

152/47

When recorded, mail to:

Centerville City Recorder
250 North Main Street
Centerville, Utah 84014

E 3458401 B 7951 P 585-631
RICHARD T. MAUGHAN
DAVIS COUNTY, UTAH RECORDER
02/22/2022 09:59 AM
FEE \$152.00 Pgs: 47
DEP RT REC'D FOR SYMPHONY HOMES

Affects Parcel No(s): 07-072-0034, 07-072-0132, 07-072-0160, 07-072-0161, 07-072-0188,
07-072-0189, 07-072-0175

07-357-0101 → 0166 D

**CENTERVILLE CITY
STORM WATER FACILITIES MAINTENANCE AGREEMENT**

This Storm Water Facilities Maintenance Agreement ("Agreement") is made and entered into this 21st day of January, 2022, by and between Centerville City, a Utah municipal corporation ("the City"), and Summerhill Lane, LLC, a Utah limited liability company ("Owner").

RECITALS

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters within the City, as set forth in Title 16 of the Centerville City Municipal Code ("the Code"); and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in **Exhibit "A,"** attached hereto and incorporated herein by this reference ("the Property"); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to accommodate and regulate these anticipated changes in existing storm and surface water flow conditions, the Owner desires to build and maintain at Owner's expense a storm and surface water management facility or improvements ("Storm Water Facilities"); and

WHEREAS, the Storm Water Facilities are more particularly described and shown in the final subdivision plans approved by the City for the Property and related engineering drawings, and any amendments thereto, which plans and drawings are on file with the City and are hereby incorporated herein by this reference ("Development Plan"); and

WHEREAS, a description of all Storm Water Facilities, details, and all appurtenances draining to and affecting the Storm Water Facilities and establishing the standard operation and routine maintenance procedures for the Storm Water Facilities,

and control measures installed on the Property ("Long-Term Storm Water Management Plan") is more particularly shown in **Exhibit "B;"** and

WHEREAS, as a condition of Development Plan approval, and as required as part of the City's Small MS4 UPDES General Permit from the State of Utah, Owner is required to enter into this Agreement establishing a means of documenting the execution of the Long-Term Storm Water Management Plan; and

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the City's approval of the Long-Term Storm Water Management Plan, and the mutual covenants contained herein, the parties agree as follows:

1. Owner's Obligations to Construct, Maintain, and Inspect Storm Water Facilities. The Owner shall, at its sole cost and expense:

- (a) Construct the Storm Water Facilities in strict accordance with the plans and specifications identified in the Development Plan, and any amendments thereto which have been approved by the City, and in compliance with applicable City, State, and Federal law.
- (b) Adequately maintain the Storm Water Facilities. Owner's maintenance obligations shall include all pipes, underground facilities, and channels built to convey storm water, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance, for purposes of this Agreement, is defined as good working condition so that the Storm Water Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Storm Water Facilities in good working condition.
- (c) Inspect the Storm Water Facilities and submit an inspection report and certification to the City annually. The purpose of the inspection and certification is to assure safe and proper functioning of the Storm Water Facilities. The annual inspection shall cover all aspects of the Storm Water Facilities, including, but not limited to, the structural improvements, berms, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification as to whether adequate maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by June 30th of each year and shall be on forms acceptable to the City.

2. City Oversight Inspection Authority. The Owner hereby grants permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Storm Water Facilities whenever deemed necessary by the City. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Storm Water Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with the City Municipal Code and the Long-Term

Storm Water Management Plan.

3. **Notice of Deficiencies.** If the City finds that the Storm Water Facilities contain any defects or are not being maintained adequately, the City shall send Owner written notice of the defects or deficiencies and provide Owner with a reasonable time to cure such defects or deficiencies, but not less than sixty (60) days. Such notice shall be hand-delivered to the Owner or sent certified mail to the Owner.

4. **Owner to Make Repairs.** The Owner shall, at its sole cost and expense, make such repairs, changes or modifications to the Storm Water Facilities as may be determined as reasonably necessary by the City within the required cure period to ensure that the Storm Water Facilities are adequately maintained and continue to operate as designed and approved.

5. **City's Corrective Action Authority.** In the event the Owner fails to adequately maintain the Storm Water Facilities in good working condition acceptable to the City, after due notice of deficiencies as provided herein, the City may enter upon the Property and take whatever steps necessary to correct deficiencies and to charge the costs of such repairs to the Owner. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Storm Water Facilities, and in no event shall this Agreement be construed to impose any such obligation on the City. The actions described in this Section are in addition to and not in lieu of any and all legal remedies available to the City as provided by law for Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

6. **Reimbursement of Costs.** In the event the City, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Owner shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City. After said thirty (30) days, such amount shall be deemed delinquent and shall be subject to interest at the rate of ten percent (10%) per annum. Owner shall also be liable for any collection costs, including attorneys' fees and court costs, incurred by the City in collection of delinquent payments.

7. **Successor and Assigns.** This Agreement shall be recorded in the Davis County Recorder's Office. The covenants and agreements contained herein shall run with the land, and whenever the Property shall be held, sold, conveyed, or otherwise transferred, it shall be subject to the covenants, stipulations, agreements, and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property or any portion thereof described herein.

10. **Severability Clause.** The provisions of this Agreement shall be severable and if any phrase, clause, sentence, or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Agreement shall not be affected thereby.

11. **Utah Law and Venue.** This Agreement shall be interpreted under the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute

arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Davis County, Utah.

12. Indemnification. This Agreement imposes no liability of any kind whatsoever on the City, and the Owner agrees to hold the City harmless from any liability in the event the Storm Water Facilities fail to operate properly. The Owner shall indemnify and hold the City harmless for any and all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against the City from the construction, presence, existence, or maintenance of the Storm Water Facilities.

13. Amendments. This Agreement shall not be modified except by written instrument executed by the City and the Owner of the Property at the time of modification, and no modification shall be effective until recorded in the Davis County Recorder's Office.

14. The Long-Term Storm Water Management Plan. The Long-Term Storm Water Management Plan must adapt to change in good judgement when site conditions and operations change and when existing programs are ineffective. Revision requests must be filed with the City. Any approved revisions to said plan must be filed with the City and amended into said plan.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first set forth above.

Centerville City:

By: *Debra Bell*
Its: *Mayor*

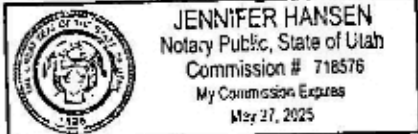
Owner: Summerhill Lane, LLC

By: *Robert Miller*
Print Name: *Robert Miller*
Title: *Manager*

CITY ACKNOWLEDGMENT

STATE OF UTAH)
 : ss.
COUNTY OF DAVIS)

On the 1st day of February, 2022, personally appeared before me Clark Wilkinsen, who being duly sworn, did say that he/she is the Mayor of **CENTERVILLE CITY**, a municipal corporation of the State of Utah, and that the foregoing instrument was signed in his/her capacity as land use authority on behalf of the City for approval of Storm Water Facilities Maintenance Agreements



Jennifer Hansen
Notary Public

My Commission Expires:
May 27, 2025

Residing at:
Davis County

SUMMERHILL LANE, LLC ACKNOWLEDGMENT

STATE OF UTAH)
 : ss.
COUNTY OF DAVIS)

On the 21st day of January, 2022, personally appeared before me Robert Miller, who being duly sworn, did say that he/she is the Manager of **SUMMERHILL LANE, LLC** and that he/she has executed this Agreement with full authority to do so.

[Signature]
Notary Public

My Commission Expires:
2/6/23

Residing at:
Utah County

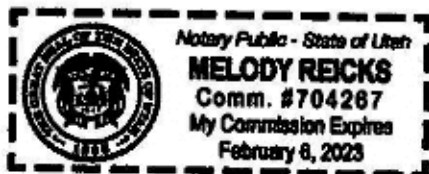


EXHIBIT "A"
Legal Description

A tract of land situate in the Southwest Quarter of Section 31, Township 3 North, Range 1 East, Salt Lake Base & Meridian, comprised of all of six (6) parcels identified by Davis County Tax ID Numbers 07-072-0034, 07-072-0132, 07-072-0160, 07-072-0161, 07-072-0188, 07-072-0189 and a part of 07-072-0175, located in Centerville City, Davis County, Utah, being more particularly described as follows:

Beginning at a point on the westerly right-of-way line of Main Street (SR-106) as established by UDOT Project No. S-0116(1), located S01°03'04"E 412.51 feet along the Section line and S88°56'56"W 147.88 feet from the Center 1/4 Corner of Section 31, T3N, R1E, SLB&M (Basis of Bearing: N0°15'20"E along the 1/4 Section line between the Center 1/4 Corner and the North 1/4 Corner of Section 31, T3N, R1E, SLB&M); thence southerly along said right-of-way line the following two (2) courses: (1) S12°38'06"E 12.55 feet; thence (2) along the arc of a non-tangent curve to the left having a radius of 5,762.65 feet (radius bears: N77°21'22"E) a distance of 437.49 feet through a central angle of 04°20'59" Chord: S14°49'07"E 437.39 feet; thence to and along the northerly line of that Real Property described by Warranty Deed recorded in the Office of the Davis County Recorder as Entry No. 338654 in Book 7770 at Page 390, N89°45'38"W 750.06 feet to the easterly line of that Real Property identified by Davis County Tax ID No. 07-072-0195, the boundary of which was determined by Survey No. 5493 on file in the Office of the Davis County Surveyor; thence along said boundary N01°02'54"E 47.91 feet; thence N89°42'24"W 358.00 feet to the westerly line of said as-surveyed boundary; thence along said as-surveyed boundary the following two (2) courses: (1) N09°48'11"W 71.09 feet; thence (2) N89°42'24"W 55.68 feet to an easterly line of LEXINGTON PARK SUBDIVISION PHASE 4, according to the Official Plat thereof on file in the Office of the Davis County Recorder as Entry No. 1649844 in Book 2776 at Page 547; thence along said plat the following five (5) courses: (1) N12°28'19"W 34.03 feet; thence (2) S77°31'41"W 100.00 feet; thence (3) S45°52'13"W 70.49 feet; thence (4) S77°31'41"W 105.00 feet; thence (5) S12°28'16"E 161.93 feet to the northerly line of LEXINGTON PARK SUBDIVISION PHASE 3, according to the Official Plat thereof on file in the Office of the Davis County Recorder as Entry No. 1490619 in Book 2454 at Page 223; thence along said plat the following two (2) courses: (1) N89°32'27"W 392.27 feet; thence (2) N89°51'45"W 402.23 feet to the southeasterly corner of that Real Property described by Warranty Deed recorded in the Office of the Davis County Recorder as Entry No. 3396335 in Book 7793 at Page 1778; thence along said deed N01°48'53"E 432.14 feet to a south boundary line as determined by a Boundary Line Agreement recorded in the Office of the Davis County Recorder as Entry No. 3399145 in Book 7800 at Page 342; thence along said boundary line agreement S89°46'49"E 392.09 feet to a southwesterly corner of that Real Property described by Warranty Deed recorded in the Office of the Davis County Recorder as Entry No. 1347577 in Book 2176 at Page 915; thence along said deed the following two (2) courses: (1) S89°51'23"E 497.27 feet; thence (2) N12°59'38"W 1.00 feet to a point on the northerly line of that Real Property as described by Warranty Deed recorded in the office of the Davis County Recorder as Entry No. 3339248 in Book 7681 at Page 363; thence along said deed S89°45'54"E 723.67 feet to a westerly line of CUTLER SUBDIVISION PHASE 5, according to the Official Plat thereof on file in the Office of the Davis County Recorder as Entry No. 2571788 in Book 5165 at Page 1697; thence along said plat the following four (4) courses: (1) S00°01'43"W 2.88 feet; thence (2) N89°14'56"E 192.21 feet; thence (3) N00°45'01"W 100.54 feet; thence (4) N89°15'01"E 21.25 feet to the westerly corner of that Real Property as described by an Affidavit to Correct recorded in the office of the Davis County Recorder as Entry No. 3308781 in Book 7625 at Page 2929; thence along said deed S89°36'24"E 239.38 feet to the point of beginning.

Contains: 17.58 acres+/-

Exhibit "B"

Long-Term Storm Water Management Plan

EXHIBIT B

Long-Term Stormwater Management Plan

for:

SUMMERHILL LANE SUBDIVISION
2150 North Main Street
Centerville, UT 84014

SUMMERHILL LANE, LLC
111 South Frontage Road
Centerville, UT 84014

Jared Schmidt
(801) 915-3222
jschmidt@symphonyhomes.com

PURPOSE AND RESPONSIBILITY

As required by the Clean Water Act and resultant local regulations, including Centerville Municipal Separate Storm Sewer Systems (MS4) Permit, those who develop land are required to build and maintain systems to minimize litter and contaminants in stormwater runoff that pollute waters of the State.

This Long-Term Stormwater Management Plan (LTSWMP) describes the systems, operations, and the minimum standard operating procedures (SOPs) necessary to manage pollutants originating from or generated on this property. Any activities or site operations at this property that contaminate water entering the City's stormwater system, groundwater and generate loose litter must be prohibited.

CONTENTS

SECTION 1: SITE DESCRIPTION, USE, AND IMPACT
SECTION 2: TRAINING
SECTION 3: RECORDKEEPING
SECTION 4 APPENDICES

SECTION 1: SITE DESCRIPTION, USE, AND IMPACT

The site infrastructure is limited at controlling and containing pollutants. If our property and operations are managed improperly we will contaminate our water resources. This LTSWMP includes standard operations procedures (SOP)s intended to compensate for the limitations of our site infrastructure. The property manager must use good judgment and conduct operations appropriately, doing as much as possible indoors and responsibly managing operations that must be performed outdoors.

Parking, Sidewalk, and Flatwork

Any sediment, leaves, debris, spilled fluids, or other waste that collects on our parking areas and sidewalks will be cleaned up and thrown away as often as possible.

Maintenance involves regular sweeping, but it can also involve pavement washing to remove stains, slick spots, and improve appearance when necessary. The Pavement Maintenance and the Pavement Washing SOPs are used to manage the pollutants associated with our pavements.

Landscaping

The landscaped open space areas within Summerhill Lane are minimal, but may include some mowing and lawn-care techniques that can result in grass clippings, dirt, mulch, fertilizers, pesticides, and other pollutants, to fall or be left on our paved areas. The primary pollutant impairing the above-ground detention basin and then into Centerville City's storm drain and outlet system will be an organic material, so the paved areas with direct connection to the City's storm drain system must remain clean of landscaping debris. The Landscape maintenance SOP is written to manage and control this potential pollution source affecting Centerville City's storm drain system.

Flood and Water Quality Control System

The storm-drain inlets and connecting underground pipes capture and direct all runoff to a series of above-ground infiltration basins. Each basin will help capture and filter suspended solids and other pollutants. Stormwater discharge is controlled using an orifice before finally passing through an oil/water separator that further treats for sediments and oils before entering the city's storm drain system.

Waste Management

Good waste management systems, if managed properly, can become the source of the very pollution it was intended to manage. The lids of our dumpsters and trash receptacles are intended to prevent light weight trash carried off by wind and precipitation exposure minimizing liquids that can leak to our pavement and from haul trucks.

Utility System

All utilities, including culinary water, irrigation water, sewer, electricity, gas, and communications, have been undergrounded for this project. Proper maintenance of a/c

units on the outside of the building by the homeowners and will make sure that there is a small chance that there will be oils and other contaminants that make it into the storm drain system.

Snow and Ice Removal Management

Salt is a necessary pollutant and is vital to ensuring a safe parking and pedestrian path system. However, the snow removal operations improperly managed will increase our salt impact on local water resources and our vegetation. Snow removal and salt must be used only as needed.

SECTION 2: TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage and maintain the property. Maintenance contractors must use the stronger of their Company and the LTSWMP SOPs. File all training records in Appendix C.

SECTION 3: RECORDKEEPING

Maintain records of operation and maintenance activities per SOPs.
Mail a copy of the record to Centerville City Stormwater Division annually.

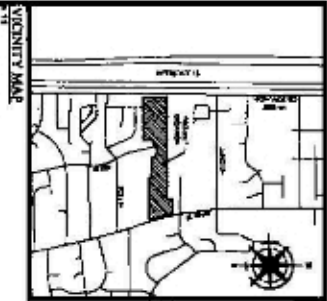
SECTION 4: APPENDICES

Appendix A- Site Drawings

Appendix B- SOPs

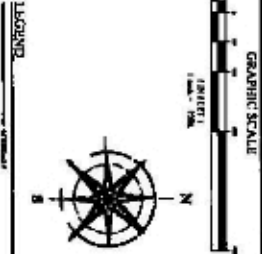
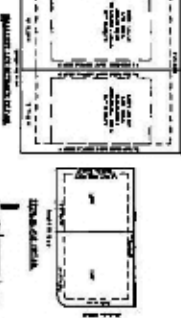
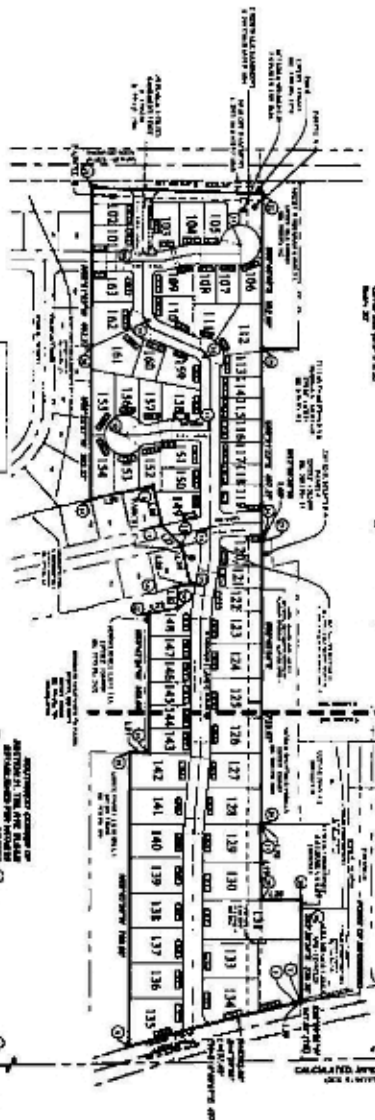
Appendix C- Recordkeeping Documents

APPENDIX A – SITE DRAWINGS



OWNER'S INFORMATION
 PROJECT NO. 111-111-111-111
 SHEET NO. 1 OF 1
 DATE: 11/11/11
 DRAWN BY: J. D. SMITH
 CHECKED BY: M. J. BROWN
 APPROVED BY: R. L. GREEN

SUMMERHILL LANE
 SUBDIVISION
 LOCATED IN THE SW 1/4 OF SECTION 31, T1N, R1E,
 SALT LAKE BLVD & MERIDIAN,
 CENTERVILLE CITY, DANVERS COUNTY, TENN.



Lot No.	Area (Acres)
1	0.12
2	0.15
3	0.18
4	0.20
5	0.22
6	0.25
7	0.28
8	0.30
9	0.32
10	0.35
11	0.38
12	0.40
13	0.42
14	0.45
15	0.48
16	0.50
17	0.52
18	0.55
19	0.58
20	0.60
21	0.62
22	0.65
23	0.68
24	0.70
25	0.72
26	0.75
27	0.78
28	0.80
29	0.82
30	0.85
31	0.88
32	0.90
33	0.92
34	0.95
35	0.98
36	1.00
37	1.02
38	1.05
39	1.08
40	1.10
41	1.12
42	1.15
43	1.18
44	1.20
45	1.22
46	1.25
47	1.28
48	1.30
49	1.32
50	1.35
51	1.38
52	1.40
53	1.42
54	1.45
55	1.48
56	1.50
57	1.52
58	1.55
59	1.58
60	1.60
61	1.62
62	1.65
63	1.68
64	1.70
65	1.72
66	1.75
67	1.78
68	1.80
69	1.82
70	1.85
71	1.88
72	1.90
73	1.92
74	1.95
75	1.98
76	2.00
77	2.02
78	2.05
79	2.08
80	2.10
81	2.12
82	2.15
83	2.18
84	2.20
85	2.22
86	2.25
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88	2.30
89	2.32
90	2.35
91	2.38
92	2.40
93	2.42
94	2.45
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109	2.82
110	2.85
111	2.88
112	2.90
113	2.92
114	2.95
115	2.98
116	3.00
117	3.02
118	3.05
119	3.08
120	3.10
121	3.12
122	3.15
123	3.18
124	3.20
125	3.22
126	3.25
127	3.28
128	3.30
129	3.32
130	3.35
131	3.38
132	3.40
133	3.42
134	3.45
135	3.48

FOCUS
 PLANNING & ENGINEERING
 1111 MARKET STREET, SUITE 100
 CENTERVILLE, TN 37033
 (615) 875-1111
 WWW.FOCUSPLANNING.COM

LIMITED LIABILITY AGREEMENT
 This agreement is made this 11th day of November, 2011, between FOCUS PLANNING & ENGINEERING, INC. (FOCUS) and the undersigned client (CLIENT). FOCUS is a professional corporation organized under the laws of the State of Tennessee. FOCUS is a professional engineering firm providing professional engineering services to the CLIENT. FOCUS is not responsible for the actions of any other professionals or consultants who may be engaged by the CLIENT. FOCUS is not responsible for the actions of any other professionals or consultants who may be engaged by the CLIENT. FOCUS is not responsible for the actions of any other professionals or consultants who may be engaged by the CLIENT.

PLANNING COMMISSION
 APPROVED AS TO FORM AND CONTENT BY THE PLANNING COMMISSION OF CENTERVILLE CITY ON 11/11/11.

CITY ENGINEER
 APPROVED AS TO FORM AND SUBSTANCE BY THE CITY ENGINEER OF CENTERVILLE CITY ON 11/11/11.

CITY ATTORNEY
 APPROVED AS TO LEGAL FORM BY THE CITY ATTORNEY OF CENTERVILLE CITY ON 11/11/11.

CITY COUNCIL
 APPROVED BY THE CITY COUNCIL OF CENTERVILLE CITY ON 11/11/11.

RECORDED
 RECORDED IN THE PUBLIC RECORDS OF DANVERS COUNTY, TENNESSEE, ON 11/11/11.

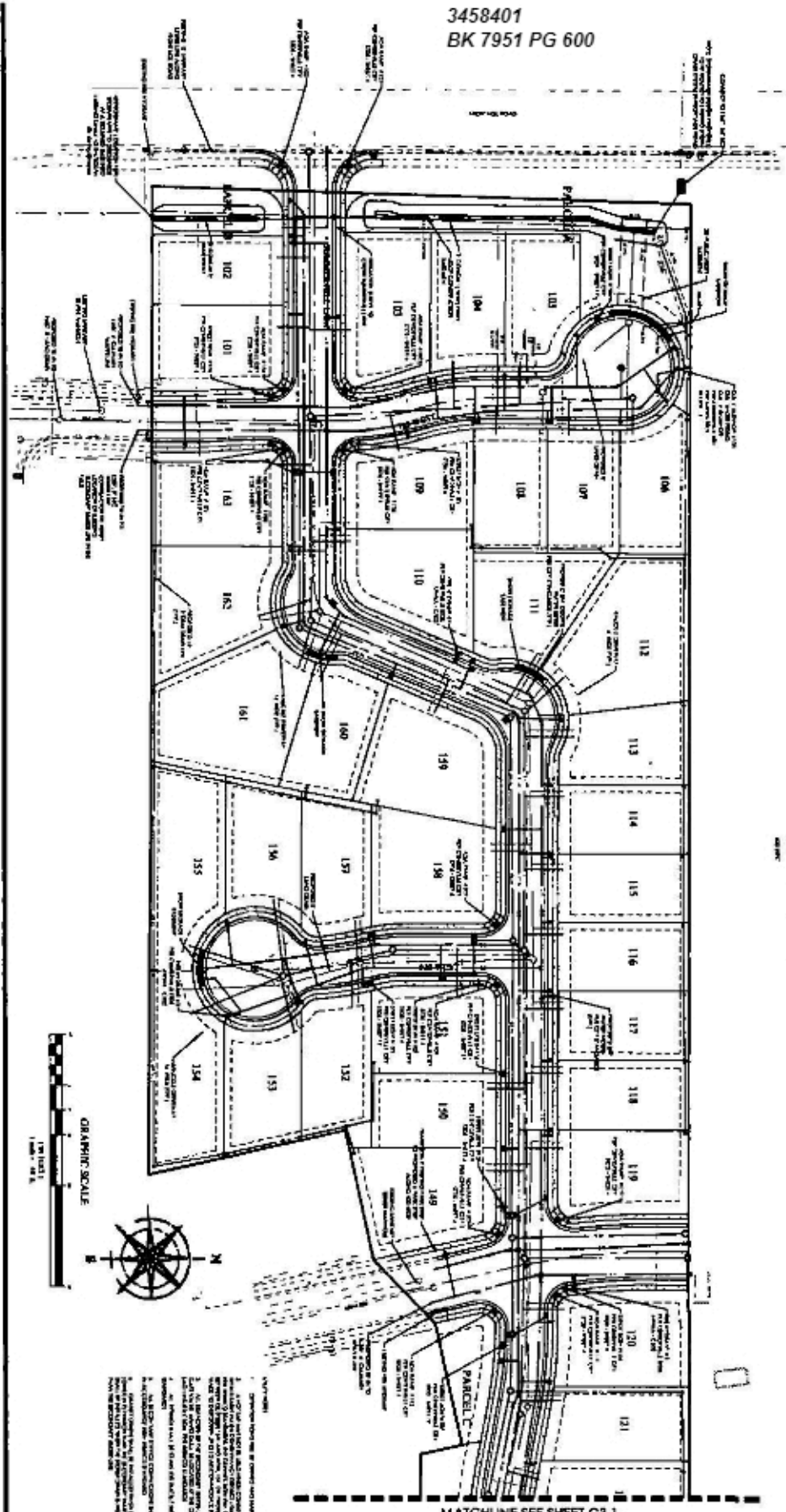
OWNER'S CERTIFICATE
 I, the undersigned, being the owner of the above described land, do hereby certify that the information furnished to the City of Centerville, Tennessee, in connection with the application for a subdivision plat is true and correct to the best of my knowledge and belief, and that I am not aware of any facts which would render the same false or misleading. I understand that the City of Centerville, Tennessee, is not responsible for the accuracy of the information furnished to it, and that it is the responsibility of the owner to provide accurate information. I understand that the City of Centerville, Tennessee, is not responsible for the accuracy of the information furnished to it, and that it is the responsibility of the owner to provide accurate information. I understand that the City of Centerville, Tennessee, is not responsible for the accuracy of the information furnished to it, and that it is the responsibility of the owner to provide accurate information.

BOUNDARY DESCRIPTION
 A portion of the land described in the Subdivision Plat of Summerhill Lane, located in the SW 1/4 of Section 31, T1N, R1E, Salt Lake Blvd & Meridian, Centerville City, Danvers County, Tennessee, is hereby described as follows: The land is bounded on the north by the Salt Lake Blvd & Meridian, on the east by the Meridian, on the south by the Salt Lake Blvd, and on the west by the Salt Lake Blvd. The land is bounded on the north by the Salt Lake Blvd & Meridian, on the east by the Meridian, on the south by the Salt Lake Blvd, and on the west by the Salt Lake Blvd.

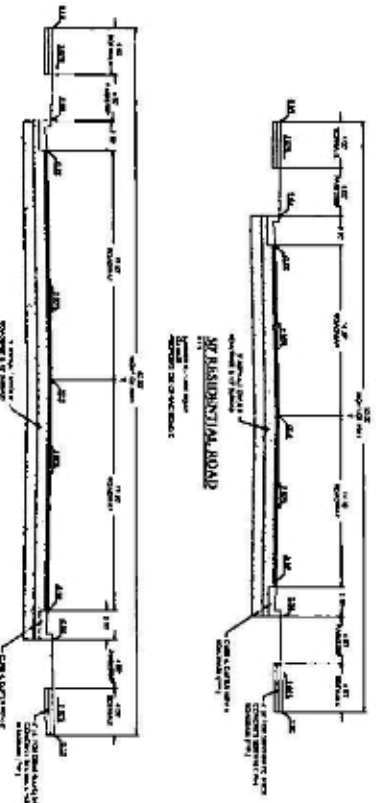
OWNER'S DECLARATION
 I, the undersigned, being the owner of the above described land, do hereby declare that the information furnished to the City of Centerville, Tennessee, in connection with the application for a subdivision plat is true and correct to the best of my knowledge and belief, and that I am not aware of any facts which would render the same false or misleading. I understand that the City of Centerville, Tennessee, is not responsible for the accuracy of the information furnished to it, and that it is the responsibility of the owner to provide accurate information. I understand that the City of Centerville, Tennessee, is not responsible for the accuracy of the information furnished to it, and that it is the responsibility of the owner to provide accurate information. I understand that the City of Centerville, Tennessee, is not responsible for the accuracy of the information furnished to it, and that it is the responsibility of the owner to provide accurate information.

RECORDING INFORMATION
 This subdivision plat is being recorded in the Public Records of Danvers County, Tennessee, in accordance with the provisions of the Tennessee Subdivision Act, Chapter 130, Tennessee Code Annotated. The recording fee is \$100.00. The recording date is 11/11/11. The recording time is 10:00 AM. The recording office is the Public Records Office, Danvers County, Tennessee.

NOTARIAL PUBLIC
 My commission expires on 11/11/11.

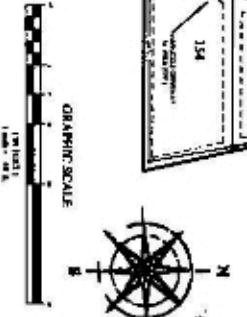


DATE: 01/27/2011
DRAWN BY: J. W. WILSON
CHECKED BY: J. W. WILSON
PROJECT: 3458401 BK 7951 PG 600
SHEET: C3



LEGEND

Symbol	Description
Circle with dot	Utility
Square with dot	Utility
Triangle with dot	Utility
Diamond with dot	Utility
Circle	Utility
Square	Utility
Triangle	Utility
Diamond	Utility
Circle with cross	Utility
Square with cross	Utility
Triangle with cross	Utility
Diamond with cross	Utility
Circle with star	Utility
Square with star	Utility
Triangle with star	Utility
Diamond with star	Utility



NOTES

1. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL CHECK OF THE RECORD DRAWINGS AND FIELD SURVEY DATA AND HAS FOUND THEM TO BE ACCURATE AND CONSISTENT WITH THE INFORMATION ON THIS PLAN. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROPERTY SINCE THE RECORD DRAWINGS AND FIELD SURVEY DATA WERE PROVIDED.
2. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROPERTY SINCE THE RECORD DRAWINGS AND FIELD SURVEY DATA WERE PROVIDED.
3. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROPERTY SINCE THE RECORD DRAWINGS AND FIELD SURVEY DATA WERE PROVIDED.
4. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROPERTY SINCE THE RECORD DRAWINGS AND FIELD SURVEY DATA WERE PROVIDED.

REV.	DESCRIPTION
1	ISSUED FOR PERMIT

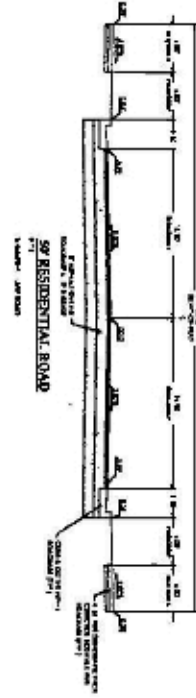
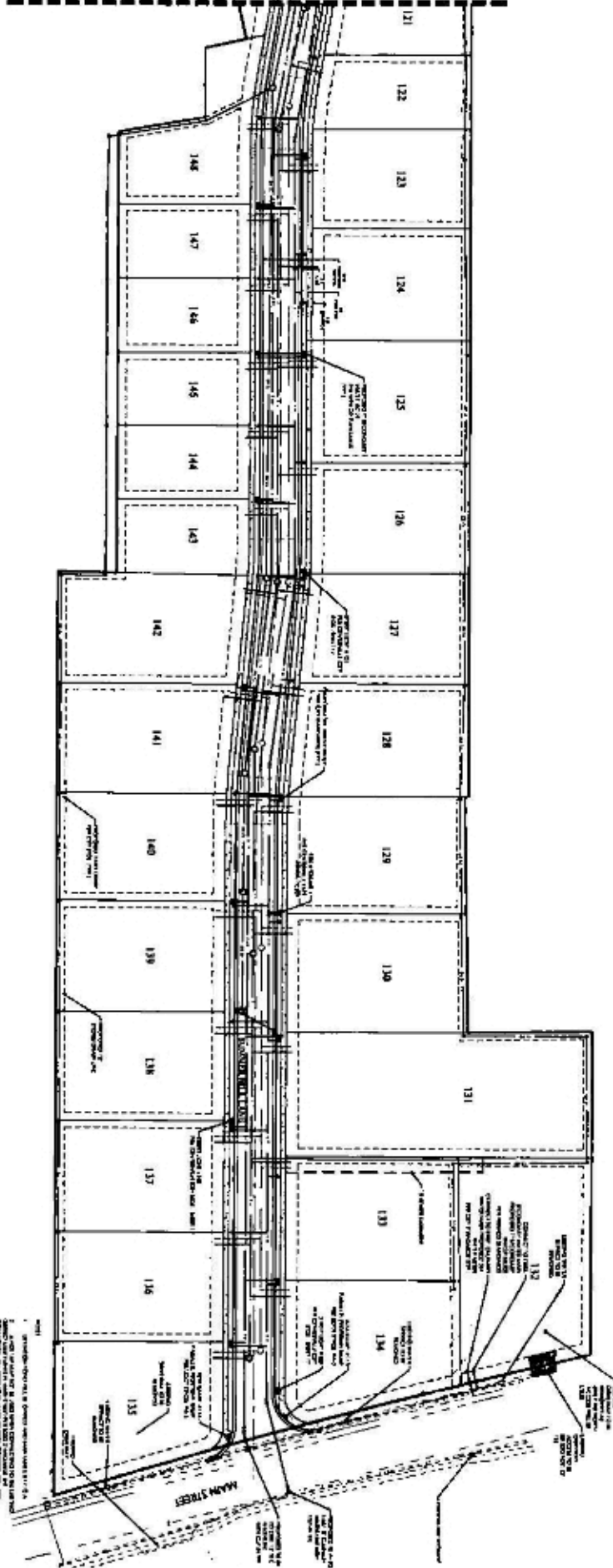
SITE PLAN

SUMMERHILL LANE SUBDIVISION
Centerville, UT
SITE PLAN



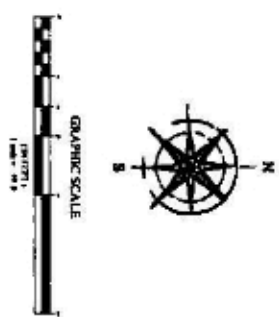
FOCUS
ENGINEERING AND SURVEYING, LLC
6800 S 10000 TECH DRIVE, SUITE 200
MIDVALE, UT 84047-1400
www.focuseng.com

MATCHLINE SEE SHEET C-3



LEGEND

SYMBOL	DESCRIPTION
(Symbol)	PROPOSED LOT LINES
(Symbol)	EXISTING LOT LINES
(Symbol)	PROPOSED EASEMENTS
(Symbol)	EXISTING EASEMENTS
(Symbol)	PROPOSED DRIVEWAYS
(Symbol)	EXISTING DRIVEWAYS
(Symbol)	PROPOSED SIDEWALKS
(Symbol)	EXISTING SIDEWALKS
(Symbol)	PROPOSED CURBS
(Symbol)	EXISTING CURBS
(Symbol)	PROPOSED UTILITY LINES
(Symbol)	EXISTING UTILITY LINES
(Symbol)	PROPOSED PAVED AREAS
(Symbol)	EXISTING PAVED AREAS
(Symbol)	PROPOSED UNPAVED AREAS
(Symbol)	EXISTING UNPAVED AREAS
(Symbol)	PROPOSED STREETS
(Symbol)	EXISTING STREETS
(Symbol)	PROPOSED ALLEYS
(Symbol)	EXISTING ALLEYS
(Symbol)	PROPOSED DRIVEWAYS
(Symbol)	EXISTING DRIVEWAYS
(Symbol)	PROPOSED SIDEWALKS
(Symbol)	EXISTING SIDEWALKS
(Symbol)	PROPOSED CURBS
(Symbol)	EXISTING CURBS
(Symbol)	PROPOSED UTILITY LINES
(Symbol)	EXISTING UTILITY LINES
(Symbol)	PROPOSED PAVED AREAS
(Symbol)	EXISTING PAVED AREAS
(Symbol)	PROPOSED UNPAVED AREAS
(Symbol)	EXISTING UNPAVED AREAS
(Symbol)	PROPOSED STREETS
(Symbol)	EXISTING STREETS
(Symbol)	PROPOSED ALLEYS
(Symbol)	EXISTING ALLEYS



NOTES:
1. THIS PLAN SHOWS THE PROPOSED LOTS AND EASEMENTS FOR THE SUBDIVISION.
2. THE PROPOSED LOTS AND EASEMENTS ARE BASED ON THE SURVEY DATA PROVIDED.
3. THE PROPOSED LOTS AND EASEMENTS ARE SUBJECT TO THE APPLICABLE ZONING ORDINANCES.
4. THE PROPOSED LOTS AND EASEMENTS ARE SUBJECT TO THE APPLICABLE EASEMENT RECORDS.
5. THE PROPOSED LOTS AND EASEMENTS ARE SUBJECT TO THE APPLICABLE EASEMENT RECORDS.
6. THE PROPOSED LOTS AND EASEMENTS ARE SUBJECT TO THE APPLICABLE EASEMENT RECORDS.

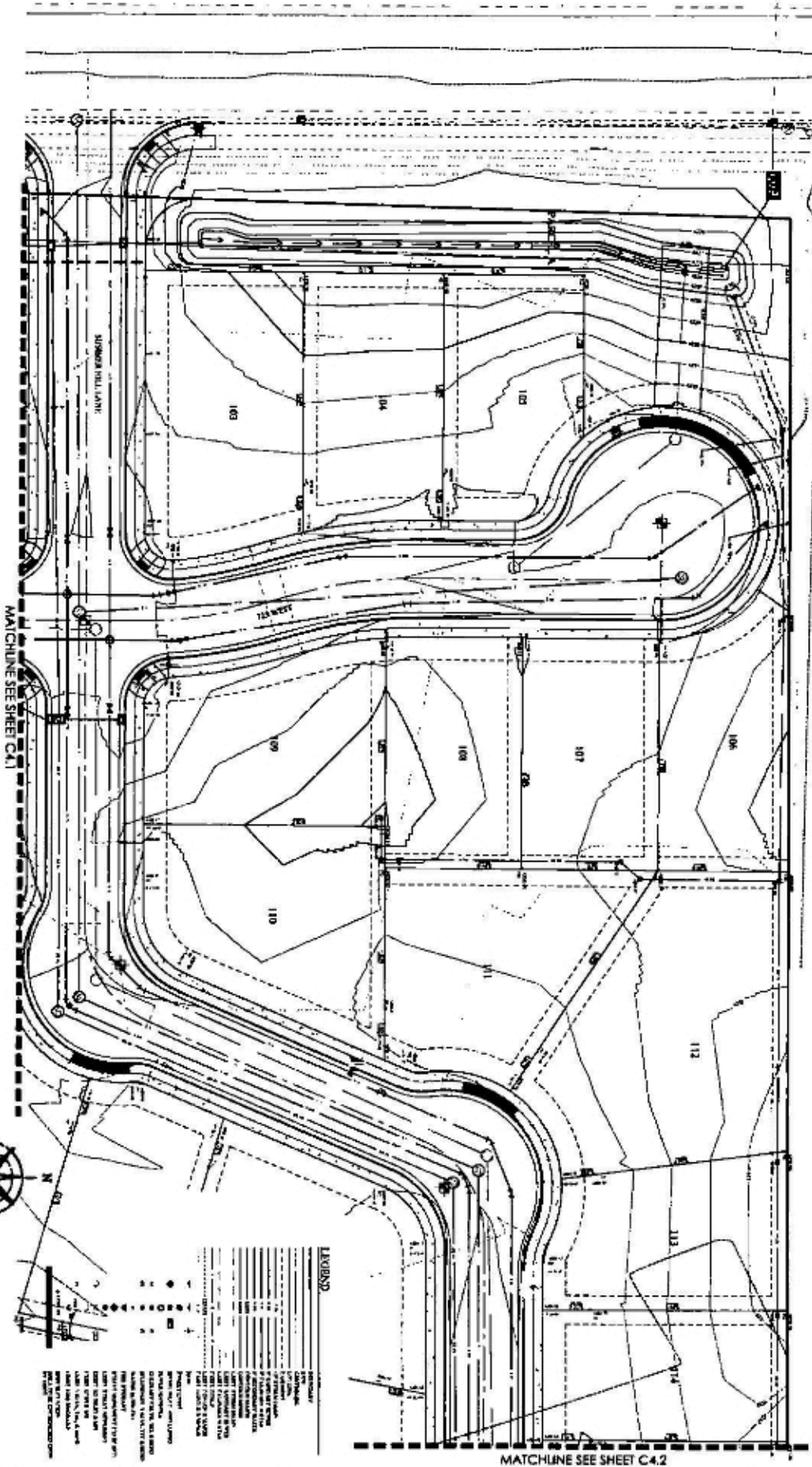
NO.	DATE	REVISION
1	01/15/11	ISSUED FOR PERMIT
2	02/10/11	REVISIONS

SITE PLAN
C3.1

SUMMERHILL LANE SUBDIVISION
Centerville, UT
SITE PLAN

FOCUS
ENGINEERING AND SURVEYING, LLC
6945 S. 1000 EAST DRIVE, SUITE 200
MOUNTAIN VIEW, UT 84040
www.focusllc.com

NOTE:
THE MINIMUM FINISHED FLOOR ELEVATION FOR EACH LOT MUST BE ABOVE 4228.5' IN ORDER TO MAINTAIN A 1" ELEVATION SEPARATION REQUIREMENT ABOVE THE TOP OF EXISTING STORM DRAIN PIPE ALONG THE FRONTAGE ROAD



MATCHLINE SEE SHEET C4.1

MATCHLINE SEE SHEET C4.2



LEGEND

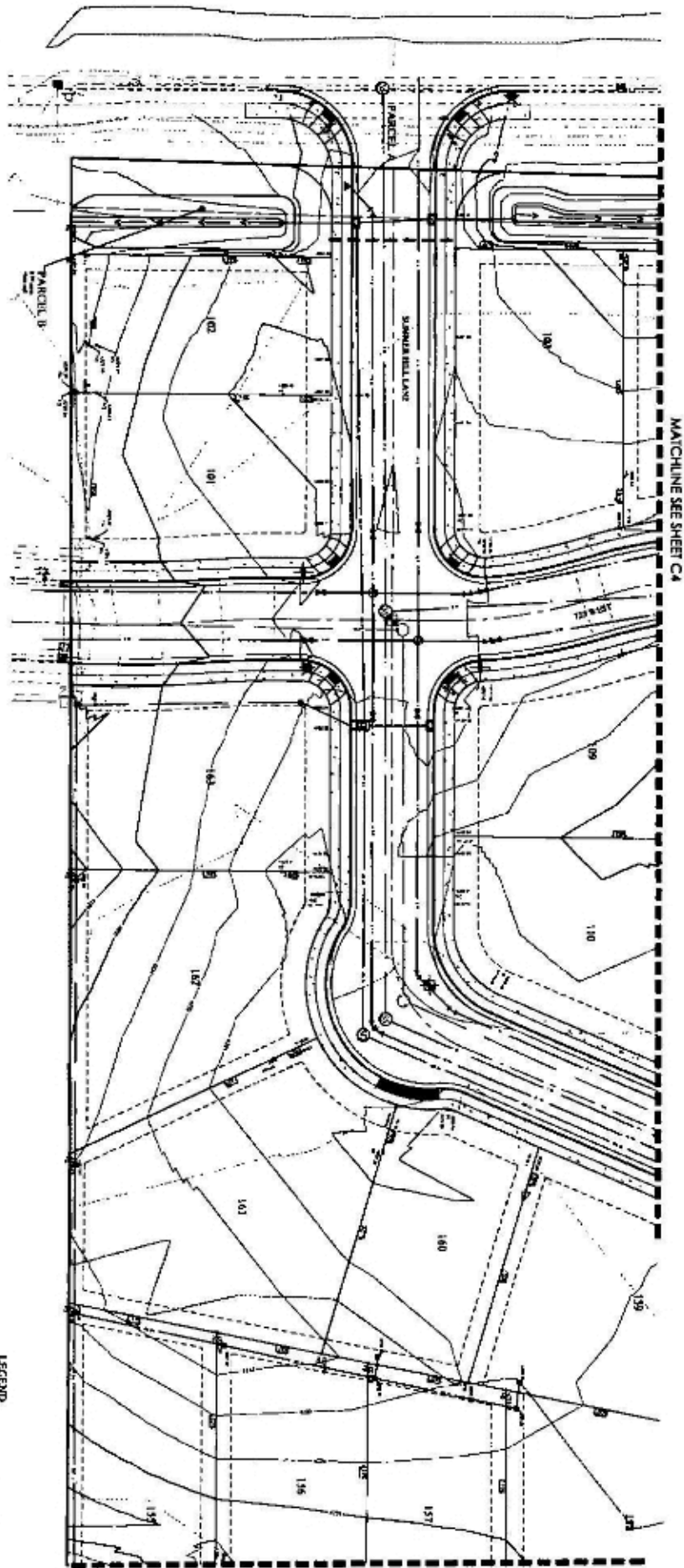
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(Symbol)	EXISTING SIDEWALK
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(Symbol)	PROPOSED DRIVEWAY
(Symbol)	EXISTING CURB
(Symbol)	PROPOSED CURB
(Symbol)	EXISTING LOT BOUNDARY
(Symbol)	PROPOSED LOT BOUNDARY
(Symbol)	EXISTING EASEMENT
(Symbol)	PROPOSED EASEMENT
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING ROADWAY
(Symbol)	PROPOSED ROADWAY
(Symbol)	EXISTING DRIVEWAY
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	EXISTING SIDEWALK
(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXISTING CURB
(Symbol)	PROPOSED CURB
(Symbol)	EXISTING LOT BOUNDARY
(Symbol)	PROPOSED LOT BOUNDARY
(Symbol)	EXISTING EASEMENT
(Symbol)	PROPOSED EASEMENT
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING ROADWAY
(Symbol)	PROPOSED ROADWAY

C4	REVISION	DATE	BY	CHECKED
GRADING PLAN				

SUMMERHILL LANE SUBDIVISION
Centerville, UT
GRADING PLAN

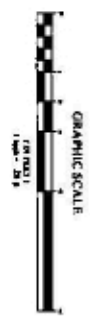


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MATCHLINE SEE SHEET C4

MATCHLINE SEE SHEET C2



LEGEND

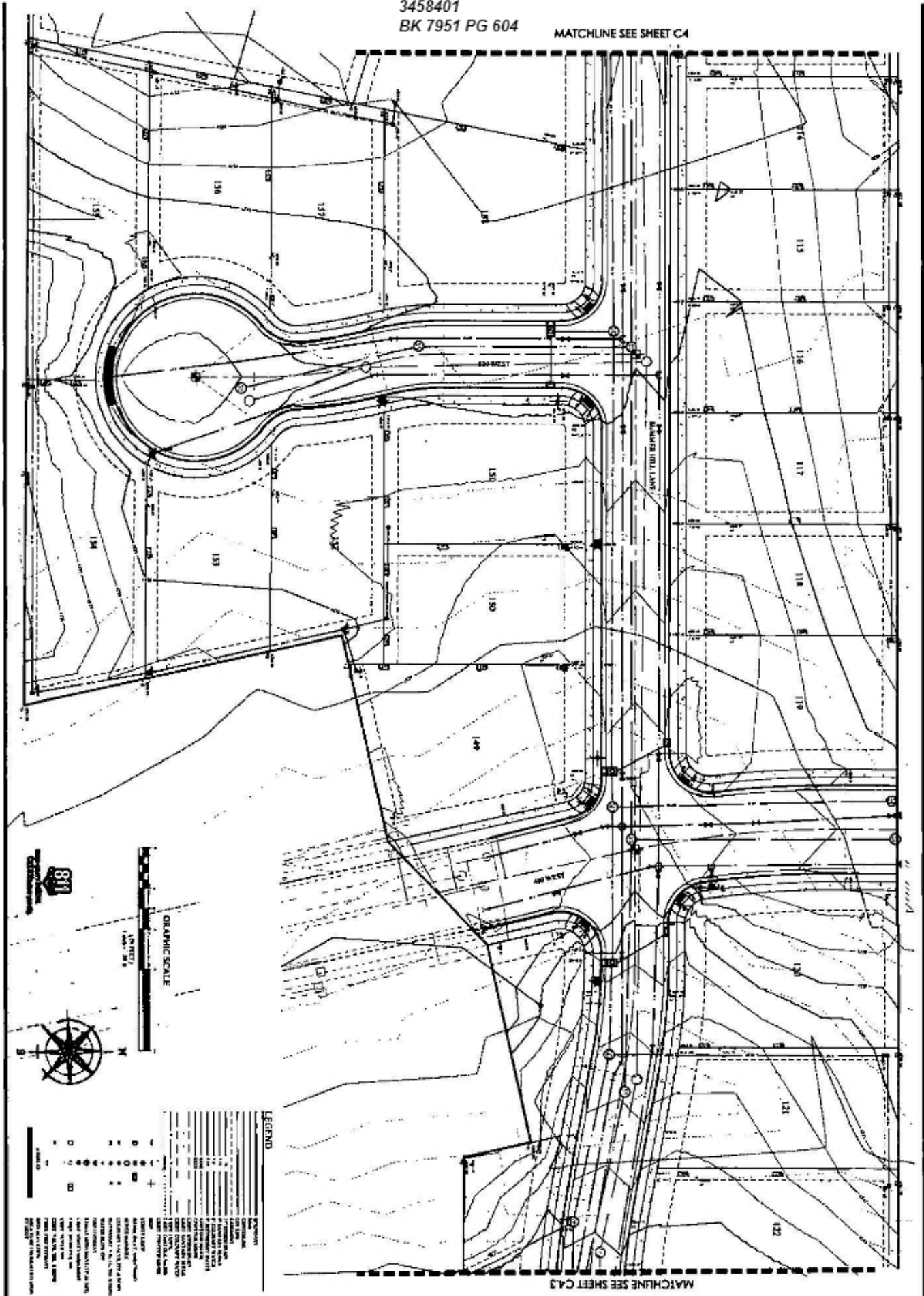
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- - -	PROPOSED PROPERTY BOUNDARIES
—	EXISTING ELEVATION CONTOURS
- - -	PROPOSED ELEVATION CONTOURS
—	EXISTING ROAD CENTERLINE
- - -	PROPOSED ROAD CENTERLINE
—	EXISTING ROAD RIGHT-OF-WAY
- - -	PROPOSED ROAD RIGHT-OF-WAY
—	EXISTING UTILITY LOCATIONS
- - -	PROPOSED UTILITY LOCATIONS
—	EXISTING SURFACE GRADE
- - -	PROPOSED SURFACE GRADE
—	EXISTING FINISHED GRADE
- - -	PROPOSED FINISHED GRADE
—	EXISTING SPOT ELEVATIONS
- - -	PROPOSED SPOT ELEVATIONS
—	EXISTING ELEVATION MARKERS
- - -	PROPOSED ELEVATION MARKERS
—	EXISTING ELEVATION CONTROL POINTS
- - -	PROPOSED ELEVATION CONTROL POINTS
—	EXISTING ELEVATION BENCHMARKS
- - -	PROPOSED ELEVATION BENCHMARKS
—	EXISTING ELEVATION MONUMENTS
- - -	PROPOSED ELEVATION MONUMENTS
—	EXISTING ELEVATION ADJUSTMENTS
- - -	PROPOSED ELEVATION ADJUSTMENTS
—	EXISTING ELEVATION CORRECTIONS
- - -	PROPOSED ELEVATION CORRECTIONS
—	EXISTING ELEVATION REVISIONS
- - -	PROPOSED ELEVATION REVISIONS
—	EXISTING ELEVATION NOTES
- - -	PROPOSED ELEVATION NOTES

C4.1	DATE	BY	CHECKED
C4.1	DATE	BY	CHECKED

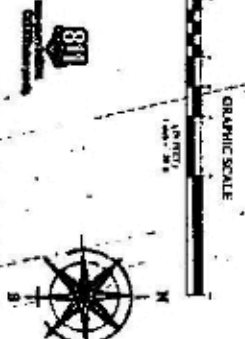
SUMMERHILL LANE SUBDIVISION
Centerville, UT
GRADING PLAN



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2400 S. 1800 E. DRIVE, SUITE 200
MIDVALE, UT 84047 PH (801) 242-8975
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MATCHLINE SEE SHEET C43



LEGEND

Symbol	Description
--- (dashed line)	PROPOSED LOT LINES
--- (dotted line)	EXISTING LOT LINES
--- (solid line)	PROPOSED DRIVEWAYS
--- (solid line)	EXISTING DRIVEWAYS
--- (solid line)	PROPOSED SIDEWALKS
--- (solid line)	EXISTING SIDEWALKS
--- (solid line)	PROPOSED UTILITY LINES
--- (solid line)	EXISTING UTILITY LINES
--- (solid line)	PROPOSED CURBS
--- (solid line)	EXISTING CURBS
--- (solid line)	PROPOSED GRADE
--- (solid line)	EXISTING GRADE
--- (solid line)	PROPOSED EROSION CONTROL
--- (solid line)	EXISTING EROSION CONTROL
--- (solid line)	PROPOSED FENCE LINES
--- (solid line)	EXISTING FENCE LINES
--- (solid line)	PROPOSED DRIVEWAY CURBS
--- (solid line)	EXISTING DRIVEWAY CURBS
--- (solid line)	PROPOSED SIDEWALK CURBS
--- (solid line)	EXISTING SIDEWALK CURBS
--- (solid line)	PROPOSED UTILITY MARKERS
--- (solid line)	EXISTING UTILITY MARKERS
--- (solid line)	PROPOSED DRIVEWAY MARKERS
--- (solid line)	EXISTING DRIVEWAY MARKERS
--- (solid line)	PROPOSED SIDEWALK MARKERS
--- (solid line)	EXISTING SIDEWALK MARKERS
--- (solid line)	PROPOSED CURB MARKERS
--- (solid line)	EXISTING CURB MARKERS
--- (solid line)	PROPOSED FENCE MARKERS
--- (solid line)	EXISTING FENCE MARKERS

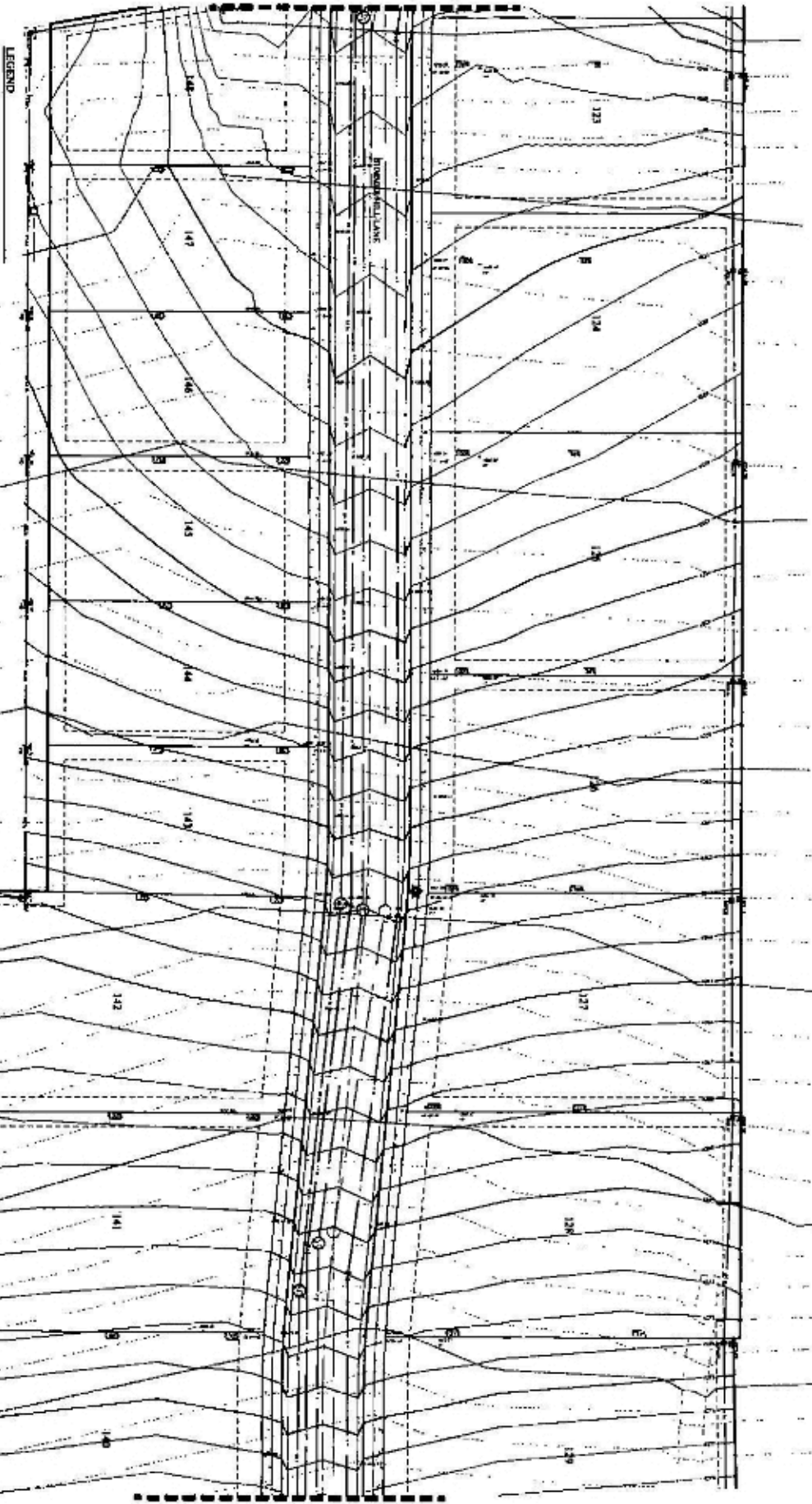
CA2
GRADING PLAN

NO.	DESCRIPTION	DATE

SUMMERHILL LANE SUBDIVISION
Centerville, UT
GRADING PLAN

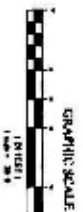


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ENGINEERING AND SURVEYING, LLC
400 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 750-8075



LEGEND

SYMBOLS		DESCRIPTION
	(Dashed line)	PROPOSED SIDEWALK
	(Solid line)	PROPOSED CURB
	(Dotted line)	PROPOSED UTILITY LINE
	(Solid line)	PROPOSED ROAD
	(Dashed line)	EXISTING ROAD
	(Solid line)	EXISTING CONTOUR
	(Dashed line)	PROPOSED CONTOUR
	(Circle with number)	PROPOSED SPOT ELEVATION
	(Circle with number)	EXISTING SPOT ELEVATION
	(Square)	PROPOSED GRADE POINT
	(Square)	EXISTING GRADE POINT



MATCHLINE SEE SHEET C4.4

C4.3

REVISION NO.	DATE	DESCRIPTION
1		
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3		
4		

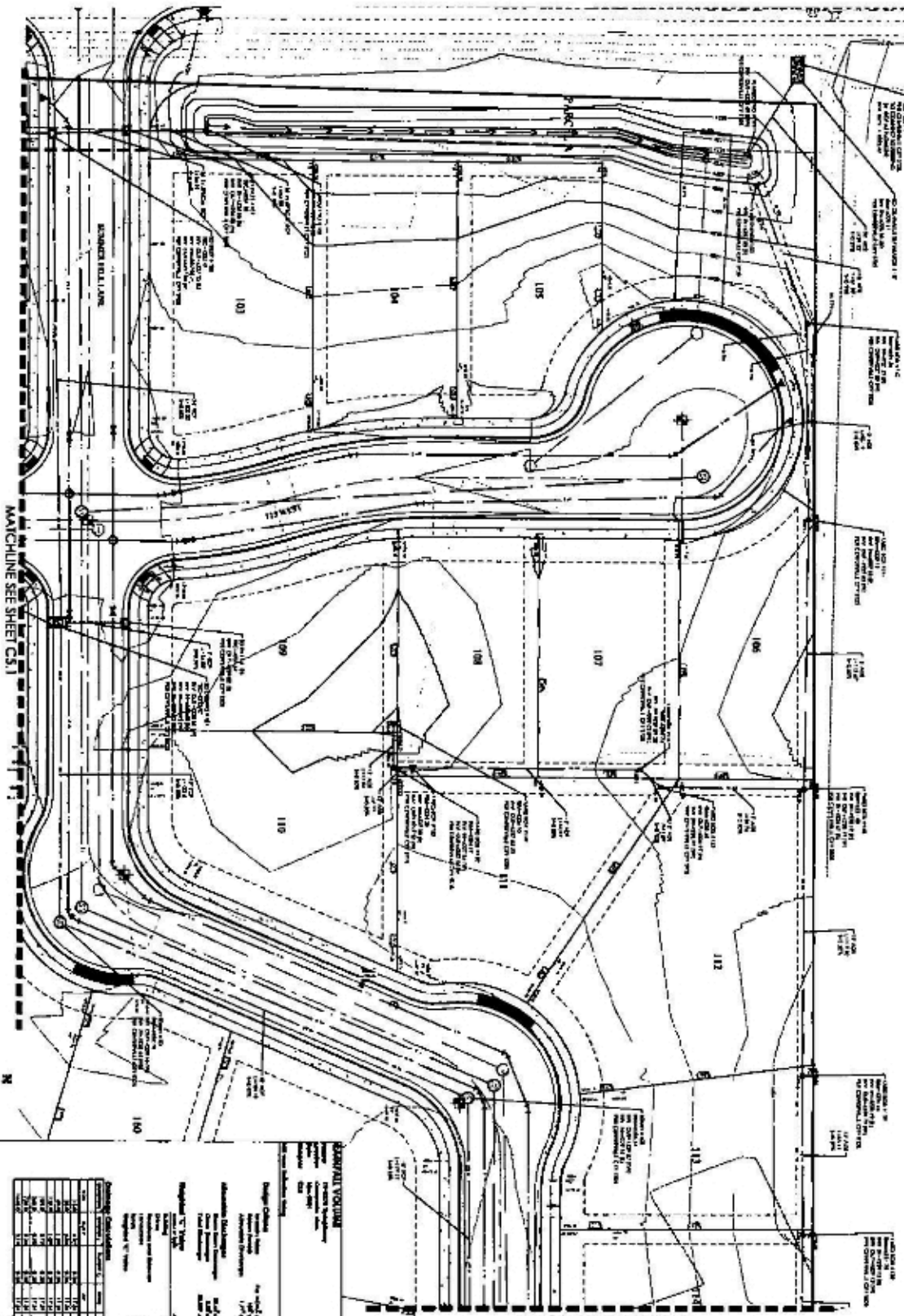
SUMMERHILL LANE SUBDIVISION

Centerville, UT

GRADING PLAN



3458401
BK 7951 PG 606



Manhole Schedule

Manhole No.	Station	Size	Material	Notes
101	101+00	48"	Cast Iron	
102	102+00	48"	Cast Iron	
103	103+00	48"	Cast Iron	
104	104+00	48"	Cast Iron	
105	105+00	48"	Cast Iron	
106	106+00	48"	Cast Iron	
107	107+00	48"	Cast Iron	
108	108+00	48"	Cast Iron	
109	109+00	48"	Cast Iron	
110	110+00	48"	Cast Iron	
111	111+00	48"	Cast Iron	
112	112+00	48"	Cast Iron	
113	113+00	48"	Cast Iron	

Drainage Pipe Schedule

Station	Material	Size	Notes
101+00 to 102+00	Cast Iron	48"	
102+00 to 103+00	Cast Iron	48"	
103+00 to 104+00	Cast Iron	48"	
104+00 to 105+00	Cast Iron	48"	
105+00 to 106+00	Cast Iron	48"	
106+00 to 107+00	Cast Iron	48"	
107+00 to 108+00	Cast Iron	48"	
108+00 to 109+00	Cast Iron	48"	
109+00 to 110+00	Cast Iron	48"	
110+00 to 111+00	Cast Iron	48"	
111+00 to 112+00	Cast Iron	48"	
112+00 to 113+00	Cast Iron	48"	

GENERAL NOTES

1. SEE SHEET C5.1 FOR THE PREVIOUS MATCHLINE.
2. SEE SHEET C5.2 FOR THE NEXT MATCHLINE.
3. ALL DRAINAGE PIPES SHALL BE CAST IRON PIPE (CIP) UNLESS OTHERWISE SPECIFIED.
4. ALL DRAINAGE PIPES SHALL BE 48" UNLESS OTHERWISE SPECIFIED.
5. ALL DRAINAGE PIPES SHALL BE LAPPED JOINTS.
6. ALL DRAINAGE PIPES SHALL BE 1/2" SAND BEDDED.
7. ALL DRAINAGE PIPES SHALL BE 1/2" SAND COVERED.
8. ALL DRAINAGE PIPES SHALL BE 1/2" SAND FILL.
9. ALL DRAINAGE PIPES SHALL BE 1/2" SAND SURFACE.
10. ALL DRAINAGE PIPES SHALL BE 1/2" SAND UNDERLAY.
11. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR FILL.
12. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR SURFACE.
13. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR UNDERLAY.
14. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR FILL.
15. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR SURFACE.
16. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR UNDERLAY.
17. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR FILL.
18. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR SURFACE.
19. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR UNDERLAY.
20. ALL DRAINAGE PIPES SHALL BE 1/2" SAND GRANULAR FILL.

LEGEND

Symbol	Description
(Circle with cross)	Manhole
(Circle with dot)	Valve
(Circle with plus)	Storm Sewer
(Circle with asterisk)	Sanitary Sewer
(Circle with triangle)	Water Main
(Circle with diamond)	Gas Line
(Circle with square)	Electric Line
(Circle with hexagon)	Telephone Line
(Circle with octagon)	Other Utility
(Circle with circle)	Proposed
(Circle with square)	Existing

C5

REVISIONS

NO.	DATE	BY	DESCRIPTION
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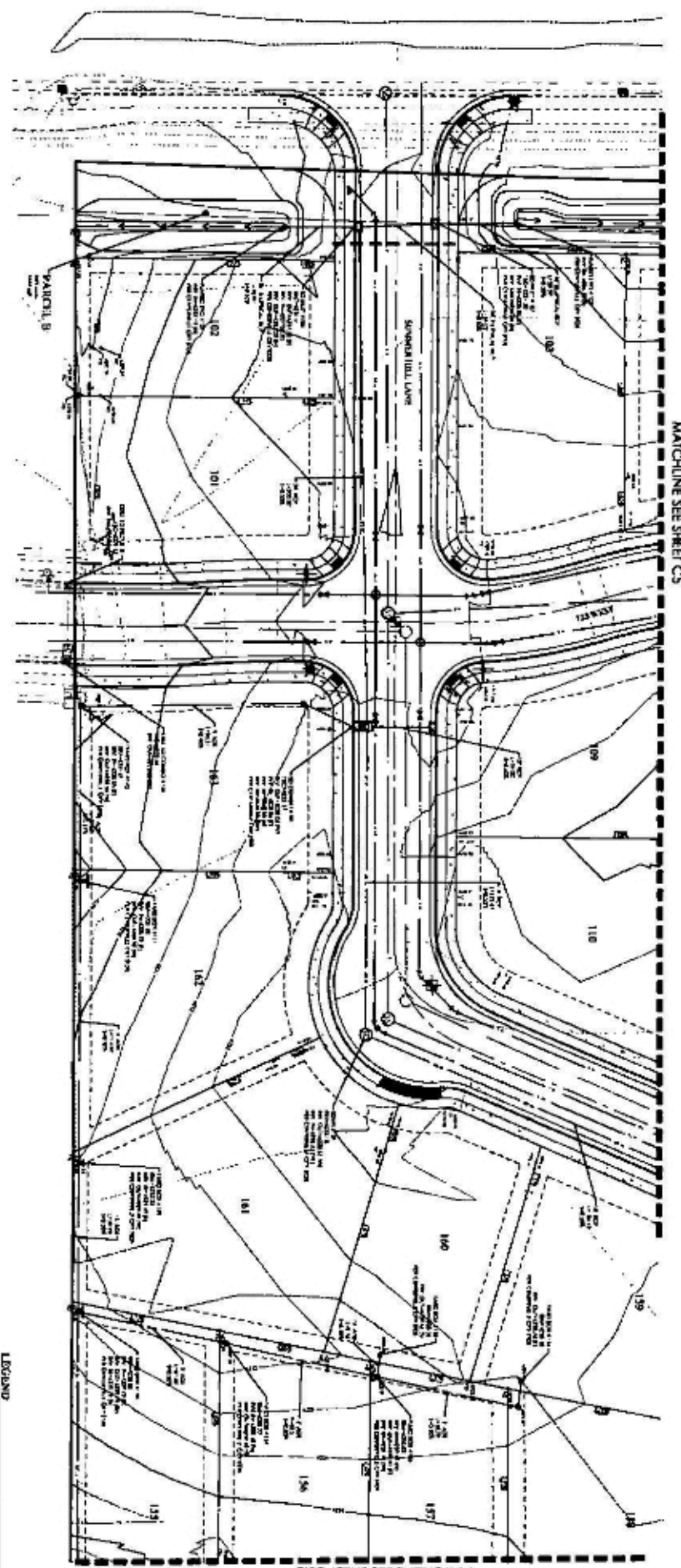
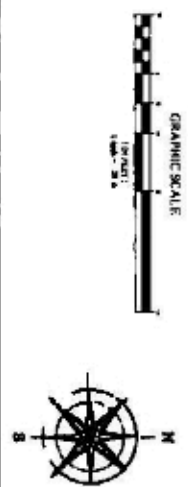
SUMMERHILL LANE SUBDIVISION

Centerville, UT

DRAINAGE PLAN



FOCUS
ENGINEERING AND SURVEYING, LLC
600 S. 1000 E. SUITE 100
CENTERVILLE, UT 84304
PH: 801.358.1000
WWW.FOCUS-UT.COM



MATCHLINE SEE SHEET CS

MATCHLINE SEE SHEET CS.2

LEGEND

[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED FINISH GRADE
[Symbol]	PROPOSED DRAINAGE STRUCTURE
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	PROPOSED DRAINAGE DITCH
[Symbol]	PROPOSED DRAINAGE PILE
[Symbol]	PROPOSED DRAINAGE PILE WITH WEIR
[Symbol]	PROPOSED DRAINAGE PILE WITH VALVE
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REVISION	
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DATE: 12/15/14
 DRAWN BY: JES
 CHECKED BY: JES

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Centerville, UT

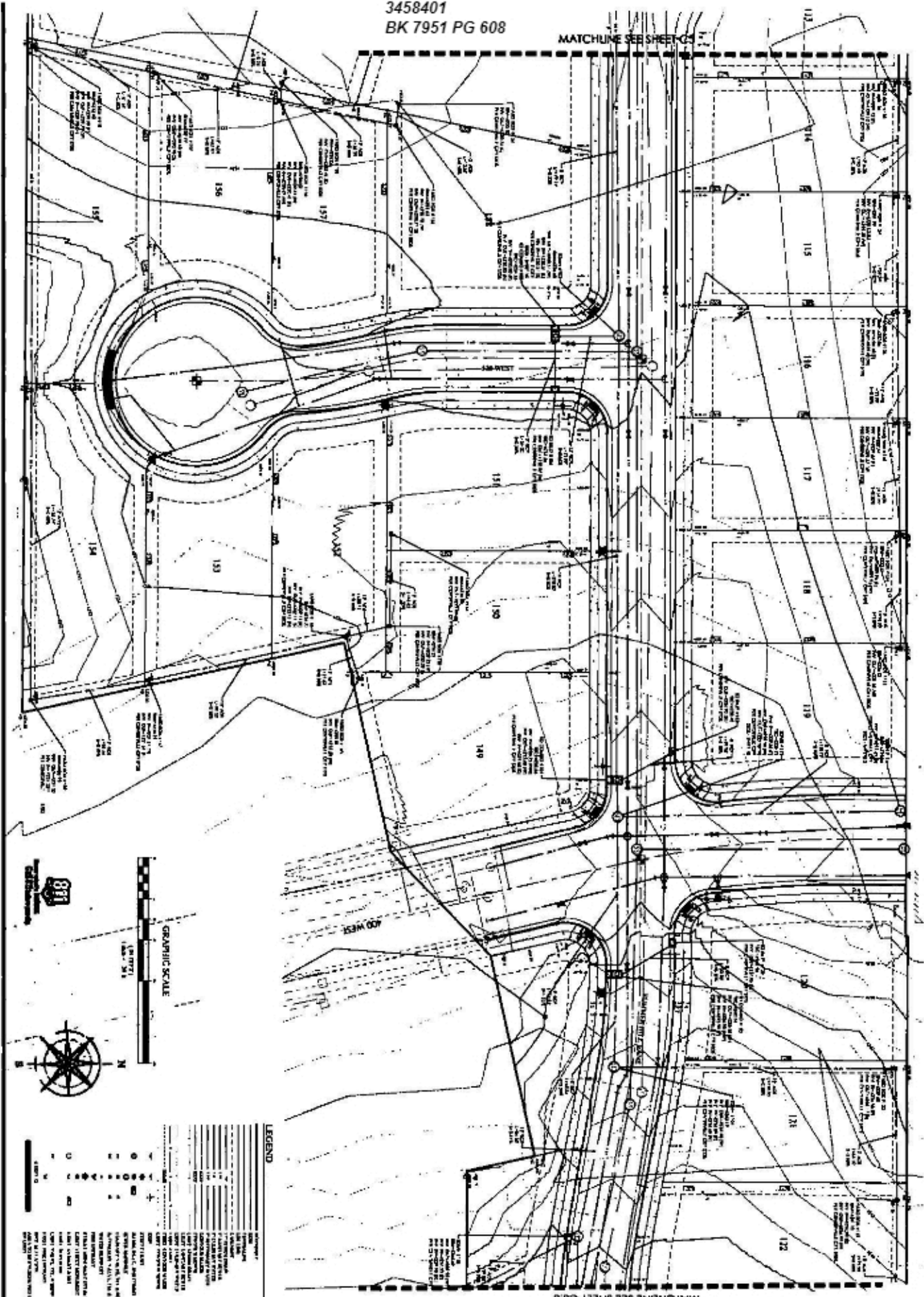
DRAINAGE PLAN



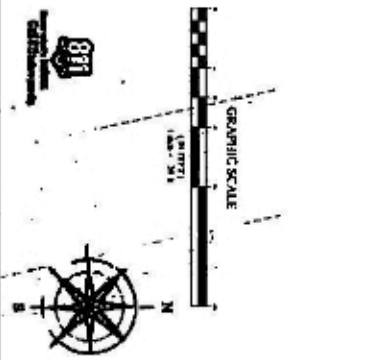
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 ENGINEERING AND SURVEYING, I.L.C.
 PARK HIGH TECH DRIVE SUITE 200
 MOORE, UT 84051
 www.focusllc.com

CS.1

MATCHLINE SEE SHEET C-1



MATCHLINE SEE SHEET C-3



LEGEND

Symbol	Description
Circle with dot	Manhole
Circle with cross	Storm Sewer
Circle with horizontal lines	Sanitary Sewer
Circle with vertical lines	Water Main
Circle with diagonal lines	Gas Line
Circle with wavy lines	Electric Line
Circle with dots	Telephone Line
Circle with squares	Cable TV Line
Circle with triangles	Fire Hydrant
Circle with stars	Water Meter
Circle with pluses	Gas Meter
Circle with crosses	Electric Meter
Circle with dots	Telephone Meter
Circle with squares	Cable TV Meter
Circle with triangles	Fire Hydrant
Circle with stars	Water Meter
Circle with pluses	Gas Meter
Circle with crosses	Electric Meter
Circle with dots	Telephone Meter
Circle with squares	Cable TV Meter

REVISIONS

NO.	DATE	DESCRIPTION

DRAINAGE PLAN

CS2

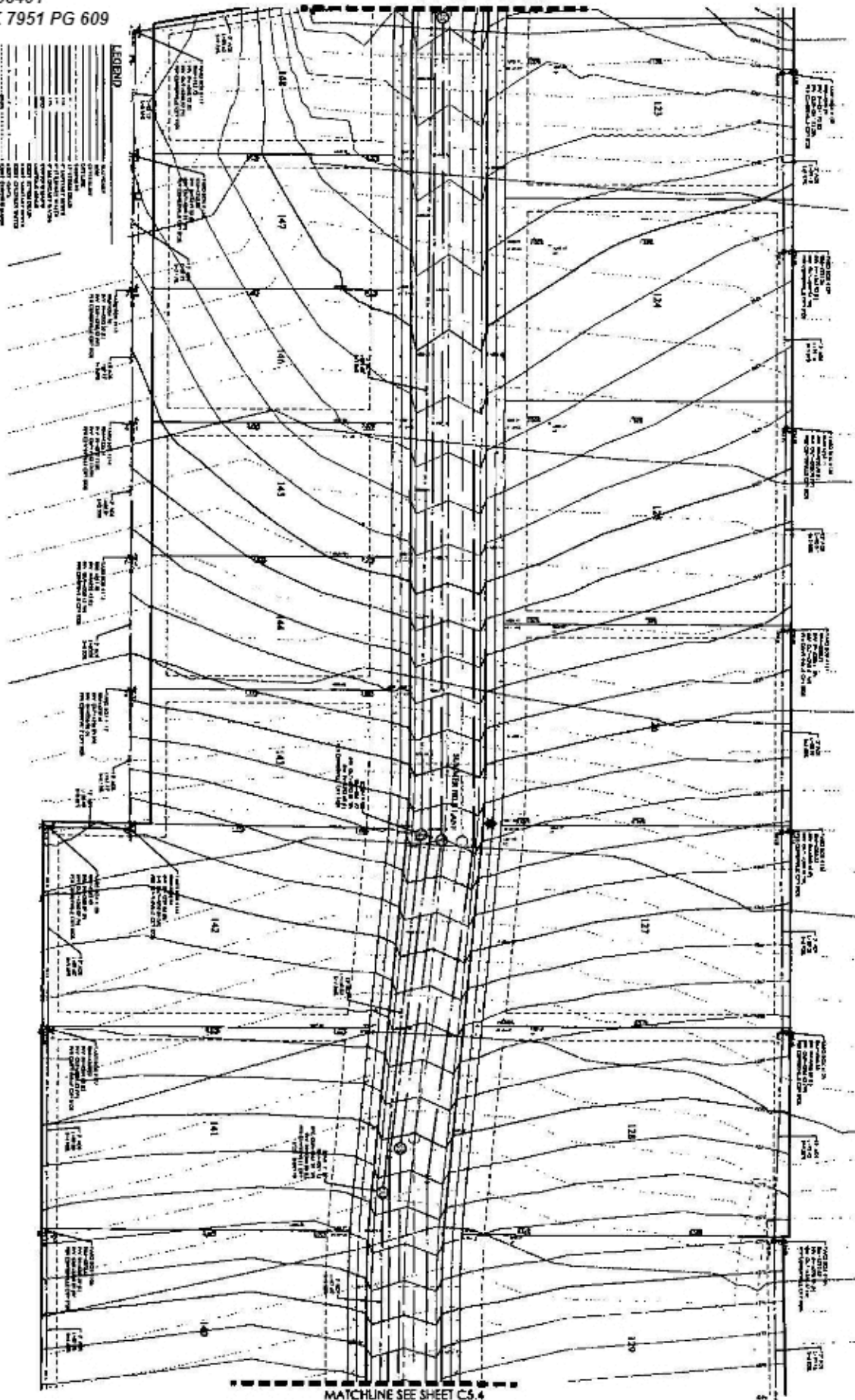
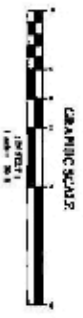
SUMMERHILL LANE SUBDIVISION
Centerville, UT
DRAINAGE PLAN



FOCUS
ENGINEERING AND SURVEYING, LLC
1400 S. 800TH STREET, SUITE 200
WEST VALLEY CITY, UT 84119
www.focuseng.com

LEGEND

[Symbol]	EXISTING DRAINAGE
[Symbol]	PROPOSED DRAINAGE
[Symbol]	PROPOSED DRAINAGE WITH 1% SLOPE
[Symbol]	PROPOSED DRAINAGE WITH 2% SLOPE
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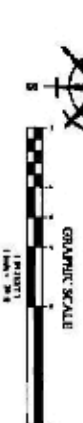
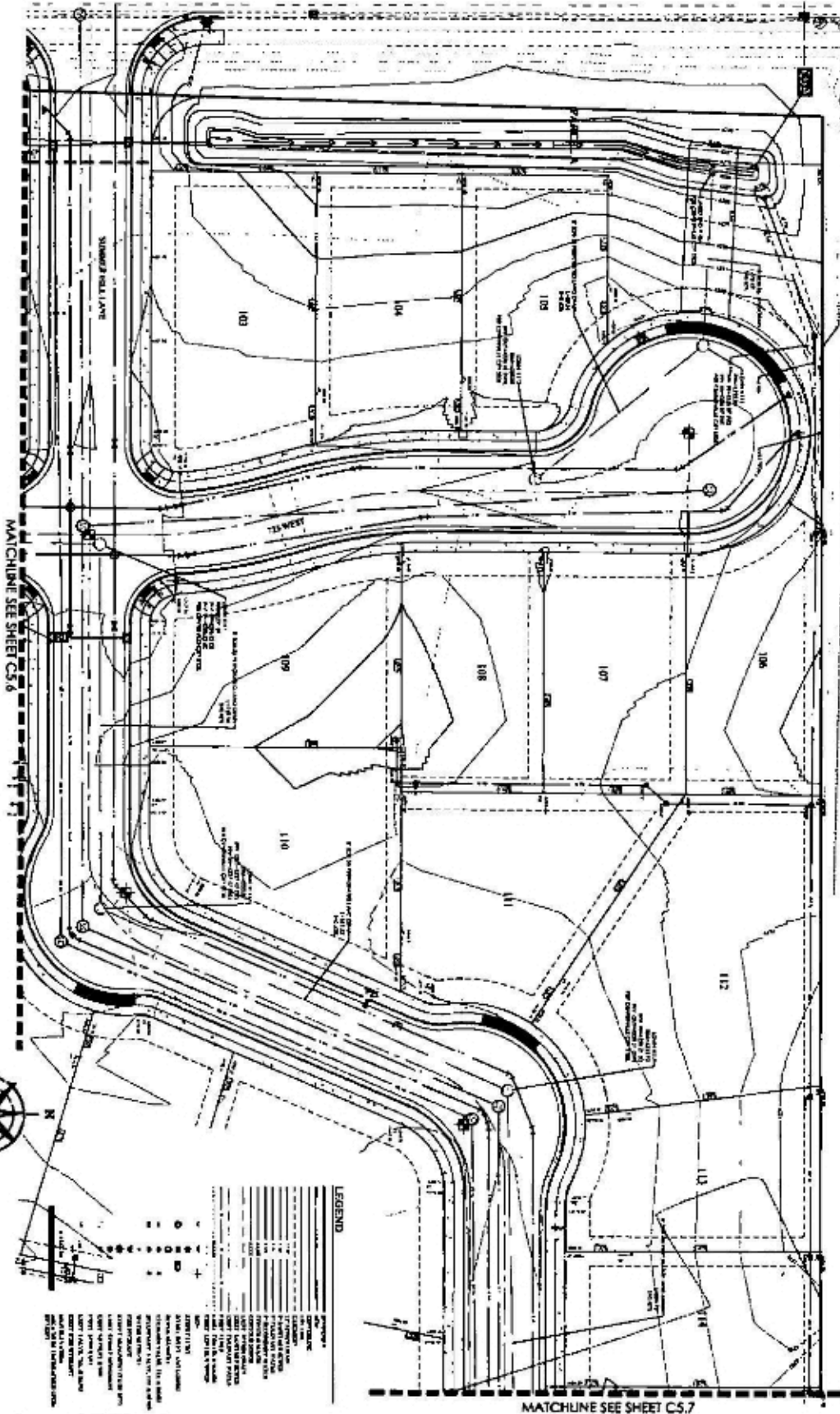
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DRAINAGE PLAN		

SUMMERHILL LANE SUBDIVISION
Centerville, UT
DRAINAGE PLAN



FOCUS
ENGINEERING AND SURVEYING, LLC
www.focus-engineering.com
1000 N. 1500 W. DRIVE SUITE 200
MIDVALE, UT 84047 PH (801) 852-8075
www.focus-engineering.com



LEGEND

[Symbol]	EXISTING ROAD
[Symbol]	PROPOSED ROAD
[Symbol]	EXISTING DRAINAGE
[Symbol]	PROPOSED DRAINAGE
[Symbol]	BOUNDARY
[Symbol]	LAND DRAIN
[Symbol]	STEEL PIPE
[Symbol]	CONCRETE
[Symbol]	ASPHALT
[Symbol]	GRAVEL
[Symbol]	GRAVEL WITH TOP SOIL
[Symbol]	GRAVEL WITH SAND
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[Symbol]	GRAVEL WITH SAND AND TOP SOIL AND SEED
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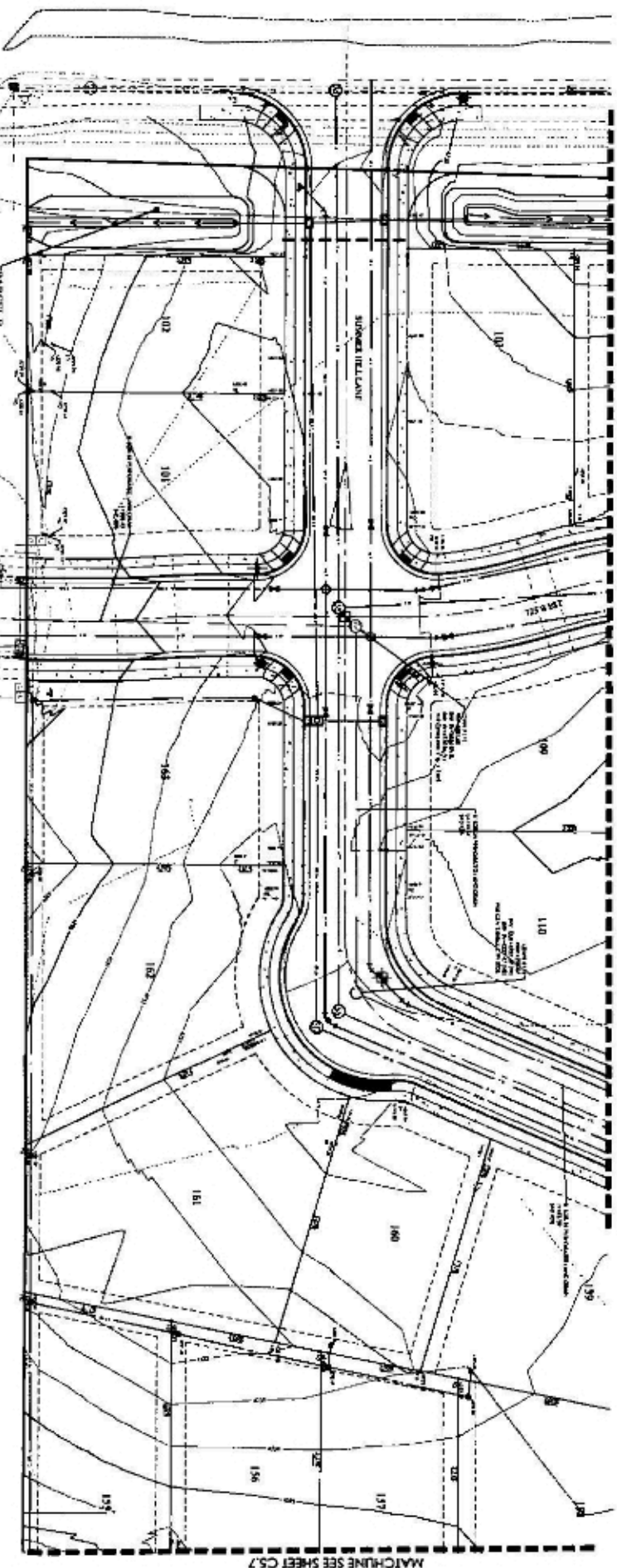
LAND DRAIN PLAN

NO.	DATE	DESCRIPTION

SUMMERHILL LANE SUBDIVISION
Centerville, UT
LAND DRAIN PLAN

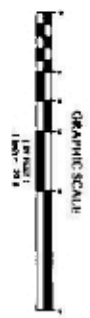


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4001 S. 1900 N. TRIN DRIVE, SUITE 200
MIDVALE, UT 84047 PH 407-212-6079
www.focusinc.com



MATCHLINE SEE SHEET CS.5

MATCHLINE SEE SHEET CS.7



LEGEND

[Symbol]	1. 6" DIA. MANHOLE
[Symbol]	2. 18" DIA. MANHOLE
[Symbol]	3. 30" DIA. MANHOLE
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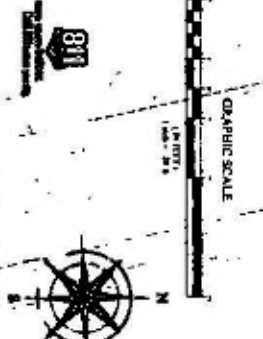
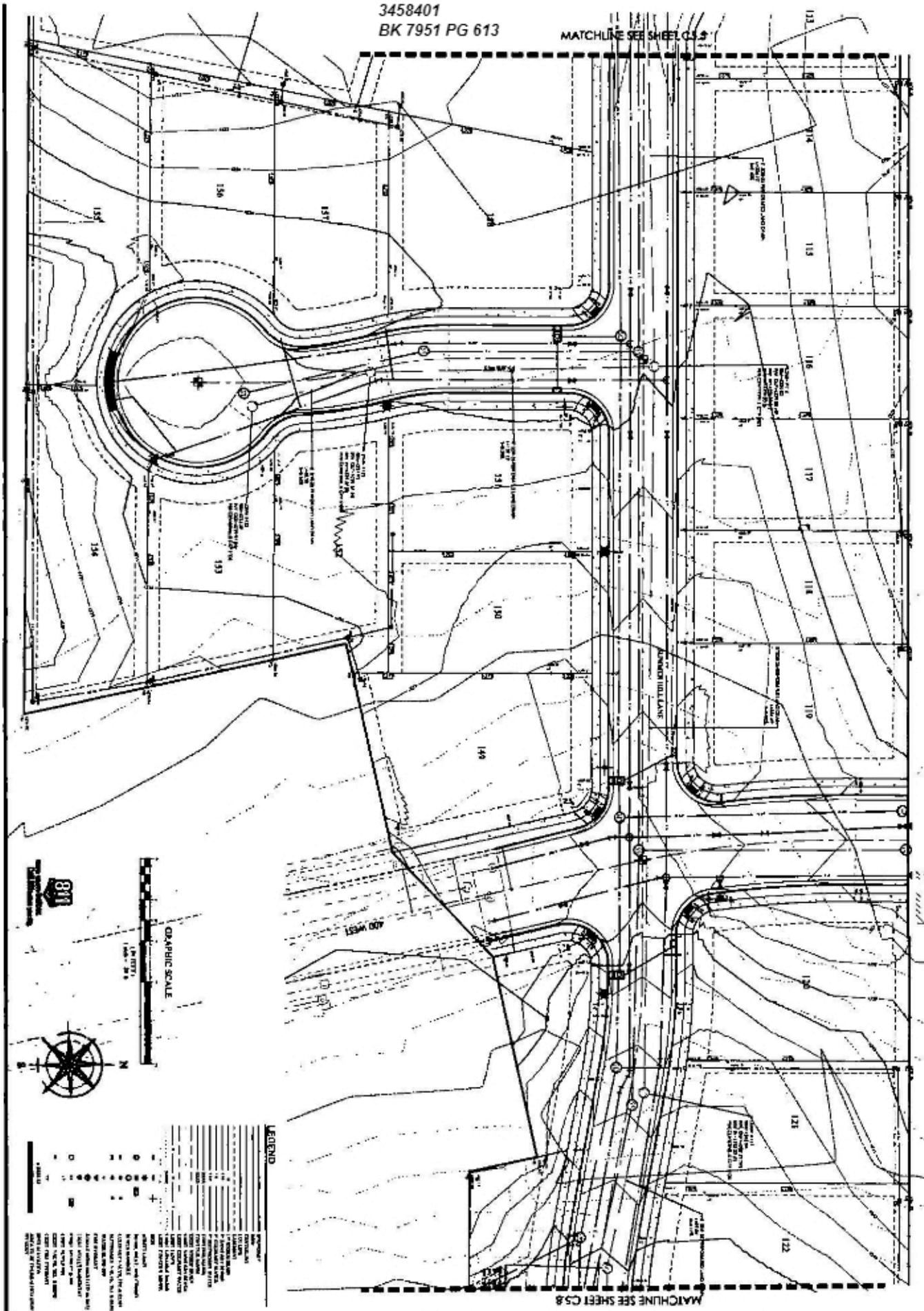
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REVISIONS
NO. **DATE** **BY** **DESCRIPTION**

SUMMERHILL LANE SUBDIVISION
 Centerville, UT
LAND DRAIN PLAN



FOCUS.
 ENGINEERING AND SURVEYING, LLC
 549 S. 10311 TELEGRAPH BLVD. SUITE 200
 NEEVALE, UTAH 84067 TEL: (435) 332-8175
 www.focusllc.com



LEGEND

	PROPOSED LAND DRAINAGE SYSTEM
	EXISTING LAND DRAINAGE SYSTEM
	PROPOSED CULVERT
	EXISTING CULVERT
	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	PROPOSED ROAD
	EXISTING ROAD
	PROPOSED LOT LINE
	EXISTING LOT LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED UTILITY LINE
	EXISTING UTILITY LINE

LAND DRAIN PLAN

DATE	BY
REVISED	BY
DATE	BY

SUBMITTAL CHECK

NO.	DESCRIPTION	DATE	BY

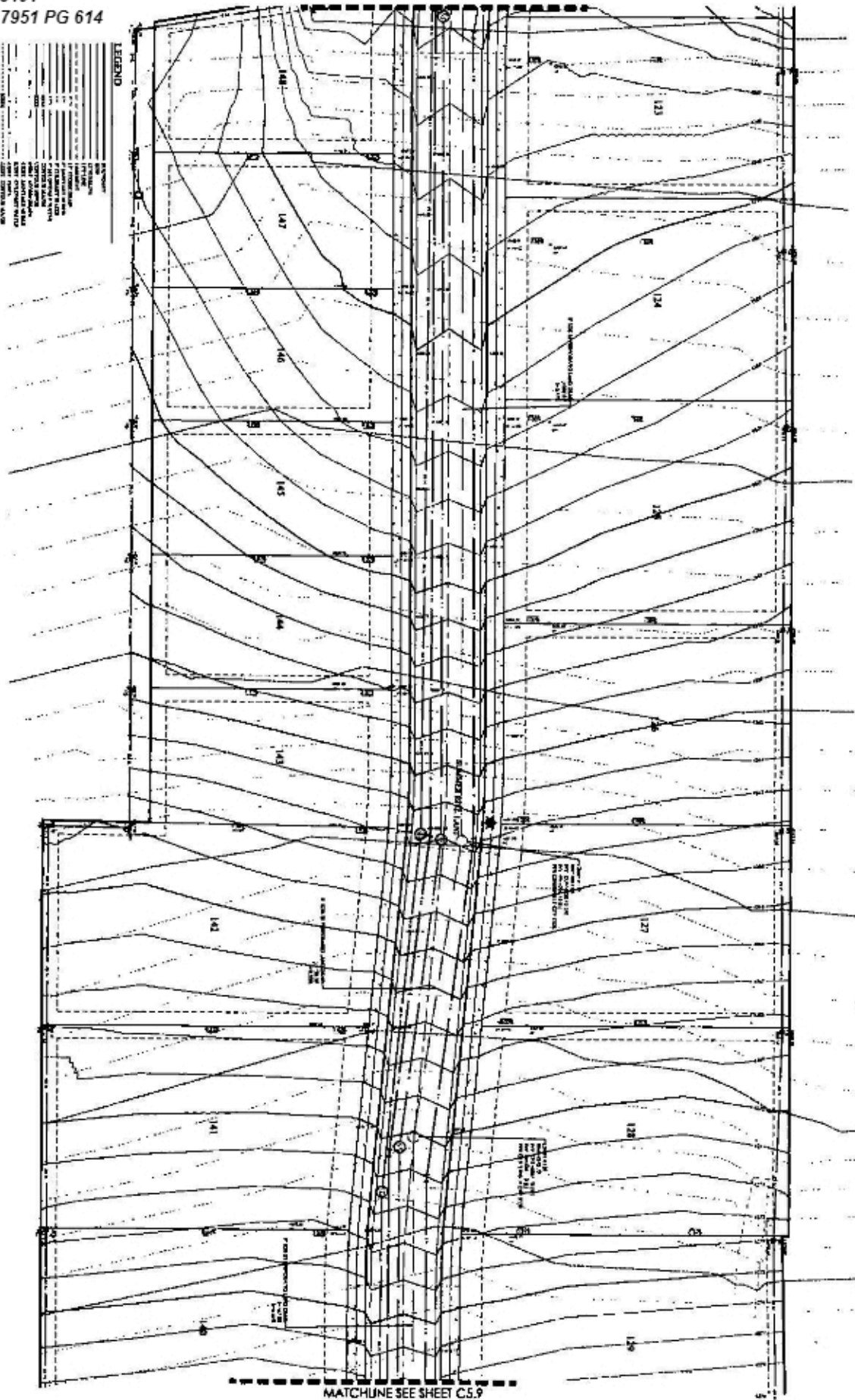
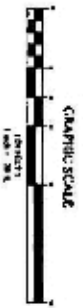
SUMMERHILL LANE SUBDIVISION
Centerville, UT
LAND DRAIN PLAN



FOCUS
ENGINEERING AND SURVEYING, L.L.C.
400 S. 1000 WEST DR. SUITE 200
MIDVALE, UT 84002
www.focuseng.com

LEGEND

Symbol	Description
(Symbol)	Proposed Right-of-Way
(Symbol)	Proposed Easement
(Symbol)	Proposed Drainage
(Symbol)	Proposed Structure
(Symbol)	Proposed Utility
(Symbol)	Proposed Boundary
(Symbol)	Proposed Survey
(Symbol)	Proposed Elevation
(Symbol)	Proposed Area
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(Symbol)	Proposed Weight
(Symbol)	Proposed Length
(Symbol)	Proposed Width
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(Symbol)	Proposed Depth
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(Symbol)	Proposed Area
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(Symbol)	Proposed Radius
(Symbol)	Proposed Angle



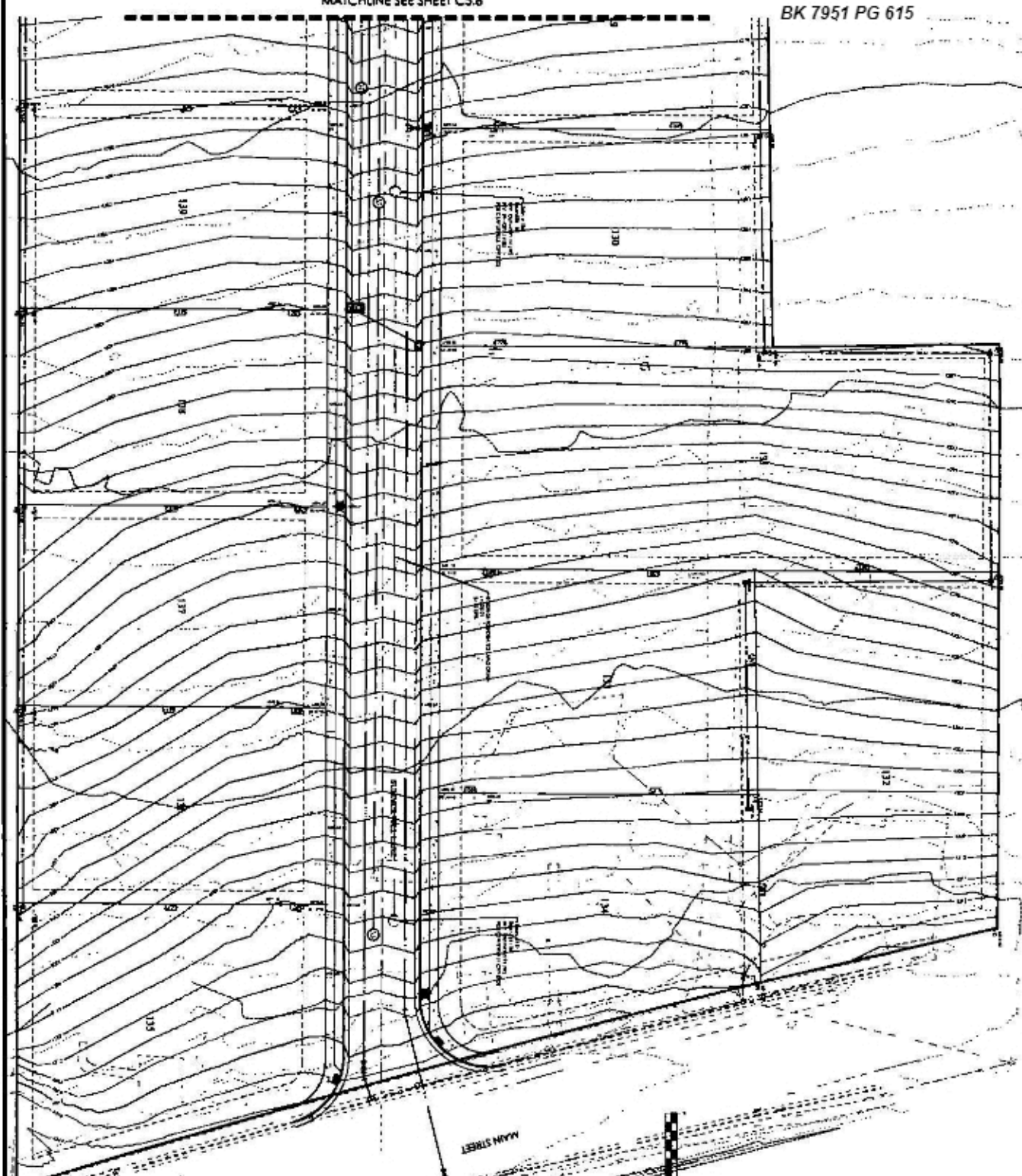
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C5.8	REVISION BLOCK											
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SUMMERHILL LANE SUBDIVISION
Centerville, UT
LAND DRAIN PLAN



FOCUS
ENGINEERING AND SURVEYING, LLC
4445 S. 1800 TECH DRIVE SUITE 200
MIDWAY, UT 84047
PH: 801.953.8075
www.FocusEng.com



LEGEND

[Symbol]	PROPOSED DRAINAGE
[Symbol]	EXISTING DRAINAGE
[Symbol]	PROPOSED EROSION CONTROL
[Symbol]	EXISTING EROSION CONTROL
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LAND DRAIN PLAN

C5.9

SUMMERHILL LANE SUBDIVISION
Centerville, UT
LAND DRAIN PLAN

FOCUS
ENGINEERING AND SURVEYING, LLC
404 S. HIGH TECH DRIVE SUITE 300
LEON, UT 84304 TEL: (435) 339-8899
www.focus-engineering.com

APPENDIX B – SOPs

Pavement Maintenance Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in these SOPs.

1. Purpose and Selection:

- a) Reduce stormwater pollution by sweeping and removing pollutants that will be carried into Centerville City's stormwater system during stormwater runoff or by non-stormwater runoff.
- b) The sweeper is intended for removing materials that collect on pavements by use and the natural degradation of pavements, i.e., materials that collect, drop from vehicles, and the natural erosion and breaking up of pavements.

2. Regular Procedure:

- a) Remain aware of debris and sweep minor debris if needed by hand.
- b) Generally, sweeping should occur during autumn when leaf fall is heavy and again in early spring after the winter thaw. Sometimes sweeping machinery will be necessary with accumulations are spread over pavements.
- c) Manage outside activities that leave waste or drain pollutants to our pavements. This involves outside functions including but not limited to yard sales, yard storage, fundraisers like car washes, etc.

4. Disposal Procedure:

- a) The service contractor will dispose at licensed facilities.
- b) Dispose of hand-collected material in the dumpster.

5. Training:

- a) Annually and at hire.

Landscape Maintenance

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in this SOP.

1. Purpose:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., fertilizer and pesticide applications, mowing, weeding, tree trimming, digging, sprinkler repairs, mulch management, etc.

2. Maintenance Procedure:

- a) Grooming
 - Lawn Mowing – Immediately following operation sweep or blow clippings onto the vegetated ground.
 - Fertilizer Operation – Prevent overspray. Sweep or blow granular fertilizer onto the vegetated ground immediately following the operation.
 - Herbicide / Pesticide Operation – Prevent overspray. Use spot treatment immediately following operation sweep or blow-dry pesticide/herbicide onto the vegetated ground.
- b) Remove or contain all erodible or loose material prior forecast wind and precipitation events before any non-stormwater will pass through the project site. For lightweight debris and landscape materials, maintenance can require immediate attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- c) Landscape project materials and waste can usually be contained or controlled by operational best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement
 - Avoiding multiple-day staging of landscaping backfill and spoil on pavements
 - Haul off spoil as generated and daily
 - Scheduling work when weather forecasts are clear.
- d) Cleanup:

- Use dry cleanup methods, e.g. square nose shovel and broom. Conditions are usually sufficient when no more material can be swept onto the square-nosed shovel.
- Power blowing tools

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and removal.
- b) Push broom, and/or blower, and square blade shovel should be a minimum.

5. Training:

- a) Annually and at hire
- b) Landscape Service Contractors must use equal or better SOPs.

Waste Management

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in this SOP.

1. Purpose:

- a) This SOP is intended for all Staff, for the proper disposal of common, everyday waste.

2. Procedure:

- a) Remain aware of the lids and keep them closed.
- b) Repositioning tipped receptacles upright.
- c) Remain aware of leaking and fix. Minimize allowing the disposal of liquids in our receptacles and dumpster. Also, liquids can leak from the waste haul trucks.
- d) Beware of dumpster capacity. Solve capacity issues. Leaving bags outside of the dumpster is not acceptable.

3. Waste Disposal Restrictions for all waste Scheduled for the Trans-Jordan Landfill:

- a) Generally, most waste generated at this property, and waste from spill and cleanup operations, can be disposed of in our dumpsters under the conditions listed in this SOP. Unless specific disposal requirements are identified by the product SDS or otherwise specified in other SOPs.
- b) Know the facility disposal requirements and restrictions. It should not be assumed that all waste disposed of in collection devices will be disposed of at the Davis County Landfill.
- c) Review the Davis County landfill regulations for additional restrictions and understand what waste is prohibited in the Davis County Landfill. Ensure the SDS and Trans-Jordan Landfill regulations are not contradictory.

Generally, the waste prohibited by the Davis County Landfill is:

- Liquid:
 - paint
 - pesticides/fertilizers
 - oil (all types)
 - antifreeze
 - batteries
 - liquid chemicals

- etc.

4. Waste Collection Devices

- a) The site contains 4 types of waste management containers:
 - Outside receptacles.
 - Pet waste receptacles.
 - Home and townhome trash receptacles with lids.
 - Office dumpster.

5. Training:

- a) Annually and at hire

Flood and Water Quality System

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in these SOPs.

1. Purpose:

- a) Our storm drain system will collect anything we leave in the way of runoff which will fill our oil/sediment/trash traps and underground infiltration system increasing maintenance costs.
- b) Any liquids or dissolved pollutants can increase the risk of contaminating groundwater for which we are responsible.
- c) During very intense storm events pollutants in excess runoff can bypass our system increasing the risk of contaminating groundwater and the Jordan River.

2. Disposal Procedure:

- a) Inspect for need:
 1. Schedule cleaning for boxes and pipes that contain 2" or more of sediment and debris.
 2. Remove debris by vacuum-operated machinery.
 3. When accumulations are mostly floating debris, this material can be removed with a net.
 4. Inspect standing water for mosquito larvae and contact the Davis County Mosquito Abatement District when necessary.
 5. Inspect the above-ground detention basin system monthly or at the end of each major storm event.

2. Disposal Procedure:

- a) Dispose of waste at regulated facilities.
- b) Floating materials and floating absorbent materials may be disposed of in the dumpster when dried out. Dry dirt and slurry may also be disposed of in the dumpster when dried out. Dry dirt and slurry may also be disposed of in the dumpster.
- c) Disposal of hazardous waste:
 1. Dispose of hazardous waste at regulated disposal facilities, see Waste Management and Spill Control SOP
- d) Disposal of waste collection from sanitary sewer devices at regulated facilities.

3. Training:

- a) Annually and at hire

Pavement Washing

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in these SOPs.

1. Purpose:

- a) Pavement washing involving detergents can potentially contaminate groundwater with phosphates and with whatever we are washing.
- b) Pavement washing can fill our low-impact flood control swale and landscape area, oil/sediment/trash traps, and infiltration system with detergents, including sediment and debris, increasing our maintenance cost.

2. Procedure:

- a) Prevent waste fluids and any detergents if used from entering the storm drain system. The following methods are acceptable for this operation:
 1. Dam the inlet using a booming material that seals itself to the pavement, and then pick up the wastewater with shop-vacuum or absorbent materials.
 2. Collect wastewater with shop-vacuum simultaneous with the washing operation.
 3. Collect wastewater with a vacuum truck or trailer simultaneous with the washing operation.
- b) This procedure must not be used to clean the initial spills. First, apply the Spill Containment and cleanup SOP following by pavement washing when desired or necessary.

3. Disposal Procedure:

- a) Small volumes of diluted washing waste can usually be drained to the local sanitary sewer. Contact the South Valley Sewer District.
- b) Large volumes must be disposed of at regulated facilities.

4. Pavement Cleaning Frequency:

- a) There is no regular pavement washing regimen. Pavement washing is determined by conditions that warrant it, including, but not limited to prevention of slick or other hazardous conditions or restore the acceptable appearance of pavements.

5. Training:

- a) Annually and at hire

Snow and Ice Removal Management

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in this SOP.

1. Purpose:

- a) Salt and other ice management chemicals if improperly managed will unnecessarily increase our salt impact on our vegetation and local water resources.
- b) We need to maintain healthy root systems to help maintain optimum infiltration rates.

2. De-Icing Procedure:

- a) Do not store or allow salt or equivalent to be stored on outside paved surfaces.
- b) Minimize salt use by varying amounts relative to hazard potential.
- c) Sweep excessive piles left by the spreader.
- d) Watch the forecast and adjust amounts when warm-ups are expected on the same day.

3. Training:

- a) Annually and at hire.
- b) Require snow and ice service contractors to follow the stronger this SOP and their company SOPs.

General Construction Maintenance

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in this SOP.

1. Purpose:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., building maintenance, curb/sidewalk/flatwork, overlay/patching, landscape renovations, miscellaneous maintenance/repairs, etc.

2. Construction Procedure:

- a) Remove or contain all erodible or loose material before forecast wind and precipitation events or before non-stormwater will pass through the project site. For light-weight debris, maintenance can require immediate attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- b) Project materials and waste can be contained or controlled by operational or structural best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement
 - Avoiding multiple-day staging of backfill and spoil
 - Haul off spoil as generated or daily
 - Structural; including but not limited to:
 - Inlet protection, e.g. wattles, filter fabric, drop inlet bags, boards, planks
 - Gutter dams, e.g. wattles, sandbags, dirt dams
 - Boundary containment, e.g. wattles, silt fence
 - Dust control, e.g. water hose,
 - Waste control, e.g. construction solid or liquid waste containment, dumpster, receptacles
- c) Inspect often to insure the structural best management practices are in good operating condition and at least before the workday ends. Promptly repair damaged best management practices achieving effective containment.
- d) Cleanup:
 - Use dry cleanup methods, e.g. square nose shovel and broom.
 - Wet methods are allowed if wastewater is prevented from entering the stormwater system, e.g. wet/dry vacuum, disposal to our landscaped areas.

c) **Cleanup Standard:**

- When a broom and a square-nosed shovel cannot pick any appreciable amount of material.

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.
- b) Never discharge waste material to storm drains

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) The push broom and square blade shovel should be a minimum.

5. Training:

- a) Annually and at hire.

Spill Control

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes in routine operations must be amended in this SOP.

1. Purpose:

- a) All properties are susceptible to spills whether it is a result of operations or by customers. Insufficient response, inadequate containment materials, and improper spill cleanup methods will result in pollutants in our waterways. Once the pollutants reach our storm drain system or even the detention pond, they are difficult and expensive to remove.

2. Containment Procedure:

- a) Priority is to dam and contain flowing spills.
- b) Use spill kits booms if available or any material available to stop flowing liquids; including but not limited to, nearby sand, dirt, landscaping materials, etc.
- c) Hazardous or unknown waste material spills:
 1. Critical Emergency constitutes large quantities of flowing uncontained liquid that people at risk of reach storm drain systems. Generally, burst or tipped tanks and containment are still critical. Call HAZMAT, DWQ, DCHD, Centerville City.
Also, report spills to DWQ of quantities of 25 gallons and more and when the spill of lesser quantity causes a sheen on downstream water bodies
 2. Minor Emergency constitutes a spill that is no longer flowing but has reached a storm drain and adequate cleanup is still critical. Call Davis County Health District and Centerville City
 3. Spills that are contained on the surface, typically do not meet the criteria for Critical and Minor Emergencies and may be managed by the responsible implementation of this SOP.
 4. Contact Numbers:
HAZMAT - 911
DWQ – (801)231-1769, (801)536-4123, (801)536-4300
Davis County Health District – (801)525-5000
Centerville City – (801)295-3477

3. Cleanup Procedure:

- a) NEVER WASH SPILLS TO THE STORM DRAIN SYSTEMS.

- b) Clean per SDS requirements but generally, most spills can be cleaned up according to the following:
- Absorb liquid spills with spill kit absorbent material, sand, or dirt until liquid is sufficiently converted to solid material.
 - Remove immediately using dry cleanup methods, e.g. broom and shovel, or vacuum operations.
 - Clean up with water and detergents may also be necessary depending on the spilled material. However, the waste from this operation must be vacuumed or effectively picked up by dry methods or vacuum machinery. See Pavement Washing SOP.
 - Repeat process when residue material remains.

4. DISPOSAL:

- a) Follow SDS requirements but usually, most spills can be disposed of per the following b. & c.
- b) Generally, most spills absorbed into solid forms can be disposed to the dumpster and receptacles. Follow Waste Management SOP.
- c) Generally, liquid waste from surface cleansing processes may be disposed to the sanitary sewer system after the following conditions have been met:
- Dry cleanup methods have been used to remove the bulk of the spill and disposed of per the Waste Management SOP.
 - The liquid waste amounts are small and diluted with water. This is intended for spill cleanup waste only and never for the disposal of unused or spent liquids.

5. Documentation:

- a) Document all spills in Appendix C.

6. SDS sheets:

- a) SDS Manual is filed in the break room.

7. Materials:

- a) Generally, sand or dirt will work for most cleanup operations. However, it is the responsibility of the owner to select the absorbent materials and cleanup methods required by the SDS Manuals for chemicals used by the company.

8. Training:

- a) Annually and at hire.

APPENDIX C – PLAN RECORDKEEPING DOCUMENTS

MAINTENANCE/INSPECTION SCHEDULE

Frequency	Site Infrastructure.
	Replace text with the infrastructure/system that must be maintained; repeat

Inspection Frequency Key: A=annual, Q=Quarterly, M=monthly, W=weekly,
S=following appreciable storm event, U=Unique infrastructure specific (specify)

RECORD INSPECTIONS IN THE MAINTENANCE LOG

Inspection Means: Either; Traditional walk-through, Awareness/Observation, and during regular maintenance operations while noting efficiencies/inefficiencies/concerns found, etc.

