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# SILVERLAKE

## COMMUNITY DESIGN GUIDELINES

**January 5, 2005**

## COMMUNITY DESIGN GUIDELINES

Prepared for  
SilverLake Master Planned Community  
in  
Eagle Mountain, Utah

January 5, 2005

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# PART ONE:

## GENERAL PROVISIONS AND DESIGN FRAMEWORK

## **SECTION I: INTRODUCTION**

### **1.1 Purpose and Intent**

The purpose of these design guidelines is to provide prospective developers and builders with a clear statement of the design philosophy, principles, and criteria for development at SilverLake. The intent of these guidelines is to facilitate the appropriate, coherent, and compatible uses of land in order to: (1) promote a unified appearing community that will complement, rather than denigrate, the existing landscape; (2) advocate a program of Village Cores designed to function as community and neighborhood focal points; (3) promote a variety of different residential densities, home types, and associated lifestyles; (4) provide convenient recreational amenities for both passive and active uses; and (5) promote distinct, individual Subdivisions (neighborhood enclaves) through creative site planning, architecture, pedestrian and vehicular circulation, landscape architecture, and overall community design. Accordingly, these guidelines are established to direct development of the various Subdivisions in a manner that will assure high quality design and construction. These guidelines are to be used as a tool in the development of site, architecture, and landscape architecture plans that will be submitted and reviewed by the Design Review Committee (DRC).

### **1.2 Project Area Description and Design Theme**

SilverLake is located approximately 35 miles south of Salt Lake City on approximately 482 acres of picturesque high plateau. The overall community is divided into three distinct enclaves (subdivisions). The design theme for SilverLake is derived from the natural and agrarian landscape of Utah County. The overall community theme is intended to be strongly rooted in the heritage of the Wasatch Front and rural Utah in general. An emphasis shall be placed on the creation of so called "neo-traditional", higher-density Village Cores, with mixed commercial and residential uses, and on the preservation of existing natural features such as drainage courses, wildlife corridors and view sheds (to the mountains, hills, and Jordan River valley). SilverLake will ultimately feature a wide range of housing types and commercial development at varying developmental densities.

### **1.3 How to Use These Guidelines**

The design guidelines are divided into two parts.

#### **Part One - General Provisions and Design Framework**

##### **1.3.1 General Provisions**

This section contains information pertaining to the relationship of these design guidelines to other regulations and includes procedures for waivers, amendments, and design guideline supplements. Included in the General Provisions is a detailed procedure for design review including project orientation, conceptual planning review, final design and construction documentation. The design review procedure is intended to insure quality development in each and every project as well as the overall community. Review will include, but not necessarily be limited to, the following: site planning, architectural design, landscape architectural design, signage, and lighting.

##### **1.3.2 Design Framework**

The Design Framework section outlines the concepts which form the basis or foundation of the design guidelines. It presents an overall image or picture of the proposed physical character of SilverLake. This section also establishes the design principles and parameters that were used to formulate the more detailed design components found in Part Two of this document. It describes, in general terms, concepts related to natural, agrarian, and small town design themes and describes major community components such as residential neighborhoods, village cores, and open space.

#### **Part Two - Design Guideline Components**

##### **1.3.3 Circulation**

This section details the circulation system for SilverLake, streets and trails. The intent of the circulation guidelines is to accommodate many forms of movement within the community at safe and manageable speeds. Ultimately, the circulation guidelines are intended to allow for livable neighborhoods, not just high volume, high speed passageways for cars.

##### **1.3.4 Site Planning**

This section contains detailed site planning standards. They will direct development in the residential and commercial districts within SilverLake by outlining preferred building locations, open space areas, parking lots, circulation features, and pedestrian spaces.

##### **1.3.5 Architecture**

This section contains architectural standards related to the design and construction of residential buildings at SilverLake. A palette of architectural styles rooted in the vernacular architecture of traditional Northern Utah is provided. The

appropriate articulation of building elevations and roof lines and detailing is demonstrated. These guidelines are intended to increase building variety and visual interest throughout the community.

### **1.3.6 Landscape Architecture**

The intent of the landscape architectural guidelines is to promote site improvements reflective of the natural, agrarian and small town heritage of traditional rural Utah. This section includes conceptual design criteria for project neighborhood entry monumentation, streetscape imagery (including intersection treatments), typical single family detached front and side yard treatments, parks and open space, and edge conditions between disparate uses and other open spaces. It includes general landscape architectural criteria and a recommended list of plant materials.

### **1.3.7 Community Design Elements**

Community design elements include such components as perimeter fencing, entrance monumentation, directional signage, lighting, and street furniture. The guidelines controlling them are intended to provide consistency in design, materials and scale.

### **1.3.8 Grading**

Standards are outlined here that promote site sensitive grading practices in areas most suitable for development. They are provided with the intent of preventing the inappropriate "grading out" of environmental features, such as ridgelines and drainage ways, and encouraging "contour grading" that harmonizes with the lay of the land.

## **SECTION II: GENERAL PROVISIONS**

### **2.1 Preface**

A successful planned community depends on a variety of factors. Environmental sensitivity, market dynamics, amenities, setting, product types and price all play important roles. It has been demonstrated in many planned communities throughout the country that physical appearance is also an extremely important characteristic. Achieving a healthy and vibrant overall appearance is often the first step in promoting economic viability. An initial investment in enhancing the visual quality of a new community may bring dramatic returns. The potentials are unlimited if these design improvements are part of a coordinated effort in which buildings, open space and streetscape (including signage and lighting), are well orchestrated and planned. The goal of this section is to illustrate how these guidelines and the associated design review process promote a community vision which is unified in design and function.

### **2.2 Conflict With Other Regulations**



All development within SilverLake planning area shall comply with laws of the State of Utah and the United States Federal Government and be compatible with the intent of the codes and regulations of Eagle Mountain City. All development shall also comply with the Declaration of Covenants, Conditions, and Restrictions (CC&R's) adopted for SilverLake Master Planned Community.

To the extent SilverLake Design Guidelines conflict with design guidelines that may be required by a local entity having jurisdiction over development in SilverLake, then The SilverLake Design Guidelines shall prevail. To the extent that any provisions of The SilverLake Design Guidelines conflict with the provisions of the CC&R's, the CC&R's shall control.

### **2.3 Waivers**

S.P.L.G., L.L.C., or its assignee, hereafter called The Developer, shall have the right to waive, at its sole discretion, any provisions of The SilverLake Design Guidelines as may be applied to any specific development plan, except for a provision that is mandated (as described in definitions on page 10 herein). The City and the Developer will need to mutually agree to waive a mandated guideline/provision. No such waiver shall be construed or held to be a waiver of any other provisions of The SilverLake Design Guidelines, or of the same provisions as to any other party.

### **2.4 Amendments and Supplements**

The Developer may, from time to time and at its sole discretion, amend or supplement these Design Guidelines upon approval of the City and written notice to all owners of real property in SilverLake. Any such amendments shall be applicable to all development plans which are subsequently approved by The Developer.

### **2.5 Approvals**

Unless otherwise explicitly provided herein to the contrary, all approvals required under The SilverLake Design Guidelines shall be in writing and may be granted or withheld at the sole discretion of The Developer. Any approval pursuant to these design guidelines does not constitute a warranty, assurance, or representation by the approving party; and the approving party should have no responsibility by virtue of such approval.

### **2.6 Design Review and Plan Submittal Procedure**

A design review process has been established to ensure that all development within the SilverLake planning area meets the requirements set forth in these Design Guidelines and any CC&R's. The review covers site planning, architecture, landscape architecture, signage, and exterior lighting.

The design review procedure is divided into four steps:

1. Orientation
2. Conceptual Planning Review
3. Design Plan Review
4. Construction Document Review

At each step, submittal for review and approval is to be made to the Design Review Committee (DRC). Approval to submit plans for each successive step

in the design review process shall be issued by The Developer. It is recommended that architectural plans be formulated by a licensed architect, and that landscape architectural plans be developed by a licensed landscape architect.

### **Step 1: Orientation**

An orientation program describing site conditions, design guidelines, and the design review process will be presented by The Developer to each developer, builder, architect, or development consultant. This orientation will briefly describe the overall context of SilverLake in the Utah County region and highlight the immediate context of the parcel of ground in question as it relates to the master plan and existing conditions, as well as any additional specific issues affecting it. When a tentative project location has been identified, the proposed building program for that location shall be reviewed and approved by The Developer of SilverLake for compatibility with adjacent development and overall planning and community design for that particular Subdivision area. The Developer reserves the right to waive or amend this review and approval process for any builder and/or developer.

### **Step 2: Conceptual Planning Review:**

This review covers conceptual site planning, architecture, and landscape architecture for the project. At this stage, site planning is particularly important and should be developed to fine detail.

Three (3) sets of conceptual plans are to be submitted to the DRC for review, including:

#### **A. Site Plans and Related Information**

- Site coverage data (e.g., total planning area acreage, number of dwelling units, dwelling units per acre, lot sizes, open space acreage).
- Proposed footprints and setbacks, etc.
- Dwelling height/number of stories.
- Roadway width and Right-of-Way (ROW).
- Parking lot layout, where applicable, including the location of standard, compact, and handicapped spaces, and numerical data for each type of parking.
- Sidewalks, hiking trails, bicycle lanes, and paths.
- Community areas, such as courtyards, plazas, and squares.
- Parks, open spaces and amenity areas.
- Development phasing concept, if applicable.
- Easements, existing and proposed.
- North arrow and scale.

**B. Schematic Architectural Plans**

- Floor plan(s).
- Elevation(s).
- Exterior materials, colors, and finishes under consideration.

**C. Schematic Landscape Architecture Plan**

- Conceptual landscape plan showing trees, shrubs, groundcovers, and berms.
- Conceptual fence and/or wall plan.
- Plant materials under consideration.

**Step 3: Design Plan Review**

This review covers specific designs for site planning, architecture, landscape architecture, signage, and exterior lighting. The design drawings should be a progression of the approved conceptual plans. This review should include resolution of the conditions placed on the prior conceptual planning approval.

Three (3) complete sets of design drawings are to be submitted to the DRC for review, including:

**A. Site Plans and Related Information**

- Site coverage data (e.g., total planning area acreage, number of dwelling units, dwelling units per acre, lot sizes, open space acreage).
- Dwelling/footprint location and setbacks (front, rear, sides, corner side).
- Dwelling height/number of stories.
- Roadway width and Right-of-Way (ROW).
- Parking lot layout, where applicable, including the location of standard, compact, and handicapped spaces and numerical data for each type of parking.
- Sidewalks, hiking trails, bicycle lanes, and paths.
- Community areas such as courtyards, plazas, and squares.
- Parks, open spaces and amenity areas.

- Development phasing concept
- Location and elevation of residences (and associated basements) in relation to utilities (sewer, water, gas, power, and telecommunications).
- Grading plan for each residential lot with existing and proposed grades.
- Location of street lights.
- Location of accessory structures, decks, drive ways, etc
- North arrow and scale.

#### **B. Architectural Design**

- Floor plan(s) (including the square footage of each residence).
- Elevations: three (3) elevations for each floor plan with full graphic representation of exterior treatments.
- Calculation of elevation articulation ratio (EAR) -See Appendix 2.
- Roof Plan.
- Section(s).
- Sample board of exterior materials (e.g., cladding, roof materials), colors and finishes for building body and trim.
- Method of screening of exterior utility boxes and mechanical and communications equipment.

#### **C. Landscape Architectural Design**

- Location, size, quantity, and types of plant materials.
- Location and dimensions of berms and other grading elements.
- Location and type of hardscape materials.
- Description of type of irrigation proposed.
- Location, type and materials of fencing and/or walls.

#### **D. Signage and Mailbox Design**

- Location of proposed signs and mailboxes.
- Conceptual design of proposed signs, including size, materials, colors, and illumination.
- Mailbox design.

**E. Lighting Design**

- Location, type and color of on-site exterior lighting fixtures (both wall and ground mounted).

**Step 4: Construction Document Review**

This review covers all required construction documents. The objective of this review is to assure that the approved in the design is carried into final construction drawings, and that conditions placed on the design plans are resolved.

Three (3) complete sets of construction documents are to be submitted to the DRC for review, including:

- A. Final site plan and related data, including final grading, surface drainage, and utility layout.
- B. Final architectural plans.
- C. Final exterior finish, color and material board(s). White is to be used as a trim color only.
- D. Final landscape architectural and irrigation plans.
- E. Final lighting plans, including designs and locations.
- F. Pertinent details and specifications.
- G. Construction schedule.
- H. Model homes furnishings, landscaping, officing, and traffic trapping plans, if any.

**2.7 Compliance Verification**

Construction will be monitored to verify compliance with The SilverLake Design Guidelines and approved construction documents.

**2.8 Submittal Fees**

Submittal fees to the DRC shall be paid upon commencement of Step 2: Conceptual Planning Review. DRC fees shall be as follows:

1. \$170.00 per custom residence
2. \$100.00 per production builder floor plan plus \$40.00 per lot for each re-submittal of approved plans.
3. \$50.00 per variance request.
4. \$500.00 per subdivision review; including plat map, landscaping plan and CC&R's (Excluding the listed Declarant)

5. \$1000.00 per sub-association subdivision review; including, plat map, landscaping plan and CC&R's

If upon commencement of a subsequent review process, conditions placed in a prior review process have not been corrected, the DRC will charge an additional fee of \$170.00 per floor plan or custom residence.

## 2.9 Definitions

For the purposes of this document, the following definitions shall apply:

- **Should** -Compliance with a guideline using this term is important to the Architectural Review Committee, but MAY NOT be required.
- **Shall** -Compliance with a guideline using this term is MANDATED.
- **Allee** -A walk cutting through massed trees, or a formal procession of trees, originally in French seventeenth-century gardens.
- **Bosque** -A grove of trees, particularly a thickly planted block forming part of the "architecture" of a garden or place.
- **Clerestory** - A portion of an interior rising above nearby eaves and rooflines and having windows admitting daylight to the interior.
- **Stewardship** -The protection, management, care, and guardianship of a property.
- **Vernacular Architecture** -Architecture which reflects past indigenous (i.e., local "homegrown") building styles of the region, commonly composed of materials found in the region that are responsive to local climactic conditions.
- **Discouraged** -Not wanted and may not be approved.
- **Front Yard** - The area of the lot beginning at the back of the curb on any adjacent street or roadway to a distance to the rear most part of the residence from such street or roadway.

## SECTION III: COMMUNITY DESIGN FRAMEWORK

### 3.1 Preface

The purpose of this section is to: (1) establish a community design vision, which will “drive” the physical design of SilverLake by developing design themes consistent with the preservation of the natural environment and heritage of “rural” and “small town” Utah County, and (2) establish design principles which support the community design vision through the use of innovative and imaginative architecture, landscape architecture and site planning techniques.

### 3.2 Community Design Vision

SilverLake is intended to be a “Town and Country” styled community which is governed by the developer’s desire to: (1) preserve environmentally sensitive natural features; (2) preserve the scenic quality of the area; (3) promote and enhance recreation opportunities for future residents; and (4) preserve topographic features that are community land marks. The community design vision is a prelude to specific design guidelines and image-enhancement components including the Landscape Architecture Concept (see figure 12).

### 3.3 The Natural Environment Theme

**Premise:** *SilverLake can be likened to a tapestry of unique natural features characterized by rolling juniper covered hills, riparian corridors, sage flats and diverse plant and animal species. Nature, rather than being vanquished or dominated, must be treated as an ally and friend, whose ways must be understood, and whose council must be respected.*

**Stewardship** -Stewardship pertains to a commitment to preserve and care for our natural resources and to establish and maintain a harmonious relationship with the land. Silver Lake has been studied to identify the tolerances and intolerances of the various ecosystems within the different planning areas and how they may support future development. In essence, this method consisted of identifying the various natural conditions and resources on SilverLake and ranking them - the most valuable land and the least valuable land, the most sensitive plant materials and the least, the steepest grades and those appropriate for development, and so on. The question is, where will development least likely alter significant natural features and processes?

#### 3.3.1 Design Statement:

- A. Development shall be orchestrated to preserve elements of natural beauty so the public might participate in the natural environment with minimum damage or obstruction.
- B. The existing topography of the site shall be a framework on which to design the built environment. Land use patterns

shall respect and complement the form of the topography.

- C. The character of the natural landscape must be incorporated into the design of the built environment whenever possible.
- D. Areas which are environmentally sensitive and important to the survival of the existing ecosystems should be protected from encroachment or inappropriate use.
- E. Certain areas (e.g., steep topographic features, drainage swales) are intolerant of development and should be left in their natural state.

### 3.4 The Agrarian Theme

**Premise:** SilverLake and Utah County contain a rich history of agricultural uses. The site was traditionally used for dry farming and still displays agrarian-oriented patterns on the land. The agricultural heritage of SilverLake, rather than being ignored, must be preserved, enhanced, and promoted in new ways to respect the legacy of the western agrarian society.

#### 3.4.1 Design Manifesto:

- A. SilverLake shall reflect the western image of an agriculturally-oriented environment sensitive to indigenous, vernacular architecture and landscape patterns.
- B. Vernacular building materials such as clapboard, wood, stone, board and baton siding, and other vernacular architectural components shall be encouraged. These materials reflect architectural images rooted in the heritage of rural Utah and can be found throughout older, traditional neighborhoods along the Wasatch Front.

### 3.5 The "SilverLake" Concept

SilverLake is separated conceptually from other properties using conventional development patterns by the establishment of enclaves, each of which is a Subdivision unto itself. These individual sub areas (see figure 1) exhibit special characteristics which are unique in terms of physical attributes, identity, and image. Each enclave is discreet, identifiable, and manageable in terms of development capacity, and is typically defined by open space elements, recreation features, and/or streetscape elements. An enclave or Subdivision can be designed to accommodate a similar (conventional, single family detached) or deliberately diversified (Village Core) mix of land uses. Neighborhoods are sub-units of enclaves/Subdivision and are typically synonymous with tract increments.

The Village Cores will serve as nuclei to neighborhoods within the planning area and are designed to provide community-wide identity. The Village Cores, with their mix of commercial, residential, entertainment, and social functions, provide a unique counterpoint to single family detached residential neighborhoods. The Village Cores will serve not only the commercial needs of the community, but are designed as the cultural hubs and the psychological center of the planning area. As a hub, people will be attracted to



the Village Cores for the mixture of commercial, cultural, and entertainment amenities as well as for the higher intensity residential uses. Through the imaginative combination of architecture, public open space, facilities, and human activity, the Village Cores will be exciting environments.

In summary, SilverLake will be a premier master-planned community which is intended to reflect and enhance the natural, historical and built environments. A variety of housing types combined with a network of traditionally styled streets and strategically located neighborhood open spaces will allow a series of small communities to be established within the overall SilverLake master plan.

### 3.5.1 Overall Community Concept

Important components of the community design concept include the following:

#### A. Residential Neighborhoods

Residential neighborhoods are defined as a component of individual Subdivision enclaves. One subdivision enclave may be composed of a group of neighborhoods defined by clearly recognizable edges. Neighborhood boundaries may be defined by planted gateways and/or with walls/fencing that enhances the sense of architectural and community identity.

#### B. Village Cores

Several commercial and/or higher density Village Cores will be developed within SilverLake. These Village Cores are anticipated to serve the commercial needs of community residents, workers, visitors, and patrons. Each Core will offer a wide variety of goods and services. The Village Cores shall be configured to project a traditional "Main Street" image with building massing located adjacent to the street wherever possible. On-site parking shall be located to the rear or side of the building or lot.

#### C. Open Space

Open space features consist of public parks, pedestrian paths, hiking trails, community and neighborhood entries, an amphitheatre, and "vest pocket" parks (mostly defined by adjacent streets). Many of these community open spaces will function as semi-private neighborhood focal points where residents can gather and recreate. Open space within the Village Cores will consist of more formal spaces such as courtyards, plazas, and public squares.

#### D. Community Roadways

Individual subdivisions and neighborhood enclaves, will be accessed via a hierarchical road network. The landscaping along these roadways will incorporate zoned irrigation, native plant materials, and naturalized plantings. These roadways are considered windows into the community and, as such, shall be designed to provide view corridors out to the mountains and to views of Utah Lake. These roadways shall be designed to accommodate off-street pedestrian trails.

**E. Trails System**

SilverLake shall offer a variety of off-street trails providing links between residential neighborhoods and community amenities. Along the roadways, the trail system is designed to separate pedestrians and bicyclists from vehicular traffic through the use of pathways detached from the curb. Residential neighborhoods will be connected to the trail network through the neighborhood parks and open spaces and through less-traveled local streets.

**F. Neighborhood Parks**

Neighborhood parks will vary in size and in amenities. The overall intent is to create parks that are both aesthetically pleasing and functional. Active-use amenities associated with neighborhood parks may consist of recreational uses including formally laid out ball fields and grassy, "free-form" areas for informal sports and/or gatherings. Passive-use amenities may include shaded picnic areas with covered arbors, pergolas or gazebos.

**G. Community Amphitheatre**

The amphitheatre will be a city-wide facility available to anyone residing in the City. The amphitheatre may include amenities such as a stage, seating, lawn seating, playground, restroom facilities and indoor reception area.

**H. Community and Neighborhood Entry Monumentation**

Entry features are designed to welcome residents and visitors to the community, identify SilverLake as a special place, and promote a common design theme from subdivision to subdivision. Community and neighborhood entrance monumentation shall be characterized by a natural setting following the Pony Express theme, and punctuated by stone entrance markers (see Section VIII: *Community Design Elements* for a detailed description of entrance monumentation features).

# PART TWO:

DESIGN  
GUIDELINE  
COMPONENTS

## **SECTION IV: CIRCULATION GUIDELINES**

### **4.1 Preface**

The circulation concept for SilverLake is based on a hierarchy of roadways and pedestrian paths, that provide access throughout SilverLake and surrounding community. A backbone system of arterial roads consists of Pony Express Parkway and the Silver Lake Parkway. The hierarchy of streets creates order and provides a transition from transportation efficiency to calm, walkable neighborhoods. In addition to street hierarchy, sidewalks, and recreation trails are also outlined below.

### **4.2 General Circulation Design Parameters**

4.2.1 The circulation system shall respond to topography, land use, and environmental constraints. On relatively flat terrain, grid or modified grid-oriented street patterns should be employed, sympathetic to traditional neighborhood design (TND) planning patterns.

4.2.2 Long straight streets shall be avoided.

4.2.3 Streets and pathways should lead directly to visual anchors and/or focal points. This is a key urban design tenet that creates a special "sense of place" and helps people orient themselves within neighborhoods.

4.2.4 Direct connections shall be provided to public-oriented features (amphitheatre, Village Cores) eliminating intrusion of very public-oriented traffic into residential enclaves.

4.2.5 Circulation features shall be designed to direct individuals to entrances to and/or exits from the Village Cores and individual subdivisions. The entry/exit function is a critical means of defining a sequence of movement and creating a sense of "arrival" and "passage" through SilverLake.

4.2.6 Pony Express Parkway and SilverLake Parkway shall be designed as the primary arterial roads within SilverLake providing access to each individual subdivision.

### **4.3 Roadway Hierarchy**

The circulation system for SilverLake will consist of roads and streets of various sizes, as well as recreation trails intended for pedestrians and bicyclists. The overall intent is to accommodate many traditional and alternative forms of movement within and through the community.

#### **4.3.1 Vehicular Circulation System**

The vehicular circulation system will be hierarchical with three general levels: (1) arterial(s); (2) community collectors; (3) local streets. All roads and streets shall

be built to a minimum paved travel width. However, special provisions will be made for commercial and private streets within the Village Cores (note: all dimensions for roadways are to back of curb).

#### **4.4 Pedestrian Circulation**

Pedestrian circulation within SilverLake will include sidewalks and recreation trails.

##### **4.4.1 Sidewalks**

Public residential roads and streets will have at a minimum four foot sidewalk on at least one side; most will have sidewalks on both sides. To promote a sense of safety and encourage walking, sidewalks shall be separated from the automobile travel lanes by a landscaped park-strip.

##### **4.4.2 Recreational Trails**

The rugged beauty of the natural open space to be retained at SilverLake will be accessible to residents by a system of 6-8 foot recreational trails for hiking, running, or biking. These trails will be composed primarily of asphalt or equivalent and will be designed to reinforce the rustic character of the community. They will require a minimum of maintenance.

## **SECTION V: SITE PLANNING GUIDELINES**

### **5.1 Preface**

The following site planning guidelines are intended as a reference to assist the designer in understanding The Developer's goals and objectives for high quality development. The guidelines complement the mandated development regulations contained in the Eagle Mountain City Development Code by providing examples of potential design solutions and interpretations of the various mandatory regulations.

The design guidelines are general in nature and may be interpreted with some flexibility in their application to specific planning areas. The guidelines will be utilized during The Developer's design review process (see Section II: *General Provisions*) to encourage the highest level of design quality while at the same time providing the flexibility necessary to encourage creativity on the part of project designers.

The Site Planning guidelines are formatted into two general categories: Single-Family Residential and Multi-Family Residential.

## 5.2 Residential Site Planning Guidelines

### 5.2.1 Single Family Detached

An important goal of the single family detached site planning guidelines is to create functional and visual variety along local streets. It is the intent of these guidelines to discourage subdivisions where identical homes march down long, uninterrupted, straight streets, with no variation in building placement, building elevation, or street scene.

All single family detached subdivision plans shall be evaluated using the guidelines contained in this section with emphasis on the following criteria:

- Proportional mix and placement of home “products”.
- Placement of the dwelling unit on the lot.
- Placement and orientation of garages.
- Preservation of ridgelines.
- Preservation of views.
- Preservation of natural features (e.g., riparian corridors, rock outcroppings).
- Treatment of drainage courses.
- Treatment of walls and fences.

#### A. Varied Front Setbacks

Placement of dwellings and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when close to the street, also add enclosure, ultimately framing the streetscape.

#### B. Interruption of Straight Streets

On straight streets, landscaped medians, “knuckles”, and/or “eyebrows” with landscaped islands shall be introduced to limit the length of straight stretches. No more than twelve homes in a row should occur without a change in the orientation of the road center-line - e.g., curve, kink, or intersection.

#### C. Varied Lot Width and Side-yard Setbacks

Making some lots wider and some narrower than the average is encouraged. This also allows for the placement of different shapes and sizes of homes as well as variations in open space dimensions. On narrow lots, a variation of only two to four feet can make a perceptible

difference.

#### **D. Varied Garage Placement and Orientation**

Lot size should permit some garages to be side-loaded from the street in order to break up the monotony of all garage doors being placed parallel to the street.

Careful consideration shall be given to the location of garages and driveways at corners so that a side-load configuration does not cause conflicts with automobile traffic circulation at those corners. Placing the side-loaded garage on the interior of the corner lot is preferred.

Garage setbacks shall allow driveway parking that keeps the sidewalk clear of vehicles (25 feet minimum, 4 foot variance approved by the DRC and City of Eagle Mountain).

#### **E. Straight and Curved Streets**

Straight and relatively narrow streets are most efficient for achieving densities of four or more dwelling units per acre and can be used effectively to define and project a traditional neighborhood image. They should not be longer than 10-12 lots in a row or 650 to 700 feet long before the centerline of the street is interrupted. Other neighborhoods can promote a street system which responds to natural features and more rugged topographic conditions by utilizing curves.

### **5.2.2 Multi-Family Attached Site Planning**

Multi-family (stacked flats) and single-family attached (town-homes), and generally, all kinds of clustered housing, because of their higher densities, tend to generate large parking areas and a decrease in private open space. If not properly designed, parking facilities can dominate the site and open spaces may be relegated to left-over areas. Residential developments surrounded by high walls, parking lots, and rows of carports along public streets should be avoided. Perimeter parking lots are especially discouraged because parking areas provide a poor image of a neighborhood and often function as barriers between the neighborhood and the surrounding community. The guidelines that follow are intended to help mitigate the effects of these situations and to provide a pleasant residential environment within the context of higher density development.

#### **A. Building Articulation**

Long, unbroken facades and box-like forms should be avoided. Building footprints and facades should be broken-up to give the appearance of a collection of smaller structures. To the extent possible, each of the units should be individually recognizable. This can be accomplished with the use of balconies, setbacks, and projections, which articulate individual dwellings or collections of units, and by the pattern and rhythm of windows and doors. (See Section 6)

**B. Clustering of Units**

Clustering of multi-family and single-family attached buildings should be a consistent site planning standard. Structures composed of a "cluster" of simple yet varied planes insure variety in overall building form. The following design techniques should be considered and implemented whenever possible:

- Varied front setbacks within the same structure.
- Staggered and jogged unit planes within the same structure.
- Use of reverse building plans to add variety.
- Vary building orientations to avoid the monotony of "barracks like" site configurations.

**C. Project Entries**

Project entry areas provide the resident and visitor with an overview to the project. They should provide an open window into the project which highlights landscaping, recreational facilities, and project directories. Special attention should be given to hardscape and landscape treatments that enhance the overall project image at entries.

**D. Entry Drives**

The principal vehicular access into a multi-family/attached housing development should be through an entry *drive* rather than a *parking aisle*. An entry drive has no or very limited parking along it. Angled or parallel (street-side) parking is preferred. Colored, textured paving treatments at entry drives shall be encouraged.

**E. On-Site Parking and Drives**

In medium-high density developments, there are four means of accommodating parking: parking drives, parking courts, garages within residential buildings, and tandem parking in front of garages. Projects with either long, monotonous parking drives or large, undivided parking lots shall not be permitted. When cost considerations preclude parking within residential structures, dispersed parking courts are the desired alternative. Parking drives, when located on the periphery of a project, isolate the development from its surroundings. Unless existing adjacent uses are considered incompatible, the extent of perimeter parking drives should be minimized. Said parking drives are acceptable if they have mostly parallel parking along them. This makes the drive look like a typical street in a single family detached neighborhood rather than a parking lot. Parking areas should be visible from the residential units which use them, promoting surveillance.



**F. Carports**

Where carports and free-standing garages are utilized, they should follow the same criteria for spatial arrangement as parking courts. Carports may be incorporated into patio walls so as to define public and private open space. Incorporating carports into exterior project walls adjacent to streets is discouraged.

**G. Pedestrian Access From Parking**

Landscape projections (fingers) leading from parking areas to sidewalks should, whenever possible, align with major building entrances to provide pedestrian access to the building entrance from a parking court or drive. Projections that align with entrances should be at least 20 feet wide and should include a pathway as well as vertical landscape or architectural elements (e.g., trellis, tree bosque).

**H. Open Space**

Residents of multi-family/attached housing developments should have safe and efficient access to useable open space, whether public or private, for recreation and social activities. The design and orientation of these areas should take advantage of available sunlight and should be sheltered from the noise and traffic of adjacent streets or other incompatible uses. Required common open space should be conveniently located for the majority of units. Private open spaces should be contiguous to the units they serve and screened from public view. Multi-family developments should have open spaces and children's play areas that are visible from the units, promoting surveillance.

**I. Refuse Storage/Disposal**

Trash bins should be fully enclosed by decorative masonry walls. Enclosures should be softened with landscaping on their most visible sides. Recommended locations include parking courts or at the end of parking bays. Locations should be conveniently accessible for trash collection and maintenance. Automobile access drives should not be blocked during loading operations.

**J. Support Facilities**

Any support structures within multi-family residential neighborhoods such as laundry facilities, recreation buildings and/or sales/leasing centers, should be consistent in architectural design and form with the rest of the development.

**K. Mailboxes**

Where common mailbox services are provided, they should be located close to the project entry and/or near recreation facilities. The architectural character of the enclosure or covering of the "gang" boxes provided by the postal service should be similar in form, materials, and colors to the surrounding buildings. Mailbox locations shall be approved by the U.S. Postal Service.

**L. Security**

Multi-family neighborhoods should be designed to provide the maximum amount of security for residents and visitors. Parking areas should be well lit and located so as to be visible from residential units. Landscaping should be planned and maintained to provide views into open space areas.

## SECTION VI: ARCHITECTURE GUIDELINES

### 6.1 Statement of Intent

The Architectural Guidelines are intended to foster variation and identity within the context of vernacular building in Utah's Great Basin. The following guidelines itemize minimum standards for building components that shall be composed to complement regional architectural styles. Individual neighborhood or ranch design guidelines shall supersede these guidelines.

### 6.2 Architectural Style

The Architectural Guidelines do not prescribe selected architectural styles. The architectural styles proposed by the architects, builders and developers shall complement historic building in Utah.

Acceptable architectural styles (see Appendix 1) include, but are not limited to: Arts & Crafts, Colonial, National, Prairie, Shingle, Tudor, and Victorian.

It shall be understood that the intention of the Architectural Guidelines is not 'letter perfect' authenticity, but to establish a recognizable vocabulary for architecture at Silver Lake.

Scale, mass, proportion, articulation and detailing shall complement the architectural style of the building.

### 6.3 Statement of Architectural Style

#### 6.3.1 General Requirements

##### A. Height

Roofs shall be discouraged from rising above the ridgelines of surrounding terrain.

##### B. Foundation

A maximum of sixteen inches of exposed concrete foundation shall be permitted on lower slopes. However, the Architectural Review Committee, at their sole discretion, reserves the right to waive this requirement in Entry Level Neighborhoods only.

A maximum of 20 inches of exposed concrete foundation shall be permitted at a side elevation where grade slopes along the building. The Architectural Review Committee has the right to waive this requirement at its sole discretion.

Concrete or concrete masonry units used as foundations shall be plastered to conceal joints, form marks, voids and other irregularities. (See Figure 7.A, 7.B)

**C. Decks**

Decks shall be integral to the architecture of the building through location and column and railing details.

Covered decks shall have roof forms complementary to the building.

Supporting posts shall be a minimum of six inches by six inches on entry level, move up and semi-custom homes, and shall be eight inches by eight inches or greater on custom and estate homes.

Exposed wood shall be painted or stained.

Pre-manufactured plastic or PVC deck railings are approved and may be used in Entry Level, First-time Move-up, Second-time Move Up, Single Family Attached, and Multi-family neighborhoods only. DRC approval is required for use of this type of railing in Semi-Custom, Custom or Estate neighborhoods. (See Figure 7.C)

**D. Windows**

Windows shall be designed to be architecturally compatible with the home. However, the Architectural Review Committee, at their sole discretion, reserves the right to review the window size and placement based on architectural design and level of housing as outlined in these Design Guidelines.

Metal windows shall be painted.

Skylights shall be flat rather than bubbled. (See Figure 7.D)

**E. Colors**

All colors to be approved by the Design Review Committee.

White to be used as a trim color only.

Garage door color shall complement the body color.

Trim, soffit, gutter and downspout colors shall match.

**F. Materials**

Minimum percentages of a cladding material (stone, brick, stucco or siding) may be required.

Materials shall be consistently applied and harmonize with adjacent materials.

Frequent changes of material shall be prohibited.

Material changes shall occur only at inside corners and stone or face brick shall wrap around outside corners a minimum of two (2) feet, in first move-up and above.

Trim bands may be required to be consistent for all elevations. (See Figure 7.F, 7.G and 7.H)

Reflective materials and finishes shall be prohibited.

**Siding:**

- Siding dimensions from the front elevation shall be consistent for all elevations.
- A minimum of four inch trim at window heads and four inch trim at window jambs and sills shall be required.
- A minimum of four inch trim shall be required beneath soffit at rake conditions.
- A minimum of four inch corner boards shall be required on both planes at all outside corners.
- When wood or composition siding is used, a skirt board of eight inches (minimum) shall be required at the base of bays and in locations where siding meets foundation.
- Unarticulated four foot by eight foot butt-jointed sheets of any material shall be prohibited as a cladding material.
- The maximum width of siding shall be eight inches.
- All doors, with the exception of garage doors, shall be trimmed to match window and other openings.

**Stucco:**

Openings at stucco elevations shall have one of the following:

- Trim at all four sides.
- All openings shall have head, jamb and sill treatments to delineate the fenestration.
- Header or sill detail.

(See Figure 7.E)

**G. Solar Panels**

Solar panels shall be integrated into the roof design and consistent with the roof slope.

Frames shall be colored to match the roof.

All associated mechanical equipment shall be screened from view.

## 6.4 Single-Family Detached

### 6.4.1 General Requirements (see Section 6.4.2 for Specific Requirements)

#### 6.4.1.1 Concept

The architecture for SilverLake will express the diversity of regional building. Single family detached dwellings may be interpretations of a vernacular Utah house.

#### 6.4.1.2 Intent

These design guidelines are intended to produce diverse yet compatible groups of houses that should present elevations of equal design quality on all sides.

#### 6.4.1.3 Design Requirements (applicable to Entry Level, Zero Lot Line Entry Level, First-time Move-up, Second-time Move-up, Semi-Custom, Custom and Estate)

##### A. Elevation Articulation Ratio (see Appendix 2)

Houses shall adhere to the minimum EARs determined in Sections 6.4.2.2-6.4.2.6. EAR calculations shall be submitted by the builder with plan submittals.

##### B. Elevations

If a plan is repeated, a minimum of three elevation schemes shall be developed, at least one of which shall be designed with porches.

Each elevation of a house should have one window per floor per elevation as a minimum requirement. (see Sections 6.4.2.2-6.4.2.6 for requirements at corner lots or open space)

##### C. Roofs

Roofs shall have a minimum pitch of 6/12 or better. Waivers to this guideline for Semi-Custom, Custom and Estate houses shall be subject to approval by the DRC.

Equipment such as antennas, satellite dishes, evaporative coolers and the like may not be mounted on any roof or chimney, unless approved by the Design Review Committee. Approval shall require an acceptable means of screening from view.

Gutters shall be required on all draining roof areas.

A minimum 12 inch eave overhang with boxed soffit shall be required. The Architectural Review Committee may, at its sole discretion, waive this requirement based upon the architectural theme of the home. (See Figure 8.A)

Mansard roofs shall be prohibited.

#### **D. Garages**

Prefabricated metal carports are prohibited.

No garage in any home shall be less than twenty feet in either direction, shall have not less than 400 square feet enclosed and shall have a garage door of not less than sixteen feet in width. The DRC may waive this requirement when the garage door opening is more than 24 feet.

Front loaded garage doors shall be set back a minimum of 24 feet from the back of the sidewalk, or curb where no sidewalk is present. (With DRC and City approval it may be 20 feet)

Garage doors shall have a maximum distance of two feet from the bottom of the garage door header to the top of the garage plate. (See Figure 8.C, D)

Front-loaded garage doors shall be recessed a minimum of eight inches from the face of the garage door wall.

Three-car garages shall have a minimum offset of two feet at one bay.

Side-loaded garages shall have a minimum combined window area of 30 square feet or more in the front elevation. Garage windows shall be compatible with the architecture of the house.

Side loaded garage doors shall be set back a minimum of 18 feet from the property line. The purpose of this requirement is to allow access in and out for 2 cars. The DRC may waive this requirement where circumstances allow easy access.

Sectional garage doors with decorative panels shall be required. (See Figure 8.E)

#### **E. Porches and Covered Entries**

All front porches shall be connected to the street sidewalk or front driveway with a concrete sidewalk not less than three (3) feet in width. Waivers to this requirement may be granted, by the Design Review Committee, where street sidewalk does not exist.

A covered entry is not a porch.

When a house has a porch, the following standards shall apply:

- Columns shall be six by six inches with a minimum porch column size of six inches cap and base, or decorative columns proportioned to fit the facade of the house shall be required.

Columns taller than nine feet shall have a minimum of eight inches by eight inches. The cap and base of this requirement may be waived if some other alternative, approved by the Design Review Committee, is used to enhance the appearance of the porch or columns. (See Figure 8.B)

- It is recommended that porch sizes shall be a minimum depth of five feet and a minimum area of 35 square feet.
- Porches for recessed garage designs shall have a width no less than 20% of the front elevation.
- Porches at flush or projecting garage designs shall have a width no less than 30% of the front elevation (not including side-loaded garages).
- Railings will be required when mandated by the applicable edition of the International Building Code. However, if, in the opinion of the Design Review Committee, a proposed home design is visually inadequate in terms of architectural expression, articulation or other design features, a railing or such other feature as may be agreed upon between the owner (or builder) and the Design Review Committee may be required.
- Exposed wood shall be painted or stained.
- Pre-manufactured plastic or PVC railings are allowed but may be used only on Entry Level, First-time Move-up, Second-time Move-up, Single Family Attached, and Multi Family neighborhoods only. DRC approval required to use this type of railing in Semi-Custom, Custom or Estate neighborhoods.

#### **6.4.1.4 Streetscape Requirements**

##### **A. Variety**

See figure 10 for the changes that can be made for the same house to be built next to another.

If a house plan is repeated, a minimum of three distinct color schemes and elevations shall be developed.

Houses sited on three adjacent lots (on the same side of the street) or directly across the street (sharing frontage) shall have different plans or elevations.

Houses sited on three adjacent lots (on the same side of the street) or directly across the street (sharing frontage) shall have different color schemes.



At least one house in a builder's selection shall be two stories. This guideline may be waived by the DRC pending review of the builder's statement of architectural intent.

Main roof ridge lines shall vary in orientation to the street (i.e., parallel or perpendicular to the street) at least once in every four adjacent lots.

A minimum of 1/3 of the houses on any group of nine adjacent lots shall have varying roof colors.

A variance request may be considered based upon the number of homes remaining to be built, topography, or other constraints. The DRC may grant variances at it's sole discretion.

**B. Porches**

A minimum of 1/4 of the houses in any Subdivision shall have usable front porches. No more than four homes in a row will be allowed without a front porch. Covered entries are not applicable towards this requirement.

**6.4.2 Specific Requirements**

**6.4.2.1 Single Family Detached Dwelling Requirements**

The houses at Silver Lake are represented by seven categories:

- Entry Level
- Zero Lot Line Entry Level
- First Time Move-up
- Second Time Move-up
- Semi-Custom
- Custom
- Estate

All houses shall adhere to the general (Section 6.3) and single family detached requirements (Section 6.4). Particular requirements for entry level, move-up, semi-custom, custom, and estate houses are addressed in Sections 6.4.2.2, 6.4.2.3, 6.4.2.4, 6.4.2.5, and 6.4.2.6 respectively.

Detached garages and "casitas" (free-standing, ancillary living quarters that typically include a bedroom, bath, eating, and/or studio/office areas) shall be considered part of the minimum main living area and total square footage requirement for a home as discussed hereafter.

**6.4.2.2.1 Entry Level Requirements**

- A. Houses shall have a minimum footprint of 900 square feet, of which 400 square feet may be garage. The minimum square footage of finished living space in an entry level home shall be no less than 900

square feet above ground.

- B. Houses shall have a minimum Elevation Articulation Ratio (EAR) of .10 for any elevation.
- C. The average EAR of a house, based on all four sides, shall be a minimum of .22.
- D. The minimum EAR shall be .30 for any elevation facing a street and/or improved or natural open space.
- E. Roofing materials shall be of architectural grade and have a minimum warranty of 25 years.
- F. Aluminum siding shall be prohibited.
- G. Log homes and log siding shall be prohibited.
- H. A minimum of six inch fascia is required.
- I. Each elevation shall have a minimum of at least 3 square feet of window area.

**6.4.2.3.2 Zero Lot Line Entry Level**

Houses shall comply with all the Entry-Level requirements except for the following:

- A. All front elevations to be full masonry with a minimum 30% rock or brick.
- B. Any elevation visible from a Community Collector or exterior local street must be full masonry material.
- C. All Zero Lot Line Entry Level Communities shall have a six foot privacy fence along the exterior of the project.
- C. EAR shall be .05 on interior side elevations.
- D. All common and private areas shall follow the landscaped requirements of Single Family Detached.

**6.4.2.3 Move-Up Requirements**

**6.4.2.3.1 First Time Move-Up**

- A. Houses shall have a minimum footprint of 1000 square feet, of which 400 square feet may be garage. The minimum square footage of finished living space for a First Time Move-up home shall be no less than 1000 square feet above ground.
- B. Houses shall have a minimum Elevation Articulation Ratio (EAR) of .18 for any elevation.

- C. The average EAR of a house, based on all four sides, shall be a minimum of .24.
- D. The minimum EAR shall be .30 for any elevation facing the street and/or improved or natural open spaces.
- E. Operable windows shall be of single-hung or casement design, with exceptions for windows at kitchen sinks, bathtubs, and showers. However, the Architectural Review Committee, at their sole discretion, reserves the right to waive this requirement based on architectural design and level of housing as outlined in these Design Guidelines.
- F. Aluminum siding shall be prohibited.
- G. Vinyl siding is allowed.
- H. 25% of the front elevation shall be brick or rock.
- I. Roofing material shall be of architectural grade and have a minimum warranty of 30 years.
- J. Log homes and log siding shall be prohibited.
- K. A minimum of six inch fascia shall be required.
- L. Each elevation shall have a minimum of at least 8 square feet of window area.

#### **6.4.2.3.2 Second Time Move-Up**

- A. Houses shall have a minimum footprint of 1000 square feet, of which 400 square feet may be garage. The minimum square footage of finished living space in a second time move-up home shall be no less than 1100 square feet above ground.
- B. Houses shall have a minimum Elevation Articulation Ratio (EAR) of .18 for any elevation.
- C. The average EAR of a house, based on all four sides, shall be a minimum of .24.
- D. The minimum EAR shall be .30 for any elevation facing the street and/or improved or natural open spaces.
- E. Operable windows shall be of single-hung or casement design, with exceptions for windows at kitchen sinks, bathtubs, and showers. However, the Architectural Review Committee, at their sole discretion, reserves the right to waive this requirement based on architectural design and level of housing as outlined in the Design Guidelines.
- F. 40% of the front elevation shall be brick or rock.
- G. Aluminum siding shall be prohibited.

- H. Vinyl siding shall be prohibited. Waivers to this guideline shall be subject to approval by the DRC.
- I. Roofing material shall be of architectural grade and have a minimum warranty of 30 years.
- J. Log homes and log siding shall be prohibited.
- K. A minimum of six inch fascia shall be required.
- L. Each elevation shall have a minimum of at least 8 square feet of window area.

#### **6.4.2.4 Semi-Custom Requirements**

- A. Houses shall have a minimum footprint of 1600 square feet, of which 400 square feet may be garage. The minimum square footage of finished living space for a semi-custom home shall be no less than 1600 square feet above ground.
- B. Houses shall have a minimum Elevation Articulation Ratio (EAR) of .22 for any elevation.
- C. The average EAR of a house, based on all four sides, shall be a minimum of .26.
- D. The minimum EAR shall be .32 for any elevation facing the street and/or facing improved or natural open space.
- E. Operable windows shall be of single-hung or casement design, with exceptions for windows at kitchen sinks, bathtubs, and showers. However, the Architectural Review Committee, at their sole discretion, reserves the right to waive this requirement based on architectural design and level of housing as outlined in the Design Guidelines.
- F. Metal windows shall be prohibited.
- G. Aluminum and vinyl siding shall be prohibited.
- H. 50% of the front elevation shall be brick or rock. 15% of each side elevation shall be brick or rock.
- I. Log homes and log siding shall be prohibited.
- J. Roofing material shall be of architectural grade and have a minimum warranty of 30 years.
- K. A minimum of eight inch fascia shall be required.
- L. Each elevation shall have a minimum of at least 16 square feet of window area.

#### **6.4.2.5 Custom Requirements**

- A. Houses shall be designed by a licensed architect.
- B. Houses shall have a minimum footprint of 2000 square feet, of which 600 square feet may be garage. The minimum square footage of finished living space in a custom home shall be no less than 2000 square feet above ground.
- C. Houses shall have a minimum Elevation Articulation Ratio (EAR) of .24 for any elevation.
- D. The average EAR of a house, based on all four sides, shall be a minimum of .28.
- E. The minimum EAR shall be .32 for any elevation facing the street and/or improved or natural open space.
- F. Operable windows shall be of single-hung or casement design, with exceptions for windows above kitchen sinks, bathtubs, and showers. However, the Architectural Review Committee, at their sole discretion, reserves the right to waive this requirement based on architectural design and level of housing as outlined in the Design Guidelines.
- G. Metal windows shall be prohibited.
- H. 75% of the front elevation shall be brick or rock. 15% of each side elevation and rear elevation shall be brick or rock.
- I. Aluminum and vinyl siding shall be prohibited.
- J. Log homes and log siding shall be prohibited.
- K. Roofing material shall be of architectural grade and have a minimum warranty of 30 architectural years.
- L. A minimum of eight inch fascia shall be required.
- M. Each elevation shall have a minimum of at least 30 square feet of window area.

#### **6.4.2.6 Estate Requirements**

- A. Houses shall be designed by a licensed architect.
- B. Houses shall have a minimum footprint of 2400 square feet, of which 800 square feet may be garage. The minimum square footage of finished living space in an estate home shall be 3000 square feet above ground.
- C. Houses shall have a minimum Elevation Articulation Ratio (EAR) of .26 for any elevation.
- D. The average EAR of a house, based on all four sides, shall be a minimum of .30.

- E. The minimum EAR shall be .34 for any elevation facing the street and/or improved or natural open space.
- F. Operable windows shall be of single-hung or casement design, with exceptions for windows at kitchen sinks, bathtubs and showers. However, the Architectural Review Committee, at their sole discretion, reserves the right to waive this requirement based on architectural design and level of housing as outlined in the Design Guidelines.
- G. Metal and vinyl windows are prohibited.
- H. Aluminum and vinyl siding shall be prohibited.
- I. 75% of the front elevation shall be brick or rock. 15% of each side and the rear elevation shall be brick or rock.
- J. Log homes and log siding shall be prohibited. Waivers to this guideline shall be subject to approval by the DRC.
- K. Asphalt roofing shall be prohibited. However, High Resolution asphalt shingles or better may be used at the sole discretion of the DRC.
- L. Roofing material shall have a minimum warranty of 30 years.
- M. A minimum of eight inch fascia is required.
- N. Each elevation shall have a minimum of at least 60 square feet of window area.

## **6.5 Single-Family Attached**

### **6.5.1 General Requirements (see Section 6.5.2 for Specific Requirements)**

#### **6.5.1.1 Concept**

The architecture for SilverLake will express the diversity of regional building. Single family attached buildings, such as town-homes and duplexes, shall be built to be perceived as a large customized house or an articulated row house.

#### **6.5.1.2 Design Requirements**

**A.** All buildings shall be designed by a licensed architect.

#### **B. Building Massing**

The buildings shall be of human scale so as not to overwhelm or dominate their surroundings.

Building elevations shall not be symmetrical. (See Figure 8.F)

#### **C. Entries**

The primary entry shall be visible and accessible from the street.

**D. Garages**

Garages are encouraged to have a single-story appearance at the front of the building to provide a stepped-back architectural transition for two story structures.

Garage frontage shall not comprise more than ½ of the street elevation.

Front-loading garage doors shall be recessed a minimum of eight inches from the face of the garage door wall.

Sectional garage doors with decorative panels shall be required.

**E. Roofs**

Hipped and gabled roof forms shall be encouraged.

Flat and mansard roofs shall be prohibited.

**F. Mechanical Equipment**

Roof mounted mechanical equipment shall be prohibited.

Equipment mounted to the ground shall be screened.  
Equipment mounted to the structure shall be architecturally screened.

All architectural screening devices shall be compatible in terms of materials, color, shape, and size, and shall blend with the building design.

**G. Ancillary Structures**

Ancillary buildings shall be architecturally compatible with the main structure.

**6.5.1.3 Streetscape Requirements**

- A. All buildings are encouraged not have more than one flush garage unit, to add diversity.
- B. If a porch is present, it shall have a width no less than 30% of the front elevation. (See Figure 9.C)

**6.5.2 Specific Requirements**

**6.5.2.1 Elevation Articulation Ratio (EAR) Requirements**

- A. Buildings shall have a minimum EAR of .20 for any elevation.
- B. The average EAR of a building, based on all four sides, shall be a minimum of .24.
- C. The minimum EAR shall be .30 for any elevation facing street or open

space.

#### 6.5.2.2 Minimum Area Requirement

Each dwelling shall have a minimum main level living area of 600 square feet. Total floor area for move-up dwellings shall not be less than 1250 square feet, nor less than 1750 square feet for semi-custom dwellings.

### 6.6 Multi-Family Attached Guidelines

#### 6.6.1 General Requirements

##### 6.6.1.1 Concept

The architecture for SilverLake will celebrate the diversity of regional building. Multi-family attached buildings (stacked flats, for sale and for rent) shall maintain architectural compatibility with the surrounding neighborhood. (See Figure 8.G)

##### 6.6.1.2 Intent

The design guidelines are intended to insure that the height and bulk of higher density projects do not negatively impact nearby lower density residential areas.

##### 6.6.1.3 Design Requirements

A. All buildings shall be designed by a licensed architect.

##### B. Building Massing

Unbroken planes shall not continue more than 25 feet without articulation. (See Figure 8.H – acceptable, Figures 9.A and 9.B – unacceptable)

Large projects shall be split into groups of structures.

##### C. Materials

Materials shall be durable and require low maintenance. Use of masonry materials consisting of rock, stucco or brick for at least 75% of the exterior of family structures and clubhouse shall be required.

##### D. Entries

Access points to units shall be clustered in groups of four or less; balconies and corridors that service five or more dwellings shall be prohibited.

The primary entry shall be visible and accessible from the street.

Secondary and shared entries shall be plainly visible and accessible from nearby parking areas.



The use of architectural elements to denote entrances shall be required.

**E. Exterior Stairs**

Stairs shall be integrated with the architecture of the building. They shall not protrude outward from the plane of any particular elevation. Open-riser metal stairs shall be prohibited.

**F. Balconies and Patios**

Balconies and patios shall be required to break up large wall areas. (See Figure 9.C)

**G. Roofs**

Hipped and gabled roof forms shall be required. Flat roofs are discouraged. Mansard roofs shall be prohibited.

**H. Gutters and Downspouts**

Gutters and downspouts shall be concealed unless designed as a continuous architectural feature.

**I. Mechanical Equipment**

Roof mounted mechanical equipment shall be prohibited. Equipment mounted to the ground shall be screened. Equipment mounted to the structure shall be architecturally screened.

All architectural screening devices shall be compatible in terms of materials, color, shape, and size, and shall blend with the building design.

**J. Antennae and Satellite Dishes**

Antennae shall be prohibited. Satellite dishes shall be prohibited on roofs. Satellite dishes shall be screened.

**K. Ancillary Structures**

Ancillary buildings (carports, etc.) shall be architecturally compatible with the main structure as deemed by the Design Review Committee.

Prefabricated metal carports shall be prohibited.

Front-loaded garage doors shall be recessed a minimum of eight inches from the face of the garage door wall.

Sectional garage doors with decorative panels shall be required.

Covered parking structures exposed to view from the street or open space may be built to be perceived as a walled building.

Covered building structures shall be limited to a maximum of sixteen cars.

Covered parking structures shall have posts or columns proportioned to the roof.

**L. Sheds**

A 5 ft. public utility easement (PUE) exists on all sides of every lot. Any structure constructed within this PUE is subject to removal if the city needs access for utility repair or installation. The builder will be required to sign a letter of acknowledgement and waiver stating that you, the builder understands that the city is not responsible to replace or repair any structure in the PUE.

Sheds can have a minimum 1 ft setback from the property line but can be no higher than 16" above a 6' privacy fence, (if fencing exists), and be architecturally compatible with the home. All plans shall be submitted to the DRC for approval.

Any shed within the PUE must be portable (i.e. wood floors attached to shed) etc. Concrete pads are not considered portable.

No water run-off shall go onto the neighboring lot.

Any building larger than 120 sq. ft. requires a building permit.

Metal sheds are prohibited.

#### **6.6.1.4 Streetscape Requirement**

Buildings shall be easily distinguishable from one another.

## SECTION VII:

### LANDSCAPE ARCHITECTURE GUIDELINES

#### 7.1 Preface

The primary objective of the Landscape Architecture Guidelines section is to promote a pleasing and unified environment within SilverLake. The inspiration for the landscape concept is derived from indigenous Utah landscapes.

#### 7.2 A Traditional Utah Great Basin Landscape

Landscape architecture for SilverLake will create an environment that evokes the rural Utah landscape tradition. This landscape emphasizes rustic landscape qualities and reflects the Utah agricultural tradition. Two distinct landscape zones have been created which exemplify the essence of the Utah landscape tradition.

##### 7.2.1 The Native Landscape

The native landscape will occur in designated open space areas. It will consist of native plant materials retained in their native condition and will be the largest landscape area within SilverLake. No water other than natural rainfall and snow runoff will be applied to these open space areas. Efforts shall be made to minimize disturbance of these areas from adjacent roadways and development parcels. (See Figure 9.D)

##### 7.2.2 The Agrarian Landscape

At SilverLake, a natural landscape will be created in areas which, because of their visual prominence or intense use, are important elements in the community. These areas shall include the Village Cores, parks, squares, commons, recreation facilities, entry gateways, and edges of major public roads. Plant material to be used in these areas may include various trees, perennials, and shrubs to create natural boundaries that define areas. (see Figure 6)

#### 7.3 Conserving Resources

In addition to the overall idea of utilizing traditional Utah agricultural elements, the landscape concept incorporates several important ideas that are essential to the long term viability of the landscape. First, landscape development will be efficient. That is, it will concentrate resources in those areas receiving the most intense human use, such as parks and recreation facilities. Areas intended primarily for passive or visual amenity will require fewer resources. Second, landscape areas will be designed with the objective of reducing long-term water use. Maintenance standards will be directed to gradually weaning plants from watering as they mature, so that water use can be significantly reduced over the long-run. Third, the landscape will be designed to minimize long-term maintenance for the majority of landscaped areas. This will be achieved by limiting areas of highly irrigated turf, clipped hedges, and ornamentals to select places where they can be emphasized.

The landscape architecture concept for Basin may use native plants used in groupings

similar to those seen in nature which will visually integrate the community into the surrounding terrain.

#### **7.4 General Landscape Architecture Principles**

Native grasses seen frequently in the prairies of Utah shall be used in conjunction with a limited amount of irrigated turf, which will provide green highlights. Xeriscape principles should be used throughout SilverLake to promote self-sustaining landscape zones.

##### **7.4.1 Functional Considerations**

The following should be considered by the landscape architect when preparing site designs within SilverLake and be consistent with the natural and agrarian vegetation seen in the Utah Great Basin:

- Solar orientation of exterior areas.
- Separation of functional uses and creation of exterior spaces such as courtyards, squares, and plazas.
- Clear identification and separation of vehicular and pedestrian traffic; maintaining required sight distances. (see Figure7)
- Reinforcement of the circulation system with plantings. (see Figure 8)
- Climactic mitigation of pedestrian spaces and corridors (e.g., wind-row plantings for warming in the winter; canopy tree sun protection in the summer).
- Shelters from traffic noise and hazards.
- Maximizing long-term ease of maintenance and optimizing water conservation.
- Compatibility with size and type of existing planting on-site or adjacent to the site.

##### **7.4.2 Aesthetic Considerations**

- Utah theme featuring indigenous native plant materials.
- Creating a central landscape focus (e.g., central courtyard, plaza, square) within the Village Cores in the heart of The SilverLake planning area.
- Enriched entry areas and visitor parking.
- Consideration of sculpture, public art, unique plantings, and water features.
- Special lighting in public open spaces.
- Use of color in the landscape.

## 7.5 Landscape Criteria for Development Edges

Three edge zones have been identified in order to preserve privacy and provide for integration of SilverLake into the Great Basin landscape. A graduated transition into residential, commercial, and business park plantings should be made at these edges where drought tolerant and irrigated landscape zones come together.

## 7.6 Landscape Guidelines for Residential Neighborhoods

Front and rear yard landscaping shall be in accordance with the CC&R's of each development. All residential parcels are required to have a basic landscape package, including front yard landscaping, to be installed by the owner and/or builder. This landscape will define the edges of neighborhoods, the streetscapes within them, and become the base planting for the overall development parcel. All Builders are required to provide front yard landscapes for all entry level, move-up, second time move-up and semi-custom residences to insure a quality streetscape. The front yard of a lot is defined as the area of the lot beginning at the back of the curb on any adjacent street or roadway to a distance at least to the rear most part of the residence from such street or roadway. Xeriscape principles, including semi-irrigated "native" turf and drip irrigation shall be utilized where practical. In single-family detached neighborhoods, a list of appropriate plant materials (see Table - 1) shall be provided for the use of homeowners so they may install additional plantings that are complementary to those installed by the developer or builder in common landscaped areas. (see Figure 10) Design components established for the entire community, such as neighborhood signage, should be incorporated accordingly.

### 7.6.1 Residential Landscape Requirements

Landscaping, executed in strict accordance with a previously approved landscape plan, shall be completed no later than the date of occupancy, or no later than thirty calendar days following the completion of construction of any dwelling on any lot, if it is not occupied. If completion of construction or occupancy occurs during winter months, landscaping must be completed by the first of the month of June next to occur. All front yards and, in some cases, other areas (see Section 8.03) shall be landscaped in accordance with plans approved by the Design Review Committee and thereafter carefully maintained. All lots shall be kept free from any plant materials infected with noxious insects or plant diseases which in the opinion of the Design Review Committee are likely to spread to other property, and all lots shall be kept free from weeds. The provisions of this section apply to all dwellings built on any lot whether sold or not. The builder or such other original property owner will be held responsible for the completion of landscaping within the time limit specified herein. Violation of the requirements specified herein will be subject to a fine of Fifty Dollars (\$50.00) per calendar day, calculated from the due date of completion, as specified herein, to the actual date of completion.

- A. For entry level, move-up, and semi-custom residences, production builders are required to provide a front yard landscape and shall submit a typical landscape plan for review (See Section II: General Provisions). Said landscape plans should include a minimum of sod, two trees of a minimum 1 ½ inch caliper (evergreens of a minimum 4 feet in height), eight shrubs of two gallon size, and a full automatic sprinkling system.
- C. Lots greater than 10,000 square feet but less than 20,000

square feet shall have one (1) additional tree. Lots greater than 20,000 square feet shall have two (2) additional trees. These trees shall be 2" caliper or greater, or be an evergreen at least 5' tall.

- D. Front lawns may have a maximum turf coverage of 80 percent. Corner lots may have up to 75 percent turf coverage. Drought tolerant turf grass species such as improved fescues or buffalo grass are strongly encouraged. Turf shall not be installed up to the foundation of the home.
- F. No marble chips, volcanic rock, or high contrast stone patterns (e.g., black, white, red) shall be used. Open areas not covered with plants shall be covered with wood or rock mulch.
- G. Corner lot sightlines shall not have any plant material exceeding 30 inches in height at mature growth.
- H. The developer, builder, or homeowner shall select plant materials from the approved plant list (see Table - 1).
- I. Automatic sprinkler systems for lawns and beds shall be required.
- J. Rear yards facing public roads, shall be fenced with approved privacy fencing, or landscaped within 180 days from occupancy. Homes completed or occupied June thru January will have until the following June to have rear yard fenced or landscaped.
- K. The addition of soil amendments to existing soil is recommended. A typical specification for soil amendments includes three (3) cubic yards of amendment per 1,000 square feet of area. Typical ratios are one-third of the total mix for each of the elements listed above. Builders and owners should contact local nurseries for specific recommendations. A site specific horticultural solids test can also provide specific soils information.

## **SECTION VIII: COMMUNITY DESIGN ELEMENTS**

### **8.1 Preface**

The Community Design Elements section establishes a framework for consistency of design between the various subdivision enclaves. A palette of image enhancement features which include entry gateway monumentation, neighborhood identification, wall/fencing, lighting, and signage has been established.

### **8.2 Project Entry Monumentation**

The main entrance to SilverLake will have monumentation consistent with the Pony Express theme. Elements such as rock features, water features, statues, lighting features, trees and perennials may be incorporated. All elements will be in natural or earth toned colors, consistent with the native landscaping in the area.

#### **8.2.2 Subdivision Entrance Monumentation**

Subdivision entrance monumentation is located where major circulation features such SilverLake Parkway intersecting with community collectors. The monuments will be consistent with the Pony Express theme. The subdivision entrance monuments may contain rock features, water features and various trees and vegetation. (See Figure 12)

#### **8.2.3 Project Entries Objectives:**

- Entries to SilverLake shall be special accent points that set the theme and character of the community.
- The scale, form, color, typeface, and materials of signage shall be consistent and keep with the character of the community.
- Whenever possible, directional signs shall be designed in such a manner as to provide information in a symbolic versus verbal format.
- All entry monumentation signage shall conform to the prototypes contained in this section.

### 8.3 Directional and Informational Signage

#### 8.3.1 General

1. All signs shall be professionally manufactured.
2. All sign designs shall be approved by the Design Review Committee prior to display and comply with the Eagle Mountain City sign ordinance.
3. All signs designs and script shall approved by the DRC before they are installed.
4. All signs for model homes shall be of a uniform style and size.
5. Balloons are allowed for special promotions, but shall be approved by the Design Review Committee before use.
6. Signs posted SilverLake or City property, such as streetlights, telephone poles, road signs, and etc. are strictly prohibited.
7. Signs shall not be placed on another person's property including SilverLake L.C.. or Eagle Mountain City rights of way without DRC & owners approval.
8. All signs on lots shall be placed a minimum of one foot behind the sidewalk.
9. Exception to #7
  - During foundation constructions, before backfill, signs may be placed in park strips. It is recommended that they be placed over the water meter to help protect it.
  - Directional signs to model homes, which are approved by the DRC.
  - Signs which name a subdivision and/or the builder at the subdivision locations or entrance.
10. Signs greater that 6 ft. wide x 4 ft. high shall not be placed on any residential lot.
11. All signs greater than 32 square feet shall be mounted on two 4x4 posts as shown in the CC&R's and Design Guidelines.
12. All signs not mentioned, in this policy shall be approved by the Design Review Committee before installation.
13. Commercial Property signage shall be reviewed on a case by case basis.

#### 8.3.1 Street Signs

Street signs shall be of same material and design throughout the Silver Lake development.



**8.3.2 Directional Signs**

Signs used for the purpose of directing traffic to Model Homes.

1. Directional signs are allowed only for model homes, and are approved by the Design Review Committee. All Model Homes must meet the following requirements:
  - Not for Sale
  - Furnished & Landscaped
  - Manned
  - Hours Posted
2. Must be submitted for approval for location and appearance.
3. A-frame style signs shall not be used as directional signs except for open-house (weekends only) or approved by the DRC.

**8.3.3 Yard Signs**

Yard signs can be no higher than three feet and no larger in size than 7 square feet (2.5 x 3) and must be approved by the DRC.

**8.3.4 Model Home Signs** (used at Model Home site and only for Model Homes that meet the above criteria)

1. All model home signs shall be of uniform size, design and color, and include Developers or Associates logo.
2. The builder may use their own colors and designs within the uniform frame.
3. One sign per model location.
4. Banners are only a promotional item and shall be submitted for approval from HOA. Only allowed 60 days.
5. A minimum of 3 flags and maximum of 6 flags are required at Model Home location.
  - Flagpole shall be 20 ft. to the top of the pole.
  - Flag colors shall match Model Home sign colors.
  - Flag size: 8 sq. ft. maximum.

**8.3.5 For Sale Signs**

1. All signs shall be the same size, 18" x 24"
2. One foot behind the sidewalk.
3. A maximum of two signs per lot. (Builder/Banker/Realtor etc.)
4. Spec and resale signs are allowed

**8.3.6 Open House Signs** (Applies to anyone using Open House Signs)

1. Allowed on weekends only, from Friday 6pm to Monday 10 am.
2. Shall not exceed 6 sq. ft. in size.

3. Will be impounded outside the approved times.
4. This policy on open house signage may be changed.

**Warning:** Signs that do not meet this policy or are not approved by the DRC can be impounded with a \$5.00 per sign release fee. A deposit of \$50.00 may be required.

#### 8.4 Fencing

Perimeter and open space fencing shall be constructed by individual developers and builders whose projects abut common open space features, parks, recreation amenities, and major streets. This fencing and its locations will be shown on the landscape plan for each neighborhood. Interior lot line fencing shall be installed by individual home owners and/or builders.

- All fencing must be approved prior to installation
- Fencing consist of four different types:
  1. Interior privacy fencing
    - A. Wood
    - B. Vinyl
  2. Open space /Public roads 2 rail fencing
  3. SilverLake Parkway fencing.
- Optional Mow strip is allowed.
- An illustration of each of these fences is included in these guidelines.
- Privacy fencing, may be of vinyl if is not visible from SilverLake Parkway, and are of earth tone colors, or of wood as described, with the Monterey Stain. All lots that qualify for vinyl fencing must be approved by the DRC prior to installation and subject to Eagle Mountain City's line of sight ordinance.
- Privacy fencing, regardless of the neighborhood in which you live, may not start any closer than six (6) feet behind the front corner of your home which is furthest from the street that your home faces. Special fencing rules also apply when your lot is on a corner, or when it is adjacent to any public open space such as an equestrian trail, park, community center, parkway, etc. All fencing must be approved by the DRC prior to installation.
- Previously installed fencing on public open spaces can be replaced by a 6 ft. privacy fence; the old fence, previously installed, should be saved for the SilverLake HOA to pick up. All fencing must be approved by the DRC prior to installation.
- Depending on your subdivision, whenever a fence parallels any public open space such as an equestrian trail, park, community center, parkway, roads, etc... The applicable public roads/open space fencing shall be used. All fencing must be approved by the DRC prior to installation.
- Privacy fencing on corner lots may include a 6' fence on the side yard, beginning at a point which is 10' behind the front corner of the house, extending toward the side property line a distance of 10' , then extending toward the property line or sidewalk to a point of 3' from the sidewalk) then running parallel to a point of 15' from the rear

property corner, and make a 45 degree angle until it meets your rear property line. This 45 degree angle will not create front yard fencing for the home behind yours. All fencing must be approved by the DRC prior to installation. (see figure 8)

- Fencing must be stepped on sloped areas. (see figure 9)
- No fencing shall exceed 6' in height.
- Fencing is prohibited in the front yard.
- Vinyl fencing approved for interior lot lines shall be of earth tone colors only. White is not a permitted color.
- Fencing may be constructed of any species of wood that will stain to match The Ranches standard color "Monterey Grey." Any wood (such as landscaping timbers, outdoor treated lumber, etc...) that is pre-stained, thereby affecting the final stain color is unacceptable.
- No stain color other than "Monterey Grey" is acceptable. Acceptable companies that carry the stain are as follows:
  1. Kwall Howell's in American fork – 756-1910
  2. Jones Paint & Glass in American Fork – 756-5282
  3. The Home Depot in American Fork- 763-8640
- All fencing must be approved by the Design Review Committee prior to installation.

#### **8.4.1 Perimeter and Transitional Fencing**

Perimeter fencing at SilverLake shall consist of a six-foot high (maximum) wood fence. It shall occur where the development edges are adjacent to community collectors streets. The fence shall be stained with a stain selected from the suggested color palette. The perimeter fencing shall terminate at corners with a six-by-six inch wood post. Where the perimeter fence meets an open space fence, then it shall transition down in height to 40" (+/-). (See figure 4)

#### **8.4.2 Interior Privacy Fencing – Solid**

Interior privacy fencing shall consist of six-foot high (maximum) solid privacy fencing designed to provide privacy between individual lots. This fence shall be utilized along rear and side property lines on lots measuring less than 12,000 square feet, terminating a minimum 6' back from the part of the front elevation furthest back from the street. All interior lot fencing that is not visible from the SilverLake Parkway may be of vinyl with a top rail, or wood as described above. All colors to be earth tone (no white). Style and design of fence to be approved by the Design Review Committee prior to installation.

#### **8.4.3 Open Space Fencing - Two Rail**

Open space fencing shall occur contiguous between open space and yards. The fence shall consist of four foot high (maximum) two rail fencing. Open space fencing shall terminate at corners with a six-by-six inch wood post. This fence can also be used on all lots 12,000 square feet or larger as perimeter fencing (See figure 15)

## 8.5 Lighting

Lighting for SilverLake shall be designed to adequately illuminate and provide for the safety of vehicular and pedestrian movements. Lighting shall be designed to complement and harmonize with Silver Lakes' naturalistic environment.

### 8.5.1 Residential Light Fixtures

Street lights shall be placed at major intersections including, but not limited to: community entrances, neighborhood entrances and intersections and collectors and other key locations such as: parks and trail heads. Lighting shall be installed by the developer or builder. All residential lighting shall be high pressure sodium or incandescent which falls within the warm white-to-yellow spectrum of light color. Overall height of light poles shall not exceed 15 feet. Residential light fixtures shall consist of the following design: (See Figure 5). Contact: Thomas Lighting (450-430-7040)

- Luminaire: Zed (Z65E)
- Arm: Zed (M20B)
- Pole: Zed (P6045-15) or Zed (P604S-14)
- Pole and Luminaire: Zed (Z12)

## 8.6 Street Furniture and Accessories

Street furniture, including benches, trash receptacles, bike racks and mail boxes shall be designed in a consistent fashion, so as to provide continuity throughout The SilverLake planning area. All street furniture and accessories shall be constructed of high quality durable materials and installed by the master developer.

### 8.6.1 Benches

Street furniture will be located primarily in the Village Core commercial areas and parks, and open space areas elsewhere. Bench style shall consist of the following design. (See figure 5)

- Dumor, Inc. - Cast Iron Bench: Bench 120-60

### 8.6.2 Trash Receptacle

- Dumor, Inc. - Cast Iron Trash Receptacle: Receptacle 102-00. (See figure 5)

### 8.6.3 Mailboxes - Multi-Family

Mail delivery in the multi-family neighborhoods of SilverLake shall be made to grouped mail box units supplied by the U.S. Postal service. No individual mail boxes shall be permitted in multi-family neighborhoods. Clustering of mail box units is encouraged and placement should be sensitive in order to minimize the impacts to automobile circulation and the overall streetscape. Mailbox shelters are encouraged and shall be constructed to harmonize with the "town and country" character of SilverLake in terms of materials (e.g., stone, timber) and color.

#### **8.6.4 Mailboxes - Single Family**

In general, mailboxes for single family residences shall consist of either a single box or two boxes grouped together, subject to a design review by the DRC. Individual neighborhoods are allowed only one style per neighborhood. Mailboxes per neighborhood to be defined in CC&R's. Grouped mailboxes that accommodate a maximum of nine mail slots shall be considered. All single-family residence mailboxes must be U.S. Postal Service approved.

## **SECTION IX: GRADING GUIDELINES**

### **9.1 Preface**

The grading guidelines establish alternative grading standards. Each site within SilverLake represents a specific set of conditions that should influence the grading design applied. A grading concept that would be ideal for one site might be totally inappropriate for another. Most of the design concepts are based on the creation of more natural appearing land forms. In nature, forms, textures, and colors are not rigid or uniform. Natural forms are varied, curved, and generally irregular.

### **9.2 Grading Guidelines**

Excessive grading should not be necessary in SilverLake and is not desirable. Grading should produce graceful contours, not sharp angles, and should respect the natural land forms. Contoured swales and berms will soften the impact of structures on each lot. Varying the degree of long slopes will avoid the unnatural look of broad flat surfaces. The following are general grading guidelines:

- Grading practices are intended to respect the natural features of Silver Lake by avoiding prominent ridgelines and contouring in harmony with existing landforms.
- All manufactured slopes shall be rounded to conform with the existing topography.
- Grading shall be minimized and buildings and roadways are to conform to and "bend" with landforms.
- Variation and undulation of slopes to retain the natural character of Silver Lake shall be encouraged.
- All graded slopes shall be planted with a combination of native grasses, groundcovers, shrubs, and trees to insure slope stability, reduce erosion potential and improve visual quality. Low growing plant materials reinforce rigid slope forms. Plant materials of varying form and density should be used to soften slope banks.
- Borrow ditches should not be paved with asphaltic concrete or concrete. Borrow ditches should be seeded and accented with native rocks to naturalize a man-made ditch.
- Finished floor heights in relation to any adjacent curb in multi-family and commercial areas should be limited to a 5% differential to minimize excessive handicap ramps.
- (See Figure 10.A,B,C,D,E and F)

IN WITNESS WHEREOF, Declarant has executed this Declaration the day and year first above written.

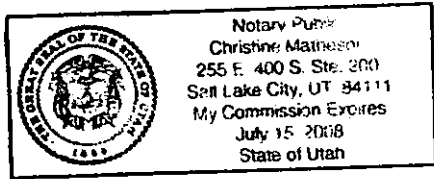
S.L.6., LLC

By: [Signature]  
Member Manager  
Milton P. Shipp

ATTEST

STATE OF UTAH            )  
  SS.  
COUNTY OF UTAH        )

The foregoing instrument was subscribed and sworn to before me this 6<sup>th</sup> day of January 2005, by Milton P. Shipp of S.L.6., LLC



[Signature]  
Notary Public

My commission expires: July 15, 2008

## Appendix 2

Gables will not be included in the EAR on the elevation facing a street, open space etc., unless there is a change of material in the gable.

The DRC reserves the right to reject any plan based on Architectural appearance regardless of the below credits. The credits are an attempt to help builders create better looking homes with less expense. These credits are not meant to create an avenue to bypass the intent of the EAR.

- Shutters: Each window with shutters shall be given twice the Sq. Ft. value of the window and shutters together. Example: 3030 window with 1 ft. x 3 ft. shutters on each side = 15 Sq. Ft. x2= Total 30 Sq. Ft.
- Garage Doors: Credit for ½ total Sq. Ft. and full Sq. Ft. value with full panel window in door. Example – Door = 96 Sq. Ft. value 48 Sq. Ft. / with window – 96 Sq. Ft. credit. Color of trim on all windows & doors shall contrast main body color.
- Bay windows: Sq. Ft. value of entire bay area x 3
- Pedestrian doors: Sq. Ft. values same as windows-All windows and door trims shall contrast main body color.
- Rear or side decks: Credit for total Sq. Ft. (elevation measurement ) Example- 8 ft. wide deck with 4 ft. railing = 32 Sq. Ft. (+ % bonus)
- Gable Vents: Sq. Ft. Value. Vent and trim color shall contrast the main body color.
- Trim bands: Sq. Ft. value. Color of band shall contrast the main body color.
- Boxed windows: "Pop out" (6" Min.) = 3x Sq. ft. of boxed elevation area. Example – 3030 Boxed window = approximately 4x4 = 16 Sq. Ft. x 3 = 48 Sq. Ft.
- Window box under window: Double value of window. Example – 3030 window = 9 Sq. Ft. / with box = 18 Sq. Ft.
- 8 inch Fascia: (applies only if up grade from 6" requirement.) – Credit. ½ times lineal ft. value. Example – 30 ft. on rear elevation = 15 Sq. Ft. of credit.
- Trim contrasting body color: If trim is 3" plus – 1 ½ times window Sq. Ft. Example – 3050 = 15 Sq. Ft. x 1 ½ = ¼ x window value. Example – 3050 = 15 Sq. Ft. x ¼ = 18.75 Sq. Ft. credit.
- Gridded Windows: Front elevation shall have gridded windows – Credit 50% of window. Sq. Ft. Example – 3050 window would be worth 15 + 50% = 22.5
- Decorative Gables: (on an elevation facing the street, or open space) any gable end that has decorative panels (fish scale, shingle, etc...) will be credited with double the Sq. Ft. value.
- Stucco: If 8" pop-out trim is used in windows and doors/a credit of 1 ½ times window value. All trim colors shall contrast with the main body color.
- Vertical offset in main plain of elevation: Min. 16" x 8 ft. long. Double EAR value for that elevation. Chimneys not included. A variation in the roof line is also required for this credit.
- Hipped Roof: ½ credits given as gables on hipped roofs.



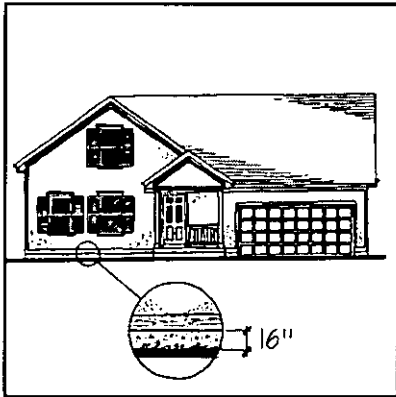


Figure A

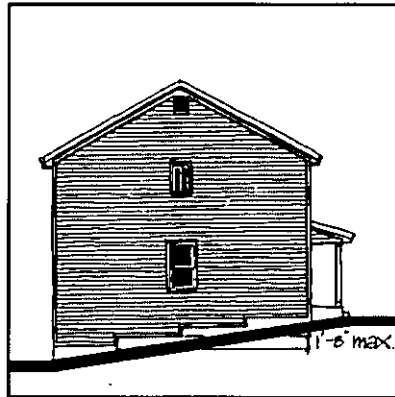


Figure B

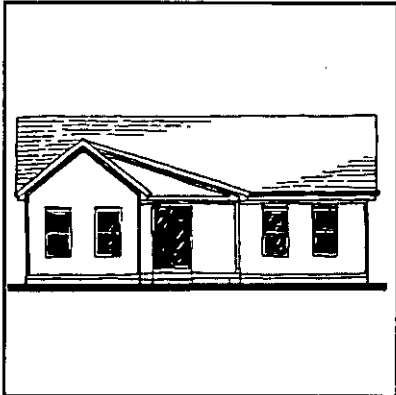


Figure C

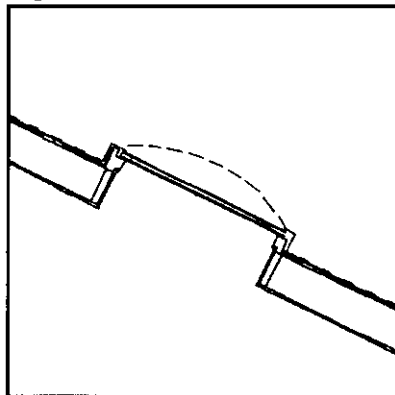


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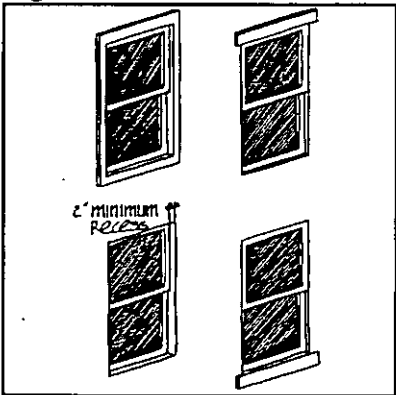


Figure E

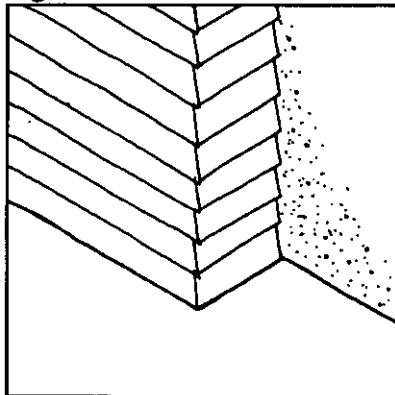


Figure F

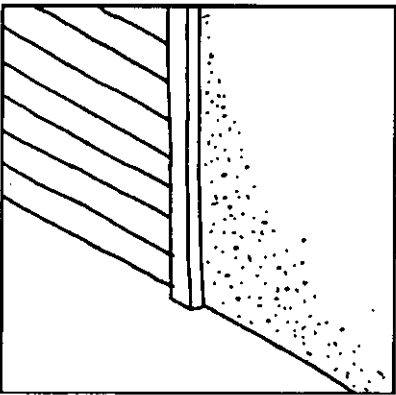


Figure G

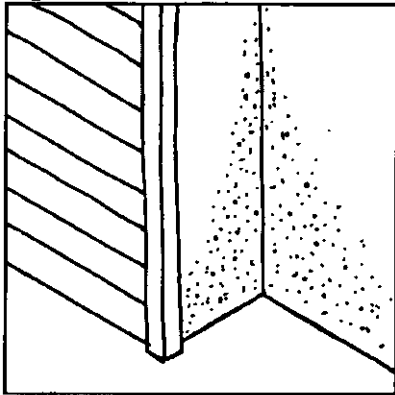


Figure H

FIGURE 7

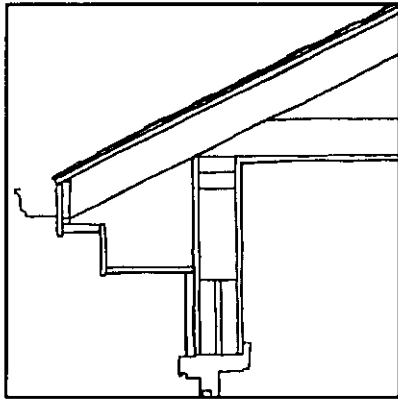


Figure A

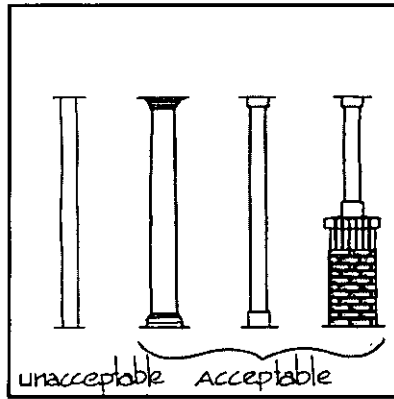


Figure B

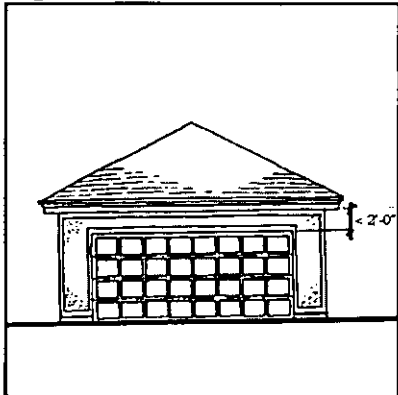


Figure C

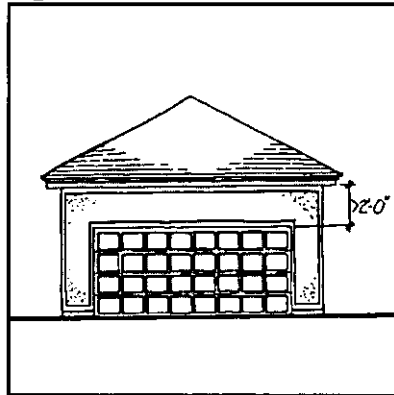


Figure D

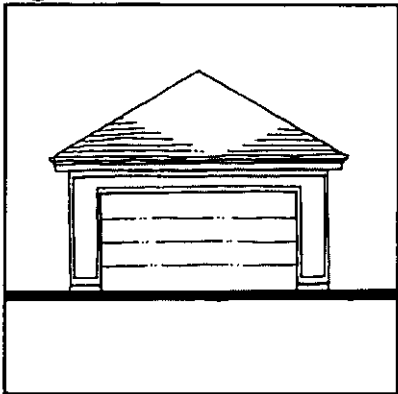


Figure E

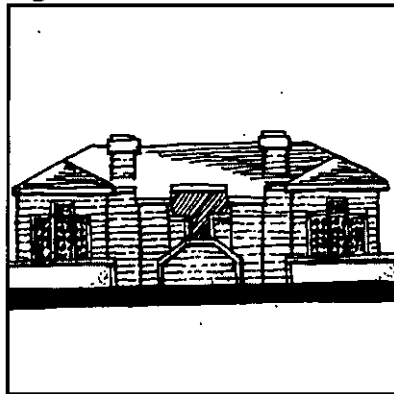


Figure F

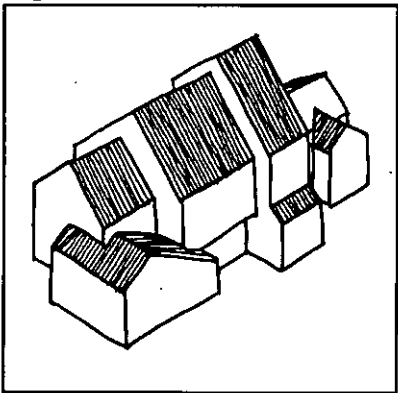


Figure G

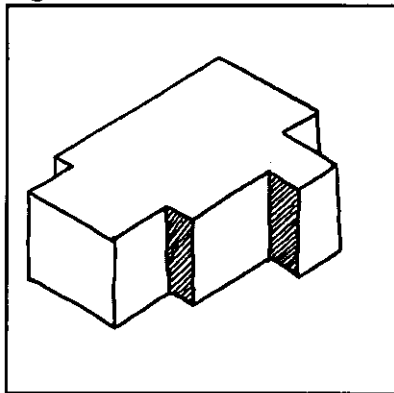


Figure H

FIGURE 8

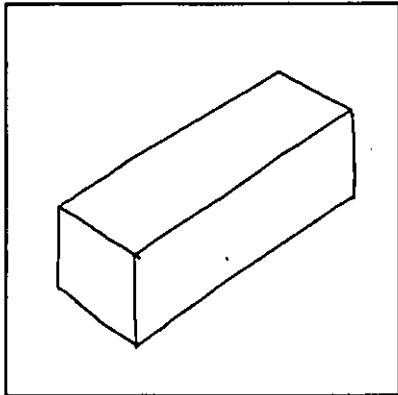


Figure A

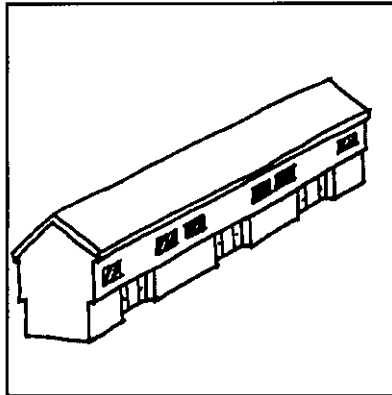


Figure B

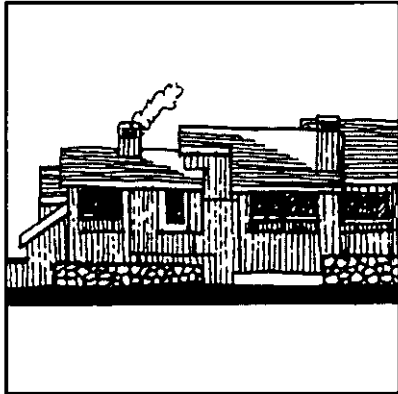


Figure C

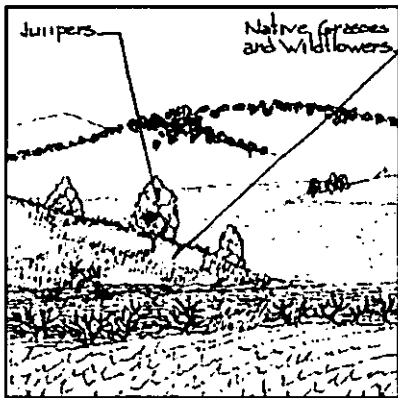


Figure D

FIGURE 9

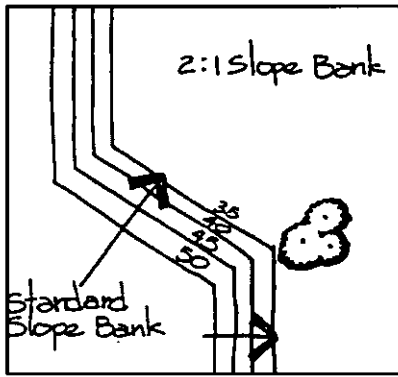


Figure A

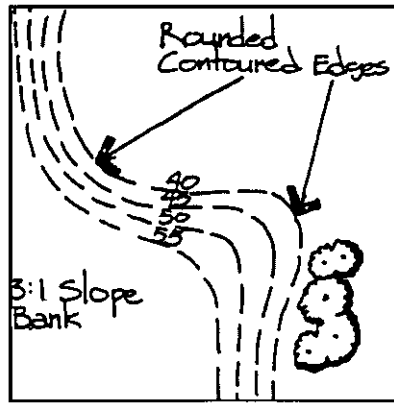


Figure B

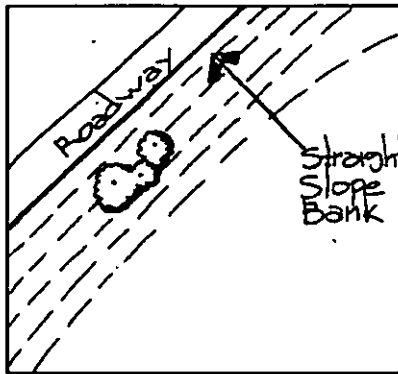


Figure C

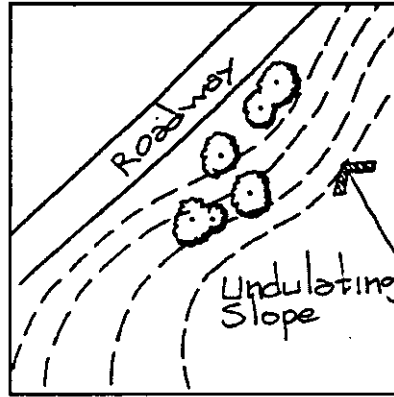


Figure D

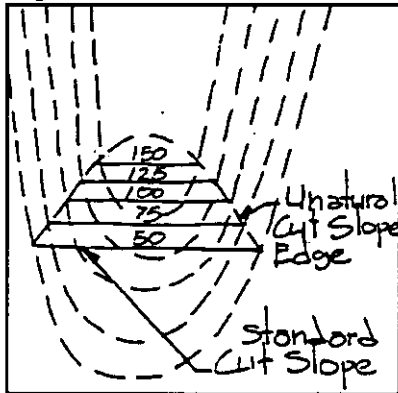


Figure E

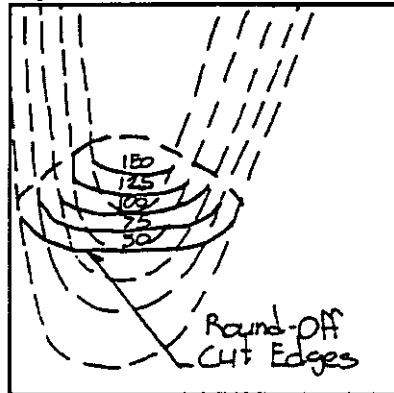


Figure F

FIGURE 10

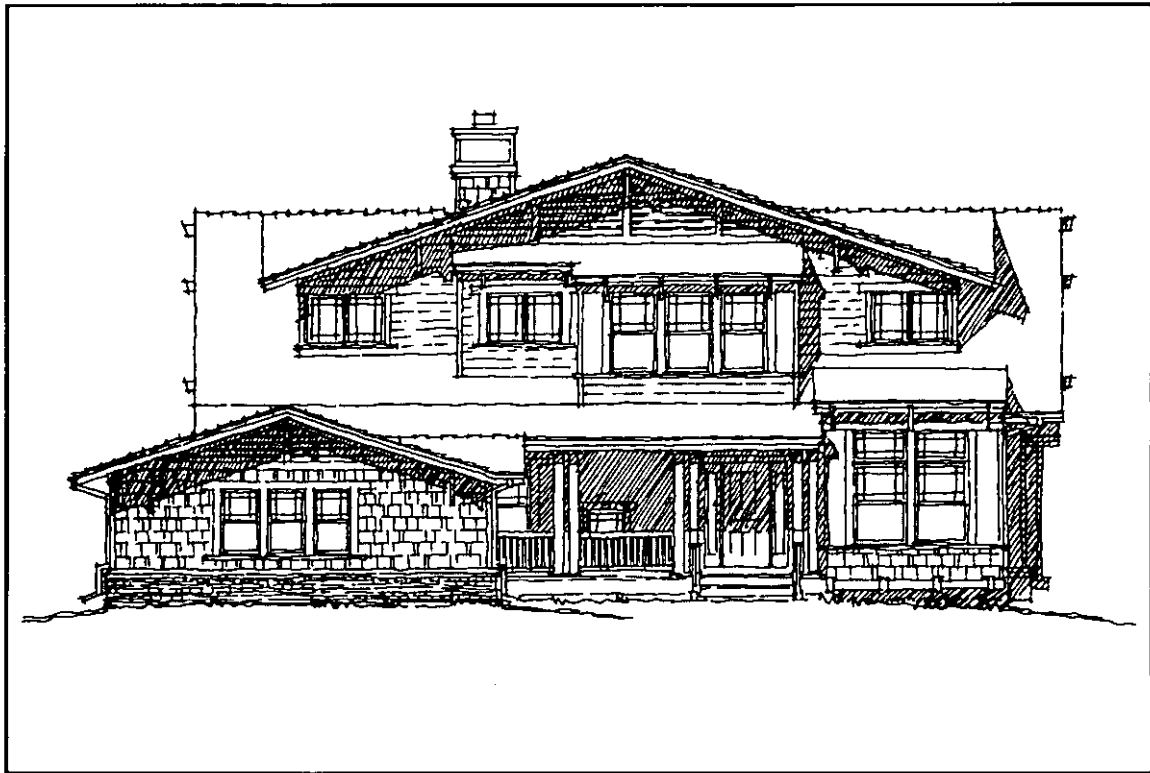


FIGURE 11



FIGURE 12



FIGURE 13

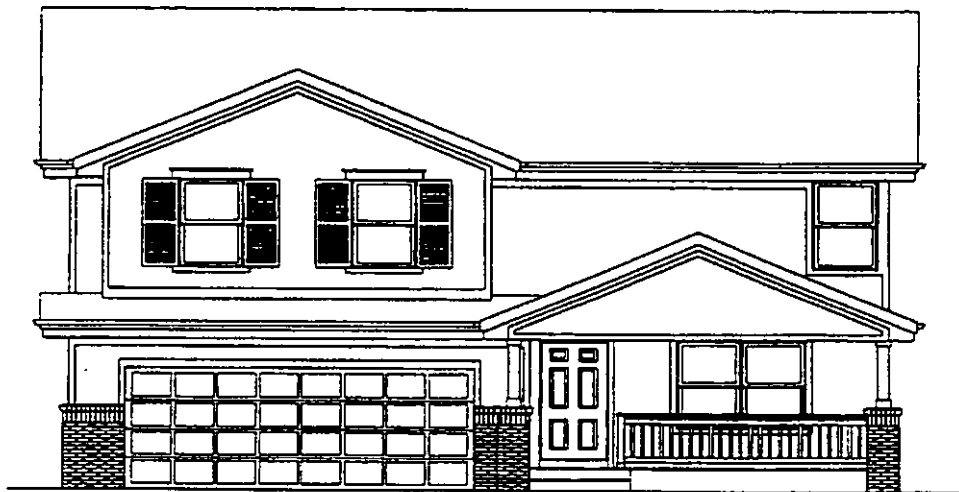
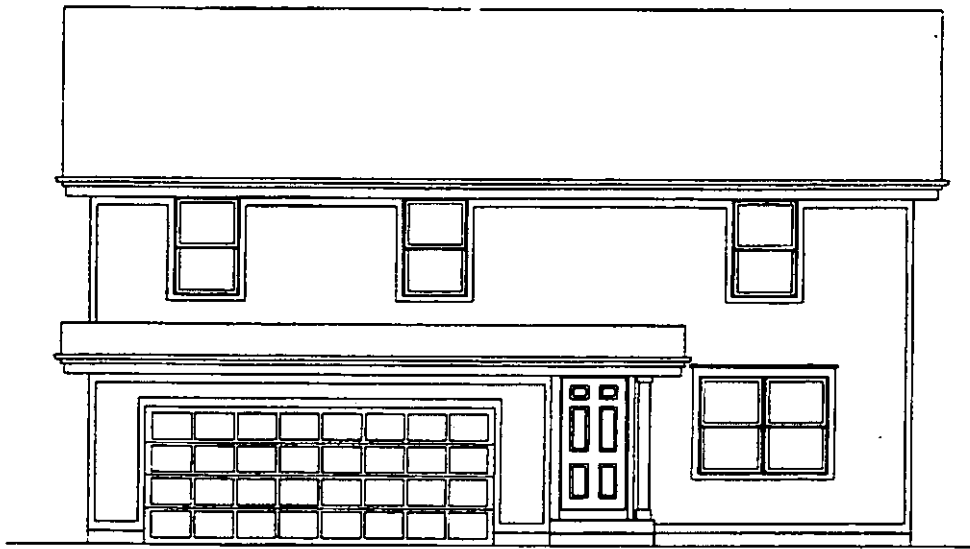


FIGURE 14



# SURVEYORS CERTIFICATE:

I, VICTOR E. HANSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 176695 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Victor E. Hansen  
SURVEYOR

SEPT. 28 2004  
DATE

## BOUNDARY DESCRIPTION PLAT ONE:

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A PARCEL OF LAND LOCATED IN EAGLE MOUNTAIN, UTAH COUNTY IN THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, BEING MORE PARTICULARLY DESCRIBED ACCORDING TO THE FOLLOWING COURSES AND DISTANCES, TO WIT:

BEGINNING AT A POINT OF CURVATURE LOCATED S 89° 10'11" E, 2230.36 FEET ALONG THE SECTION LINE, AND SOUTH 455.33 FEET, FROM THE NORTHWEST SECTION CORNER OF SECTION 28, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 835.00 FEET, A LENGTH OF 52.87 FEET, THROUGH A CENTRAL ANGLE OF 3°37'39" (CHORD BEARS S 29°22'16" E, 52.86 FEET); THENCE S 31°11'07" E, 162.42 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 765.00 FEET, A LENGTH OF 312.85 FEET, THROUGH A CENTRAL ANGLE OF 23°25'52" (CHORD BEARS S 19°28'10" E, 310.67 FEET); THENCE S 07°45'12" E, 108.74 FEET; THENCE N 89°35'08" W, 564.15 FEET; THENCE NORTH, 100.00 FEET; THENCE N 00°59'03" W, 54.02 FEET; THENCE N 00°34'12" E, 494.00 FEET; THENCE S 89°35'08" E, 56.20 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 60.00 FEET, A LENGTH OF 24.38 FEET, THROUGH A CENTRAL ANGLE OF 23°16'58" (CHORD BEARS N 78°46'23" E, 24.21 FEET) TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 60.00 FEET, A LENGTH OF 132.53 FEET, THROUGH A CENTRAL ANGLE OF 126°33'09" (CHORD BEARS S 49°35'31" E, 107.18 FEET); THENCE S 89°35'08" E, 170.34 FEET TO THE POINT OF BEGINNING. CONTAINING 6.670 ACRES, MORE OR LESS.

## OWNER'S DEDICATION:

WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYORS CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9-807, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH, TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

OWNER(S): S.L.C., L.L.C. Member-  
PRINTED NAME OF OWNER Milton P. Shipp, Manager

AUTHORIZED SIGNATURE(S) Victor E. Hansen

9/27/04

## ACKNOWLEDGMENT:

STATE OF UTAH

COUNTY OF UTAH

} S.S.



ON THE 27 DAY OF September, 2004 PERSONALLY APPEARED BEFORE ME THE PERSONS SIGNING THE FOREGOING OWNERS DEDICATION KNOWN TO ME TO BE AUTHORIZED TO EXECUTE THE FOREGOING OWNERS DEDICATION FOR AND ON BEHALF OF THE OWNERS WHO DULY ACKNOWLEDGED TO ME THAT THE OWNERS DEDICATION WAS EXECUTED BY THEM ON BEHALF OF THE OWNERS

CHORD
24.21
21.18
21.24
60.89
107.18
21.24
10.63
24.21
52.86
8.67
21.39
37.46
49.15
48.04
38.94
43.30
121.22
16.13
40.53
42.23
18.90
35.92
32.38
19.29
95.90
84.68
310.67
21.80
21.80
85.68
14.05
60.97