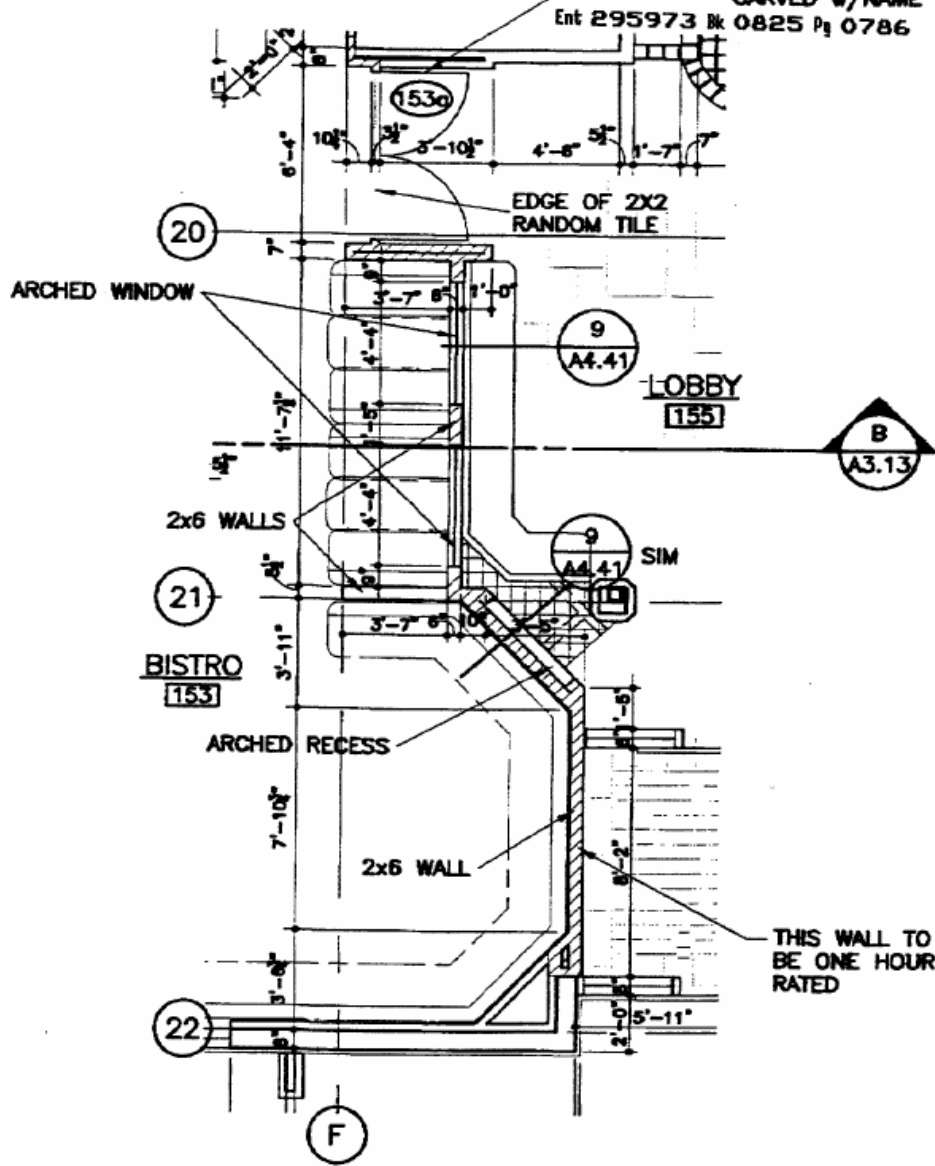
Ent 295973 Bk 0825 Pg 0785

Notes/Comments:

Here are the changes to plan A-5.30 for window in lobby area.

1. The first page gives the window and door changes in the wall between grid lines 2021 & 22 and grid lines E&F, between the Bistro and Lobby.
 - a. There are 2 new arched windows in the 18&14 detail (A-5.32). Refer to the detail for sizes and dimensions.
 - b. Detail 14 gives door sizes and dimensions as well as door schedule.
2. The second page gives the reflected ceiling plan A grids 20,21, & 22 between grids E&F.
3. This is section (B) A-3.13 of the wall with the window. It can be found on A-3.13
 - a. It gives the finished ceiling height.
 - b. This wall section C on Bistro level of Hotel Plan.
4. This is the wall changes between grid E&F and grid 20,21, & 22.
 - a. Section (B) A-3.13 is on this plan.
 - b. Delete wrought iron gate 153A and change 153A to door on door schedule 153A on sheet A-5.32 detail 18 on Lobby side and detail 14 on Bistro side.
 - c. New wall dimensions are found on A-5.30
 - d. Between grid 20&21 on grid F, the wall is moved.

DELETE WROUGHT IRON GATES AND REPLACE WITH 45 MINUTE RATED SOLID CORE DOORS, CUSTOM CARVED w/NAME "MATTY'S"
 Ent 295973 Bk 0825 Pg 0786



FLOOR PLAN OF 1 HOUR WALL @ BISTRO/LOBBY

3/16" = 1'-0"

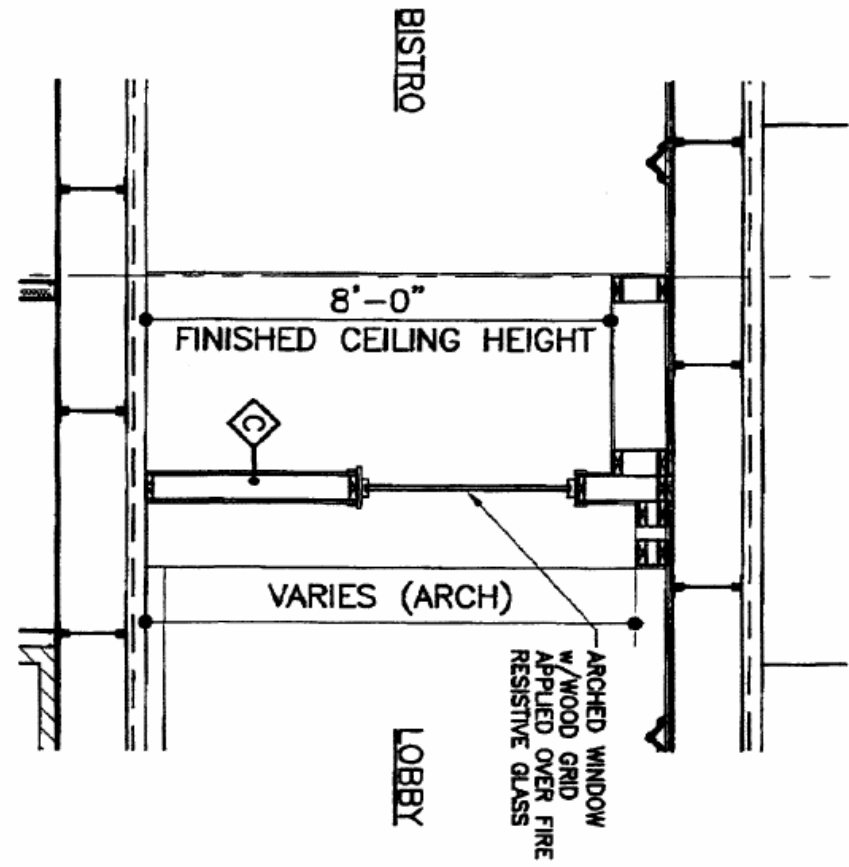
ZERMATT RESORT
HOTEL

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ARCHITECTURAL COALITION

SHEET NO.
A-5.3C
AS1 H024



SECTION "B"

SCALE: 3/8" = 1'-0"

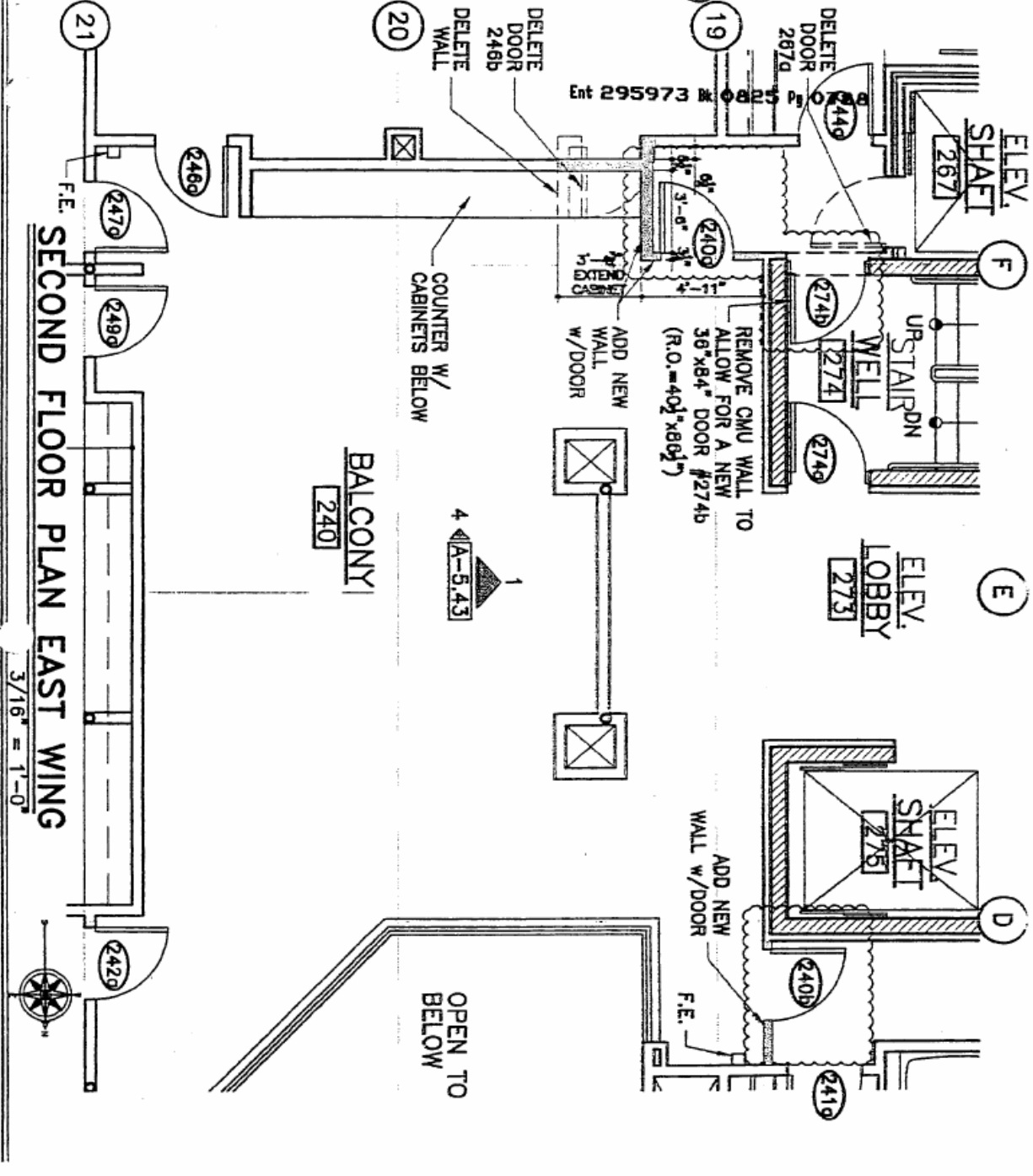
08/08/02
ASI-HK
A-3.
SHEET 1

ZERMATT RESORT
HOTEL

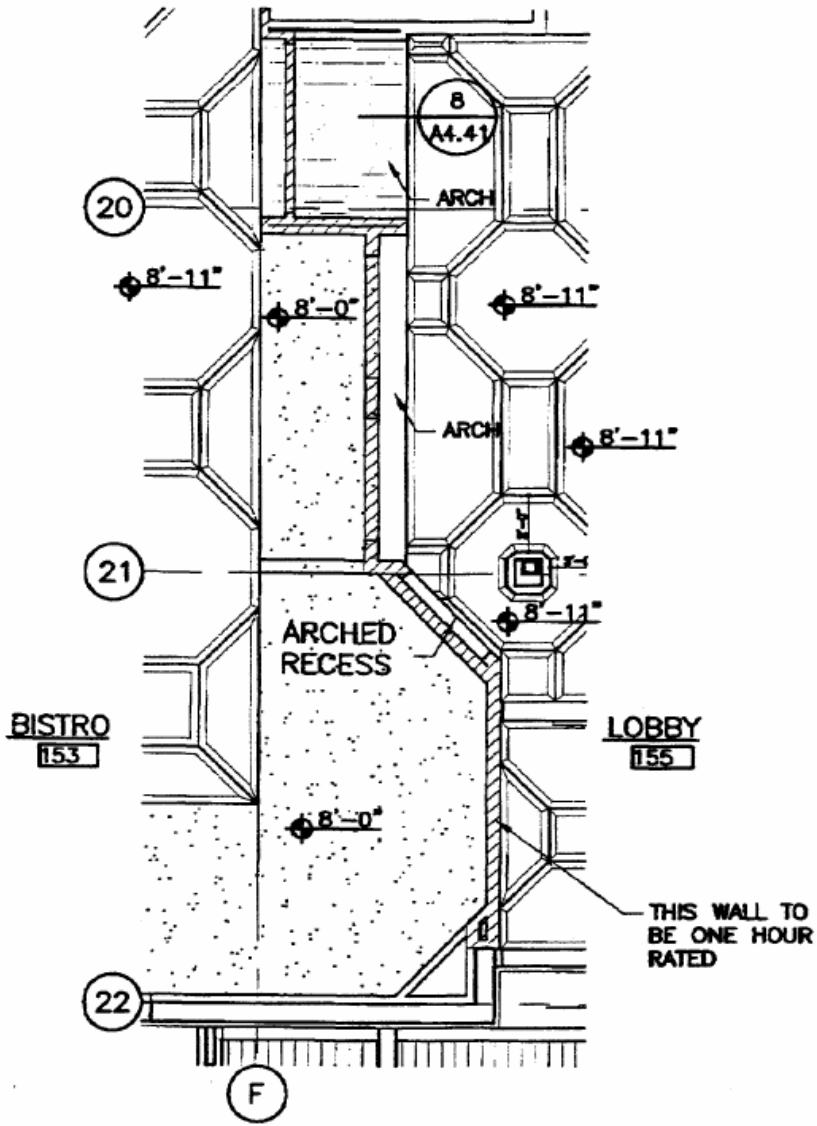
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ARCHITECTURAL COALITION



SHEET NO. A-5.40	ZERMATT RESORT HOTEL	MIDWAY UTAH	ARCHITECTURAL COALITION	ASI-H027 06/25/2006
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REFLECTED CEILING PLAN ● 1 HR WALL

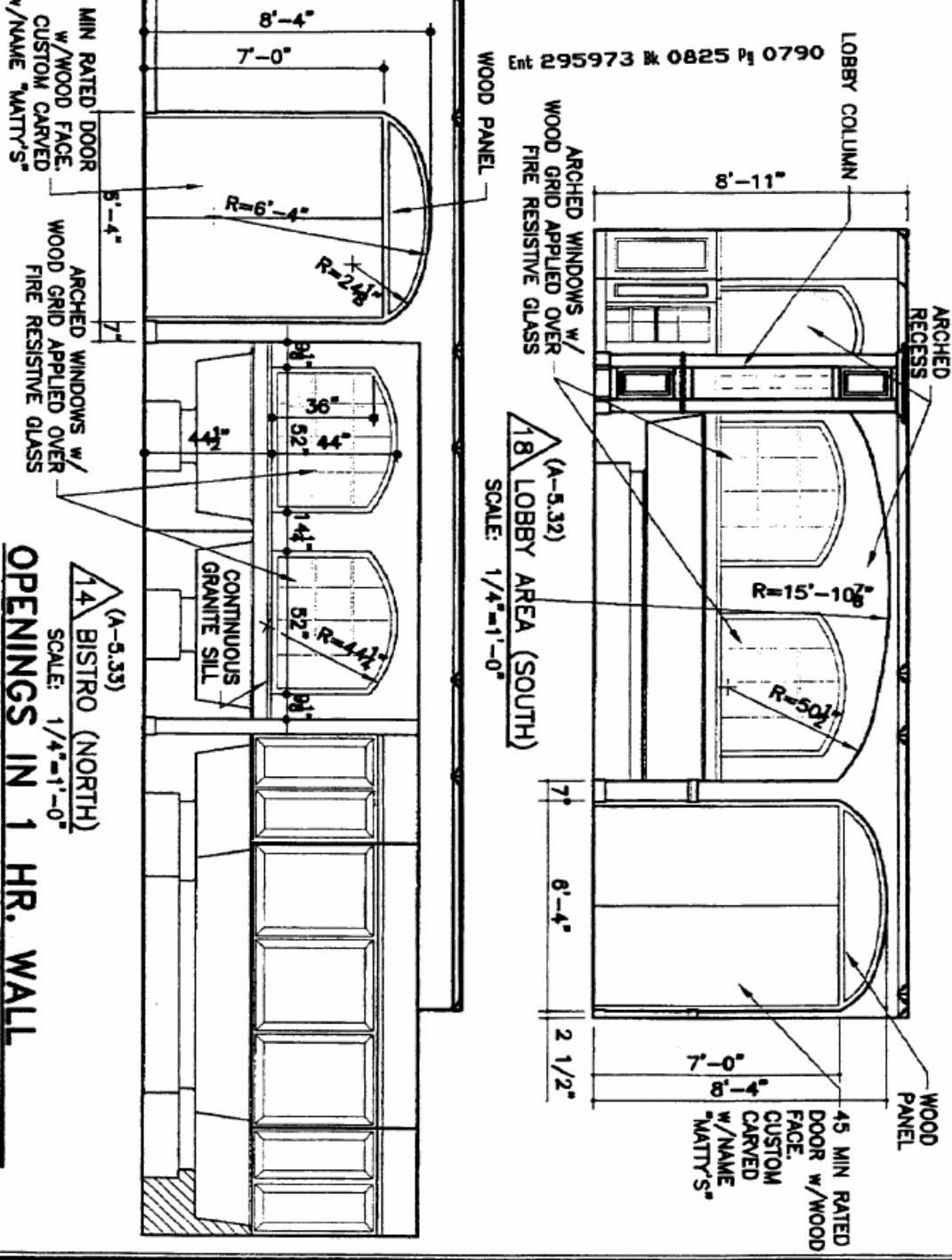
3/16" = 1'-0"

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DOOR SCHEDULE

MARK	DOOR SWINGS	WIDTH	HEIGHT	THICK	TYPE	LABEL	RATING	FACE	DOOR CORE	HEAD DETAIL	JAMB DETAIL	THRESHOLD DETAIL	HARDWARE GROUP	REMARKS
183a	183	188	7'-0"	1-3/4"	0	-	45 MIN	MPF	SULD	1/2-4.10	2/2-4.10	3/2-4.10	30	DOUBLE DOORS, CUSTOM



SHEET
 A-5.
 A-6.
 ASI-H
 06/20/1

ZERMATT RESORT
 HOTEL

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 WRITTEN CONSENT
 OF THE ARCHITECT



ARCHITECTURAL COALITION

Architect Supplemental
Information: #H027



1991 South State Springville, Utah 84663

In Plans

Architectural Coalition

PH: (801) 491-0275 - FAX: (801) 491-0329 - E-mail: archcoalition@msn.com

Ent 295973 Bk 0825 Pg 0791

To: Clint Hamilton
From: Bob Harrison
CC:
Date: Monday, June 06, 2005
Re: Hotel Door Changes & Locker

Notes/Comments:

Third Second floor east ~~plan~~ floor plan (~~3070b~~)

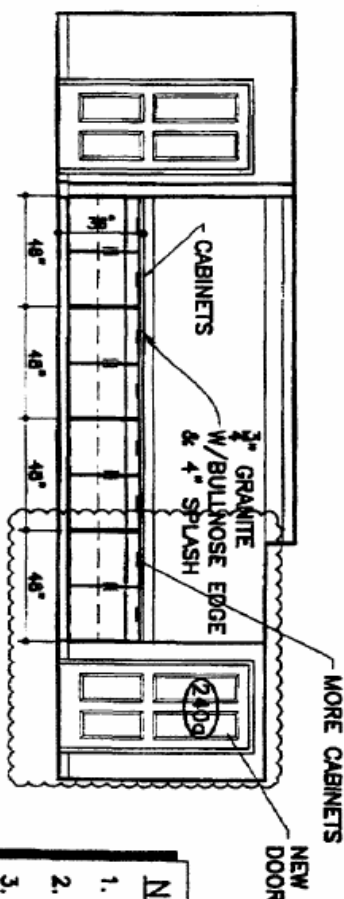
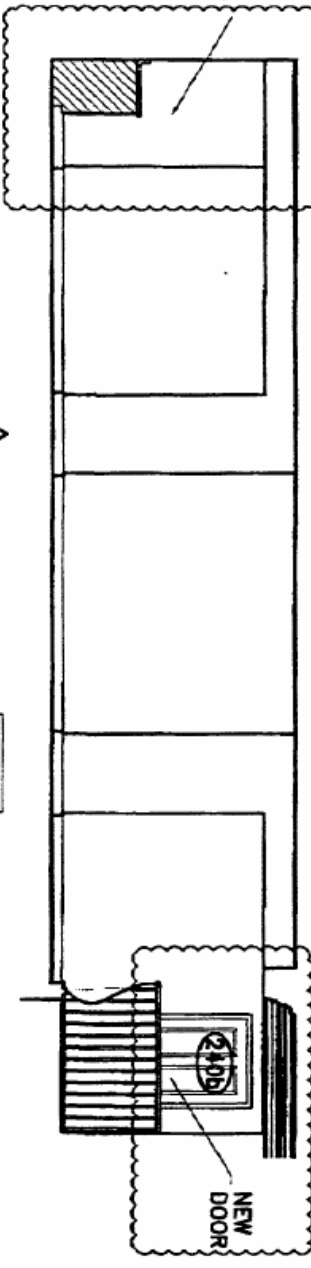
Floor plan ~~second~~ *third* floor (East)

1. Add door 240a with wall grid on grid line 19 & F, see door schedule.
2. Add door 240b with wall grid between grid D & E and 18 & 19, see door schedule.
3. Add door 274b, there will have to be a wall cut out for door 274b, see door schedule. The door is 3070, so it will have to be a 40 opening for this. This is on grid F between grid 18 & 19.
4. Delete door 267A, this is a smoke door and it is not necessary.
5. Delete door on 246b on plan A-5.40 between grid 18&20 and f&g.
6. The Hardware group will go to group #4.

Ent 295973 BK 8825 Pg

DOOR SCHEDULE

MARK	DOOR SWINGS	WIDTH	HEIGHT	THICK	TYPE	RATING	DOOR			REMARKS			
							FACE	CORE	HEAD DETAIL				
240a	240	3'-0"	8'-8"	1-3/4"	A	45 (MIN)	MDF	SOLID	1/2-4, 10	2/2-4, 10	3/2-4, 10	4	-
240b	240	3'-0"	8'-8"	1-3/4"	A	45 (MIN)	MDF	SOLID	1/2-4, 10	2/2-4, 10	3/2-4, 10	4	-
240c	240	3'-0"	8'-8"	1-3/4"	A	20 (MIN)	MDF	88UB	1/2-4, 10	2/2-4, 10	3/2-4, 10	4	-
267a	267	3'-0"	7'-0"	1-3/4"	D	1-1/2 HR	MDF	MDF	15/A-4, 10	15/A-4, 10	-	8	ELEVATOR-880R
274a	274	3'-0"	7'-0"	1-3/4"	D	1-1/2 HR	MDF	SOLID	15/A-4, 10	15/A-4, 10	-	8	-



4 BALCONY (SOUTH) 240
SCALE: 3/16"=1'-0"

- NOTES:**
1. NEW DOORS 240a, 240b, 274b
 2. DELETE DOORS 240c, 267a
 3. CHANGE TO HARDWARE GROUP #4 DOORS 242a, 246a, 247a, 249a

Architect Supplemental
Information:

#1055



1991 South State Springville, Utah 84663

Architectural Coalition

PH: (801) 491-0275 · FAX: (801) 491-8329 · E-mail: archeoalition@msu.com

Ent 295973 Bk 0825 Pg 0793

To: **Clint Hamilton**
From: **Bob Harrison**
CC:
Date: **Monday, June 27, 2005**
Re: **Smoke seal door #067 at elevator shaft 067**

notes/Comments:

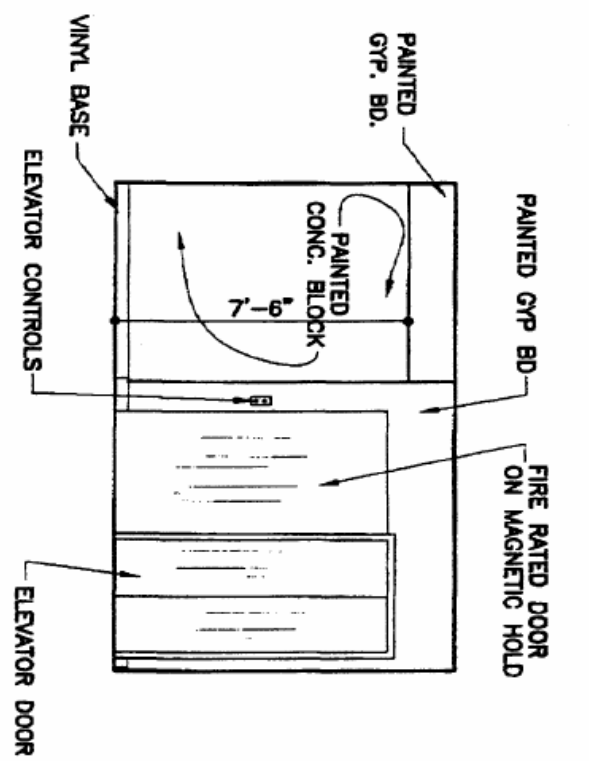
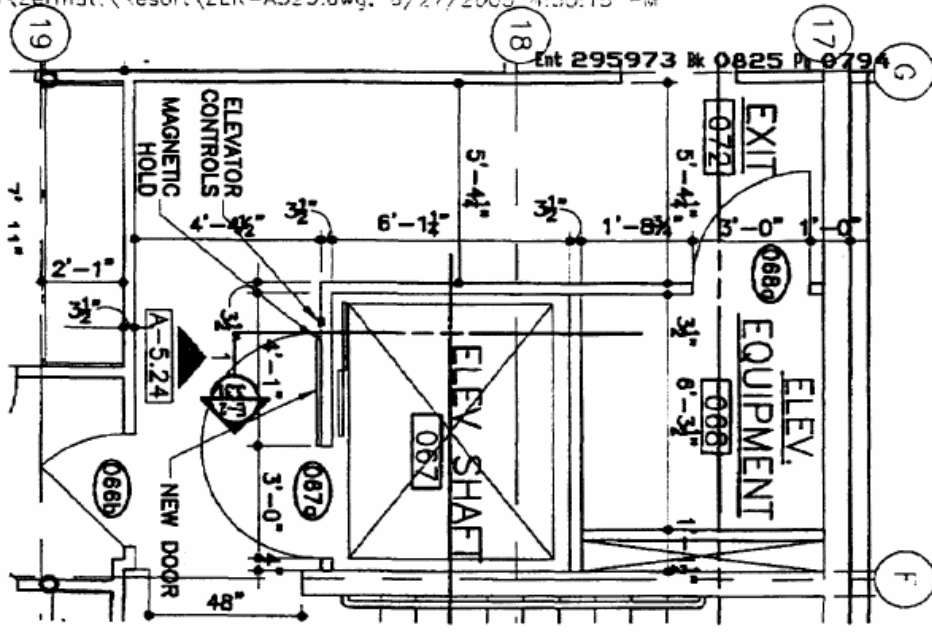
1. Add door #067a at elevator shaft 067 with smoke seal on magnetic hold.
2. Relocate elevator controls.
3. See floor plan, Sheet A-5.20
4. See interior elevation, Sheet A-5.24
5. See Door Schedule, Sheet A-6.20

Approved By: Guilford A Rand 06-27-05

DOOR SCHEDULE

MARK	DOOR SWINGS	OUT OF LIN TO	WIDTH	HEIGHT	THICK	TYPE	LABEL	RATING	DOOR		HEAD DETAIL	JAMB DETAIL	THRESHOLD DETAIL	HARDWARE GROUP	REMARKS
									FACE	CORE					
087a	087	072	3'-0"	7'-0"	1-3/4"	G	-	90 MIN.	METAL	HM	-	-	-	15	SMOKE SEAL ELEVATOR DOOR

(SHEET A-6.20)



1 EXIT (WEST)
SCALE: 1/4" = 1'-0"
(SHEET A-5.24)

BASEMENT PLAN OF EAST WING
(SHEET A-5.20)

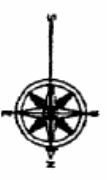


EXHIBIT D

SHOPS AND CONFERENCE CENTER/
ANNEX BUILDING

1. As of the date of this Amended Agreement, the architect's contract documents for the Shops and Conference Center are being modified and updated for review by the City for compliance with the 2003 IBC.
2. The architect's contract documents for the Annex Building have not yet been submitted.

EXHIBIT E

Proposed Plan Changes for Additional Fire Protection

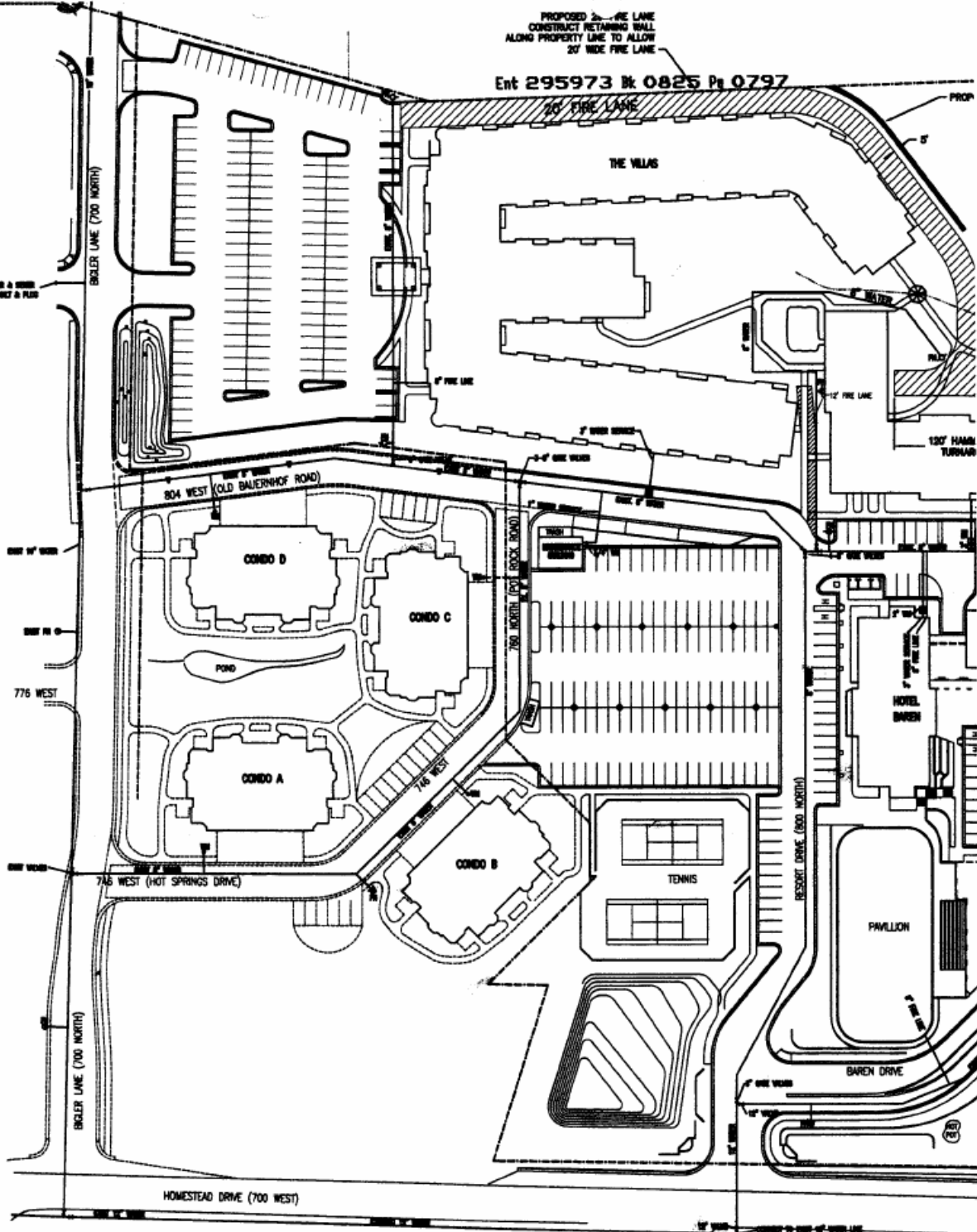
(Access plan submitted under separate cover)

(Needs an updated illustrated access plan to reflect
recent discussions with City Fire Inspector Don Blackburn)

Exhibit E

PROPOSED 20' FIRE LANE
CONSTRUCT RETAINING WALL
ALONG PROPERTY LINE TO ALLOW
20' WIDE FIRE LANE

Ent 295973 Bk 0825 Pg 0797

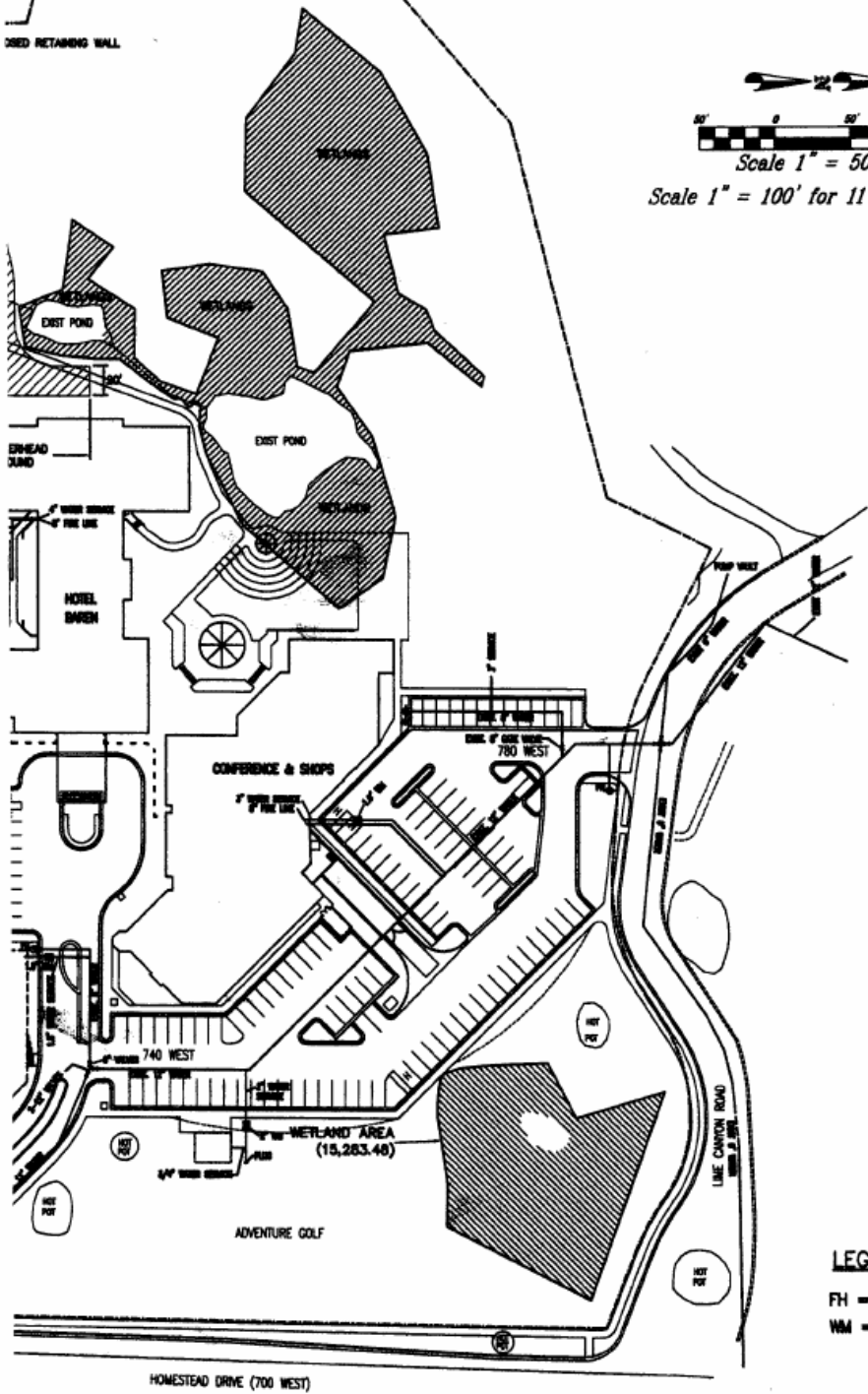


MIDWAY, UTAH

DR. ROBERT FULLER
ADDRESS: 781 S. 1030 E., OREM UT 84058
PHONE: (801)223-8887

ZERMATT RESORT - WATER SYSTEM

EXIST RETAINING WALL



LEGEND

- FH = FIRE HYDRANT
- WM = WATER METER

PLAN, FIRE HYDRANTS & BUILDING FIRE LINES

SCALE: 1" = 50'	DATE: 27 OCT 2005	SHEET NO.
	REV:	1

EXHIBIT F

Description of Fire Access Modifications

1. Remove part of the existing retaining wall on the northwest of the Villas. This will allow trucks to pass beyond the wall to a road that will be constructed on the northwest to the rear of the hotel. A new wall will be added to hold back the hill as the current wall does in order for the truck to turn on the northwest of the Villas and then drive directly to the rear of the hotel.
2. Place "turf stone" blocks in the earth and plant the grasses within them. This block is rated in strength for fire and emergency vehicles. The stones will be placed:
 - a. Along the west side of the Villas. This will allow fire trucks access along the west side and northwest side of the Villas and also to the rear of the hotel.
 - b. In the landscaped grounds directly behind the hotel. This will allow trucks not only access, but a turnaround so they may pull in, back up and turn to exit.

The stone will strengthen the ground in all areas where fire trucks would need access and the roads and bridges will allow trucks to pull directly alongside all portions of the Villas and the entire rear of the hotel. This allows all hydrants to be in close enough proximity to any areas where access would be needed for fire safety vehicles.

3. Place squash pipe over the stream to build an access road and/or bridge for trucks to cross over the stream and have access to the rear of the hotel or continue the block over the stream should the stream be placed in a pipe and covered.
4. Install a fire hydrant and line to the rear of the hotel.

Ent 295973 B 0825 P1 0800
Sowby & Berg Consultants, Inc.

Civil Engineering and Land Planning

EXHIBIT G

Heber Office
270 East 300 North
Heber City, Utah 84032
May 10, 2005

Phone: 435-654-0250
Fax: 435-654-3067

Robert Fuller
Zermatt Resort
761 South 1030 East
Orem, Utah 84058

Re: Approval from Midway City for the Zermatt Resort

Dear Robert:

This letter provides a summary of the approvals granted by Midway City for Zermatt Resort after the Villas were added to the project in 2000.

<u>Date</u>	<u>Approval Description</u>
May 10, 2000	Planning Commission granted preliminary and final site plan approval.
May 18, 2000	City Council granted preliminary and final site plan approval.
Mar. 25, 2002	Zermatt Resort Plat C (The Villas Phase I) was recorded.
Dec. 3, 2002	Zermatt Resort Plat F (The Hotel) was recorded.
Aug. 5, 2003	Building permit was issued for The Villas Phase I. The Midway City building official marked on the permit that the building was fire sprinkled.
May 11, 2004	Building permit was issued for The Villas Phase II for the building area above the footings and foundation. The Midway City building official marked on the permit that the building was fire sprinkled.
May 13, 2004	Zermatt Resort Plat D (The Villas Phase II) was recorded.
Feb. 9, 2005	Building permit was issued for The Hotel. The Midway City building official marked on the permit that the building was fire sprinkled but that the fire sprinkler plan had to be submitted three weeks prior to installation.
Mar. 2, 2005	Building permit was issued for The Villas Phase III. The Midway City building official marked on the permit that the building was fire sprinkled but that the fire sprinkler plan had to be submitted three weeks prior to installation.

In summary, this project was given final approval by the Planning Commission and City Council, plats have been signed and recorded by Midway City and building permits have been issued to the project. It is my opinion that Zermatt Resort has complied with the requirements and received the approvals as outlined in the Midway City zoning ordinance.

If you have any questions regarding the approvals granted to Zermatt Resort by Midway City please call me at 657-9749.

Respectfully,

A handwritten signature in cursive script that reads "Paul Berg".

Paul Berg, P.E.

Attachments: Copy of approved building permit applications.

BUILDING PERMIT APPLICATION

TYPE OR PRINT CLEARLY - PRESS DOWN, YOU ARE MAKING SEVERAL COPIES ALL ITEMS WITH ASTERISK * MUST BE FILLED OUT

BECOMES PERMIT WHEN SIGNED

* Date of Application: 7-2-03
 * Date Work Starts: 7-15-03
 * Proposed: [Handwritten]
 * Occupancy: [Handwritten]
 * Main Address: 761 South 400 East
 * Bldg. Address: 801 North [Handwritten]
 * Assessor's Parcel: 20-1203
 * Subd. Name & Number: N/A
 * Property Location: [Handwritten]
 * Total Property Area - In Acres or Sq. Ft.: [Handwritten]
 * Business Name Address: [Handwritten]
 * Architect or Engineer: [Handwritten]
 * General Contractor: [Handwritten]
 * Business Address: [Handwritten]
 * Electrical Contractor: [Handwritten]
 * Business Address: [Handwritten]
 * Plumbing Contractor: [Handwritten]
 * Business Address: [Handwritten]
 * Mechanical Contractor: [Handwritten]
 * Business Address: [Handwritten]
 * Previous Usage of Land or Structure (Past 3 yrs.): [Handwritten]
 * Dwel. Units Now on Lot: [Handwritten]
 * Assessor Bldgs. Now on Lot: [Handwritten]
 * Type of Improvement/Kind of Const.: [Handwritten]
 * No. of offstreet parking spaces: [Handwritten]

Receipt No. _____ Date Issued: 8-5-03 Permit Number: 03-050

BUILDING FEE SCHEDULE

Square Ft. of Building: 67,400 Valuation: 6,400,000

Rough Basement Building Fees: 25,100.00
 Finish Basement Plan Check Fees: 470.00

Carport sq. ft. _____ Water Conn. _____
 Garage sq. ft. _____ Reinspection _____

Type of Bldg. / Occ. Group: Lodge / Hotel / R-1
 1% State Water Dep. 253 19

No. of Bldgs.: 1 No. of Stories: 3
 No. of Bedrooms: _____ No. of Dwellings: 0
 Type of Construction: Frame Brick Vln. Log
 Brick Block Concrete Steel
 Max. Occ. Load: _____

Fire Sprinkler: [Handwritten] Fire Alarm: [Handwritten]

* Business Name Address: [Handwritten] Business Lic. No.: [Handwritten]
 * Architect or Engineer: [Handwritten] Phone: [Handwritten]
 * General Contractor: [Handwritten] Phone: [Handwritten]
 * Business Address: [Handwritten] State Lic. No.: [Handwritten] City Reg. No.: [Handwritten]
 * Electrical Contractor: [Handwritten] Phone: [Handwritten]
 * Business Address: [Handwritten] State Lic. No.: [Handwritten] City Reg. No.: [Handwritten]
 * Plumbing Contractor: [Handwritten] Phone: [Handwritten]
 * Business Address: [Handwritten] State Lic. No.: [Handwritten] City Reg. No.: [Handwritten]
 * Mechanical Contractor: [Handwritten] Phone: [Handwritten]
 * Business Address: [Handwritten] State Lic. No.: [Handwritten] City Reg. No.: [Handwritten]
 * Previous Usage of Land or Structure (Past 3 yrs.): [Handwritten]

Special Approval: _____ Required: _____ Received: _____ Not Req.: _____

Board of Adjustment _____
 Health Dept. _____
 Fire Dept. _____
 Soil Report _____
 Water or Well Permit _____
 Flood Control _____
 Sewer Receipt _____
 Gas _____

Bond Required Yes No Amount: _____

APPROVAL OF SEWAGE FACILITY (Private System Only)

The above applicant agrees to construct sewage facilities in conformity with Wasatch County and Utah State regulations.

Septic Tank _____ gallons.
 Absorption field _____ lineal ft. of 3 ft. wide trench.
 Sewage trench _____ Absorption bed _____ sq. ft.
 Water Supply _____
 Date: _____

* Type of Improvement/Kind of Const.:
 Sign Build Remodal Addition
 Repair Move Convert Use Demolish

* No. of offstreet parking spaces: Covered _____ Uncovered _____

Minimum Setbacks in Feet

Zone	Zone Approved By
Front	[Handwritten]
Side	[Handwritten]
Side	[Handwritten]
Rear	[Handwritten]

Disapproved _____ Approved _____
 Date: 7-15-03
 S.C. By: [Handwritten]

AS per Approved Plat

Accelerated: Above Slab Permit
 Wasatch County Health Department
 See Permit # [Handwritten] for Footing/Ford

Plan Chk. OK by: [Handwritten]

Signature of Approval: [Handwritten] Date: 7-15-03

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury.

Signature of Contractor or Authorized Agent: [Handwritten] Date: 7-22-03

Signature of Owner (if owner): _____ Date: _____

Census Tract: _____ Traffic Zone: _____ Coordinate Ident. No.: _____
 New S.L.U. Code No: _____ Old S.L.U. Code No: _____

NOTE: 24 hours notice is required for all inspections.

Certificate of Occupancy

BUILDING PERMIT APPLICATION
BECOMES PERMIT WHEN SIGNED

TYPE OR PRINT CLEARLY - PRESS DOWN, YOU ARE MAKING SEVERAL COPIES
ALL ITEMS WITH ASTERISK * MUST BE FILLED OUT

* Date of Application: MAY 15 2004 Date Work Starts: 5-10-04

* Proposed Use of Structure: VILLAGE PHASE II - 1000'S

* Owner of Property: ZERNATT RESORT LLC

* Mailing Address: 761 SOUTH 1030 EAST, CARMON, UT

* Bldg. Address: 805 WEST BIRCHER LANE

* Assessor's Parcel No.:

* Subd. Name & Number:

* Property Location: All meters and bounds see instructions

* Total Property Area - In Acres or Sq. Ft. Total Bldg. Site Area Used

* Business Name Address Business Lic. No.

* Architect or Engineer: GWID RAND Phone: 801-491-0275

* General Contractor: OKLAND CONST. CO. Phone: 801-486-0144

* Business Address: 1978 SO. WEST TEMPLE State Lic. No. 226232 City Reg. No.

* Electrical Contractor: TBD

* Business Address State Lic. No. City Reg. No.

* Plumbing Contractor: TBD

* Business Address State Lic. No. City Reg. No.

* Mechanical Contractor: TBD

* Business Address State Lic. No. City Reg. No.

* Previous Usage of Land or Structure (Past 3 yrs.)

* (Well, Units Now on Lot) * Accessory Bldgs. Now on Lot

* Type of Improvement/Kind of Const.

Sign Build Remodel Addition
 Repair Move Convert Use Demolish

* No. of offstreet parking spaces: Covered _____ Uncovered _____

Recorder No. _____ Date Issued: 5-11-04 Permit Number: 04-032

NOTE: BUILDING FEE SCHEDULE

Area of Building: 40,500 Valuation: 4,900,000

Rough Basement Building Fees: 19,847.5

Finish Basement Plan Check Fees: 470.00

Carport sq. ft. Phase II Water Conn.

Garage sq. ft. Reinspection

Type of Bldg. Condo/Hotel Occ. Group R-1 1% State 799.44

No. of Bldgs. 1 R. Value Water Dev.

No. of Stories 3 Walls R Roof R Water Meter

No. of Bedrooms

No. of Dwellings 0

Type of Construction Frame Brick Var. Log
 Brick Block Concrete Steel

Max. Occ. Load

Fire Sprinkler Yes No Total: 7,052.9

Special Approvals	Required	Received	Not Rec.
Board of Adjustment			
Health Dept.			
Fire Dept.			
Soil Report <u>295973</u> & <u>0825</u> & <u>0803</u>			
Water or Well Permit			
Flood Control			
Sewer Receipt			
Gas			

Bond Required Yes No Amount

APPROVAL OF SEWAGE FACILITY (Private System Only)

The above applicant agrees to construct sewage facilities in conformity with Wasatch County and Utah State regulations.

Septic Tank _____ gallons.

Absorption field _____ lineal ft. of 3 ft. wide trench.

Seepage trench _____ Absorption bed _____ sq. ft.

Water Supply _____

Date _____, 15 _____

Approved: _____
Wasatch County Health Department

Plan Chk. OK by _____

Signature of Approval: [Signature] Date: 5-11-04

Zone: LR-1-15 Zone Approved By: [Signature]

Minimum Setbacks In Feet:

Front	
Side	
Side	
Rear	

Disapproved 5/11/04 Sub-Ct. By _____
 Approved 5/11/04 Date _____

Pen Approved plat

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury.

Signature of Contractor or Authorized Agent: [Signature] Date: 5-5-04

Signature of Owner (if owner): _____ (Date)

Census Tract. _____ Traffic Zone _____ Coordinate Ident. No. _____

New S.L.U. Code No. _____ Old S.L.U. Code No. _____

Certificate of Occupancy

NOTE: 24 hours notice is required for all inspections.

BUILDING PERMIT APPLICATION
BECOMES PERMIT WHEN SIGNED

TYPE OR PRINT CLEARLY - PRESS DOWN, YOU ARE MAKING SEVERAL COPIES
ALL ITEMS WITH ASTERISK * MUST BE FILLED OUT

* Date of Application December 2, 2005		* Date Work Starts ASAP		Receipt No.	Date Issued 2-9-05	Permit Number 05-016				
* Proposed Use of Structure Hotel				BUILDING FEE SCHEDULE Square Ft. of Building: 112,939 Valuation: 13,500,000 <input type="checkbox"/> Rough Basement Building Fees: 51,233.75 <input type="checkbox"/> Finish Basement Plan Check Fees: 470.00 Carpet sq. ft. Water Conn. Garage sq. ft. Reinspection Type of Bldg: Hotel Occ. Group: R-1 1% State: 512.34 No. of Bldgs: 1 R. Value: 12-1 Water Dev. No. of Stories: 3 Walls: R Roof: R Water Meter No. of Bedrooms: 1 No. of Dwellings: 1 Type of Construction: <input type="checkbox"/> Frame <input type="checkbox"/> Brck Var. <input type="checkbox"/> Log <input type="checkbox"/> Brick <input type="checkbox"/> Block <input type="checkbox"/> Concrete <input type="checkbox"/> Steel Max. Occ. Load Fire Sprinkler: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Total: \$5,226.09						
* Owner of Property Zermatt Resort, LLC		* Mailing Address 761 South 1030 East - Orem, UT		* Bldg. Address 801 North 700 West		* Assessor's Parcel No.				
* Subd. Name & Number		* Lot#		* Property Location <input type="checkbox"/> +/- meters and bounds see instructions						
* Total Property Area - In Acres or Sq. Ft.		Total Bldg. Site Area Used								
* Business Name Address		Business Lic. No.								
* Architect or Engineer Gail Rand Phone: 801-491-0275		* General Contractor OKland Con. Co. Phone: 801-486-0144		* Electrical Contractor TBD Phone:						
* Business Address 1978 S. West Temple		* State Lic. No. 226232		* City Reg. No.						
* Plumbing Contractor TBD Phone:		* Mechanical Contractor TBD Phone:								
* Business Address		* State Lic. No. * City Reg. No.								
* Previous Usage of Land or Structure (Past 3 yrs.)		* Dwell. Units New on Lot * Accessory Bldgs. Now on Lot								
* Type of Improvement/Kind of Const. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Build <input type="checkbox"/> Remodel <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Move <input type="checkbox"/> Convert Use <input type="checkbox"/> Demolish		* No. of offstreet parking spaces: Covered _____ Uncovered _____								
Minimum Setbacks in Feet		Zone: RR-1-15 Zone Approved By: _____								
<table border="1"> <tr><td>Front</td></tr> <tr><td>Side</td></tr> <tr><td>Side</td></tr> <tr><td>Rear</td></tr> </table>		Front	Side	Side	Rear	Disapproved: _____ Date: 2/3/05 Sub-Ct. By: _____ Approved: AS per Approval Date: _____ PLAT INSTALLATION BEGINS				
Front										
Side										
Side										
Rear										
NOTE: 24 hours notice is required for all inspections.		This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Signature of Contractor or Authorized Agent: Dean Nelson Date: 12-2-04 Signature of Owner (if owner): _____ Date: _____ Census Tract: _____ Traffic Zone: _____ Coordinate Ident. No.: _____ New S.L.U. Code No.: _____ Old S.L.U. Code No.: _____ Certificate of Occupancy								

PLANNING DEPT USE

BUILDING PERMIT APPLICATION

BECOMES PERMIT WHEN SIGNED

TYPE OR PRINT CLEARLY - PRESS DOWN, YOU ARE MAKING SEVERAL COPIES
ALL ITEMS WITH ASTERISK * MUST BE FILLED OUT

* Date of Application: January 20, 2005 * Date Work Starts: 1/20/05

* Proposed Use of Structure: Villas phase III on vacant ground

* Owner of Property: Zermatt Resort, LLC - 801-223-9887

* Mailing Address: 761 South 1030 East, Draper, UT

* Bldg. Address: 801 North 700 West

* Assessors Parcel No.:

* Subd. Name & Number: * Lot#:

* Property Location: * If meters and bounds see instructions

* Total Property Area - In Acres or Sq. Ft.: Total Bldg. Site Area Used:

* Business Name Address: Business Lic. No.:

* Architect or Eng'r.: Guil Band Phone: 801-491-7216

* General Contractor: Okland Construction Phone: 801-486-0144

* Business Address: 1978 South West Temple State Lic. No. 226732 City Reg. No.:

* Electrical Contractor: Rydalch Electric Phone: 801-265-1913

* Business Address: State Lic. No. City Reg. No.:

* Plumbing Contractor: Clark Mechanick Phone: 801-375-1260

* Business Address: State Lic. No. City Reg. No.:

* Mechanical Contractor: Clark Mechanical Phone: 801-375-1260

* Business Address: State Lic. No. City Reg. No.:

* Previous Usage of Land or Structure (Past 3 yrs.):

* Dwell Units Now on Lot: * Accessory Bldgs. Now on Lot:

* Type of Improvement/Kind of Const.

Sign Build Remodel Addition
 Repair Move Convert Use Demolish

* No. of offstreet parking spaces: Covered Uncovered

Receipt No. Date Issued: 3-2-05 Permit Number: 05-017

BUILDING FEE SCHEDULE

Square Ft. of Building: 69,000 Valuation: 6,500,000

Rough Basements Building Fees: 26,775.75
 Finish Basements Plan Check Fees: 470.00

Carport sq. ft.: None Water Conn.:
Garage sq. ft.: None Reinspection:

Type of Bldg.: Hotel Occ. Group: R-1 1% State: 267.79
No. of Bldgs.: 1 R. Value: Water Dev.:
No. of Stories: 3 Walls: Roof: Water Meter:

No. of Bedrooms: 51
No. of Dwellings: 0

Type of Construction:
 Frame Brick Var. Log
 Brick Block Concrete Steel

Max. Occ. Load:

Fire Sprinkler: Yes No No Total: 274,565.74

Special Approvals: Required Received Not Req.

Board of Adjustment
Health Dept.
Fire Dept.
Soil Report
Water or Well Permit
Flood Control
Sewer Receipt
Gas

Ent 295973 0825 0805

Bond Required: Yes No Amount:

APPROVAL OF SEWAGE FACILITY (Private System Only)

The above applicant agrees to construct sewage facilities in conformity with Wasatch County and Utah State regulations.

Septic Tank: _____ gallons.
Absorption field: _____ lineal ft. of 3 ft. wide trench.
Seepage trench: _____ Absorption bed: _____ sq. ft.
Water Supply: _____
Date: _____, 19____

Approved: _____
Wasatch County Health Department

Plan Chk. OK by: _____ Date: 2/15/05

Signature of Approval: _____ Date: 2/15/05

Minimum Setbacks in Feet: Zone: R2-1-15 Zone Approved By: _____

Disapproved: _____ Date: _____ Sub-Cd. By: _____
Approved: 2/15/05 Date: _____

* A Fire sprinkler plans must be submitted 3 weeks prior to start of installation

* see approved plat

Front
Side
Side
Rear

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury.

* Signature of Contractor or Authorized Agent: _____ Date: 1-20-05

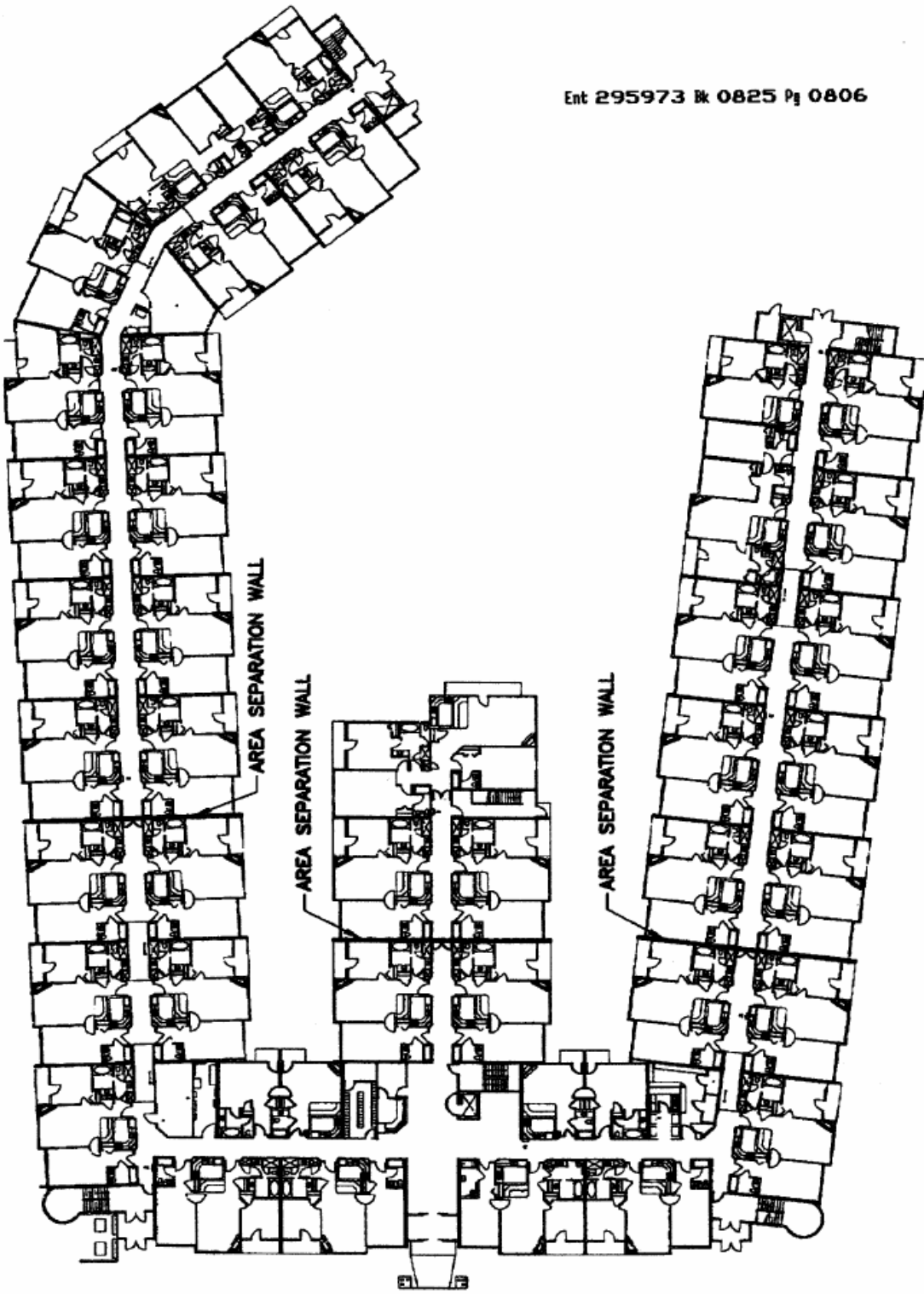
* Signature of Owner (if owner): _____ Date: _____

Census Tract: _____ Traffic Zone: _____ Coordinate Ident. No.:

New S.L.U. Code No. _____ Old S.L.U. Code No. _____

Certificate of Occupancy

NOTE: 24 hours notice is required for all inspections.



ZERMATT VILLAS AREA SEPARATION WALL LOCATIONS -TYP (3) FLOOR
SCALE: 1"=40'-0"

ZERMATT RESORT
 Plat C
 Plat D
 Plat E
 Plat F
 Plat B

Ent 295973 Bk 0825 Pg 0807

ADM-TL-FAT - pcAnywhere

Washack County Taxroll Maintenance System

2006

Date Range: Search

Starting: Browse Taxroll Master Records

Ending:

Grantor: h

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-3206	02R-100C-0-027-034	ZERMATT RESORT LLC		0.06
00-0020-3207	02R-100C-0-027-034	ZERMATT RESORT LLC		0.01
00-0020-3208	02R-100A-0-027-034	ZERMATT RESORT LLC		0.11
00-0020-3209	02R-100C-0-027-034	ZERMATT RESORT LLC		0.04
00-0020-3210	02R-100C-0-027-034	ZERMATT RESORT LLC		0.29
00-0020-3211	02R-105C-0-027-034	ZERMATT RESORT LLC		1.58
00-0020-3212	02R-101C-0-027-034	ZERMATT RESORT LLC		0.03
00-0020-3213	02R-100C-0-027-034	ZERMATT RESORT LLC		0.06
00-0020-3214	02R-100C-0-027-034	ZERMATT RESORT LLC		0.52
00-0020-1203	02R-3101-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #101	0.00
00-0020-1204	02R-3102-0-027-034	FRANCIS LARRY LEE JR	840 W BIGLER LN #102	0.00
00-0020-1205	02R-3103-0-027-034	DYLER RANDALL L	840 W BIGLER LN #103	0.00
00-0020-1206	02R-3105-0-027-034	KLINGERVK GORM V TR	840 W BIGLER LN #105	0.00
00-0020-1207	02R-3124-0-027-034	RITCHE KENT	840 W BIGLER LN #124	0.00
00-0020-1208	02R-3125-0-027-034	RISTER JAY	840 W BIGLER LN #125	0.00
00-0020-1209	02R-3126-0-027-034	LJUNGQUIST MARK	840 W BIGLER LN #126	0.00
00-0020-1210	02R-3128-0-027-034	SONSEN MARK L	840 W BIGLER LN #128	0.00
00-0020-1211	02R-3141-0-027-034	WESEMANN STACEY TR	840 W BIGLER LN #141	0.00
00-0020-1212	02R-3142-0-027-034	FSR ENTERPRISES LLC	840 W BIGLER LN #142	0.00
00-0020-1213	02R-3143-0-027-034	OBRIEN KELLY E	840 W BIGLER LN #143	0.00
00-0020-1214	02R-3144-0-027-034	RICHARDS J LAMAR	840 W BIGLER LN #144	0.00
00-0020-1215	02R-3145-0-027-034	WALKER M RICHARD TR	840 W BIGLER LN #145	0.00
00-0020-1216	02R-3201-0-027-034	PELCH & RICHARDSON ENTERPRISE	840 W BIGLER LN #201	0.00
00-0020-1217	02R-3202-0-027-034	BAKTER DONALD BLAINE TR	840 W BIGLER LN #202	0.00
00-0020-1218	02R-3203-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #203	0.00
00-0020-1219	02R-3205-0-027-034	BELL DEVAUSHN B	840 W BIGLER LN #205	0.00
00-0020-1220	02R-3224-0-027-034	NCP HOLDINGS INC	840 W BIGLER LN #224	0.00
00-0020-1221	02R-3225-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #225	0.00
00-0020-1222	02R-3226-0-027-034	ADAMS DAVID R TR	840 W BIGLER LN #226	0.00

Year: 2006

Serial: 02R-100A-0-027-034

Parcel: 00-0020-3206

Name: ZERMATT RESORT LLC

Name 2:

Address 1: 761 S 1030 E

Address 2:

City: OREM

State: UT

Zip: 84097-0000

District: 100: MIDWAY CITY DISTRICT

Mortgage:

Entry: 241927

Property Add:

Property City:

Change Date: 12/02/2005

Change Name: System

Status: Active

Query

View

(i) Protected record, no add. info. will be displayed.

Help

Zermatt Resort PLAT B

Units A-000 - A005; A100 - A117

A00

A009

A011

A013

A015

A017

A200 - A217; A228

A300 - A317; A328

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ADM-TTL-FAT - pcAnywhere

File Edit System Recordation Terml Window Help

2006

Date Range: Starting: Ending: Search

Year: 2006

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-1223	02R-3226-0-027-034	FRATER MARY ANNE	840 W BIGLER LN #226	0.00
00-0020-1224	02R-3241-0-027-034	ERICKSON MICHAEL F	840 W BIGLER LN #241	0.00
00-0020-1226	02R-3242-0-027-034	LUNGEFORD KATHI W	840 W BIGLER LN #242	0.00
00-0020-1225	02R-3243-0-027-034	CHANEY FAMILY PARTNERSHIP LTD	840 W BIGLER LN #243	0.00
00-0020-1227	02R-3244-0-027-034	CHANEY FAMILY PARTNERSHIP LTD	840 W BIGLER LN #244	0.00
00-0020-1228	02R-3245-0-027-034	DICKINSON THOMAS A	840 W BIGLER LN #245	0.00
00-0020-1229	02R-3301-0-027-034	SPEERLING STEVEN W	840 W BIGLER LN #301	0.00
00-0020-1230	02R-3302-0-027-034	NELSEN PAUL A	840 W BIGLER LN #302	0.00
00-0020-1231	02R-3303-0-027-034	JOLLEY SEAN D	840 W BIGLER LN #303	0.00
00-0020-1232	02R-3305-0-027-034	FRANCIS HOWARD R TR	840 W BIGLER LN #305	0.00
00-0020-1233	02R-3324-0-027-034	BISHOP LEON K	840 W BIGLER LN #324	0.00
00-0020-1234	02R-3325-0-027-034	JENSEN JOSEPH D	840 W BIGLER LN #325	0.00
00-0020-1235	02R-3326-0-027-034	DUKE DEAN	840 W BIGLER LN #326	0.00
00-0020-1236	02R-3328-0-027-034	ARUNA A PATEL MDPC PROFIT SHAR	840 W BIGLER LN #328	0.00
00-0020-1237	02R-3341-0-027-034	PRAZEN RICHARD J	840 W BIGLER LN #341	0.00
00-0020-1238	02R-3342-0-027-034	MAIDEN CLARENCE LEROY	840 W BIGLER LN #342	0.00
00-0020-1239	02R-3343-0-027-034	IBA STEPHEN K	840 W BIGLER LN #343	0.00
00-0020-1240	02R-3344-0-027-034	KESTER JOSEPH THOMAS	840 W BIGLER LN #344	0.00
00-0020-1241	02R-3345-0-027-034	MAIDEN CLARENCE LEROY	840 W BIGLER LN #345	0.00
00-0020-2444	02R-41029-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1029	0.00
00-0020-2445	02R-41030-0-027-034	VILLANUEVA RAYMOND PE	840 W BIGLER LN #1030	0.00
00-0020-2446	02R-41031-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1031	0.00
00-0020-2447	02R-41032-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1032	0.00
00-0020-2448	02R-41033-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1033	0.00
00-0020-2449	02R-41034-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1034	0.00
00-0020-2450	02R-41035-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1035	0.00
00-0020-2451	02R-41036-0-027-034	VILLANUEVA RAYMOND PE	840 W BIGLER LN #1036	0.00
00-0020-2452	02R-41037-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1037	0.00
00-0020-2453	02R-41038-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1038	0.00

Serial: 02R-41039-0-027-034

Parcel: 00-0020-2454

Name: ZERMATT RESORT LLC

Name 2: ZEROSWELL FULLER

Address 1: 751 S 1030 E

Address 2:

City: OREM

State: UT

Zip: 84057-0000

District: 091 MIDWAY CITY DISTRICT

Mortgage:

Entry: 241026

Property Add: 840 W BIGLER LN #1039

Property City: MIDWAY

Change Date: 06/02/2004

Change Name: LPALM

Status: Active

Query View (i) Protected record, no add. info. will be displayed

Help

ADM-TTL-FAT - pcAnywhere 9:43 AM

ADM-TTL-FAT - pcAnywhere

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2006

Date Range: Starting: Ending: Search

Year: 2006

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-2456	02R-41043-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1040	0.00
00-0020-2456	02R-42029-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2029	0.00
00-0020-2457	02R-42030-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2030	0.00
00-0020-2458	02R-42031-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2031	0.00
00-0020-2459	02R-42032-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2032	0.00
00-0020-2460	02R-42033-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2033	0.00
00-0020-2461	02R-42034-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2034	0.00
00-0020-2462	02R-42035-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2035	0.00
00-0020-2463	02R-42036-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2036	0.00
00-0020-2464	02R-42037-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2037	0.00
00-0020-2465	02R-42038-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2038	0.00
00-0020-2466	02R-42039-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2039	0.00
00-0020-2467	02R-42040-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2040	0.00
00-0020-2468	02R-42039-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2039	0.00
00-0020-2469	02R-43030-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3030	0.00
00-0020-2470	02R-43031-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3031	0.00
00-0020-2471	02R-43032-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3032	0.00
00-0020-2472	02R-43033-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3033	0.00
00-0020-2473	02R-43034-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3034	0.00
00-0020-2474	02R-43035-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3035	0.00
00-0020-2475	02R-43036-0-027-034	SWENSON MAX W	840 W BIGLER LN #3036	0.00
00-0020-2476	02R-43037-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3037	0.00
00-0020-2477	02R-43038-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3038	0.00
00-0020-2478	02R-43039-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3039	0.00
00-0020-2479	02R-43040-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3040	0.00
00-0020-3153	02R-51006-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1006	0.02
00-0020-3154	02R-51007-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1007	0.02
00-0020-3155	02R-51008-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1008	0.02
00-0020-3156	02R-51009-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1009	0.02

Serial: 02R-51006-0-027-034

Parcel: 00-0020-3153

Name: ZERMATT RESORT LLC

Name 2: ROBERT FULLER

Address 1: 261 S. TIGER E

Address 2:

City: GREEN

State: IL

Zip: 60432-0000

District: 004 MIDWAY CITY DISTRI

Mortgage:

Entry: 241528

Property Add: 840 W BIGLER LN #1010

Property City: MIDWAY

Change Date: 12/01/2005

Change Name: None

Status: Active

Query View Protected record, no add. info. will be displayed.

Help

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2006

Date Range: Starting: Ending: Parcel Serial Primary Owner Property Address

Year: 2006

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-3158	02R-51011-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1011	0.02
00-0020-3158	02R-51012-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1012	0.02
00-0020-3160	02R-51013-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1013	0.02
00-0020-3161	02R-51014-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1014	0.02
00-0020-3162	02R-51015-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1015	0.02
00-0020-3163	02R-51016-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1016	0.02
00-0020-3164	02R-51017-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1017	0.02
00-0020-3165	02R-51018-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1018	0.02
00-0020-3166	02R-51019-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1019	0.02
00-0020-3167	02R-51021-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1020	0.02
00-0020-3168	02R-51022-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1022	0.02
00-0020-3168	02R-51023-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #1023	0.01
00-0020-3170	02R-52006-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2006	0.02
00-0020-3171	02R-52007-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2007	0.02
00-0020-3172	02R-52008-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2008	0.02
00-0020-3173	02R-52009-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2009	0.02
00-0020-3174	02R-52010-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2010	0.02
00-0020-3175	02R-52011-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2011	0.02
00-0020-3176	02R-52012-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2012	0.02
00-0020-3177	02R-52013-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2013	0.02
00-0020-3178	02R-52014-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2014	0.02
00-0020-3178	02R-52015-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2015	0.02
00-0020-3180	02R-52016-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2016	0.02
00-0020-3181	02R-52017-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2017	0.02
00-0020-3182	02R-52019-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2019	0.02
00-0020-3183	02R-52020-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2020	0.02
00-0020-3184	02R-52021-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2021	0.03
00-0020-3185	02R-52022-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2022	0.02
00-0020-3186	02R-52023-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #2023	0.01

Serial: 02R-53006-0-027-034
Parcel: 00-0020-3187
Name: ZERMATT RESORT LLC
Name 2: ROBERT FULLER
Address 1: 751 S 1000 E
Address 2:
City: GREN
State: UT
Zip: 84097-0000
District: 004 MIDWAY CITY DISTRI
Mortgage:
Entry: 241526
Property Add: 840 W BIGLER LN #3006
Property City: MIDWAY
Change Date: 1/27/2006
Change Name: N/A
Status: Active

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2006

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Date Range **Search**

Starting: Parcel Serial Primary Owner Property Address

Ending: Year: 2006

Serial: 029-6016-0-027-034

Parcel: 00-0020-1568

Name: ZERMATT RESORT LLC

Name 2:

Address 1: 761 S 1030 E

Address 2:

City: OREM

State: UT

Zip: 84097-0000

District: 000 MIDWAY CITY DISTRI

Mortgage:

Entry: 241526

Property Add: 784 W RESORT DR

Property City: MIDWAY 84049

Change Date: 02/26/2006

Change Name: LPALMI

Status: Active

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-3186	029-53007-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3007	0.02
00-0020-3189	029-53008-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3008	0.02
00-0020-3190	029-53009-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3009	0.02
00-0020-3191	029-53010-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3010	0.02
00-0020-3192	029-53011-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3011	0.02
00-0020-3193	029-53012-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3012	0.02
00-0020-3194	029-53013-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3013	0.02
00-0020-3195	029-53014-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3014	0.02
00-0020-3196	029-53015-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3015	0.02
00-0020-3197	029-53016-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3016	0.02
00-0020-3198	029-53017-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3017	0.02
00-0020-3199	029-53018-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3018	0.02
00-0020-3200	029-53019-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3019	0.02
00-0020-3201	029-53020-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3020	0.02
00-0020-3202	029-53021-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3021	0.02
00-0020-3203	029-53022-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3022	0.02
00-0020-3203	029-53023-0-027-034	ZERMATT RESORT LLC	840 W BIGLER LN #3023	0.01
00-0020-1595	029-6000-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1596	029-6001-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1597	029-6002-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1598	029-6003-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1599	029-6004-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1599	029-6005-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1601	029-6006-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1602	029-6007-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1603	029-6008-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1604	029-6009-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1605	029-6010-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1606	029-6011-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1607	029-6012-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00

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2006

Date Range

Search

Starting: Browse Taxroll Master Records

Year: 2006

Ending:

Parcel Serial Primary Owner Property Address

Grantor: Ne

HAMBY VT

HAMC PAJ

HAMC PAJ

HAMC WA

HAMELT H

HAMILL H

HAMILL M

HAMILTON

HAMILTON

HAMILTON

Grantee

HAMC WA

HAMIL PAJ

HAMILL H

HAMILL M

HAMILTON

HAMILTON

HAMILTON

Help

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-1585	02R 6017-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1590	02R 6018-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1571	02R 6018-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1572	02R 6020-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1573	02R 6021-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1574	02R 6022-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1575	02R 6023-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1576	02R 6024-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1577	02R 6025-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1578	02R 6026-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1579	02R 6027-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1580	02R 6028-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1581	02R 6029-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1582	02R 6030-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1583	02R 6031-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1584	02R 6032-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1585	02R 6033-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1586	02R 6034-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1587	02R 6035-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1588	02R 6036-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1589	02R 6037-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1590	02R 6038-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1591	02R 6100-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1592	02R 6101-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1593	02R 6102-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1594	02R 6103-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1595	02R 6104-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1596	02R 6105-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1597	02R 6106-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00

Serial: 02R-6107-0-027-034

Parcel: 00-0020-1588

Name: ZERMATT RESORT, LLC

Name 2:

Address 1: 784 S 1030 E

Address 2:

City: LOREM

State: ILL

Zip: 84057-0000

District: 08 - MIDWAY CITY DISTRICT

Mortgage:

Entry: 241826

Property Add: 784 W RESORT DR

Property City: MIDWAY 84849

Change Date: 02/15/2004

Change Name: (FALM)

Status: Active

14 14 4 7 11 21

Query

View

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Help

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File Edit System Recordation Taxroll Window Help

2006

Date Range: Starting: Ending: Search

Year: 2006

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-1629	02R-6200-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1630	02R-6201-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1631	02R-6202-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1632	02R-6203-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1633	02R-6204-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1634	02R-6205-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1635	02R-6206-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1636	02R-6207-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1637	02R-6208-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1638	02R-6209-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1639	02R-6210-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1640	02R-6211-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1641	02R-6212-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1642	02R-6213-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1643	02R-6214-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1644	02R-6215-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1645	02R-6216-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1646	02R-6217-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1647	02R-6218-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1648	02R-6219-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1649	02R-6220-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1650	02R-6221-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1651	02R-6222-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1652	02R-6223-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1653	02R-6224-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1654	02R-6225-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1655	02R-6226-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1656	02R-6227-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1657	02R-6228-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1658	02R-6229-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1659	02R-6230-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1660	02R-6231-0-027-034	ZERNATT RESORT LLC	784 W RESORT DR	0.00

Serial: 02R-6232-0-027-034

Parcel: 00-0020-1659

Name: ZERNATT RESORT LLC

Name 2:

Address 1: 784 W RESORT DR

Address 2:

City: BREM

State: UT

Zip: 84097-0000

District: 000 - MIDWAY CITY DISTRICT

Mortgage:

Entry: 241826

Property Add: 784 W RESORT DR

Property City: MIDWAY 84049

Change Date: 07/16/2004

Change Name: LPALM

Status: Active

View [x] Protected record, no add. info. will be displayed.

Help

ADM-TTL-FAT - pcAnywhere 9:44 AM

ADM-TTL-FAT - pcAnywhere

Watch County Taxroll Maintenance System

File Edit System Recordation Taxroll Window Help

2006

Date Range: Starting: Ending:

Search

Year: 2006

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-1659	02R-6233-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1660	02R-6234-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1661	02R-6235-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1662	02R-6236-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1663	02R-6237-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1664	02R-6238-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1665	02R-6239-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1666	02R-6240-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1667	02R-6241-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1668	02R-6242-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1669	02R-6243-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1670	02R-6244-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1671	02R-6245-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1672	02R-6246-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1673	02R-6247-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1674	02R-6248-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1675	02R-6249-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1676	02R-6250-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1677	02R-6251-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1678	02R-6252-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1679	02R-6253-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1680	02R-6254-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1681	02R-6255-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1682	02R-6256-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1683	02R-6257-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1684	02R-6258-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1685	02R-6259-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1686	02R-6260-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1687	02R-6261-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00

Serial: 02R-6233-0-027-034

Parcel: 00-0020-1659

Name: ZERMATT RESORT LLC

Address 1: 784 W RESORT DR

Address 2:

City: OREM

State: UT

Zip: 84057-0000

District: 006 MIDWAY CITY DISTRICT

Mortgage:

Entry: 241826

Property Add: 784 W RESORT DR

Property City: MIDWAY 84059

Change Date: 02/16/2004

Change Name: L PALMI

Status: Active

Grantor: HAMBY VT, HAMC PAF, HAMC PAF, HAMC WA, HAMELT H, HAMIL M, HAMIL M, HAMILTON, HAMILTON, HAMILTON, HAMILTON

Grantee: HAMC WA, HAMIL PA, HAMIL H, HAMIL M, HAMIL M, HAMILTON, HAMILTON, HAMILTON, HAMILTON

Help

ADM-TTL-FAT - pcAny...

9:44 AM

ADM-TL-FAT - pcAnywhere

CTMS - Wasatch County Taxroll Maintenance System

File Edit System Recordation Parcel Window Help

2006

Date Range: Starting: Ending: Search

Parcel Serial Primary Owner Property Address

Parcel	Serial	Primary Owner	Property Address	Acres
00-0020-1685	02R-6320-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1686	02R-6321-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1687	02R-6322-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1688	02R-6323-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1689	02R-6324-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1690	02R-6325-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1691	02R-6326-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1692	02R-6327-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1693	02R-6328-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1694	02R-6329-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1695	02R-6330-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1696	02R-6331-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1697	02R-6332-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1698	02R-6333-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1699	02R-6334-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1700	02R-6335-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1701	02R-6336-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1702	02R-6337-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1703	02R-6338-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1704	02R-6339-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1705	02R-6340-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1706	02R-6341-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1707	02R-6342-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1708	02R-6343-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1709	02R-6344-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1710	02R-6345-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1711	02R-6346-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1712	02R-6347-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1713	02R-6401-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1714	02R-6402-0-027-034	ZERMATT RESORT LLC	784 W RESORT DR	0.00
00-0020-1715				
00-0020-1716				
00-0020-1717				

Serial: 02R-6403-0-027-034
 Parcel: 00-0020-1719
 Name: ZERMATT RESORT LLC
 Name 2:
 Address 1: 784 S 1030 E
 Address 2:
 City: GOREM
 State: UT
 Zip: 84097-0000
 District: 004 MIDWAY CITY DISTRI
 Mortgage:
 Entry: 241526
 Property Add: 784 W RESORT DR
 Property City: MIDWAY 84049
 Change Date: 07/15/2004
 Change Name: UPALMI
 Status: Active

Query View (b) Protected record, no add. info. will be displayed

00-0020-1719 02R-6404-0-027-034

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