

VICINITY MAP

- NOTES:**
- #5 REBAR AND CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB ON THE PROJECTION OF SIDE LOT LINES.
 - P.U. & D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
 - PARCEL A - DEDICATED TO EAGLE MOUNTAIN CITY FOR STORM WATER RETENTION

PLAT CALCULATIONS:

- TOTAL ACREAGE: 36.46 ACRES
- TOTAL ACREAGE IN LOTS: 30.96 ACRES
- TOTAL OPEN SPACE: 0.32 ACRES
- AVERAGE LOT SIZE: 2.38 ACRES, 103,672 SQ FT
- LARGEST LOT SIZE: 4.87 ACRES
- SMALLEST LOT SIZE: 1.13 ACRES
- OVERALL DENSITY: 42 LOTS/ACRES
- TOTAL # OF LOTS: 13 LOTS
- AREA OF ASPHALT: 135,488 SQ FT

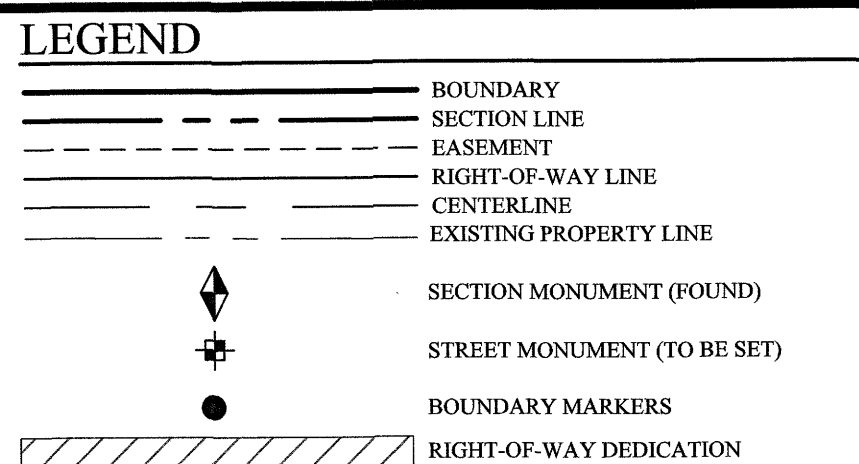
PROPOSED ZONING

ZONE LMD (LIGHT MANUFACTURING/DISTRIBUTION)
 LOT SIZE N/A
 FRONT SETBACK 20'
 SIDE SETBACK NONE (EQUAL TO BUILDING HEIGHT. SEE NOTES)
 CORNER SIDE SETBACK 20'
 REAR SETBACK 20' (EQUAL TO BUILDING HEIGHT IF ADJACENT TO RESIDENTIAL)

NOTES

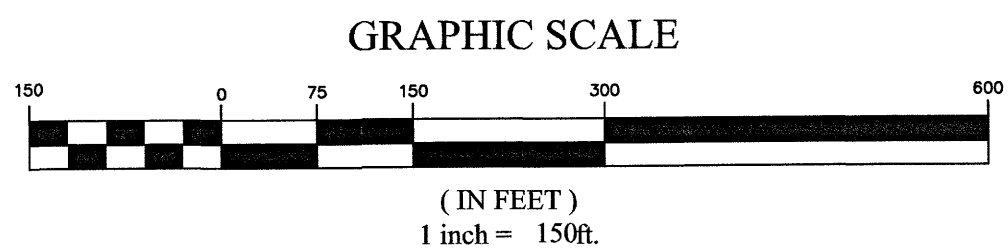
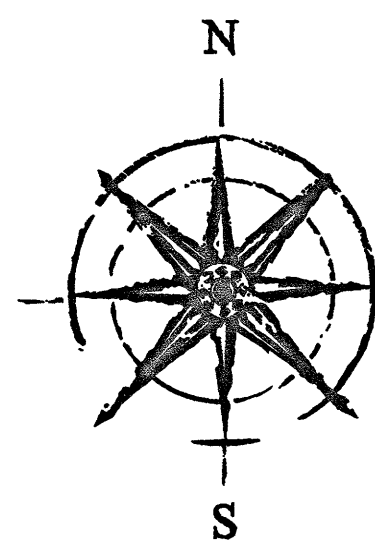
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- ADJACENT RESIDENTIAL-ZONED PROPERTY HAS A FUTURE LAND USE DESIGNATION THAT IS NOT RESIDENTIAL;
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- TOPOGRAPHY OR NATURAL FEATURES MAKE IT IMPOSSIBLE OR IMPRACTICABLE TO PLACE BUILDING WITHIN THE SETBACK



RUSH CREEK INDUSTRIAL PHASE A, PLAT 1

SUBDIVISION
 LOCATED IN THE NE 1/4 OF SECTION 2, T6S, R2W, SALT LAKE BASE & MERIDIAN, EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH



LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
 S.S.
 COUNTY OF Utah



ON THE 11 DAY OF August A.D. 2023 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF Utah, IN SAID STATE OF UTAH, Charlie Smith, who AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE Manager OF Rush Creek Prop., L.L.C., A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: 1/29/2025

Kami L. Wickham
 A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN Utah COUNTY

MY COMMISSION No. 7116355

Kami L. Wickham
 PRINTED FULL NAME OF NOTARY

SURVEYOR'S CERTIFICATE

I, Justin Lundberg, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 12554439 in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act; I further certify that by authority of the owners I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17, have verified all measurements, and have subdivided said tract of land into lots, parcels, and streets, together with easements, to be hereafter known as RUSH CREEK INDUSTRIAL PHASE A, PLAT 1 and the same has, or will be correctly surveyed and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

Justin Lundberg
 PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 12554439

08/04/23 DATE

BOUNDARY DESCRIPTION

A tract of land located in the Northeast Quarter and Northwest Quarter of Section 2, Township 6 South, Range 2 West, Salt Lake Base & Meridian, as described in that certain Warranty Deed recorded as Entry No. 14632:2016 in the office of the Utah County Recorder, more particularly described as follows:

Beginning at the East 1/4 Corner of Section 2, T6S, R2W, SLB&M; running thence along the 1/4 Section line S89°42'26"W 2,255.31 feet to the northeasterly line of a tract of land described in that certain Warranty Deed recorded as Entry No. 48455:1997 in the office of the Utah County Recorder; thence along said deed the following two (2) courses: (1) northwesterly along the arc of a non-tangent curve to the left having a radius of 2,562.50 feet (radius bears: S34°38'02"W) a distance of 101.91 feet through a central angle of 02°16'43" Chord: N56°30'20"W 101.90 feet; thence (2) N57°38'41"W 415.33 feet; thence Northeasterly along the arc of a non-tangent curve to the left having a radius of 15.00 feet (radius bears: N10°09'57"W) a distance of 10.12 feet through a central angle of 39°15'48" Chord: N60°12'09"E 9.92 feet; thence N32°22'17"E 501.84 feet; thence S57°37'43"E 77.00 feet; thence N89°41'52"E 1623.14 feet; thence S0°18'08"E 138.00 feet; thence N89°41'52"E 737.65 feet to the Section line; thence along said Section line S01°22'37"W 529.15 feet to the point of beginning.

Area Contains: 36.46 acres:
 13 Lots
 1 Parcel

OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9A-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

OWNER(S):
 PRINTED NAME OF OWNER AUTHORIZED SIGNATURE(S)

Charlie Smith
 RUSH CREEK PROPERTIES LLC
 Daniel Knight
 AMERICAN WAY PROPERTIES LLC

8/11/2023
 8/11/2023

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
 S.S.
 COUNTY OF Utah

ON THE 11 DAY OF August A.D. 2023 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF Utah, IN SAID STATE OF UTAH, Daniel Knight, who AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE Manager OF American Way Properties LLC, A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: 1/29/2025

MY COMMISSION No. 7116355

Kami L. Wickham
 PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 11 DAY OF August 2023.

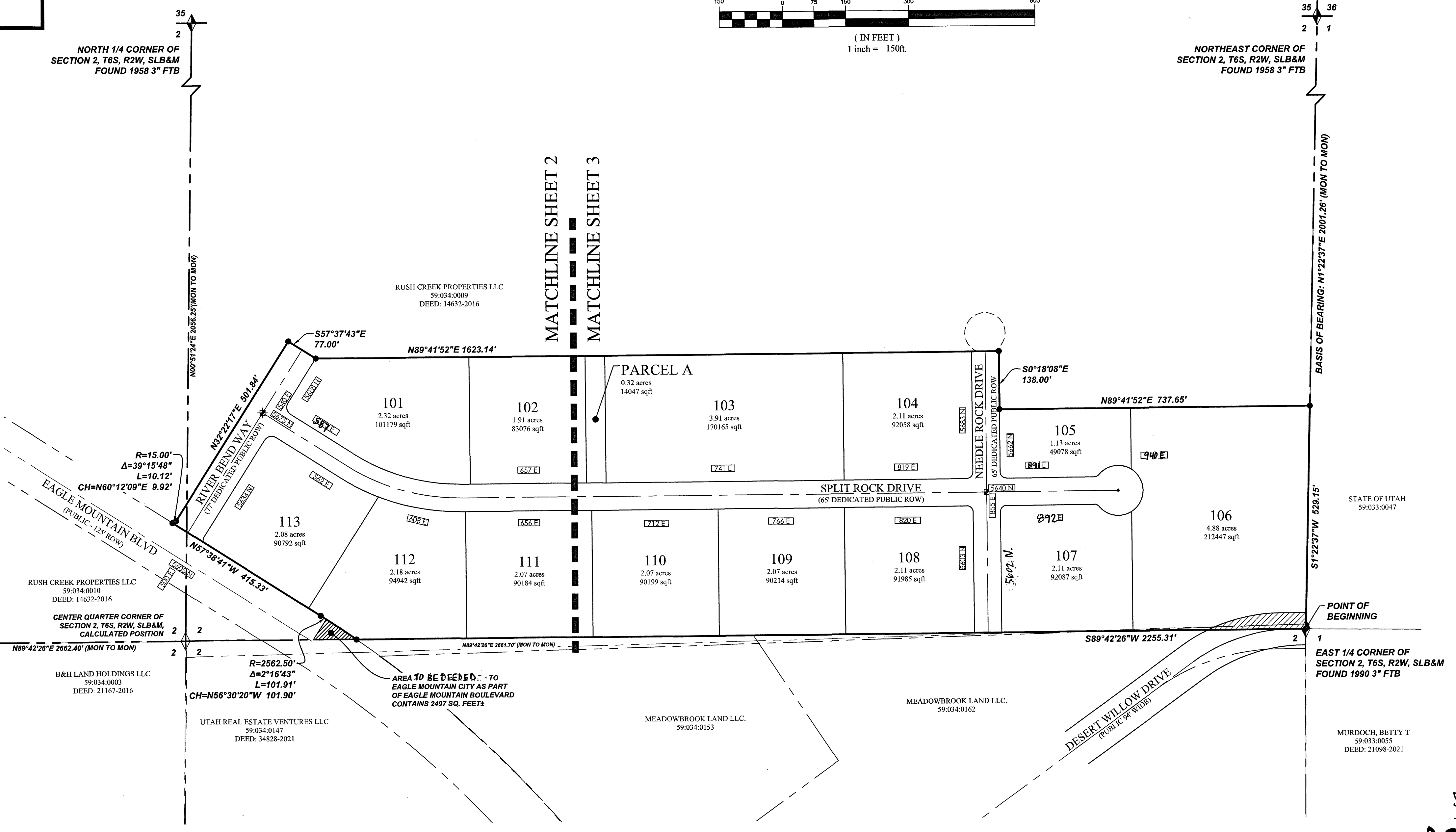
APPROVED BY MAYOR
 APPROVED BY CITY AT FORNEY
 APPROVED BY CITY ENGINEER
 ATTEST BY CITY RECORDER (SEE SEAL BELOW)

RUSH CREEK INDUSTRIAL PHASE A, PLAT 1

SUBDIVISION
 LOCATED IN THE NE 1/4 OF SECTION 2, T6S, R2W, SALT LAKE BASE & MERIDIAN, EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

Professional seals for Surveyor, Notary, Engineer, and Recorder.

RECORDED FOR EAGLE MOUNTAIN CITY



FOCUS ENGINEERING AND SURVEYING, LLC
 6949 HIGH TECH DRIVE
 MIDVALE, UTAH 84047 PH: (801) 352-0075
 www.focusutah.com

DOMINION ENERGY UTAH

QUESTAR GAS COMPANY dba DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

ROCKY MOUNTAIN POWER

1. Pursuant to Utah Code Ann § 54-3-27 this plat conveys to the owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.
 2. Pursuant to Utah Code Ann § 10-9a-603 Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains public utility easements and approximates the location of the public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under:
 (1) A recorded easement or right-of-way
 (2) The law applicable to prescriptive rights
 (3) Title 54, Chapter 84, Damage to Underground Utility Facilities, or
 (4) Any other provision of law.

APPROVED THIS 8 DAY OF Aug A.D. 2023
 BY: [Signature]
 TITLE: pre-construction rep 11

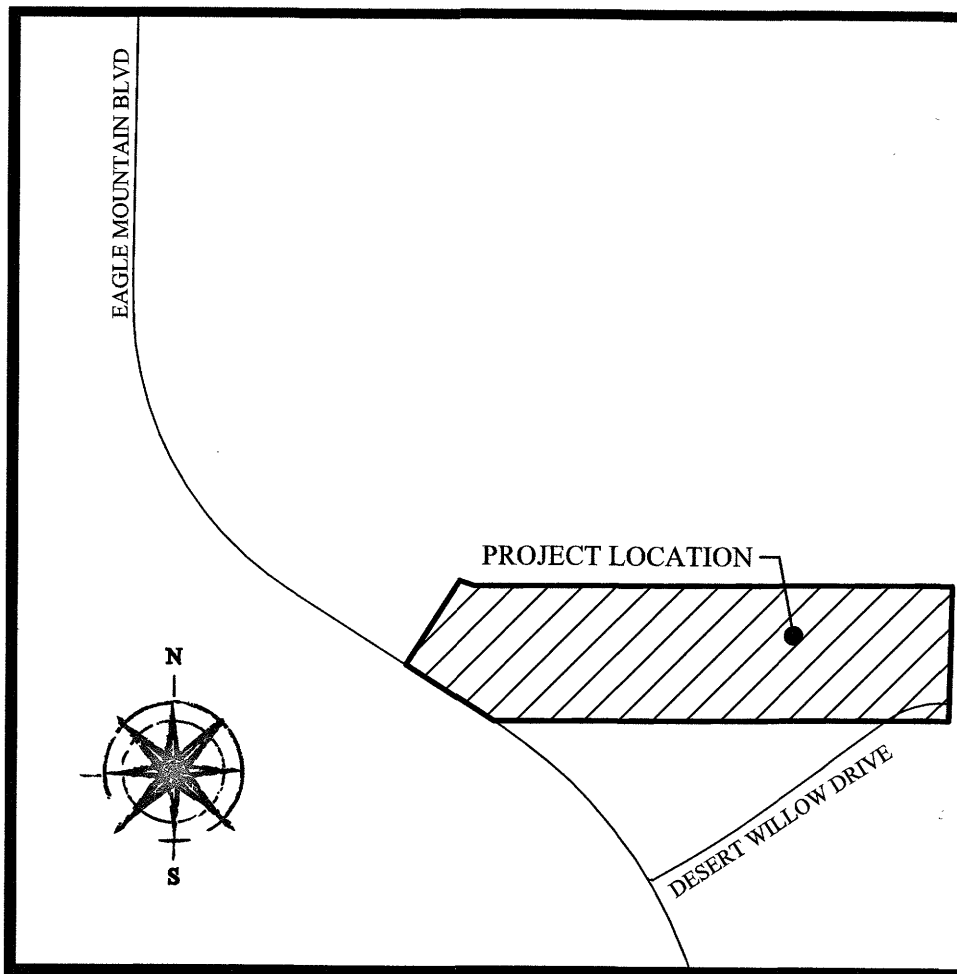
DIRECT COMMUNICATIONS

Direct Communications Cedar Valley, LLC certifies that it will provide telecommunications services to this subdivision utilizing the trenches provided by the developer as per the Direct Communications Cedar Valley P.S.C. Utah No. 1 Tag # [Signature] 8/11/2023 DATE

PREPARED FOR
 RUSH CREEK PROPERTIES LLC
 1761 E. HIDDEN HILLS ROAD
 EAGLE MOUNTAIN, UT 84005
 CONTACT: CHARLIE SMITH

18913 1013

80 Acres, Design 20-0224 (Vero) Sheets 15, 16, Industrial Final Design Sheets (C2) Final (plac.dwg) Sec 2, T6S, R2W, SLB&M TU-038 BM



VICINITY MAP
N.T.S.

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 - P.U. & D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
 - ALL BUILDING WALLS ARE PARALLEL WITH PERPENDICULAR TO, OR AT 45° ANGLE TO REFERENCE BEARING SHOWN ON BUILDING
 - PARCEL A DEDICATED TO EAGLE MOUNTAIN CITY FOR STORM WATER RETENTION

PLAT CALCULATIONS:

- TOTAL ACREAGE: 36.46 ACRES
- TOTAL ACREAGE IN LOTS: 30.96 ACRES
- TOTAL OPEN SPACE: 0.32 ACRES
- AVERAGE LOT SIZE: 2.38 ACRES, 103,672 SQ FT
- LARGEST LOT SIZE: 4.87 ACRES
- SMALLEST LOT SIZE: 1.13 ACRES
- OVERALL DENSITY: .42 LOTS/ACRES
- TOTAL # OF LOTS: 13 LOTS
- AREA OF ASPHALT: 135,488 SQ FT

PROPOSED ZONING

- ZONE: LMD (LIGHT MANUFACTURING/DISTRIBUTION)
- LOT SIZE: N/A
- FRONT SETBACK: 20'
- SIDE SETBACK: NONE (EQUAL TO BUILDING HEIGHT. SEE NOTES)
- CORNER SIDE SETBACK: 20'
- REAR SETBACK: 20' (EQUAL TO BUILDING HEIGHT IF ADJACENT TO RESIDENTIAL)

NOTES:
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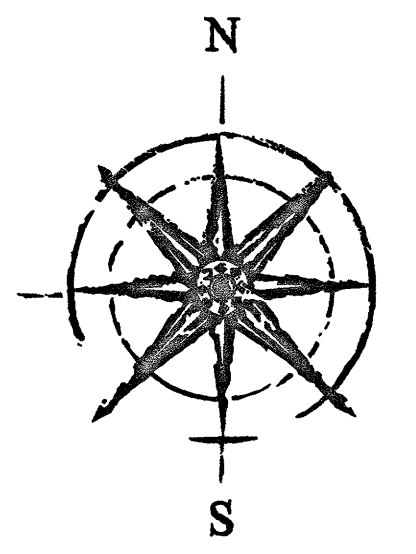
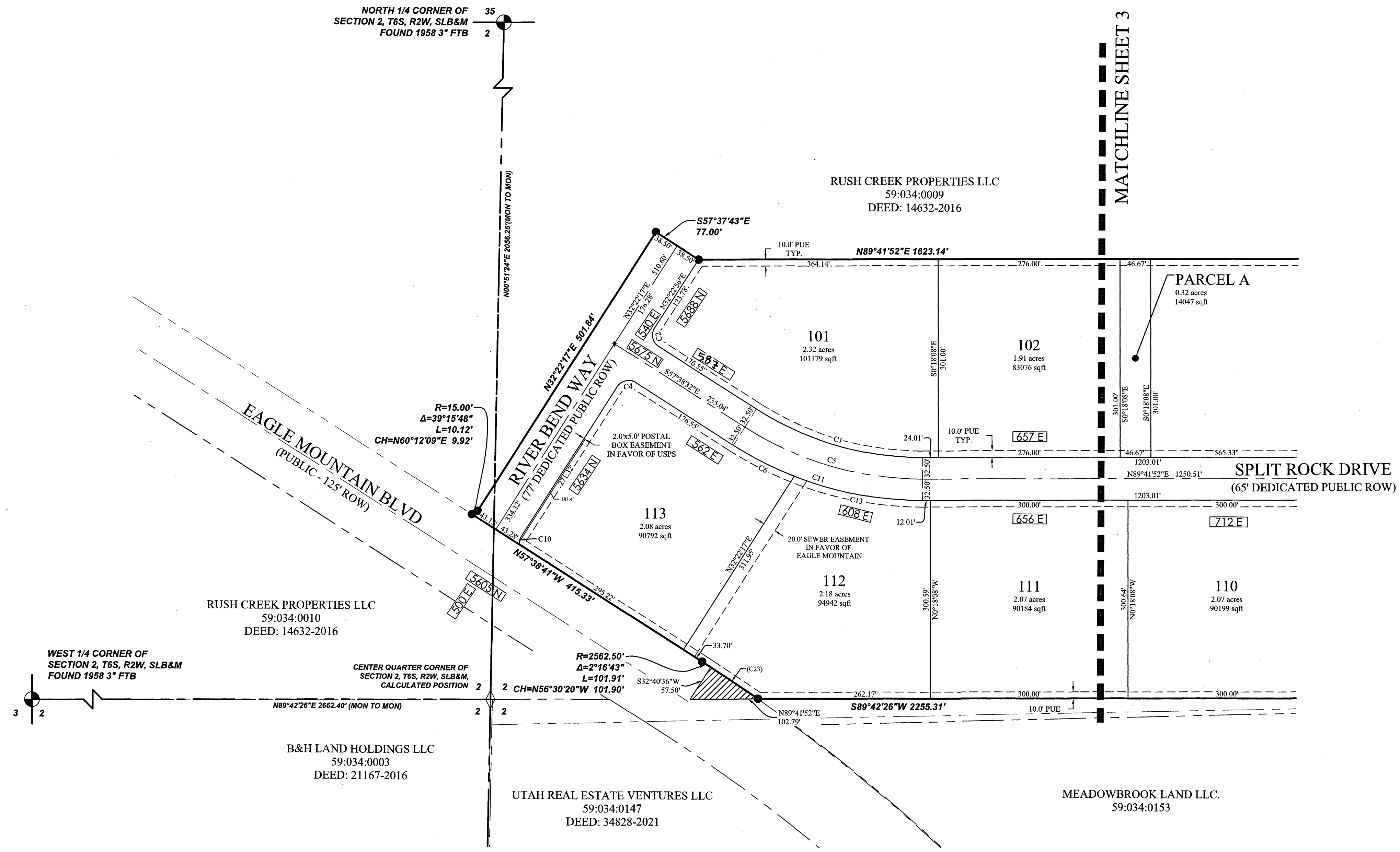
LEGEND

- BOUNDARY
- SECTION LINE
- EASEMENT
- RIGHT-OF-WAY LINE
- CENTERLINE
- EXISTING PROPERTY LINE
- SECTION MONUMENT (FOUND)
- STREET MONUMENT (TO BE SET)
- BOUNDARY MARKERS
- RIGHT-OF-WAY DEDICATION

Line Table		
LINE	DIRECTION	LENGTH
L1	N00°17'32"W	38.50
L2	S89°42'28"W	33.00
L3	N00°17'32"W	38.50

Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	467.50	32°39'36"	266.49	N73°58'20"W	262.89
C2	20.00	89°59'11"	31.41	N12°38'57"W	28.28
C3	15.00	90°00'00"	23.56	S44°41'52"W	21.21
C4	20.00	89°59'10"	31.41	S77°21'53"W	28.28
C5	496.82	32°52'00"	184.99	S74°01'22"E	201.10
C6	532.50	11°12'08"	104.11	N63°14'36"W	103.95
C7	15.00	90°00'00"	23.56	S44°41'52"W	21.21
C8	403.78	10°28'53"	73.87	N59°14'34"E	73.76
C9	400.00	35°42'21"	249.27	S71°51'18"W	245.26
C10	14.00	48°40'46"	11.89	S07°53'10"W	11.54
C11	532.50	32°39'36"	303.54	S73°58'20"E	299.45
C12	15.00	90°00'00"	23.56	S45°18'09"E	21.21
C13	532.50	21°27'28"	199.42	S79°34'24"E	198.26
C14	402.00	35°41'45"	250.45	S71°51'36"W	246.42
C15	15.00	90°00'00"	23.56	S45°18'08"E	21.21
C16	15.00	49°48'20"	13.04	N65°23'58"W	12.63
C17	15.00	50°19'28"	13.17	N64°31'57"E	12.76
C18	59.00	280°07'59"	288.47	S00°33'48"E	75.74
C19	59.00	115°26'41"	118.91	S00°18'08"E	99.78
C20	59.00	82°03'52"	84.51	N81°31'41"W	77.46
C21	59.00	82°33'52"	85.04	N80°39'51"E	77.87
C22	40.72	25°21'21"	177.78	N77°05'44"E	176.33

Easement Curve Table					
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FOCUS
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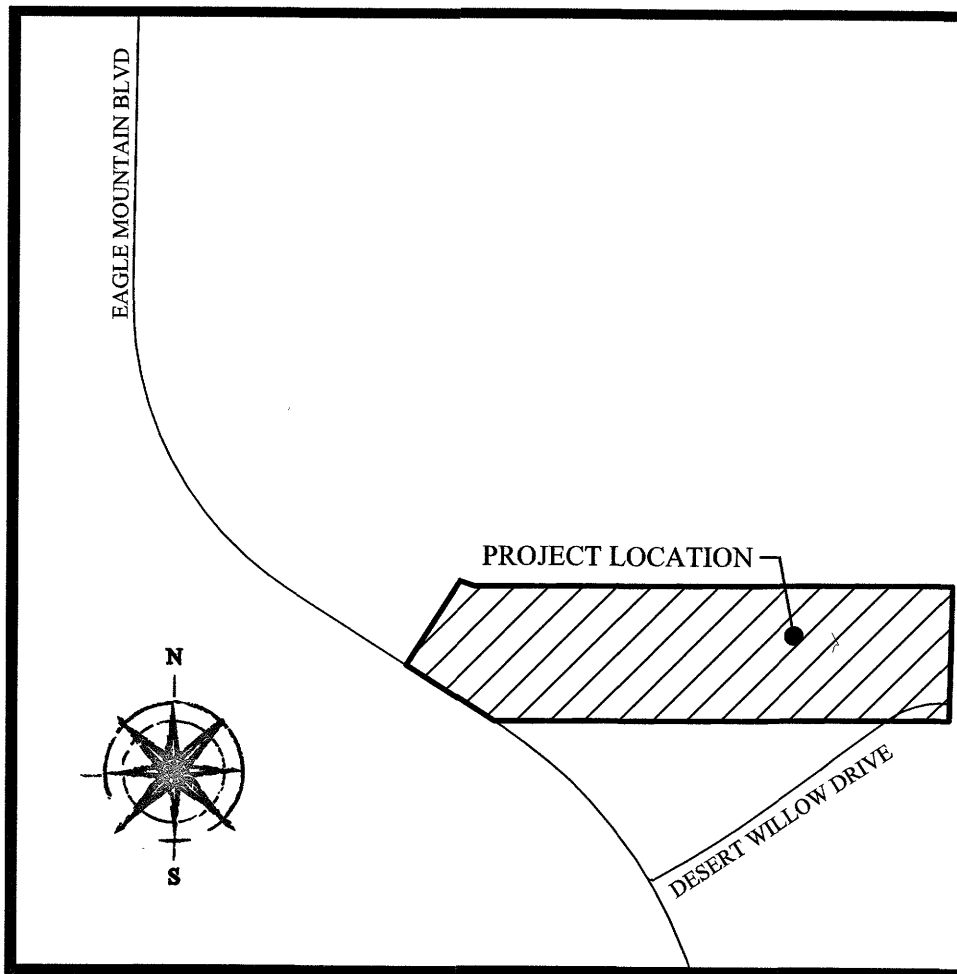
PREPARED FOR
RUSH CREEK PROPERTIES LLC
1761 E. HIDDEN HILLS ROAD
EAGLE MOUNTAIN, UT 84005
CONTACT: CHARLIE SMITH

**RUSH CREEK INDUSTRIAL
PHASE A, PLAT 1**
SUBDIVISION
LOCATED IN THE NE 1/4 OF SECTION 2, T6S, R2W,
SALT LAKE BASE & MERIDIAN
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY RECORDER SEAL
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ENT 61319-2023 MAP# 18913
ANDREA ALLEN
UTAH COUNTY RECORDER
2023 SEP 12 11:02 AM FEE 130.00 BY TR
RECORDED FOR EAGLE MOUNTAIN CITY

18913 2023



VICINITY MAP
N.T.S.

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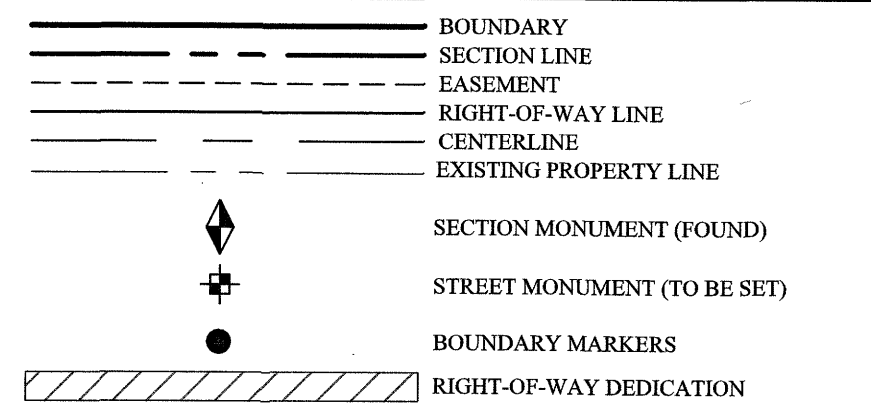
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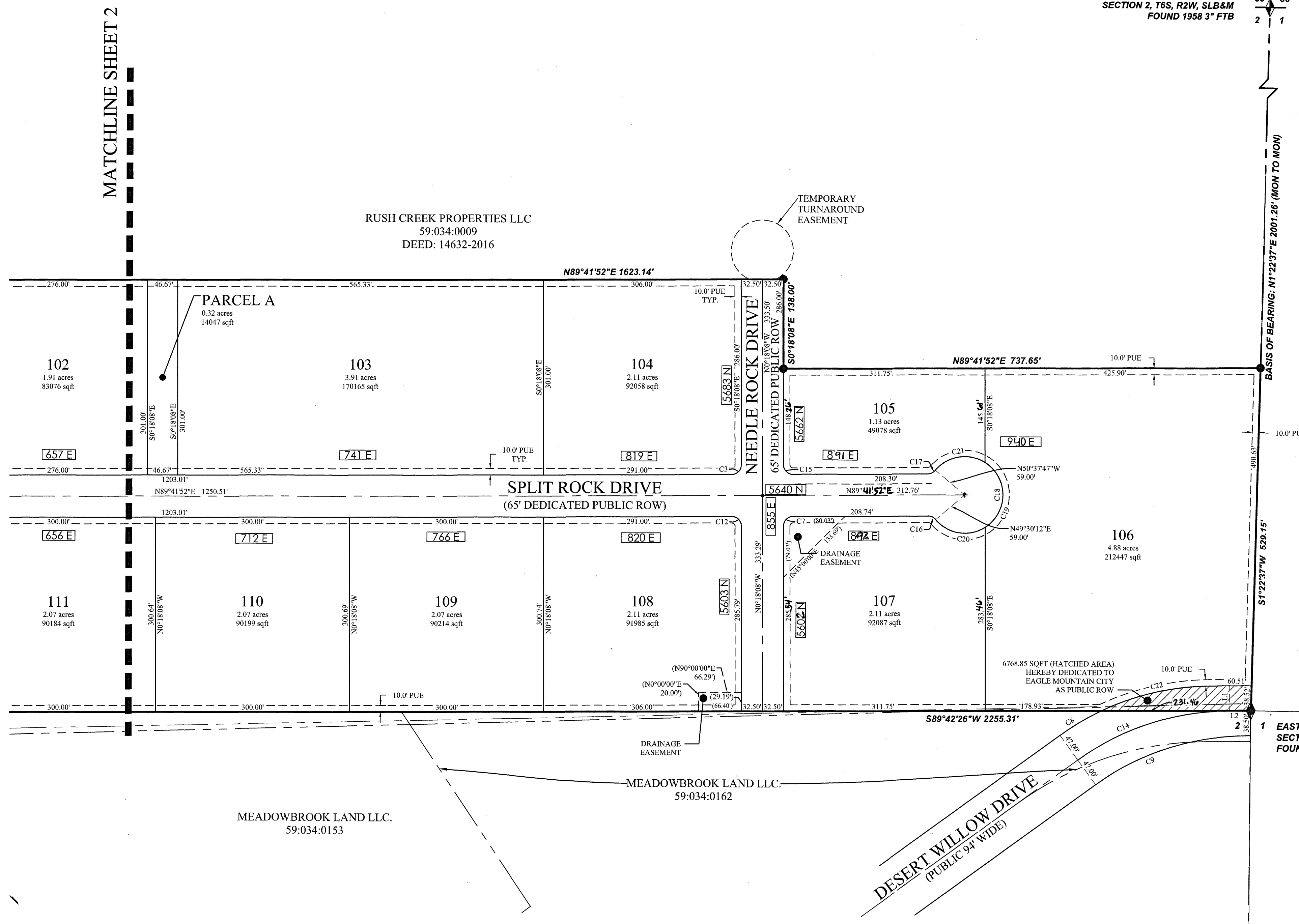
LEGEND



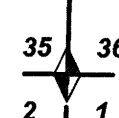
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NORTHEAST CORNER OF SECTION 2, T6S, R2W, SLB&M FOUND 1958 3" FTB



BASIS OF BEARING: N1°22'37"E 2001.26' (MON TO MON)

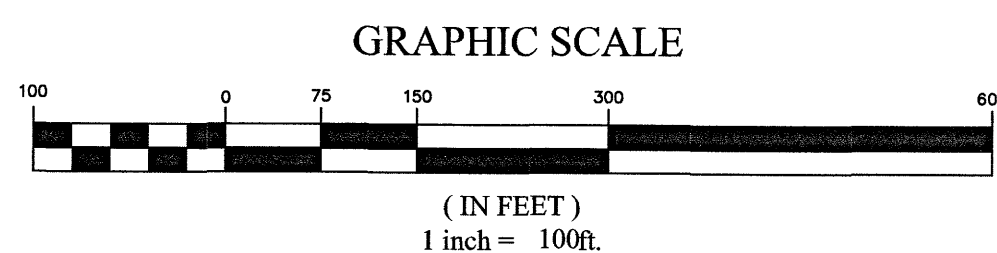
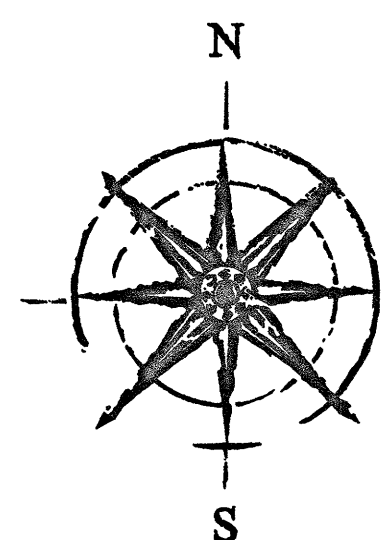
STATE OF UTAH
59:033:0047

EAST 1/4 CORNER OF SECTION 2, T6S, R2W, SLB&M FOUND 1990 3" FTB

MURDOCH, BETTY T
59:033:0055
DEED: 21098-2021

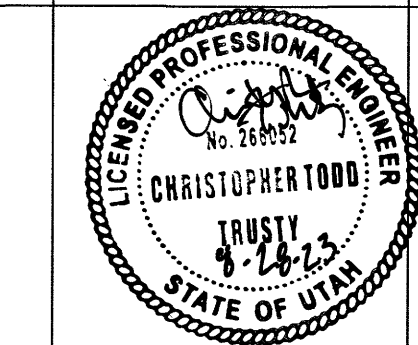
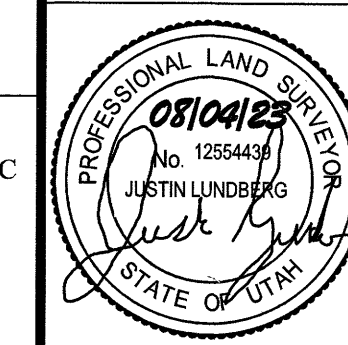
MEADOWBROOK LAND LLC.
59:034:0153

MEADOWBROOK LAND LLC.
59:034:0162



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 SOUTH HIGH TECH DRIVE SUITE 200
MIDVALE, UT 84047 PH: (801) 352-0075
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PREPARED FOR
RUSH CREEK PROPERTIES LLC
1761 E. HIDDEN HILLS ROAD
EAGLE MOUNTAIN, UT 84005
CONTACT: CHARLIE SMITH



ENT 61319-2023 MAP# 18913
ANDREA ALLEN
UTAH COUNTY RECORDER
2023 SEP 15 11:02 AM FEE 172.00 BY TC
RECORDED FOR EAGLE MOUNTAIN CITY

18913 3042
2020-20-0224-Rush Creek 80 Acre\Design 20-0224\Map\Sheet\15 Lot Industrial Final Design Sheets\22.2 Final Plat.dwg