

**DEVELOPMENT AGREEMENT
CRANBERRY FARMS, PLAT D
A PLANNED UNIT DEVELOPMENT PROJECT**

ENT 39959:2006 PG 1 of 35
RANDALL A. COVINGTON
UTAH COUNTY RECORDER
2006 Apr 04 8:34 am FEE 0.00 BY STL
RECORDED FOR LEHI CITY CORPORATION

This Development Agreement is entered into as of this 3 day of April, 2006, by and among the owners and developers of the Cranberry Farms Subdivision, Plat D, a Planned Unit Development, (hereinafter "Developer") and Lehi City Corporation (the "City") as it relates to the development of a residential subdivision of real property within the corporate Limits of Lehi City, Utah County, Utah.

RECITALS

Whereas, the Developer has sought approval of a 58 lot residential Planned Unit Development Project designated as Cranberry Farms, Plat D, a copy of which is attached hereto as Exhibit A; and,

Whereas, the City Council has authorized the negotiation and adoption of Development Agreements under appropriate circumstances where the proposed development contains various features which advance the policies, goals and objectives of the City's General Land Use Plan, Capital Improvements Plan, Parks and Open Space Plan, and other land use objectives as well as the Capital Improvements Plan; and

Whereas, the developer is willing to modify the design of the project and voluntarily agrees to provide common area/open space for the preservation of natural areas, parks and related purposes and other recreational facilities in order to promote the policies, goals and objectives of the City; and

Whereas, the City acting pursuant to its authority under Chapter 9 of Title 10 of the Utah Code, and in furtherance of its land use policies, goals, objectives, ordinances, resolutions, and regulations has made certain determinations with respect to the density of

the Planned Unit Development Project of Cranberry Farms and in the exercise of its legislative discretion, has elected to approve this Development Agreement.

Now therefore, in consideration of the mutual covenants, conditions and considerations as more fully set forth below, the Developer and the City hereby agree as follows:

1. The Developer shall create and approve restrictive covenants for the subject Planned Unit Development project which shall be approved by the City and shall be incorporated herein by reference and recorded together with this Development Agreement and the subject subdivision plat. Developer agrees to comply with restrictive covenants and enforce the same so long as Developer has standing to do so. Said restrictive covenants shall not be amended unless the proposed amendment is approved by Lehi City. The City shall be considered a beneficiary of said restrictive covenants and is hereby authorized to enforce the terms and provisions of the covenants through whatever means available and to the extent determined appropriate by the City. However, this agreement shall not be construed as placing a responsibility upon the City to enforce any of the restrictive covenants or requirements contained therein. Such enforcement shall be at the sole discretion of the City. (Exhibit B)

2. Developer has provided the required open space for Cranberry Farms, Plat D. (See Exhibit "A") This open space is owned and maintained by the Home Owners' Association.

3. Developer shall provide open space landscaping and a trail system for Cranberry Farms, Plat D, as per attached Exhibit "C". The Association will be responsible for payment of pressurized irrigation water serving all areas under its maintenance.

4. Developer agrees to comply with architectural design standards specified in Section 17.050 of the Lehi City Development Code attached as Exhibit "D". Typical approved elevations are attached as Exhibit "E".

5. Developer agrees to provide notification to all purchasers of the provisions of the Right to Farm chapter of the Lehi City Development Code as it relates to agricultural uses in the area such that all subsequent property owners and purchasers of building lots will be aware of the nature of the farming operations on surrounding properties and the intent to continue present agricultural operations. All individual lot buyers will be notified of the existing agricultural uses in the surrounding area with the following statements which are included on the recorded subdivision plat:

"This area is subject to the normal, everyday sounds, odors, sites, equipment, facilities, and any other aspects associated with an agricultural lifestyle. Future residents should also recognize the risks inherent with livestock."

6. Developer expressly acknowledges and agrees that nothing in this Development Agreement shall be deemed to relieve the developer from the obligation to comply with all applicable requirements of the City necessary for approval and recordation of subdivision plats and site plans for the project, including the payment of fees in compliance with all other applicable ordinances, resolutions, regulations, policies and procedures of the City including but not limited to the City's Development Code Ordinances and Design Standards and Public Improvement Specifications.

7. This Development Agreement shall be recorded against the property as described in Exhibit "A" hereto and shall be deemed to run with the land and shall be binding on all successors and assigns of the developer in the ownership or development of any portion of the property.

8. Neither this Development Agreement nor any provisions, terms, or conditions hereof can be assigned to any other party, individual or entity without assigning the rights as well as the responsibilities under this Development Agreement and without the prior written consent of the City, which shall not be unreasonably withheld. This requirement shall not apply to the sale of approved and platted lots within the subject subdivision.

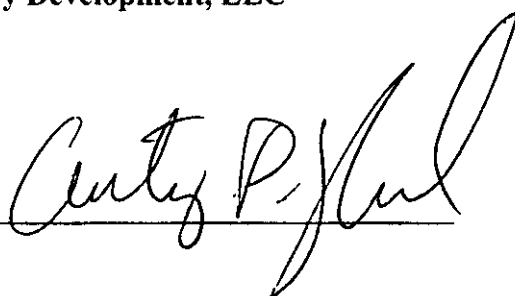
9. This Development shall not create any joint venture, partnership, undertaking or business arrangement between the parties hereto, nor any rights or benefits to third parties.

10. If this Development Agreement or any of the exhibits hereto are breached, the party at fault agrees to pay attorney's fees and all costs of enforcement of the non-breaching party.

DATED: _____

Ivory Development, LLC

By: _____

By:  _____

Its: _____

Its: President _____

ACKNOWLEDGMENT

STATE OF UTAH

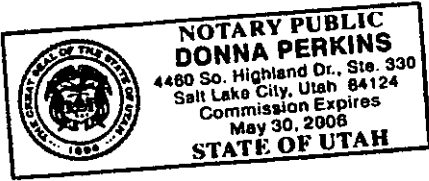
S.S.

COUNTY OF UTAH

On the 27 day of March 2006, personally appeared before me Christopher P. Gamvroulas, the signer(s) of the foregoing document who duly acknowledged to me that he/she/they did execute the same.

My Commission Expires: 5/30/06

Donna Perkins
NOTARY PUBLIC



DATED: 4-3-06

Lehi City Corporation

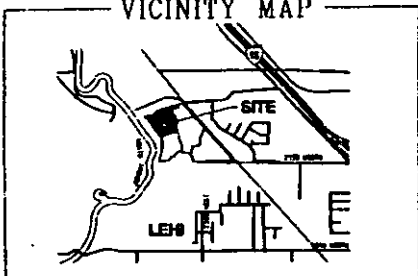
By: Howard H. Johnson
Howard H. Johnson, Mayor

Attest:

Connie J. Ashton
Connie J. Ashton, City Recorder



VICINITY MAP



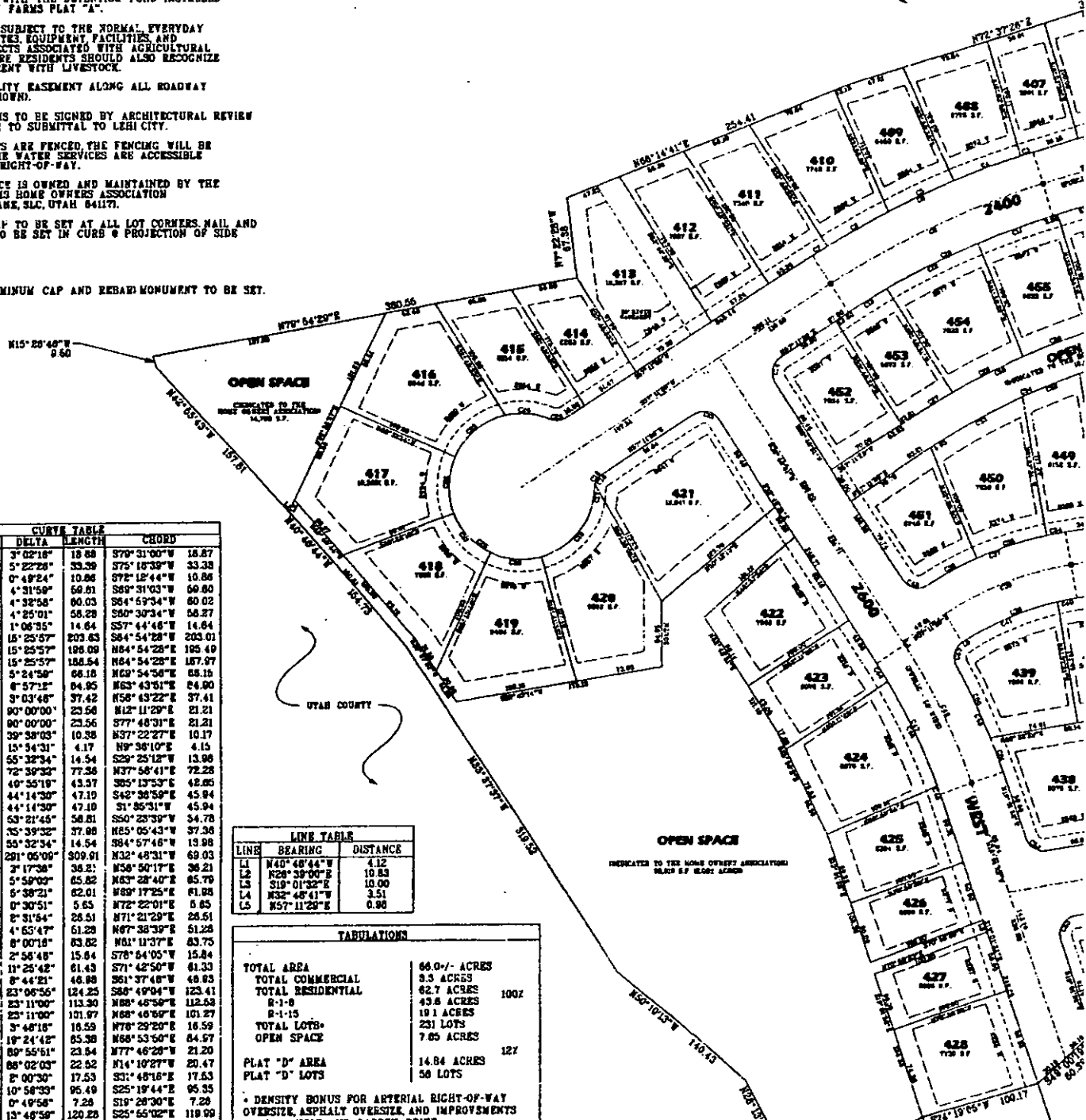
SUNSET BOLLOW

NOTES

1. STORM DRAINAGE REQUIREMENTS FOR THIS PHASE HAVE BEEN MET WITH THE DETENTION POND INSTALLED WITH CRANBERRY FARMS PLAT "A".
2. THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SITES, EQUIPMENT FACILITIES, AND ANY OTHER ASPECTS ASSOCIATED WITH AGRICULTURAL LIFESTYLE. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.
3. 10' PUBLIC UTILITY EASEMENT ALONG ALL ROADWAY FRONTAGE (AS SHOWN).
4. BUILDING PLANS TO BE SIGNED BY ARCHITECTURAL REVIEW COMMITTEE PRIOR TO SUBMITTAL TO LEHI CITY.
5. IF CORNER LOTS ARE FENCED THE FENCING WILL BE INSTALLED SO THE WATER SERVICES ARE ACCESSIBLE FROM THE CITY RIGHT-OF-WAY.
6. ALL OPEN SPACE IS OWNED AND MAINTAINED BY THE CRANBERRY FARMS HOME OWNERS ASSOCIATION 978 WOODDAK LAKE, SLC, UTAH 84177.
7. 5' REBAR & CAP TO BE SET AT ALL LOT CORNERS, NAIL AND BRASS WASHER TO BE SET IN CURB @ PROJECTION OF SIDE LOT LINES.

LEGEND

⊙ TYPE II ALUMINUM CAP AND REBAR MONUMENT TO BE SET.

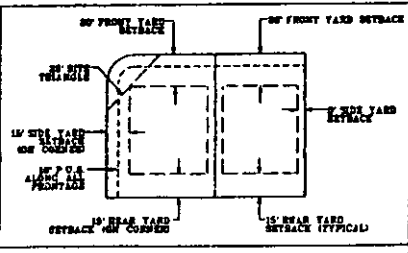


CURVE	CURVE TABLE				
	RADIUS	DELTA	LENGTH	CHORD	
C1	356.00	3° 02' 18"	18.88	379° 31' 00" W	18.87
C2	356.00	5° 22' 28"	33.39	375° 18' 39" W	33.38
C3	758.00	0° 49' 24"	10.86	378° 18' 44" W	10.86
C4	758.00	4° 31' 59"	69.61	389° 31' 03" W	69.60
C5	758.00	4° 32' 58"	80.03	384° 59' 34" W	80.02
C6	758.00	4° 25' 01"	58.28	380° 30' 34" W	58.27
C7	758.00	1° 06' 35"	14.64	357° 44' 48" W	14.64
C8	758.00	15° 23' 37"	203.83	384° 54' 28" W	203.81
C9	728.00	15° 23' 37"	198.09	384° 54' 28" W	198.09
C10	700.00	15° 23' 37"	182.54	384° 54' 28" W	182.54
C11	700.00	5° 24' 39"	68.18	363° 54' 56" W	68.18
C12	700.00	6° 57' 12"	84.95	363° 43' 51" W	84.90
C13	700.00	3° 03' 48"	37.42	358° 43' 22" E	37.41
C14	15.00	90° 00' 00"	23.56	312° 11' 29" E	23.21
C15	15.00	90° 00' 00"	23.56	377° 48' 31" E	23.21
C16	15.00	39° 38' 03"	10.38	337° 22' 27" E	10.17
C17	15.00	15° 34' 31"	4.17	39° 36' 10" E	4.15
C18	15.00	55° 32' 34"	14.54	329° 25' 12" W	13.96
C19	61.00	72° 39' 33"	77.36	337° 58' 41" E	72.28
C20	61.00	40° 55' 19"	43.57	305° 13' 53" E	42.86
C21	61.00	44° 14' 30"	47.10	342° 38' 59" E	45.84
C22	61.00	44° 14' 30"	47.10	31° 55' 31" W	45.94
C23	61.00	53° 21' 45"	58.81	350° 23' 39" W	54.78
C24	61.00	35° 39' 32"	37.88	325° 05' 43" W	37.36
C25	15.00	55° 32' 34"	14.54	384° 57' 46" W	13.98
C26	61.00	291° 05' 09"	309.81	332° 48' 31" W	69.03
C27	630.00	3° 17' 38"	36.21	358° 50' 17" E	36.21
C28	630.00	5° 59' 02"	65.82	383° 28' 40" E	65.79
C29	630.00	6° 38' 21"	82.01	389° 17' 25" E	81.88
C30	630.00	0° 30' 51"	5.63	372° 22' 01" E	5.65
C31	600.00	8° 31' 54"	28.51	371° 21' 29" E	28.51
C32	600.00	4° 53' 47"	51.29	387° 38' 39" E	51.28
C33	600.00	8° 00' 18"	83.82	381° 11' 37" E	83.75
C34	308.00	2° 58' 48"	15.64	378° 54' 05" W	15.84
C35	308.00	11° 25' 42"	61.43	371° 42' 50" W	61.33
C36	308.00	8° 44' 23"	46.98	361° 37' 48" W	46.83
C37	308.00	23° 06' 55"	124.23	388° 49' 04" W	123.41
C38	280.00	23° 11' 00"	113.39	388° 48' 59" W	112.59
C39	252.00	23° 11' 00"	101.97	388° 48' 59" W	101.27
C40	252.00	3° 48' 18"	16.59	378° 29' 20" E	16.59
C41	252.00	19° 24' 48"	65.38	368° 53' 50" E	64.57
C42	15.00	89° 55' 51"	23.54	377° 46' 28" W	23.20
C43	15.00	88° 02' 03"	22.82	314° 10' 27" W	20.47
C44	500.00	2° 00' 30"	17.53	331° 48' 16" E	17.53
C45	500.00	10° 58' 39"	95.49	325° 19' 44" E	95.35
C46	500.00	0° 49' 58"	7.26	319° 28' 30" E	7.26
C47	500.00	13° 46' 59"	120.28	325° 55' 02" E	119.69
C48	528.00	13° 46' 59"	127.02	325° 55' 02" E	126.71
C49	558.00	9° 49' 02"	95.27	323° 56' 03" W	95.19
C50	558.00	8° 42' 15"	65.06	325° 29' 27" W	65.02
C51	558.00	3° 08' 48"	36.21	320° 34' 56" W	36.21
C52	15.00	80° 35' 59"	21.10	359° 19' 32" W	19.40
C53	15.00	89° 24' 01"	28.02	330° 40' 28" W	22.88
C54	600.00	15° 25' 57"	161.61	364° 54' 27" E	161.18
C55	630.00	15° 25' 57"	169.89	364° 54' 27" E	169.18

LINE	BEARING	DISTANCE
L1	N40° 48' 44" W	4.12
L2	N28° 39' 00" E	19.83
L3	S19° 01' 32" E	10.00
L4	N32° 48' 41" W	3.51
L5	N57° 11' 20" E	0.98

TABULATIONS	
TOTAL AREA	66.0 +/- ACRES
TOTAL COMMERCIAL	3.5 ACRES
TOTAL RESIDENTIAL	62.7 ACRES
R-1-B	43.6 ACRES
R-1-15	19.1 ACRES
TOTAL LOTS	231 LOTS
OPEN SPACE	7.65 ACRES
PLAT "D" AREA	14.84 ACRES
PLAT "D" LOTS	56 LOTS

* DENSITY BONUS FOR ARTERIAL RIGHT-OF-WAY OVERSIZE, ASPHALT OVERSIZE, AND IMPROVEMENTS ON 2300 WEST AND GARDEN DRIVE.





SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5018 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-25-17, OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STACKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED N⁰14°20'W ALONG THE SECTION LINE 654.00 FEET AND WEST 507.00 FEET FROM THE EAST 1/4 CORNER OF SECTION 1, T35S, R12E, S1E1/4LN, THENCE ALONG THE FOLLOWING COURSES & DISTANCES:

COURSE	DISTANCE	REMARKS
S88°22'29\"	303.14	
S41°02'18\"	60.38	
S74°11'53\"	100.17	
S65°05'36\"	115.59	
S49°10'51\"	143.43	
S71°31'37\"	313.52	
S49°46'44\"	154.73	
S42°55'43\"	157.81	
N15°29'46\"	8.30	
N77°54'29\"	360.55	
N7°22'28\"	67.35	
N48°14'41\"	254.41	
N72°37'26\"	224.29	
N11°02'26\"	194.31	
S8°57'52\"	103.07	
S21°02'26\"	161.13	
ALONG AN ARC		1-52.97
		T-55.00 C-8°21'12\" CH-570'19'17\" W 32.22
S72°37'26\"	28.32	
S59°00'41\"	57.39	
S12°15'17\"	106.31	
S19°15'03\"	30.02	
S8°39'23\"	54.75	
N60°22'29\"	60.00	
S7°37'51\"	104.00	
S49°22'29\"	17.86	
S8°57'51\"	58.00	
ALONG AN ARC		1-21.10
		T-15.00 A-8°35'50\" CH-550'18'22\" TO 47' (TANGENT BEARS S8°37'31\" S)
S19°15'03\"	30.02	
S8°39'23\"	54.75	
S8°37'51\"	104.00	
S85°28'47\"	58.83	
S8°37'51\"	67.35	

CONTAINS 14.64 ACRES
 DATE: March 23, 2006
 SURVEYOR: Chad A. Poulsen

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HERON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____ 2006
 LINTO 39959:2006 PG 7 of 35

ACKNOWLEDGEMENT

STATE OF UTAH
 COUNTY OF UTAH
 ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME THE SHERIFF OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
 MY COMMISSION EXPIRES _____
 A NOTARY PUBLIC COMMISSIONED IN UTAH
 NOTARY ADDRESS _____
 PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED BY MAYOR _____
 APPROVED BY ENGINEER _____
 ATTEST: CLERK-RECORDER _____

BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS _____
 CITY-COUNTY HEALTH DEPARTMENT
PLANNING COMMISSION APPROVAL
 APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE PLANNING COMMISSION
 DIRECTOR-SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

PLAT "D"

CRANBERRY FARMS

A PLANNED UNIT DEVELOPMENT
 LEHI

UTAH COUNTY, UTAH

SCALE 1" = 80 FEET

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL CLERK-RECORDER SEAL

Seals and stamps including a 'RECEIVED' stamp dated MAR 23 2006 and the LEHI CITY logo.

WHEN RECORDED RETURN TO:
IVORY DEVELOPMENT
978 E. Woodoak Lane
Salt Lake City, Utah 84117
(801) 747-7440

Exhibit "B"

**THIRD SUPPLEMENT TO THE
DECLARATION OF PROTECTIVE COVENANTS
FOR CRANBERRY FARMS D
An Expandable Planned Unit Development**

This THIRD SUPPLEMENT TO THE DECLARATION OF PROTECTIVE COVENANTS FOR CRANBERRY FARMS D, P.U.D. is made and executed by IVORY DEVELOPMENT LLC., a Utah limited liability company, of 978 E. Woodoak Lane, Salt Lake City, Utah 84117 (hereinafter referred to as "Declarant").

RECITALS

Whereas, the Declaration of Protective Covenants for CRANBERRY FARMS. was recorded in the office of the County Recorder of Utah County, Utah on the 11th of April, 2004 as Entry No. 12532;2004 of the Official Records of the County Recorder of Utah County, Utah (the "Declaration").

Whereas, the related Plat Map(s) for Phase A of the Project has also been recorded in the office of the County Recorder of Utah County, Utah.

Whereas, the FIRST SUPPLEMENT TO THE Declaration of Protective Covenants for CRANBERRY FARMS. was recorded in the office of the County Recorder of Utah County, Utah on the 16th of May, 2005 as Entry No. 52148;2005 of the Official Records of the County Recorder of Utah County, Utah (the "Declaration").

Whereas, the related Plat Map(s) for Phase B of the Project has also been recorded in the office of the County Recorder of Utah County, Utah.

Whereas, the SECOND SUPPLEMENT TO THE Declaration of Protective Covenants for CRANBERRY FARMS. was recorded in the office of the County Recorder of Utah County, Utah on the 15th of March 2006 as Entry 30313;2006 of the Official Records of the County Recorder of Utah County, Utah (the "Declaration").

Whereas, the related Plat Map(s) for Phase C of the Project has also been recorded in the office of the County Recorder of Utah County, Utah.

Whereas, under Article 3 of the Declaration of Covenants, Declarant reserved an option to unilaterally expand the subdivision in accordance with the Declaration.

Whereas, Declarant is the fee simple owner of record of that certain real property located in Utah County, Utah and described with particularity on Exhibit "A-1" attached hereto and incorporated herein by this reference (the "PHASE D PROPERTY").

Whereas, under the provisions of the Declaration, Declarant expressly reserved the absolute right to expand the application of the Declaration to other real property.

Whereas, Declarant desires to expand the subdivision by creating on the PHASE D Property additional Lots.

Whereas, Declarant now intends that the PHASE D Property shall become subject to the Declaration.

NOW, THEREFORE, for the reasons recited above, and for the benefit of the subdivision and the Lot Owners thereof, Declarant hereby executes this THIRD SUPPLEMENT TO THE DECLARATION OF PROTECTIVE COVENANTS FOR CRANBERRY FARMS PHASE D.

1. **Supplement to Definitions.** Article I of the Declaration, entitled "Definitions," is hereby modified to include the following supplemental definitions:

A. **THIRD Supplemental Declaration** shall mean and refer to this THIRD SUPPLEMENT TO THE DECLARATION OF PROTECTIVE COVENANTS FOR CRANBERRY FARMS PHASE D.

B. **PHASE D Map** shall mean and refer to the Plat Map of PHASE D of the Project, prepared and certified to by Chad A. Poulsen, a duly registered Utah Land Surveyor holding Certificate No. 501182, and filed for record in the Office of the County Recorder of Utah County, Utah concurrently with the filing of this Third Supplemental Declaration.

C. **Subdivision** shall mean and refer to CRANBERRY FARMS PHASE A, B, C, and D.

Except as otherwise herein provided, the definition of terms contained in the Declaration are incorporated herein by this reference.

2. **Legal Description.** The real property described in Exhibit A-1 is hereby submitted to the provisions of the Declaration and said land shall be held, transferred, sold, conveyed and occupied subject to the provisions of the Declaration as it may be supplemented or amended from time to time.

3. **Annexation.** Declarant hereby declares that the PHASE D Property shall be annexed to and become subject to the Declaration, which, upon recordation of this Third Supplemental Declaration, shall constitute and effectuate the expansion of the Project, making the real property described in Exhibit A-2 subject to this Declaration and the functions, powers, rights, duties and jurisdiction of the Association.

4. **Total Number of Units Revised.** As shown on the PHASE D Map, Fifty Eight (58) new building Lots, Numbers 401-458 are or will be constructed and/or created in the Project on the PHASE D Property. Upon the recordation of the PHASE D Map and this Third Supplemental Declaration, the total number of Lots in the Project will be two hundred and thirty one (231) buildable lots. The additional Lots (and the homes to be constructed therein) are or will be substantially similar in construction, design and quality to the Lots and homes in the prior Phase.

5. **Percentage Interest Revised.** Pursuant to the Declaration, Declarant is required with the additional Lots to reallocate the undivided percentages of ownership interest (the "Percentage Interests"). Exhibit "B" to the Declaration, which set forth the Percentage Interests in the Project through Phase A, is deleted in its entirety and the Exhibit "B-1", attached hereto and incorporated herein by this reference, which sets forth the Percentage Interests through Phase D is substituted in lieu thereof.

6. **Effective Date.** The effective date of this Third Supplemental Declaration and the PHASE D Map shall be the date on which said instruments are filed for record in the Office of the County Recorder of Utah County, Utah.

Dated the 16 day of March, 2006.

DEVELOPER:
IVORY DEVELOPMENT, LLC.
By: CHRISTOPHER P GAMVROULAS.
Its: PRESIDENT

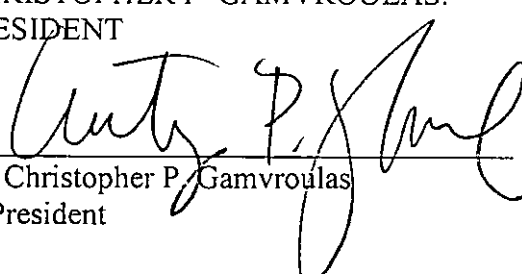
By: 
Name: Christopher P. Gamvroulas
Title: President

EXHIBIT "A-1"
LEGAL DESCRIPTION

The Property referred to in the foregoing document is located in Utah County, Utah and is described more particularly as follows:

LEGAL DESCRIPTION
PREPARED
FOR IVORY HOMES
(CRANBERRY FARMS SUBDIVISION)

(March 7, 2006)

CRANBERRY FARMS PLAT "D"

A portion of the NE1/4 of Section 1, Township 5 South, Range 1 West, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at the Southwest Corner of Lot 216, Plat "B" CRANBERRY FARMS SUBDIVISION according to Official Plat thereof, said point also being located N0°14'20"W along the Section line 956.03 feet and West 507.08 feet from the East 1/4 Corner of Section 1, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence S80°22'29"W 303.18 feet; thence S49°00'19"W 60.39 feet; thence S74°19'05"W 100.17 feet; thence S63°00'08"W 115.59 feet; thence N28°13'21"W 93.93 feet; thence N50°10'13"W 140.43 feet; thence N33°37'37"W 319.52 feet; thence N40°46'44"W 154.73 feet; thence N42°55'43"W 157.81 feet; thence N15°26'46"W 9.50 feet; thence N79°54'29"E 360.55 feet; thence N7°22'28"W 67.38 feet; thence N68°14'41"E 254.41 feet; thence N72°37'26"E 359.79 feet; thence N81°02'02"E 194.24 feet; thence S8°57'52"E 100.07 feet; thence S81°02'08"W 161.13 feet; thence along the arc of a 356.00 foot radius curve to the left 52.27 feet through a central angle of 8°24'42" (chord: S76°49'47"W 52.22 feet); thence S72°37'26"W 26.92 feet; thence S30°00'31"E 57.39 feet; thence S12°53'17"E 100.31 feet; thence S19°15'03"E 30.02 feet; thence S9°37'31"E 54.73 feet; thence N80°22'29"E 60.00 feet; thence S9°37'31"E 100.00 feet; thence S80°22'29"W 17.89 feet; thence S9°37'31"E 56.00 feet; thence along the arc of a 15.00 foot radius non-tangent curve (radius bears: S9°37'31"E) 21.10 feet through a central angle of 80°35'59" (chord: S59°19'32"E 19.40 feet); thence S19°01'32"E 90.67 feet; thence S80°22'29"W 56.33 feet; thence S9°37'31"E 100.00 feet; thence S25°25'47"E 58.20 feet; thence S9°37'31"E 97.55 feet to the point of beginning.

REVISED EXHIBIT "B-1"
PERCENTAGE OF OWNERSHIP INTEREST

<u>Phase</u>	<u>Lot No.</u>	<u>Percentage Of Ownership Interest</u>
1	101	0.43290%
1	102	0.43290%
1	103	0.43290%
1	104	0.43290%
1	105	0.43290%
1	106	0.43290%
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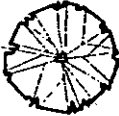
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TREE LEGEND



Acer platanoides 'Parkway'
Parkway Maple 2" cal.



Gleditsia triacanthos l. 'Shademaster'
Shademaster Honeylocust 2" cal.



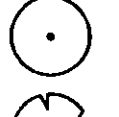
Fraxinus americana 'Autumn Applause'
Autumn Applause Ash 2" cal.



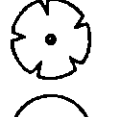
Acer platanoides 'Crimson King'
Crimson King Maple 2" cal.



Tilia cordata 'Greenspire'
Greenspire Linden 2" cal.



Pyrus calleryana 'Aristocrat'
Aristocrat Flowering Pear 2" cal.



Prunus virginiana 'Canada Red'
Chokecherry 1 1/2" cal.



Cercis canadensis
Eastern Redbud 2" cal.

PLANT MATERIAL LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
JHB	22	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	5 Gal	4' o.c.
MSP	135	<i>Miscanthus sinensis</i> 'Flueklohn'	Maiden Grass	1 Gal	24" o.c.
PVB	12	<i>Panicum virgatum</i> 'Shenandoah'	Switch Grass	1 Gal	24" o.c.
PAH	112	<i>Pennisetum slopedecurves</i> 'Haresn'	Fountain Grass	1 Gal	18" o.c.
FRG	21	<i>Potentilla fruticosa</i> 'Gold Drop'	Shrubby Cinquefoil	2 Gal	3' o.c.
RAG	22	<i>Rhus aromatica</i> 'Grow Low'	Grow Low Sumac	5 Gal	4' o.c.
SBA	16	<i>Spiraea bumalda</i> 'Anthony Waterer'	Anthony Waterer Spirea	2 Gal	3' o.c.

NOTE: PLANT ORNAMENTAL GRASSES WITH TRIANGULAR SPACING.

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CONTRACT LIMIT LINE

THE NEW TRAIL TO EXISTING
JORDAN RIVER TRAIL SYSTEM

DRILL OR BROADCAST
WILDFLOWER SEED MIX 1
REPAIR OR SEED AREAS
PROPERTY LINE DUE TO

8' ASPHALT TRAIL

DRILL OR BROADCAST NATIVE GRASS AND
WILDFLOWER SEED MIX TO PROPERTY LINE.
REPAIR OR SEED AREAS OUTSIDE OF
PROPERTY LINE DUE TO CONSTRUCTION.

CONTRACT LIMIT LINE

CONTRACT LIMIT LINE

INSTALL 8' ASPHALT TRAIL
SEE DETAIL SHEET

LAWN SEED

LAWN SEED

40 MSP (PREVIOUS PHASE)

6" x 6" CONC. EDGING

LAWN SEED

66 PAH (PREVIOUS PHASE)

BERMED PLANTING
BED WITH 4:1 SLOPE.

LAWN SEED

44 RAG

BERMED PLANTING
BED WITH 4:1 SLOPE.

160 MSP

123 PAH

12 FRG

44 MSP

84 PAH

BERMED
BED FIT

11 SBA

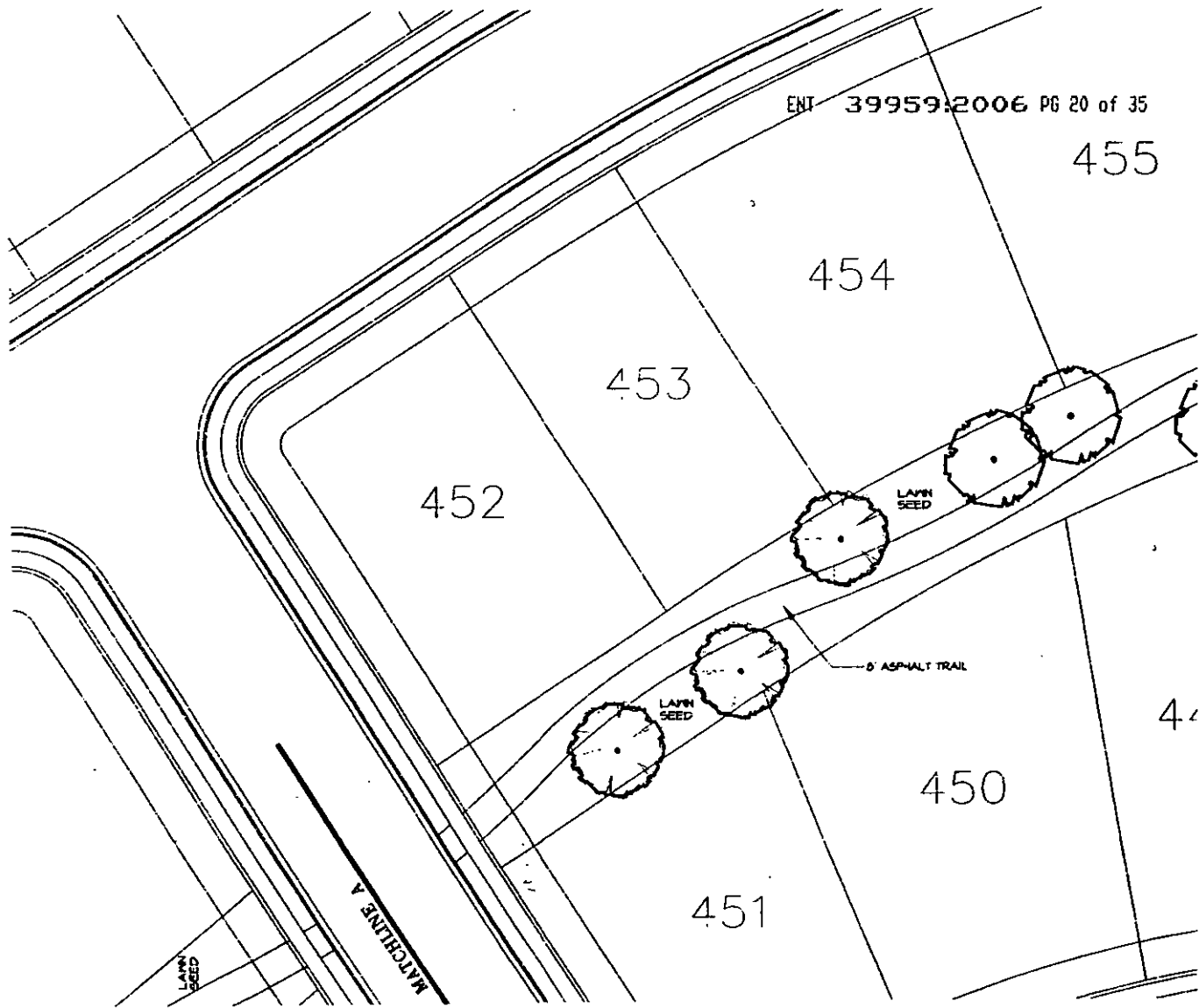
10' EASEMENT WITH
10' ASPHALT TRAIL

425

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428



Native Grass and Wildflower Mix		
Common name	rhizome or bunch	Seeding rates (lbs/acre, PLS)
Streambank wheatgrass 'Sodar'	R	3
Great Basin wildrye	B	4
Western wheatgrass	R	4
Bluebunch wheatgrass 'Goldar'	B	3
Sandberg bluegrass	B	1
Sheep fescue	B	1
Smooth brome	R	3
Slender wheatgrass 'Pryor'	B, R	3
Great Basin Wildflower Mix		4
TOTAL PLS (pure life seed)		26 lbs/acre

LAWN SEED MIX

Seed. The grass seed shall consist of a mixture of the current year's Kentucky Blue Grass Blend of the following varieties:

Bluegrasses:
 Bluestar 18%, Marquis 19%, Newport 17%, Touchdown 17%

Perennial Ryegrasses:
 APM 16%, Accent 13%

NATIVE GRASS SEEDING AND BED PREPARATION

- Recommended seeding/maintenance procedure following seedbed preparation:
- A) Assure that soil is non-compacted and weed free; a pre-emergent herbicide may be applied no later than 6 months prior to seeding.
 - B) Saturate soil 1-2 weeks before seeding. If weeds emerge, treat with Roundup herbicide and wait 1 more week before seeding.
 - C) Soil should be moist when seeding but not so wet that equipment leaves ruts. If soil is very dry water to 6-8" and wait 1-3 days until equipment can be driven across site without leaving ruts. Drill seed grasses as close to 5/8 inch as possible, except sandberg bluegrass.
 - D) Bulk sandberg bluegrass with rice hulls or other suitable material. Broadcast onto surface. Rake or lightly drag.
 - E) Water (sprinklers) to saturate soil surface. Do not irrigate for 3 days. Thereafter, water as needed to keep soil moist but not wet. It is better to allow the soil surface to dry a little than to over-water.
 - F) Treat with selective broadleaf herbicide as needed following establishment. Take care not to kill the new wildflowers from the seed mix.
 - G) Do not fertilize the first year. Evaluate performance after one year to determine if low rate of nitrogen is needed (unlikely).
 - H) Wildflower plugs may be transplanted into this mix during the first year of establishment, provided that broadleaf weeds are not a problem.
 - I) This mix may be broadcast. If broadcast, increase seeding rates by 30%.
 - J) Ideal seeding time is early - mid September (lower weeds). Second best time is April.

SEEDED AREA

LAWN SEED	21,600 SF.
NATIVE GRASS AND WILDFLOWERS	19,560 SF.

156

STAG MAINLINE

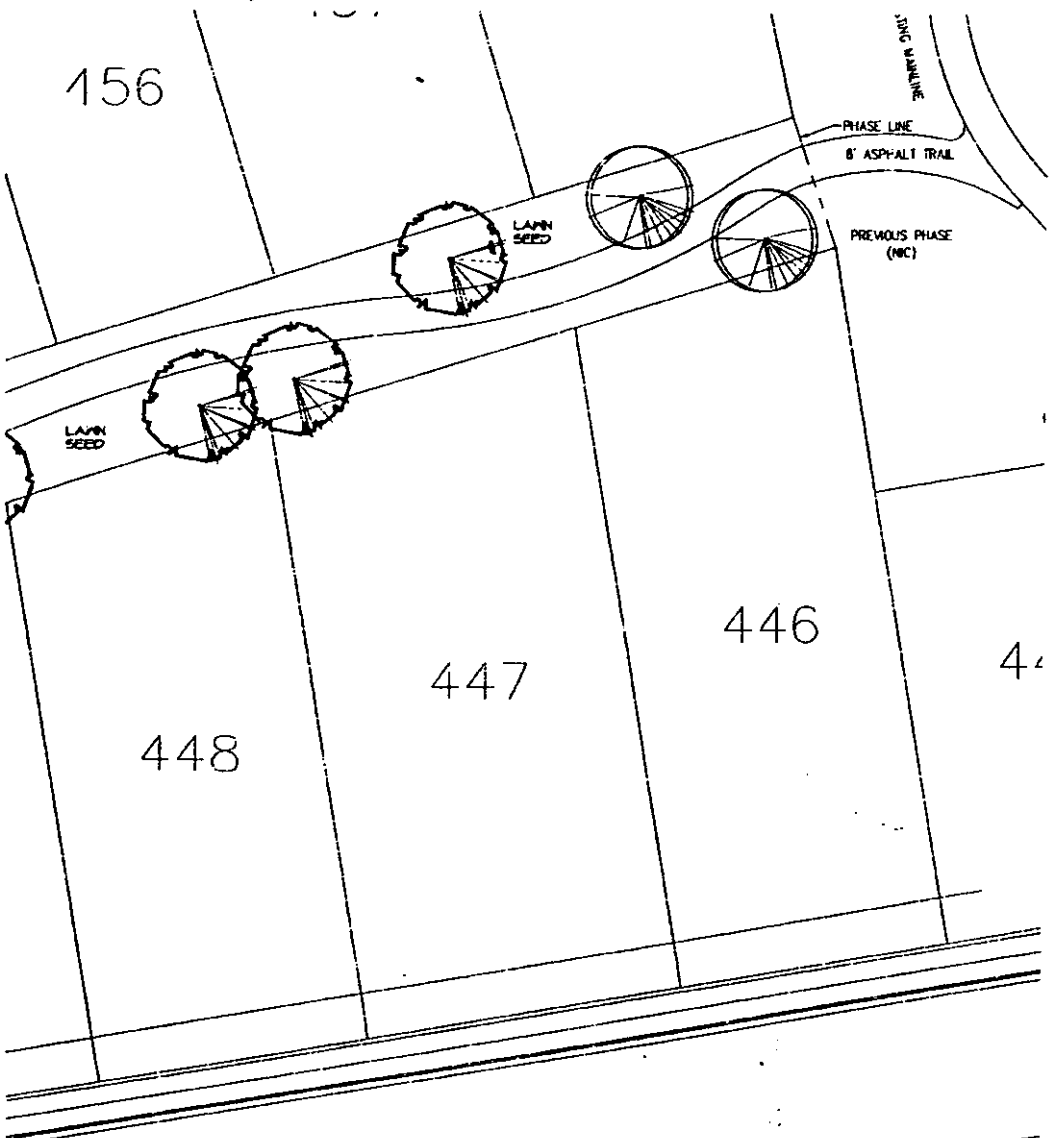
PHASE LINE

8" ASPHALT TRAIL

PREVIOUS PHASE (N/C)

LAWN SEED

LAWN SEED



448

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4

DRILL OR BROADCAST NATIVE GRASS AND
 WILDFLOWER SEED MIX TO PROPERTY LINE.
 REPAIR OR SEED AREAS OUTSIDE OF
 PROPERTY LINE DUE TO CONSTRUCTION.

41 /



Stantec

Stantec Consulting Inc.
 Suite 300, 3995 South 700 East
 Salt Lake City UT U.S.A.
 84107
 Tel: 801.261.0090
 Fax: 801.266.1671
 www.stantec.com

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Revision By Appd. YY.MM.DD

Issued By Appd. YY.MM.DD

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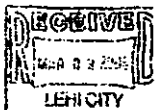
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Client/Project

IVORY HOMES
 CRANBERRY FARMS - D PLAN
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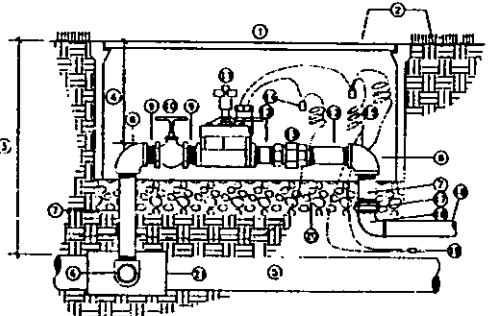
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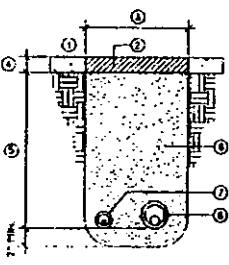
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NOTE:
 1. ONE REMOTE CONTROL VALVE PER BOX
 2. ALL FITTINGS AND PIPE IN HANDHOLD SHALL BE 8" SCH 80 PVC USING TEFLOW TAPE AND 9" RECTOR SEAL

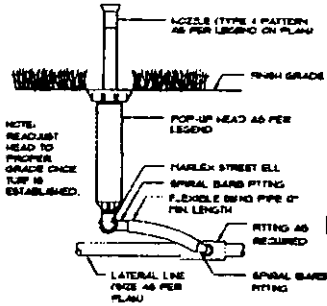
(A) CONTROL VALVE ASSEMBLY
 NTS



- 1 EXISTING CONCRETE / ASPHALT
 - 2 BASIN + PATCH CONCRETE/ ASPHALT AS REQUIRED
 - 3 BOTH AS REQUIRED
 - 4 5" DEPTH FOR CONCRETE 3" DEPTH FOR ASPHALT
 - 5 DEPTH AS REQUIRED TO MATCH MAINLINE (8" - 30") OR LATERAL (8" - 24") PIPING OR CONTROL WIRE (8" - 30")
 - 6 COMPACTED BACKFILL FREE FROM ROCKS GREATER THAN 1/2" IN DIAMETER
 - 7 CONTROL WIRES 6" TO EITHER SIDE OR 6" UNDER MAINLINE
 - 8 PVC MAIN L. NE LATERAL
- NOTES:
 • SLEEVES 4" AND SMALLER USE PVC SCH 40 PIPE
 • SLEEVES 8" USE PVC SLEEVES PIPE
 • ALL SLEEVES SHALL BE 2" LARGER THAN PIPE TO BE SLEEVED.

(B) SLEEVING DETAIL
 NTS

- 1 CARBON-BROOKS MP-B STANDARD OR SPEED VALVE BOX WITH STAINLESS STEEL BOLTS (BOLT DOWN LID) (MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION) INSTALL AT GRADE
- 2 INSTALL AT GRADE
- 3 3/4" MAX. DEPTH
- 4 6" - 0"
- 5 MAIN WATER SUPPLY LINE
- 6 PVC SCH 80 ELBOW
- 7 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED (TYP))
- 8 PVC SCH 80 BELL GASKET SIZE AS VALVE
- 9 SCH 80 NIPPLE ON EITHER SIDE OF GATE VALVE
- 10 PRESSURIZED BRAND OR APPROVED AMERICAN MADE BRASS GATE VALVE 8" NON RISING STEM (LINE SIZE)
- 11 ELECTRIC CONTROL VALVE - SEE EQUIPMENT SCHEDULE
- 12 SCH 80 NIPPLE ON EITHER SIDE OF UNION
- 13 PVC SCH 80 UNION
- 14 WATER TIGHT CONNECTORS (ON DRY ONLY)
- 15 PROVIDE BY EXPANSION LOOP AT EACH WATER CONNECTOR IN BOX
- 16 SCH 80 ELBOW WITH SCHED 80 NIPPLE INTO 8 X 1 TUBING TO LATERAL
- 17 SCH 80 ELBOW NIPPLES
- 18 LATERAL LINE
- 19 CONTROL WIRES
- 20 6" MIN. DEPTH CLEAN PEA GRAVEL
- 21 PVC SCH 80 TEE BUSHING WITH SCH 80 SHT BUSHING OR DOUBLE STRAP SADDLE



(C) POP-UP SPRAY HEAD
 NOT TO SCALE

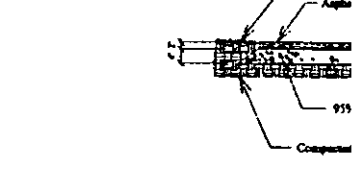
SPECIFICATIONS FOR LANDSCAPE DEVELOPMENT

The work covered by these drawings and specific equipment, and supplies in performing all operations.
 The contractor shall keep the premises free from the completion of the work he shall remove from the site.
 He shall, at his expense, and in conformance with all materials or work damaged by himself, his employes responsible.

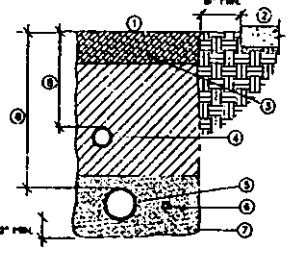
PLANTING
MATERIALS:

1. All plants shall be of good average uniform of species and variety nursery grown well formed in the "horticultural standards" as adopted by the.
2. Topsoil shall consist of native, sandy loam, of clay, redpan soil, partially disintegrated debris, free of plants, roots, or seeds that would be toxic drained sources. It shall contain at least 4 percent moisture-free sample dried in accordance with the Agricultural Chemists.
3. Chemical fertilizer shall be a mixed commercial with guaranteed chemical analysis of contents name.
4. Pre-emergent herbicide shall be Ronstar, Dav.
5. Mulching material shall meet requirements of Horticultural grade or may be well-rotted sawdust.
6. Tree and shrub backfilling soil shall consist of equal.
7. Perennial or annual planting beds shall be filled with 6" prepared soil mix consisting and one part 50% Peep or equal.
8. Peat shall be domestic product and may be re-edge mulch, Q-P-1666. Moss peat shall be of the

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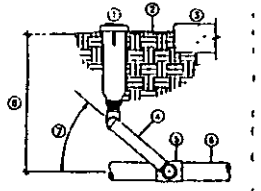
(D) QUICK COUPLER VALVE
 NOT TO SCALE



(E) TRENCH DETAIL
 NTS

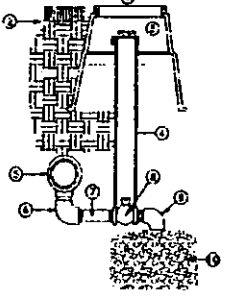
- 1 IF LANK IS EXISTING, REPLACE SOO AS PER OWNER'S SPECIFICATION
 - 2 ADJACENT HARD SURFACE
 - 3 TYPICAL FREE FROM ROCKS GREATER THAN 1" DIAMETER
 - 4 NON-PRESSURE LATERAL LINE
 - 5 PRESSURE MAIN LINE
 - 6 CORRECT BURIAL, LOW VOLTAGE CONTROL WIRE TAPE AND SADDLE AT 18" OC. PLACE 6" EITHER SIDE OF PIPE OR 6" BELOW.
 - 7 PORTLAND SAND BEDDING 3" BELOW AND ABOVE PIPE. NO ROCKS LARGER THAN 1/2" DIAMETER TO GO BACK INTO TRENCH AS PER WRITTEN SPECIFICATIONS.
 - 8 PIPE DEPTH: MAIN LINE: 36 - 36" COVER LATERAL LINE: 8 - 12" COVER
- NOTE: SEE SLEEVING DETAIL FOR TRENCHING IN PAVED AREA.

(F) ASPHALT
 NOT TO SCALE



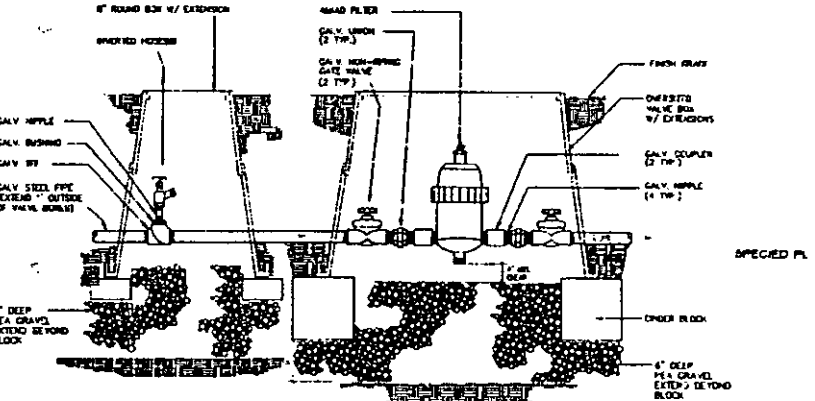
(G) POP-UP GEAR
 NTS

* PVC PIPE SHALL CONFORM TO THE FOLLOWING STANDARDS:
 MAIN LINE PIPE 3" AND LARGER SHALL BE CLASS 200 0-RING HANCO DUCTILE IRON FITTINGS OR PLI FITTINGS AT ALL CHANGES OF DIRECTION. US SCH 80 BUSHING WITH SCH 80 SHT BUSHING FOR ALL REMOTE CONTROL VALVE INSTALLATIONS OR EPOXY COATED DOUBLE STRAP SADDLES. CAP AND TEE BLOCK MAINLINES THREE (3) FEET PAST ALL FITTINGS AND VALVES. LATERAL LINES TO BE SCH 40 PVC.



- 1 1/2" ROUND VALVE BOX W/ LOCK BOLT, CARBON-BROOKS MP-B OR EQUAL
 - 2 FRESH GRADE
 - 3 3/8" METEORITIC LOCKING VALVE CAP (MOUNTED ONLY ATTACHED TO SLEEVE. TOP OF MAINLINE 4" - 6" BELOW GRADE)
 - 4 2" PVC SCH 40 SLEEVE NOTCHED OVER VALVE
 - 5 PVC SCH 80 TEE (MAIN LINE)
 - 6 3/4" PVC SCH 40 ELBOW
 - 7 3/4" PVC SCH 40 NIPPLE (LENGTH AS REQUIRED)
 - 8 3/4" FORD BROSS BALL VALVE
 - 9 3/4" MARLEX STREET ELBOW
 - 10 GRAVEL BUMP - 18" x 18" x 12" MIN. SIZE
- NOTE:
 1) ALL PVC NIPPLES TO BE SCH 80
 2) PROVIDE VALVE KEY TO OWNER

(H) MANUAL DRAIN VALVE ASSEMBLY
 NTS

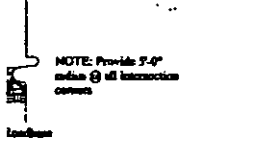


(I) AMIAD FILTER
 NTS

lists of furnishing labor, materials, and in these contract documents. In of waste material and rubbish and at all rubbish requirements and surplus. 3 specifications, replace or repair any tractors, and equipment for which he is

from irregularities, typical of the branched. The plants shall conform to specification of Nurserymen. lity, from from subsoil, hard clods, stiff r undesirable material. Soil shall be l to growth and obtained from naturally matter determined by loss on ignition of de of the Association of Officials: F-74IC, type I, grade (14-16-8) level B latters > XL or approved equal. use B coarseness classification and r topsoil and one part Soil Pmp or repaired soil mix. Ground cover areas into topsoil, one part peat by volume edge peat, moss peat, reed mulch, or grade (fine shreds). s herbicide has been completed, a beds.

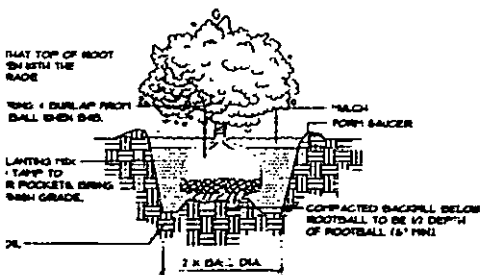
repaired soil mix. Ground cover areas into topsoil, one part peat by volume edge peat, moss peat, reed mulch, or grade (fine shreds). s herbicide has been completed, a beds.



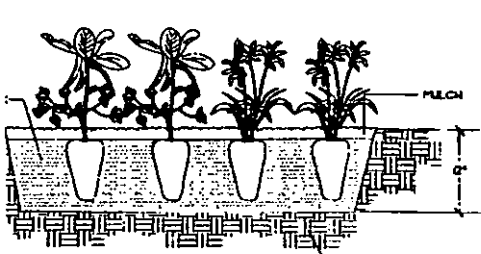
VII

ROTOR SPRINKLER - SEE LEGEND
ACE
HEADS TO BE PLACED OF ALL LANDSCAPE SURFACES
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ROTOR SPRINKLER



SHRUB PLANTING



PERENNIAL PLANTING

LAWN SEEDING

MATERIALS:

1. Grass seed shall be clean and new crop seed, tested to a minimum of 95% purity and 85% germination. Seed shall be applied at a minimum rate of five (5) pounds per thousand square feet with varieties as shown.
2. Topsoil shall be as per planting specifications item # 2.
3. Chemical fertilizer shall be a mixed commercial fertilizer, 8-1-24IC, type I, grade (20-10-5) with guaranteed chemical analysis of contents marked on containers. Combined N-P-K content shall not be less than 8 percent of the total weight.

EXECUTION:

1. Unless otherwise noted on drawings, all areas shall be topsoiled for lawn planting with sub-grade at an elevation 4" below ultimate finish grade. Topsoil for lawn areas shall be 4" deep, leaving planting grade furnished at grade.
2. Final grade shall be float-sixed. The surface which is to be seeded shall be firm and free from irregularities or depressions.
3. One-Step Hydro-Seeding: This method shall consist of combining specified seed mixture and fertilizer with grade (5-26-5) at the rate of (8) eight pounds per one thousand square feet and good fiber mulch at the rate of fourteen hundred pounds per acre. Mix these components with water and spray the mixture under pressure onto the prepared areas.
4. Lawn seeding shall be utilized only during May 1 through September 30.
5. The contractor shall be totally responsible for the watering on newly seeded areas.
6. The new planting shall be kept watered whenever necessary for proper establishment of the lawn. Care shall be taken to avoid excessive washing and puddling on the surface.
7. First mowing of lawn areas shall begin as soon as the grass has reached a height of 3" and subsequent mowing shall be at least once a week to maintain all lawn areas at a uniform height of 1 1/4" to 1 1/2" until project is substantially completed.

IRRIGATION SYSTEM

MATERIALS:

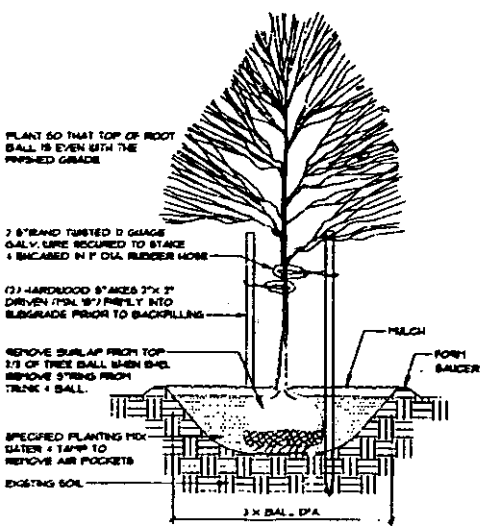
1. Each bank of control valves shall be housed in an Anstatk or Brook plastic valve box.
2. Wire shall be direct burial, no smaller than size # 14 with copper.
3. All wire connections and aplices in the field shall use 3M DSY wire connectors. All wire aplices shall be in a box.
4. All lawn spray heads shall be installed on wing pipe and all stress rotor and impact heads shall be installed on wing joint assemblies.
5. Drain valves on main lines shall be 3/4" manual angle valve and shall be installed with a PVC section and marker.
6. Sprinkler heads, valves, and controller shall be as described on irrigation legend.
7. Minimum pipe size for lateral lines shall be 3/4".

EXECUTION:

1. Manual drain valves shall be located at all low points on the main line to provide for adequate drainage. A sump of 12" x 12" shall be installed for drainage.
2. All main lines shall be installed to a depth of minimum 18" and embedded in sand. All lateral lines shall be installed to a depth of minimum 12".
3. Before trenches are backfilled all lines shall be pressurized and checked for leaks.
4. Irrigation pipe and control wiring under walks, roads and other hard surfaces shall be installed in PVC sleeves of adequate size.
5. At the time of final inspection, the contractor must furnish as-built drawings to the Owner. The drawings must show the locations of all valves, pipes, heads, controllers, and drains used on the job.

MAINTENANCE AND GUARANTEE

1. The contractor shall be responsible to maintain all areas of construction until all work is in satisfactory condition at the completion of the contract.
2. The contractor shall be responsible for watering all lawn area, trees, shrubs, installed under this contract until substantial completion.



TREE PLANTING & STAKING



Stantec Consulting Inc.
Suite 300, 2945 South 700 East
Salt Lake City UT U.S.A.
84107
Tel: 801.261.0090
Fax: 801.266.1671
www.stantec.com

Stantec

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Revision	By	App'd	11/26/00
Issued	By	App'd	11/26/00

Print Number: 11/26/04
REV. DATE, 11/26/04
REV. DATE, 11/26/04
REV. DATE, 11/26/04

Permit-Seal
STATE OF UTAH
ALAN K. WEAVER
103994
2/3/01
LANDSCAPE ARCHITECT

Client/Project
IVORY HOMES
CRANBERRY FARMS - C PLAN
LEHI, UTAH
Title
LANDSCAPE DETAILS
Project No.
186301646
Scale
Revision No.
Sheet
Division



Exhibit "D"

ual lot sizes may be reduced below the requirements of the district in which the development is located. The remaining land not within individual lots shall be set aside for parks, playgrounds, open space or other open areas.

G. Required Open Space. For all Planned Unit Developments not less than ten percent (10%) of the gross area of the project site shall be set aside for the use of the occupants for parks, playgrounds, open space or other open areas. All areas required for vehicular access, parking areas, and land which is otherwise required to comply with the minimum yard requirements around buildings, shall not be included in computing the area required for parks, playgrounds or other open space areas.

H. Location of Open Space. The location of open space conserved through a Planned Unit Development shall be consistent with the policies contained in the General Plan Parks, Open Space and Recreational Facilities Element. Required open space areas shall be contiguous, not a collection of remnants, and the majority of residential lots or units within the PUD should abut the open space. Yard areas within lots shall not be counted toward meeting the minimum open space requirement. Detention and/or retention basins shall not be counted toward meeting the minimum open space requirement. Open space design and location issues are to be kept separate and independent of drainage issues.

I. Open Space Adjacent to Arterial Roads. In such instances where a Planned Unit Development is required for projects adjacent to a master planned arterial road, the area between the property line/ROW line and the required decorative fence shall be enlarged and landscaped as part of the required open space. The enlarged parkway area will be counted towards meeting the minimum open space requirement and shall include decorative fencing, street tree plantings and other applicable improvements required in the Lehi City Design Standards and Public Improvement Specifications Manual. The landscaped area may also include shrubs, rocks, flowerbeds and ground cover. Maintenance of the landscaped parkway shall be insured by the developer/owner by means of a property management agency or by establishing a private association or corporation responsible for such maintenance, which shall levy the cost thereof as an assessment on the property owners within the Planned Unit Development.

J. Utilities. All buildings shall be served by public sewer and water systems and shall conform to the requirements of the Lehi City Design Standards and Public Improvement Specifications.

K. Compatibility. Wherever the Planned Unit Development site is adjacent to or contiguous with to a lower density residential or agricultural district, then for that portion of the Planned Unit Development site adjacent to or contiguous with the lower density residential or agricultural district, all yard and setback requirements of the adjacent or contiguous zoning district shall apply.

L. Landscaping. All areas not covered by buildings, or by off-street car parking areas or driveways, shall be planted in lawn, trees and shrubs, or otherwise landscaped and maintained in accordance with an approved landscape plan. All required front yard and side yard areas which are adjacent to a public street shall not be used for automobile parking areas, except for permitted driveways, but shall be landscaped and maintained with lawns, trees and shrubs, or other landscape materials.

M. Design Standards and Conditions. Design standards and conditions of development approval in addition to those required by the underlying zoning district may be required as conditions of approval, by the Development Review Committee, Planning Commission and City Council when deemed necessary to insure that a Planned Unit Development will be compatible with adjoining or nearby uses.

Section 17.050. Architectural Standards.

(New 8/12/03)

A. Purpose. These architectural standards and criteria are intended to provide high quality neighborhoods that are aesthetically attractive and desirable places to live. The standards require variations in neighborhood appearance, a sense of individuality for each home, and street scenes that function well and have visual interest. In making neighborhoods a more attractive and desirable place to live, the City hopes to increase neighborhood longevity, create a greater sense of community pride, and provide a high quality of life for Lehi's citizens.

B. Product Mix. Each PUD project shall provide a *variety* of home styles to insure a diverse and interesting street scene. Neighborhoods that have nearly identical homes and streets without variation in product placement and form are not allowed. In order to ensure that the neighborhood is non repetitive, the same home elevation or homes with the same color scheme shall not be built on adjacent lots on the same street or on lots directly or diagonally across the street from one another.

C. Corner Lots. Attention should be paid to corner lots. At least one home plan per neighborhood shall be designed specifically for corner home sites. This home plan is required to include wrap-around

architecture to provide visual interest on both the front and corner side yard of the home, and the ability to turn the garage for side entry. An example would be continuing a full-wrap of material accent onto the side façade, adding a wraparound porch, or facing the home on a diagonal towards the intersection.

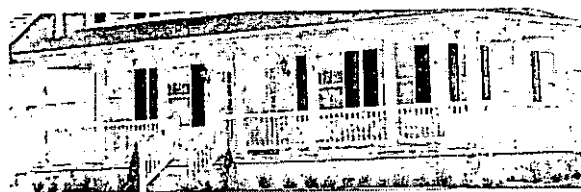
D. Garages. The home and front yard rather than the garage shall be the primary emphasis of the front elevation. The City encourages house plans where the garage does not extend forward of the main architecture of the home, and also encourages the use of side load/swing-in type garages.

E. Architectural Features. The following architectural features are required for each home within a PUD based on the type of exterior materials used. Houses using siding (vinyl, aluminum, or other) as the exterior material must incorporate at least 12 of the following architectural features in their design; houses with a combination of siding and hard surface (ie. brick wainscoat or hard surface front with siding on side and rear) must incorporate at least 10 of the following architectural features in their design; houses using all hard surface for exterior materials (brick, stucco, stone) must incorporate at least 8 of the following architectural features in their design. The architectural features selected must be appropriate to the architectural style of the home. Prior to issuance of a building permit within an approved PUD, the Chief Building Official shall verify that these architectural standards have been satisfied. The Chief Building Official may request input from the DRC, Planning Commission, and City Council as deemed necessary.

- 1. Front Porch (must be at least 4' wide and 4' long – landings and stoops do not count).



- 2. Wrap around porch.



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- 3. Decorative gables, curved gables and dormers with 2' x 6' Facia that break up otherwise long, uninterrupted rooflines.



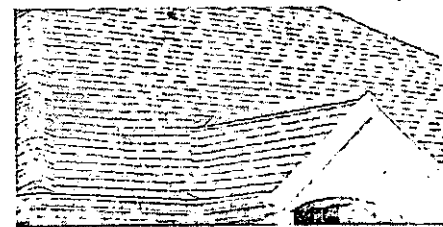
- 4. Hip roof or dutch hip roof with 2' x 6' Facia.



- 5. 8/12 roof pitch or greater with 2' x 6' Facia.



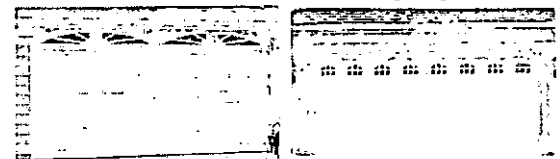
- 6. Architectural grade asphalt shingles and wood or simulated wood shake shingles.



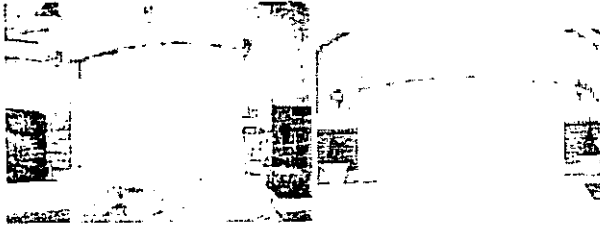
- 7. Wood or simulated wood garage door.



- 8. Decorative valance windows in garage door.



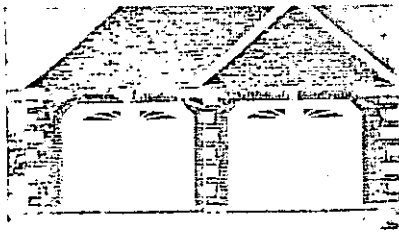
9. Arched garage door entry.



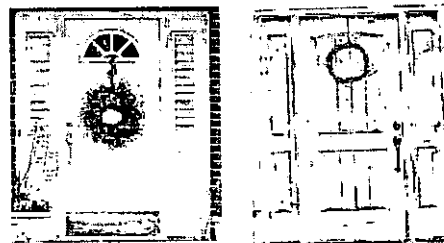
14. Overhead detached trellis forward of the garage, spanning the driveway.



10. One large garage door split into two single doors.



15. Decorative front door including wood or simulated wood doors and doors with etched or stain glass windows.



11. Side entry garage with windows in the exterior garage wall that faces the front yard.



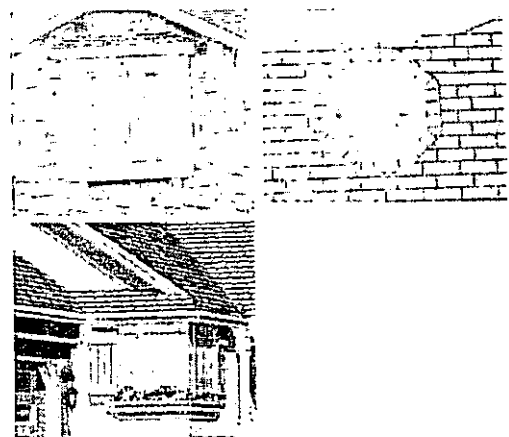
16. Bay or bow window.



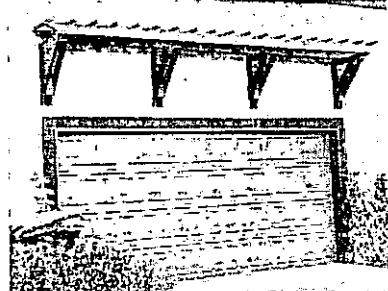
12. Full recess garages (with or without a covered breezeway).



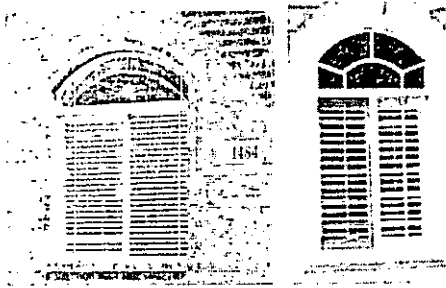
17. Oval, octagon or other feature window.



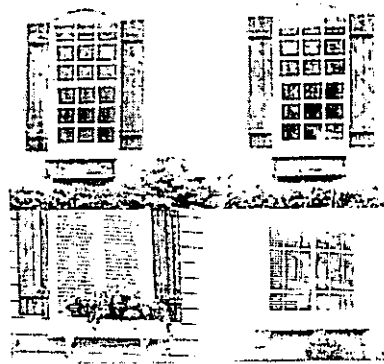
13. Attached trellis beneath the garage roof fascia and above garage door header trims.



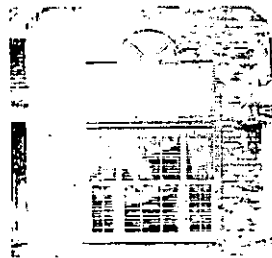
18. Arched window.



22. Decorative window planter boxes.



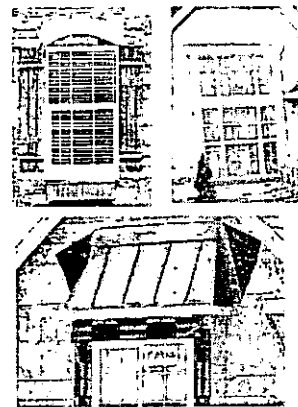
19. Oversized window(s) (larger than minimum building code requirement).



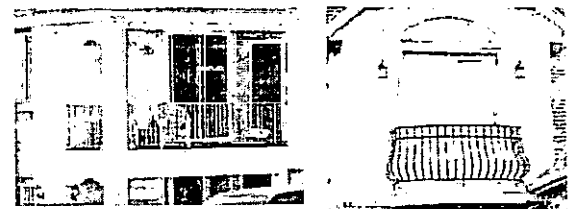
23. Pot shelves.



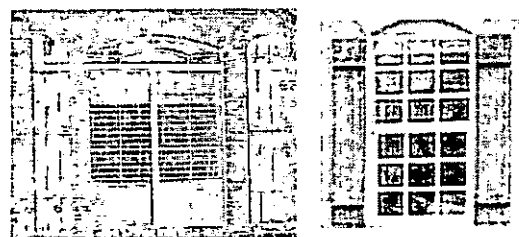
20. Decorative Window trim.



24. Balconies (covered or open).



21. Decorative shutters and window mullions for all street facing windows (styles other than standard vinyl rectangular shutters are encouraged).



25. Decorative railings or porch columns.



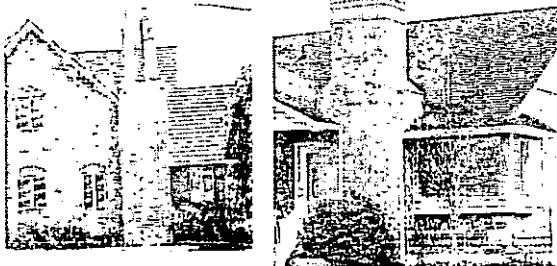
26. Quoins corners, mullions, or similar decorative trim.



27. Cantilevers "Pop Outs" and setbacks to different parts of the home that break up otherwise long uninterrupted wall planes.



28. Decorative chimney or chimney accents and details



city may require the creation of a corporation or homeowners association granting beneficial rights to the open space to all owners or occupants of land within the Planned Unit Development.

C. The developer/owner will be required to develop and maintain all park, playground and other open space areas, unless part of, or all of these areas are contiguous to and made part of an existing City maintained park.

D. In the case of private reservations, all park and open space areas shall be protected against any future building development by conveying to the City as part of the condition for project approval, an open space easement over such open areas, restricting the area against any future building or use, except as is consistent with that of providing landscaped open space for the aesthetic and recreational satisfaction of the residents. Building or uses for noncommercial, recreational or cultural purposes, compatible with the open space objectives, may be permitted only with the express approval of the City, and the receipt of all necessary approvals, licenses and permits.

E. The maintenance of all private park and open space areas shall be insured by the developer/owner by establishing a private homeowners association, property management agency or corporation responsible for such maintenance which shall levy the cost thereof as an assessment on the property owners within the Planned Unit Development. Ownership and tax liability of private park and open space reservations shall be established in a manner acceptable to the City and made a part of the conditions of the Planned Unit Development approval.

Section 17.070. Amendments to an Approved Planned Unit Development.

Amendments to an approved Planned Unit Development may be permitted by following the procedures required for the original approval and upon the filing of a petition with the City by at least two-thirds (2/3rds) or more of the property owners within the Planned Unit Development area.

Section 17.060. Guarantees. (Amended 2/27/01)

A. Adequate guarantees, acceptable to the City, must be provided for the permanent preservation and maintenance of park, playground, and other open space areas.

B. The city may require the developer/owner to furnish and record protective covenants, which will guarantee the preservation and maintenance of all park, playground and other open space areas or the

Exhibit "E"

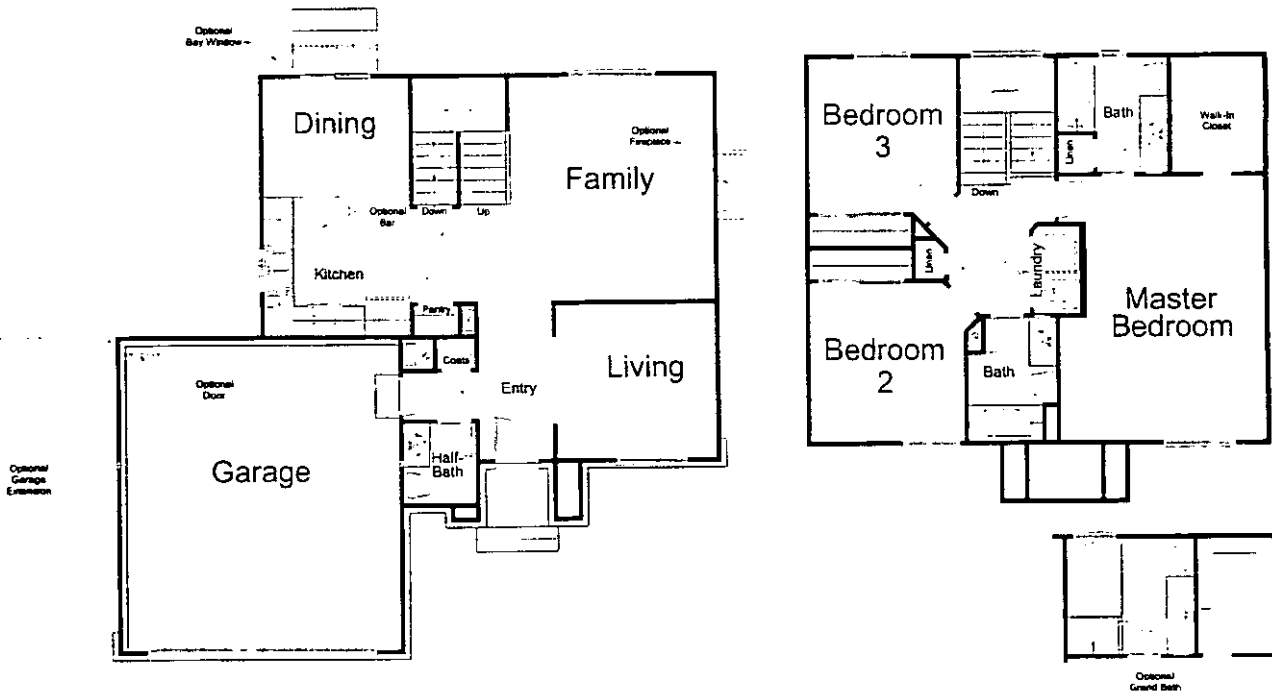
KEYSTONE

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TWO-STORY



TOTAL SQ. FT.: 2,413 FINISHED SQ. FT.: 1,604 UNFINISHED SQ. FT.: 809 WIDTH: 42' 0" DEPTH: 40' 5"

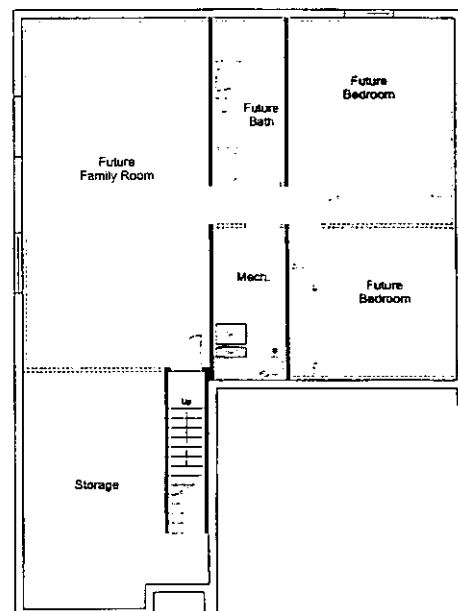
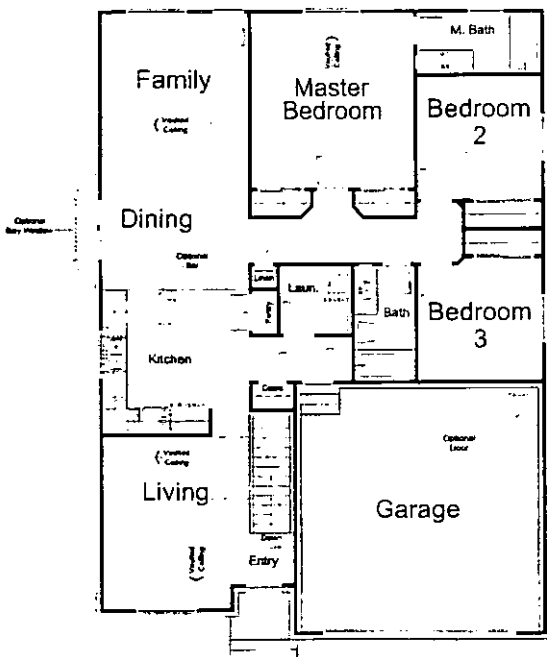


WASATCH

ENT 39959:2006 PG 30



TOTAL SQ. FT.: 2,899 FINISHED SQ. FT.: 1,451 UNFINISHED SQ. FT.: 1,448 WIDTH: 37' 0" DEPTH: 52' 0"

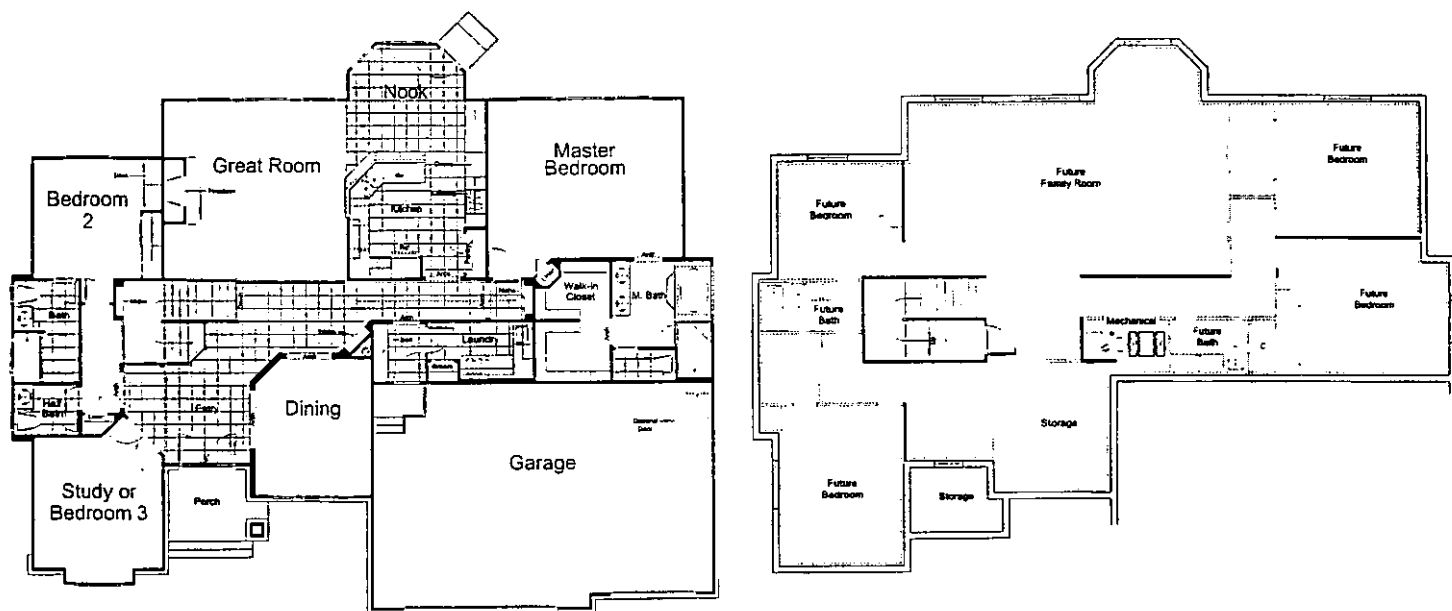


SORRENTO

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TOTAL SQ. FEET: 5,227 FINISHED SQ. FEET: 2,574 UNFINISHED SQ. FEET: 2,653 WIDTH: 73' 6" DEPTH: 59' 0"

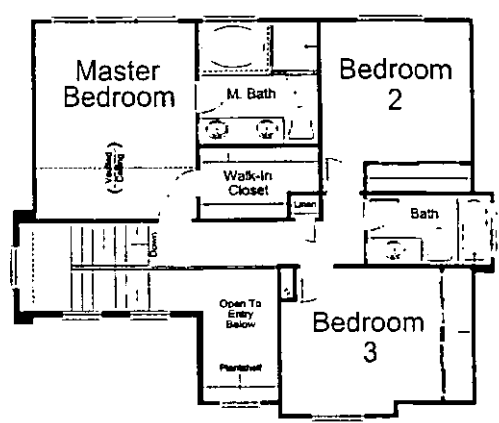
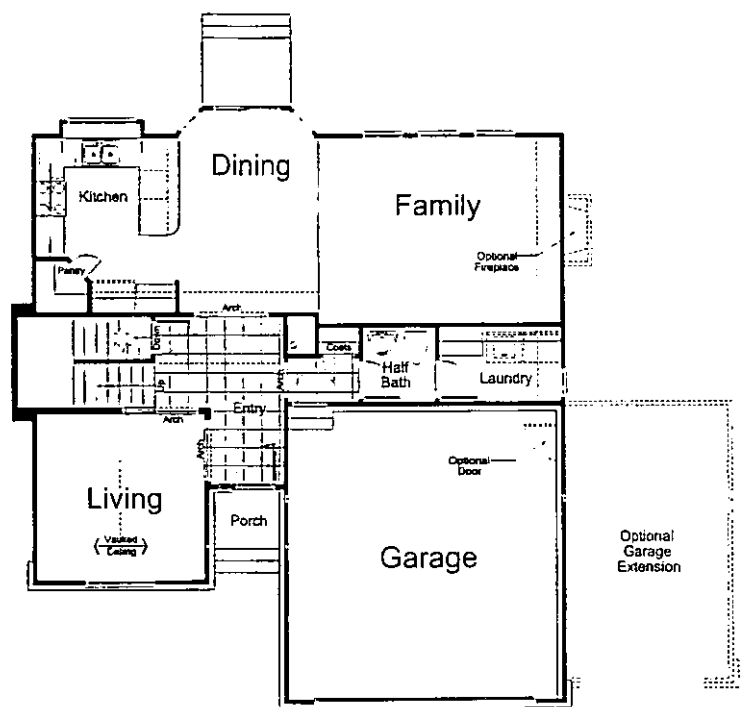


REVERE

ENT 39959-2006 PG 32 of 35



TOTAL SQ. FEET: 2,706 FINISHED SQ. FEET: 1,714 UNFINISHED SQ. FEET: 992 WIDTH: 40' 0" DEPTH: 43' 0"

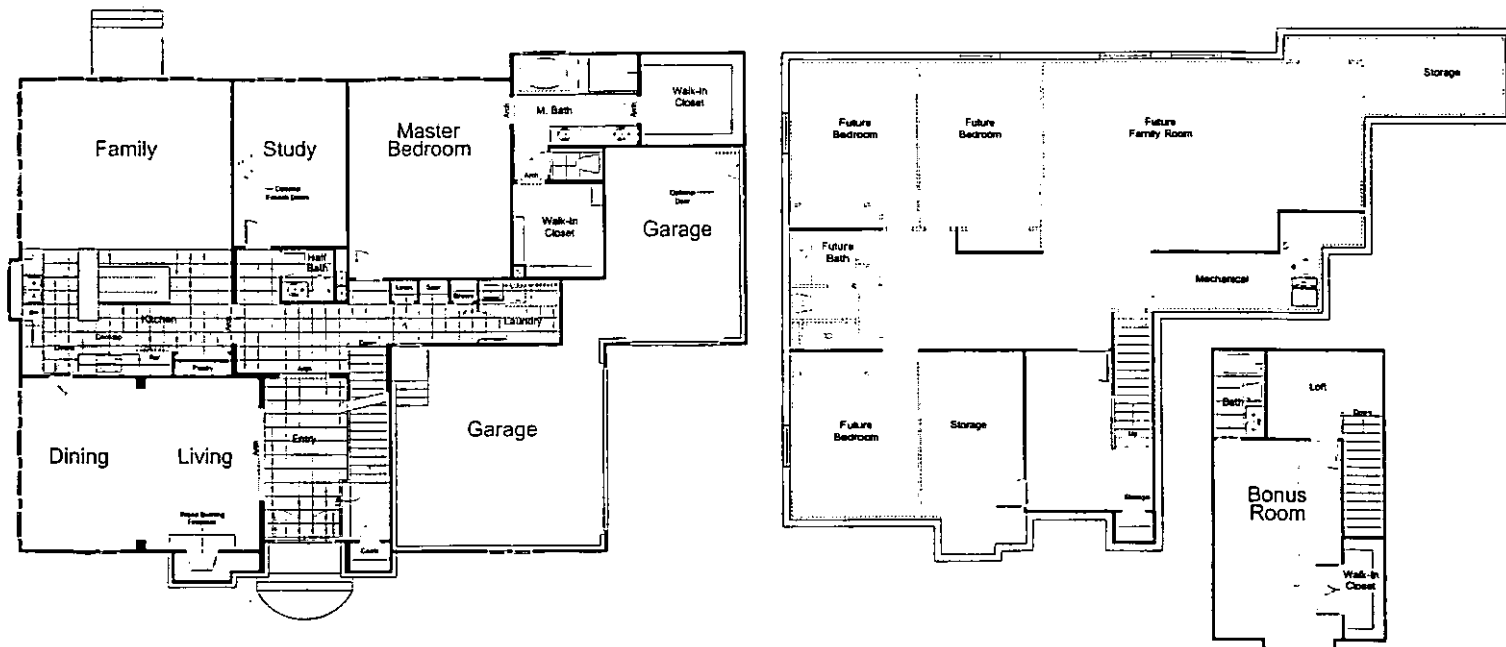


BELLAGIO

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TOTAL SQ. FEET: 5,255 FINISHED SQ. FEET: 2,996 UNFINISHED SQ. FEET: 2,259 WIDTH: 72' 0" DEPTH: 52' 1"



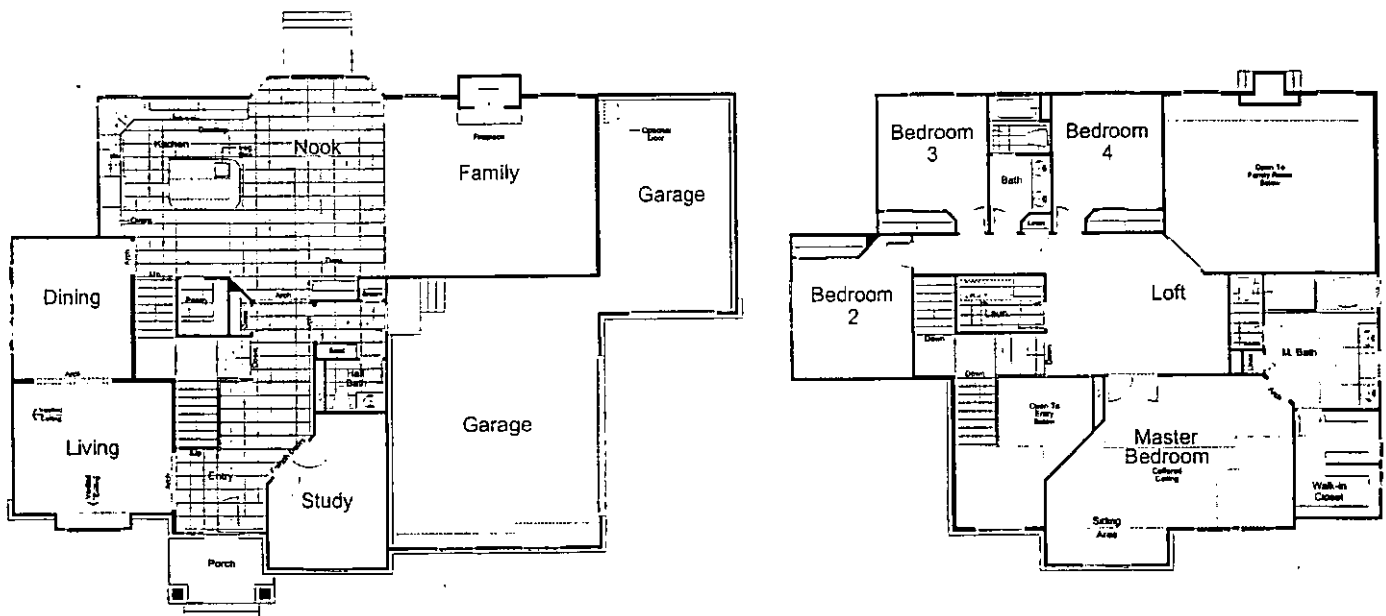
CALABRIA

TWO-STORY

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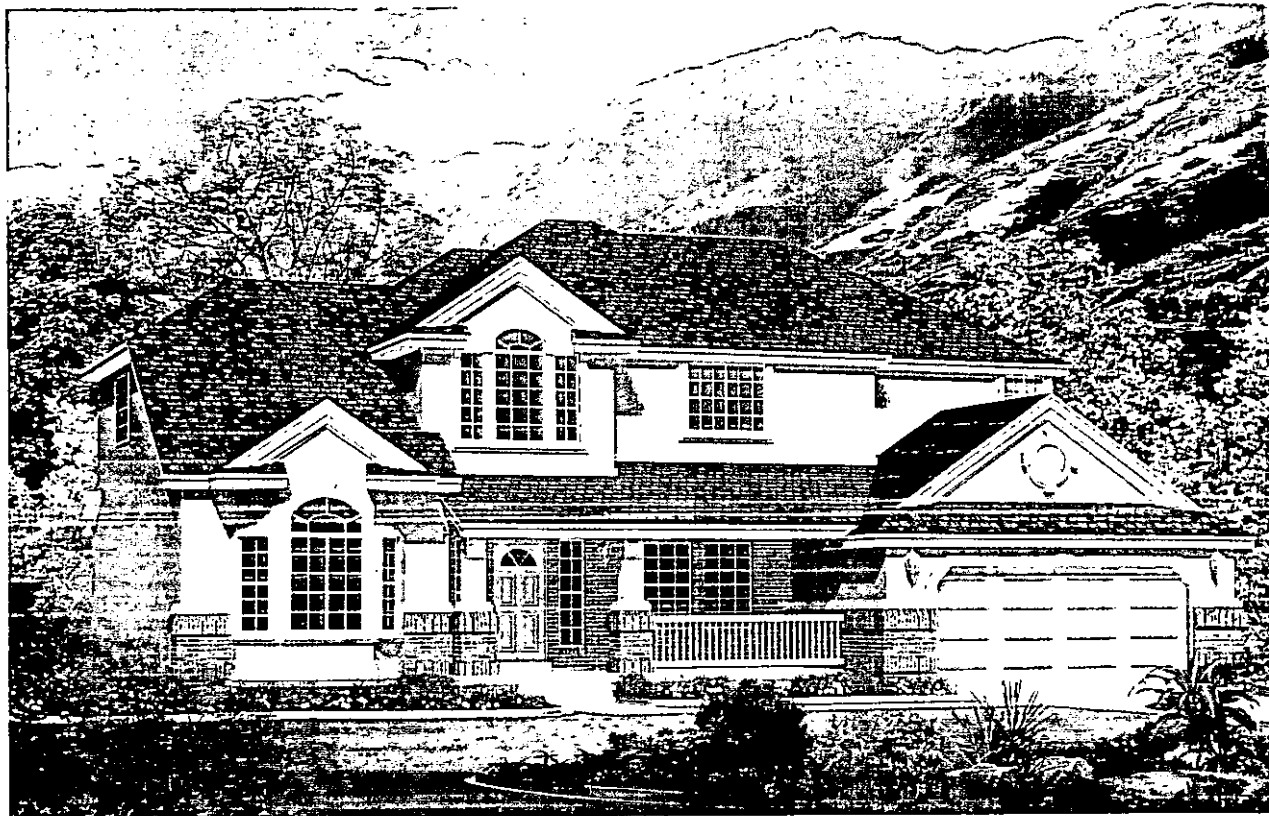


TOTAL SQ. FEET: 5,730 FINISHED SQ. FEET: 3,752 UNFINISHED SQ. FEET: 1,978 WIDTH: 74' 0" DEPTH: 53' 0"



HUNTINGTON

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TOTAL SQ. FEET: 5,015 FINISHED SQ. FEET: 3,136 UNFINISHED SQ. FEET: 1,879 WIDTH: 59' 0" DEPTH: 50' 0"

