

Recorded at Request of:  
Return to:

IVORY HOMES, LP. ; SUDWEEK DEVELOPMENT, LLC. ; DRAPER CITY  
Draper City  
12441 South 900 East  
Draper, Utah 84020

6972241

**PLANNED UNIT DEVELOPMENT AGREEMENT  
FOR  
THE SUNSET PONDS SUBDIVISION**

THIS PLANNED UNIT DEVELOPMENT AGREEMENT is made and entered into as of the 14th day of April, 1998, by and between Draper City, a Utah municipal corporation, herinafter referred to as the "City", and Ivory Homes, A Utah Limited Partnership, and Sudweeks Development, a Utah Limited Liability Corporation, both herinafter referred to as the "Developer".

**RECITALS:**

A. Developer owns approximately 17.7112 acres of land within the City located at approximately 11800 South 735 (700) East, and which is more particularly described in Exhibit "A" attached hereto and incorporate herein by this reference (the "Property").

B. Developer, or its predecessor, has filed an application with the City for approval of Developer's project on the Property as a subdivision to be known as "Sunset Ponds Subdivision," a sixty-two (62) lot open-space Planned Unit Development subdivision, (the "Project").

C. The Property is presently zoned under the City's Zoning Ordinance as RM (Multiple Dwelling Unit Residential). The RM zoning was approved by the City Council on September 17, 1997, subject to development of the Property as represented on the Concept Plan presented by the Developer and accepted by the City on said date.

D. The Property and Project are subject to all of the City's ordinances and regulations, including, but not limited to, provision on the City's General Plan, Zoning Ordinances, engineering and construction standards, and any permits issued by the City pursuant to the foregoing ordinances and regulations, collectively referred to herein as the "City's Laws".

E. Developer has previously submitted a preliminary and final plat for the Project. The City Council considered and approved the final plat for the Project on September 9, 1997, subject to various terms and conditions, herinafter referred to as the "Final Plat," attached hereto as Exhibit "B" and incorporated herein by this reference.

F. Persons and/or entities hereafter developing the Property or any portions of the Project thereon shall accomplish such development in accordance with the City's Laws and the provisions set forth in this Agreement.

G. The City has received a proposal from the Developer to voluntarily dedicate certain property and make improvements to allow for the extension and construction of certain public improvements and facilities within and adjacent to the Subdivision, including, but not limited to, a

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Wetlands Park and associated improvements. Said improvements are detailed in the Approved Plans, attached hereto as Exhibit "C" and incorporated herein by this reference, hereinafter referred to as "Approved Plans," and in the Design Guidelines attached hereto as Exhibit "D" and incorporated herein by this reference, herein after referred to as "Design Guidelines".

H. This Agreement contains certain requirements for design and development of the Property and the Project in addition to those contained in the City's Laws.

#### AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby agree as follows:

1. Incorporation of Recital. The Recitals are hereby incorporated into this Agreement.
2. Property Development. Developer shall develop the Project on the Property as a single phased development subdivision in accordance with the City's Laws, the Final Plat approved by the City Council, and the terms and conditions of this Agreement. All required plats, drawings and other supporting documents for the Project shall be prepared and submitted to the City for review and approval.
3. Project Size and Locations. The Project is located in the City within those boundaries more specifically described in the Final Plat. The Project shall be developed as a planned unit development in the form of a planned residential subdivision consisting of up to, but not to exceed, sixty-two (62) lots.
4. Final Plat, Approved Plans and Design Guidelines. Developer's Final Plat, Approved Plans and Design Guidelines for the Project have been approved by the City subject to certain terms and conditions precedent. Development of the Project shall be conducted in accordance with the Final Plat, Approved Plans, Design Guidelines, the City's Laws and the terms and conditions of this Agreement. Following compliance with all conditions precedent for approval of the Final Plat, and obtaining of the required signatures thereon, the Final Plat shall be recorded by the City in the office of the Salt Lake County Recorder's Office. No Amendments or modifications to the Final Plat for the Project shall be made by the Developer without the prior written approval of the City and in compliance with applicable procedures regarding the same.
5. Dedications or Donation. Prior to or simultaneous with the recording of the Final Plat for the Project, Developer agrees to dedicate, transfer and voluntarily donate to the City all required easements for the purposes of constructing, installing, operating, maintaining, repairing and replacing public utilities and improvements of every nature and kind as determined necessary or desirable by the City. Developer further agrees, prior to or simultaneous with recording of the Final Plat for the Project, to dedicate and transfer all property required for street rights-of-way and easements. Prior to dedication of such easements and rights-of-ways, Developer shall provide the City with evidence of clear title to such property, including payment of all rollback taxes.

6. Wetlands Park. Developer hereby agrees to voluntarily dedicate and donate to the City, free and clear of all encumbrances, a 7.2905 acre Wetlands Park, as more particularly described in Exhibit "D", attached hereto and incorporated herein by this reference. Developer further agrees to install specific improvements for the Wetlands Park in accordance with Approved Plans and this Agreement. Developer is making the dedication and donation of land and improvements as provided herein voluntarily as a contribution to the City and hereby waives and releases any claims for compensation therefor from the City.

7. Street Improvements. Street improvements to 735 (700) East shall be installed by the Developer in accordance with City Standards. Internal street improvements shall be installed by the Developer in accordance with the Approved Plans and shall be maintained by the Home Owner's Association. Except as otherwise provided herein, all construction shall be without cost to the City.

8. Wetlands Park Improvements. The Wetlands Park will be improved by the Developer in accordance with the Approved Plans and this Agreement. Developer shall be required to obtain and comply with any and all required permits from the U.S. Department of the Army Corps of Engineers' for the Project. Developer shall be responsible for bonding for improvements required herein prior to recordation of the Final Plat. Specific improvements to the Wetlands Park according to the Approved Plans, include, but are not limited to:

- a. *Enhancement of the wetlands area through grading, native plantings, drainage improvements, etc.*
- b. *Installation of 6' wide trail system around the designated wetlands.*
- c. *Installation of interpretive signage along said trail describing the wetlands, its systems, plants, animals, etc..*
- d. *Installation of park benches along said trail.*
- e. *Installation of picnic tables along the western side of the southern pond.*
- f. *Installation of a bridge across the wetlands between the northern and southern ponds.*
- g. *Pruning and maintenance of existing vegetation around the southern pond.*
- h. *Clean-up of the southern pond.*

9. Street Lights. Street lights along 735 (700) East shall be paid for by the Developer and installed by the City. Street lights within the Project shall be installed by the Developer in accordance with the Approved Plans and maintained by the Home Owner's Association.

10. Front Yard Landscaping of Lots. Front yard landscaping shall be installed in accordance with Approved Plans and Design Guidelines. Each lot shall include a minimum of two (2) trees, four (4) shrubs, sod and a sprinkler system. Plant materials shall be drawn from the approved plant materials listed in the Approved Plans and Design Guidelines. All front yard landscaping shall be installed prior to the final inspection of the home and/or issuance of an

Occupancy Permit for the home; however, accommodations may be made in the event inclement weather prohibits installation of required front yard landscaping. Said accommodations must be arranged with the City's Community Development Department Staff prior to final inspection of the home.

11. Common Area Improvements. Common Area improvements shall be installed by the Developer in accordance with the Approved Plans, shall be maintained by the Home Owner's Association, and shall include but shall not be limited to:

- a. Pool/Pavilion Common Area
  - i. A Pool
  - ii. A Pavilion
  - iii. A Sports Court
  - iv. Landscaping and irrigation.
  - v. Fencing.
- b. Common Area Adjacent to 735 (700) East.
  - i. Landscaping and Irrigation
  - ii. Emergency Access
  - iii. Entry Sign
  - iv. Fencing.

12. Fencing. Fencing withing the project shall be installed by the Developer in accordance with Approved Plans and Design Guidelines.

13. Utilities. Developer shall install natural gas, underground electrical service, sanitary sewer and culinary water supply systems for the entire Project within and up to the boundary lines of the Project. Such installations shall be done according to reasonable and customary design construction standards of the utility providers and the City Engineer. Developer shall make arrangements with and shall comply with the requirements of the Salt Lake County Sewerage Improvement District No. 1 to provide public sanitary sewer service to the Subdivision.

14. Building Setback Requirements. Setbacks of all buildings shall be in accordance with the Design Guidelines for the Project.

15. Architectural Standards. Architecture of all structures shall comply with the architectural standards outlined in the Design Guidelines for the Project.

16. Construction Standards and Requirements. All construction shall be conducted and completed in accordance with City Laws and the terms of this Agreement. All required public improvements for the Project shall be constructed in accordance with the City's Laws and construction standards and shall be dedicated to the City. Prior to commencing any construction or

development of any building, structures or other work or improvements within the Project, the Developer shall secure any and all permits which may be required by the City or any other governmental entity having jurisdiction over the work. The Developer shall construct, or cause to be constructed, all improvements for the Project in conformity with all federal, state and/or local laws, rules and regulations.

17. Right of Access. Representatives of the City shall have the reasonable right of access to the Project and any portions thereof during the period of construction to inspect or observe the Project and any work thereon.

18. Additional Permits. Before commencement of construction or development of any building, structure, grading or other work or improvements upon any portion of the Project, Developer shall, at its expense, obtain and secure any and all permits which are required by the City or any other governmental agency having jurisdiction over the work or affected by its construction or development. If any revisions or corrections of plats or plans already approved by the City shall be required by any other governmental entity having jurisdiction or lending institution involved in financing, the Developer and the City shall cooperate where appropriate to obtain or develop reasonable, mutually acceptable alternative plans or plats. Developer shall have the sole duty and responsibility to obtain approvals from any other governmental entities having jurisdiction with respect to the Project as needed.

19. Payment of Fees. The Developer shall pay all required fees to the City in a timely manner pertaining to the Project or any phase thereof. Developer shall pay all required fees to the City in those amounts which are in effect at the time the fees are actually paid to the City.

20. Bonds. Developer shall provide security satisfactory to the City to ensure the construction and installation of the public improvements as required by the Ordinances of the City and this Agreement. Developer shall provide to the City all required bonds in a timely manner which are due or which may become due pursuant to City Ordinances in connection with the Project. Developer shall provide all required bonds to the City in those amounts which are in effect at the time the bonds are actually provided to the City. All bonds shall be in a form acceptable to the City.

21. City Obligations.

a. Standard Services. Subject to Developer complying with all of the City's Law's and the provision of this Agreement, the City agrees to provide standard municipal services to the Project including police and fire protection, subject to the payment of all fees and charges charged or levied therefor by the City.

b. Wetlands Park Maintenance. Upon acceptance of the Wetlands Park improvements by the City Engineer, the City will provide maintenance of the Wetlands Park Area as follows:

i. Those areas in the Wetlands Park outside of the area designated as "wetlands" shall maintained in accordance with City Standards for park maintenance; and

ii. Those areas in the Wetlands Park designated as "wetlands" shall be maintained in accordance with the U.S. Department of the Army Corps of Engineers Standards for designated wetlands maintenance and preservation.

22. Assignment. The Developer shall not assign this Agreements or any rights or interests herein without the prior written consent of the City, which shall not be unreasonably withheld or delayed.

23. Default. In the event any party fails to perform its obligations hereunder or to comply with the terms hereof, within thirty (30) days after giving written notice of default, the non-defaulting party may, at its election, have the following remedies:

a. All rights an remedies available at law and in equity, including injunctive relief, specific performance and/or damages.

b. The right to withhold all further approvals, licenses, permits or other rights associated with any project or development described in this Agreement until such default has been cured.

c. The rights and remedies set froth herein shall be cumulative.

24. Notices. Any notices, requests and demands required or desired to be given hereunder shall be in writing and shall be served personally upon the party for whom intended, or if mailed, by certified mail, return receipt requested, postage prepaid, to such party at its address shown below:

a. To the Developer:

Ivory Homes L. P.  
970 Woodoak Lane  
Salt Lake City, Utah 84070

Sudweeks Development, L. L. C.  
9677 S. 700 E. Suite D  
Sandy, Utah 84070

b. To the City:

City Manager  
Draper City  
12441 South 900 East  
Draper, Utah 84020

Any party may change its address or notice by giving written notice to the other party in accordance with the provisions of this Section.

25. Attorney's Fees. The parties herein each agree that should they default in any of the covenants or agreements contained herein, the defaulting party shall pay all costs and expenses,

including a reasonable attorneys fee which may arise or accrue from enforcing this Agreement, or in pursuing any remedy provided hereunder or by the statutes or other laws of the State of Utah, whether such remedy is pursued by filing suit or otherwise, and whether such costs and expenses are incurred with or without suit or before or after judgement.

26. Indemnification. Developer hereby agrees to indemnify and hold the City and its officers, employees, representatives, agents and assigns harmless from all liability, loss, damage, costs or expenses, including attorney's fees and court costs, arising from or as a result of the death of any person or any accident, injury, loss, or damage whatsoever caused to any person or to property of any person which occurs within the Project or in connection with any off-site work done for or in connection with the Project which is caused by any acts done thereon or act or omission of the Developer, its agents, contractors, servants or employees. Developer shall furnish, or cause to be furnished, to the City a satisfactory certificate of insurance from a reputable insurance company, evidencing general public liability coverage for the Project in a single limit of not less than two million dollars (\$2,000,000.00) and naming the City as an additional insured thereon.

27. Compliance with Law. Developer shall comply with all applicable federal, state and local laws, ordinances, rules and regulations pertaining to Developer's activities in connection with development of the Project.

28. Integration. This Agreement, together with the Exhibits hereto, integrates all of the terms and conditions pertaining to the subject matter hereof and supersedes all prior negotiations, representations, promises, inducements or previous agreements between the parties, whether oral or written with respect to the subject matter hereof. Any amendments hereto must be in writing and signed by the respective parties hereto.

29. Headings. The headings contained in this Agreement are intended for convenience only and are in no way to be used to construe or limit the text herein.

30. Binding Effect. This Agreement shall inure to the benefit of, and be binding upon, the parties hereto and their respective heirs, representatives, officers, agents, employees, members successors and assigns (where assignment is permitted as provided herein). The covenants contained herein shall be deemed to run with the Property.

31. No Third Party Rights. The obligations of the parties set forth herein shall not create any rights in or obligations to any persons or parties other than the City and the Developer. The City and the Developer alone shall be entitled to enforce or waive any provisions of this Agreement to the extent that such provisions are for their benefit.

32. Non-Liability of City Officials and Employees. No officer, representative, agent or employee of the City shall be personally liable to the Developer, or any successor in interest or assignee of the Developer, in the event of any default or breach by the City, or for any amount which may become due Developer, or its successors or assignees, for any obligation arising under the terms of this Agreement.

33. Further Documentation. This Agreement is entered into by both parties with the recognition and anticipation that subsequent agreements implementing and carrying out the

provisions of this Agreement may be necessary. The parties agree to negotiate in good faith with respect to all such future agreements. The City agrees to cooperate with the Developer as may be reasonable and appropriate to enable Developer to obtain available tax benefits related to this Agreement. The City does not warrant or represent that Developer will receive any tax benefits in connection with the Project.

34. Termination. Notwithstanding anything in this Agreement to the contrary, it is agreed by the parties hereto that in the event the Project is not completed within five (5) years from the date of this Agreement, or in the event the Developer does not comply with the City's Laws and the provisions of this Agreement, the City shall have the right, but not the obligation at the sole discretion of the City to terminate this Agreement and/or to not approve any additional phases for the Project. Any termination may be effected by the City by giving written notice of intent to terminate to the Developer at the address of the Developer set forth herein. Whereupon the Developer shall have sixty (60) days to correct any alleged deficiencies and to take appropriate steps to complete the Project. In the event Developer fails to satisfy the concerns of the City with regard to such matters, the City shall be released from any further obligations under this Agreement and the same shall be terminated.

35. Governing Law. This Agreement and all matters relating hereto shall be governed by, construed and interpreted in accordance with the laws of the State of Utah.

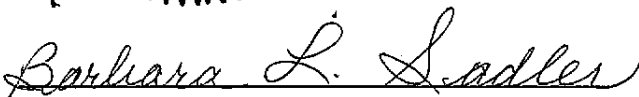
IN WITNESS WHEREOF, the parties hereto have executed this Agreement by and through their respective duly authorized representatives as of the day and year first herein above written.

"CITY"  
DRAPER CITY

By: \_\_\_\_\_  
Mayor



ATTEST

  
City Recorder



"DEVELOPER"

Sudweeks Development, L.L.C.

By: [Signature]  
Its: Managing Member

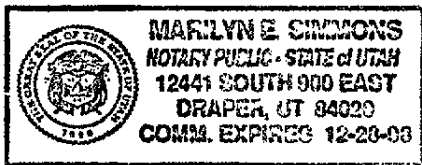
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Ivory Home<sup>S</sup>L.P.  
<sub>SA</sub>

By: [Signature]  
Its: General Partner

CITY ACKNOWLEDGMENT

STATE OF UTAH            )  
                                      : ss.  
CITY OF SALT LAKE        )

On this 16th day of April, 1998, personally appeared before me Richard D. Alsop, who being by me duly sworn, did say that he is the Mayor of Draper City, a municipal corporation, and that he signed the foregoing document in behalf of the City by authority of its governing body and that the City executed the same.



[Signature]  
Notary Public

My Commission Expires: 12-28-98

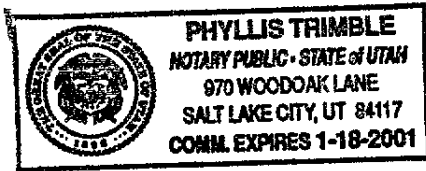
Residing at: Salt Lake County

BK 7985 PG 2829

LIMITED PARTNERSHIP ACKNOWLEDGMENT

STATE OF UTAH )  
 : ss.  
CITY OF SALT LAKE )

On this 24 day of Feb, 1998, personally appeared before me Ellis R. Jerny who being by me duly sworn, did say that he/she is the Gen. Partner of Ivory Homes, LLP a limited partnership, and that the foregoing instrument was duly authorized by the limited partnership at a lawful meeting held by authority of its by-laws and signed in behalf of said limited partnership.

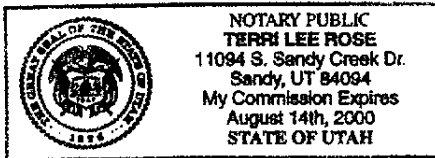


Phyllis Trimble  
Notary Public  
My Commission Expires: 1/18/2001  
Residing at: SLC UT

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH )  
 : ss.  
CITY OF SALT LAKE )

On this 17<sup>th</sup> day of February, 1998, personally appeared before me J. Trevor Sudweeks who being duly sworn by me did say that he/she is the Managing Member of Sudweeks Development, L. L. C., a limited liability company in the State of Utah, and that the foregoing instrument was duly authorized by the members/managers of said limited liability company in accordance with its operating agreement and was signed in behalf of said limited liability company.



Terri Lee Rose  
Notary Public  
My Commission Expires: 8/14/00  
Residing at: S.L. County

Exhibit "A"

Beginning at a point which is S 89°36'19" E, 363.61 feet from the Southwest Corner of Section 20, Township 3 South, Range 1 East, Salt Lake Base and Meridian; and running

Thence N 00°54'25" E, 93.48 feet;

Thence 106.2525 feet along the arc of a 5708.11 foot radius curve to the left (chord bears N 00°22'21" E, 106.524 feet);

Thence S 89°36'19" E, 519.188 feet;

Thence N 00°23'41" E, 0.55 feet;

Thence S 89°36'19" E, 436.20 feet;

Thence S 00°23'41", W, 1132.25 feet;

Thence N 89°36'19" W, 316.090 feet to a point on an existing fence line;

Thence N 00°23'41" E, along said fence line 338.25 feet;

Thence N 89°36'19" W, 354.134 feet;

Thence N 00°23'41" E, 338.25 feet;

Thence N 89°36'19" W, 297.00 feet;

Thence N 00°54'25" E, 255.21 feet;

Thence S 89°36'19" E, 8.75 feet to the point of beginning.

Contains: 17.7112 acres

BK 7985 PG 2831

# SUNSET PONDS P.U.D.

A PLANNED UNIT DEVELOPMENT LOCATED IN THE NORTHWEST QUARTER OF SECTION 20  
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

AMENDING BLOCKS 40, 41, 44 AND 45 OF THE  
ORIGINAL DRAPERVILLE PLAT

BASE OF BEARING = S00°05'45"W

WEST QUARTER CORNER  
SECTION 20  
T.3S., R.1E.,  
S.1/4 S.4  
OLD COUNTY MONUMENT

NOTE:  
ALL PRIVATE ROADWAYS SHOWN  
HEREON ARE ALSO HEREBY  
DEDICATED AS PUBLIC UTILITY,  
SEWER, WATER, AND STORM DRAINAGE  
EASEMENTS

NOTE:  
THE FOLLOWING LOTS HAVE SHALLOW SEWER  
DEPTHS AND BASEMENTS MAY NOT BE ALLOWABLE  
LOT 12, 13, 14, 15, 16, 17, 18, 19, 20,  
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CENTRAL CURVE DATA

NUMBER	CHORD	ARC	ANG	LOC	CHORD
1	100.00	100.00	90.00	0.00	100.00
2	141.42	157.08	135.00	100.00	141.42
3	173.21	200.00	180.00	157.08	173.21
4	196.13	233.84	225.00	200.00	196.13
5	210.72	259.81	270.00	233.84	210.72
6	217.35	278.33	315.00	259.81	217.35
7	215.71	289.12	360.00	278.33	215.71
8	205.74	292.98	405.00	289.12	205.74
9	187.50	290.72	450.00	292.98	187.50
10	161.13	282.33	495.00	290.72	161.13
11	127.72	268.91	540.00	282.33	127.72
12	87.50	251.50	585.00	268.91	87.50
13	41.42	231.08	630.00	251.50	41.42
14	0.00	207.00	675.00	231.08	0.00

MARK	DATE	TIME	BY	REMARKS
1	10/15/97	10:00	R. Scott Reynolds	Initial Survey
2	10/15/97	11:00	R. Scott Reynolds	Initial Survey
3	10/15/97	12:00	R. Scott Reynolds	Initial Survey
4	10/15/97	13:00	R. Scott Reynolds	Initial Survey
5	10/15/97	14:00	R. Scott Reynolds	Initial Survey
6	10/15/97	15:00	R. Scott Reynolds	Initial Survey
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89	10/15/97	98:00	R. Scott Reynolds	Initial Survey
90	10/15/97	99:00	R. Scott Reynolds	Initial Survey
91	10/15/97	100:00	R. Scott Reynolds	Initial Survey

CLYDE W. & CONNIE M. JENSEN

CLYDE W. & CONNIE M. JENSEN

WASESCHA

NEIL TUNBRIDGE

ANITA F. & DEAN F. TUNBRIDGE

10000  
MONUMENTS TO BE SET  
FOR ALL AND DRAINAGE EASEMENTS  
FROM LOT LINE IS 10.00 FEET  
BOUNDARY EASEMENTS ARE 10.00 FEET  
INTERIOR LOT LINE EASEMENT IS 7.5 FEET  
FIRE HYDRANTS TO BE INSTALLED  
STREET LIGHTS TO BE INSTALLED

ALAN D. & IDA M. TUNBRIDGE

ENHANCED WETLAND AREA  
TO BE D



Exhib

# Sunset Ponds PUI

BK 7985 PG 2834

it "C"

# D Approved Plans

BK7985PG2835

# SUNSET PONDS P.U.D.

## Final Site Plan-Amended

### SUDWEEKS DEVELOPMENT, LLC

Engineer - Ralph Goff and Associates

Land Planner - Allred, Soffe, Wilkinson & Nichols INC.

X *Michael A. Schwinn*  
DRAPER CITY SIGNATURE 01-22/98  
X *Michael A. Schwinn*  
ARCHITECTS SIGNATURE 12/10/97



N.T.S



NORTH

CLOSED WHITE VINYL FENCING ALONG SOUTH PROPERTY LINE.

SPORT COURT, POOL AND PAVILION  
INTERPRETIVE SIGN 'A'

PEDESTRIAN TRAIL WITH INTERPRETIVE SIGNS PLACED AT KEY LOCATIONS ALONG THE TRAIL (TYPICAL)  
SEE DESIGN DETAIL SHEET

PARK BENCH ALONG TRAIL (TYPICAL)

INTERPRETIVE SIGN 'B'

OPEN WHITE VINYL FENCE AROUND PAVILION AND SPORT COURT.

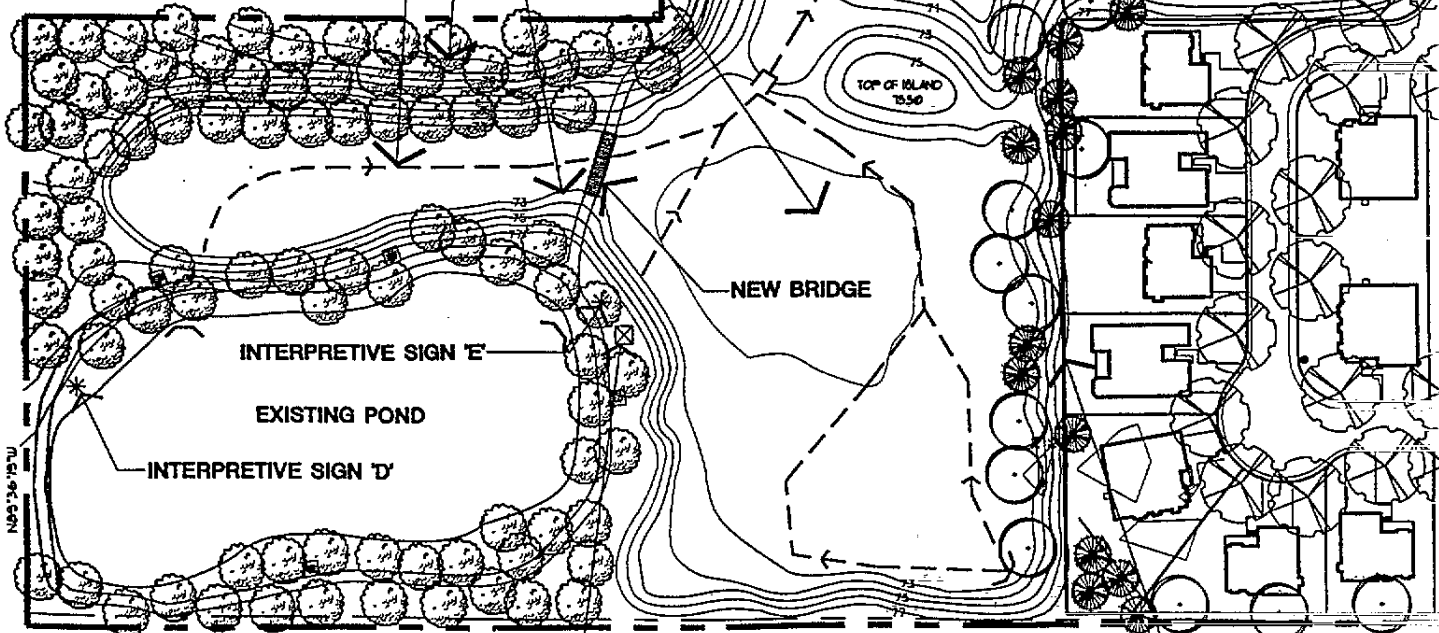
MARSH AREA (TYPICAL)

INTERPRETIVE SIGN 'C'  
WETLAND MEADOW AREA

WETLAND MEADOW AREA (TYPICAL)

EXISTING COTTONWOOD TREES TO REMAIN

FLOW LINE/ SWALE (TYPICAL)

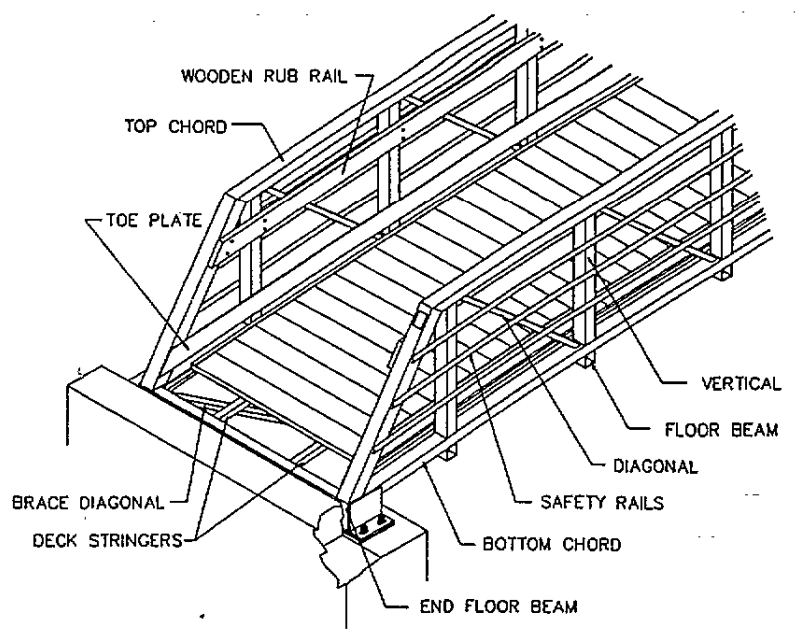
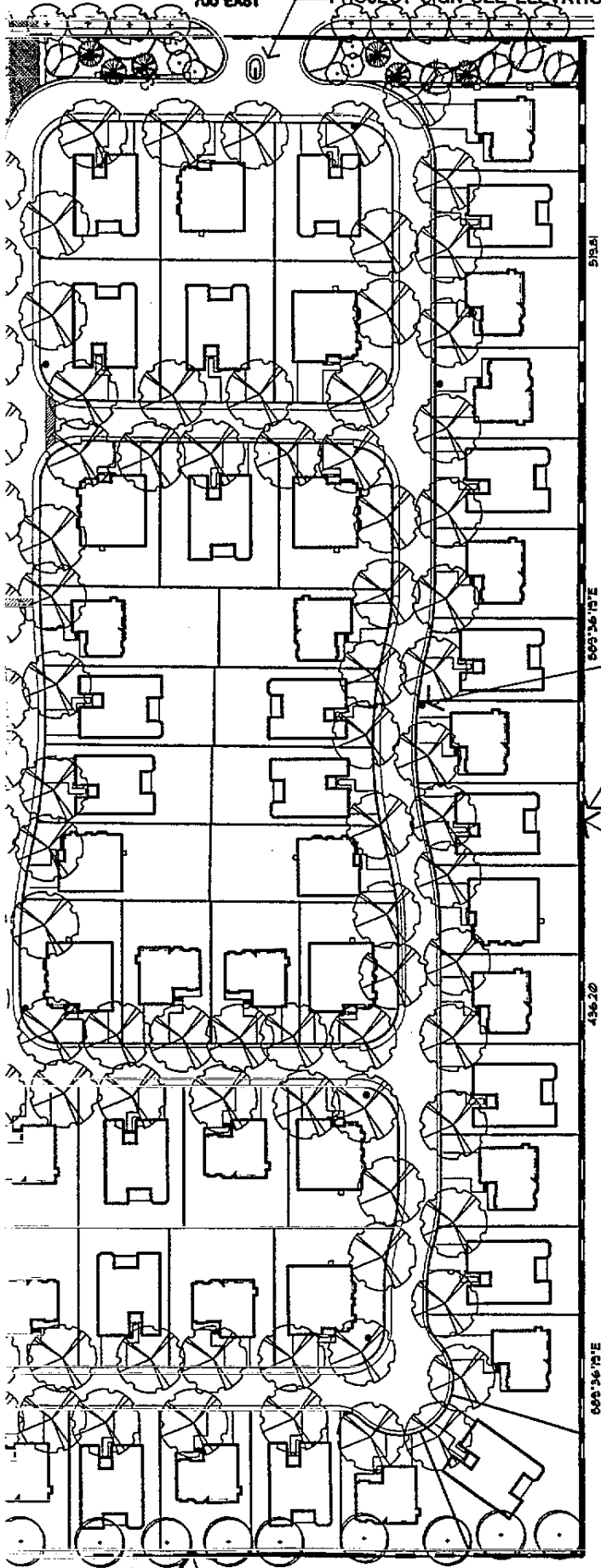


EXISTING WINDMILL TO REMAIN

OPEN WHITE VINYL FENCE ADJACENT TO WETLAND



700 EAST PROJECT SIGN SEE ELEVATION ON 700 EAST PLANTING SHEET

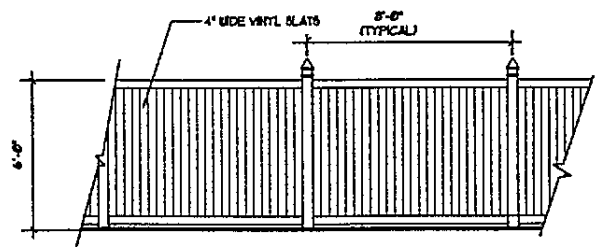


BRIDGE ABUTMENT DETAIL  
NOT TO SCALE

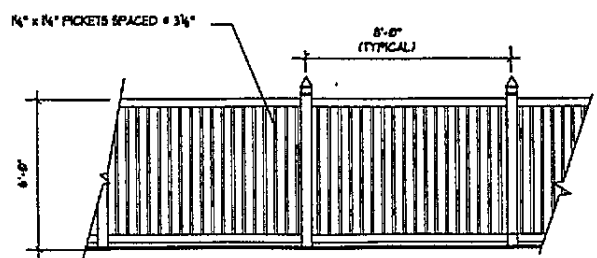
STREET LAMP (TYPICAL)

PANEL MASONRY WALL PAINTED WHITE STARTING AT THIS POINT.

CLOSED WHITE VINYL BEGINS HERE.



CLOSED WHITE VINYL FENCING (TYP.)  
NOT TO SCALE



OPEN WHITE VINYL FENCING (TYP.)  
NOT TO SCALE

CLOSED WHITE VINYL FENCING (TYPICAL)

# SUNSET PONDS P.U.D.

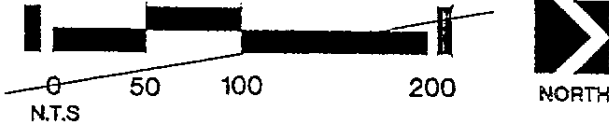
## Final Landsape Plan

SEE 700 EAST PLANTING PLAN SHEE FOR PLANTING IN THIS AREA

SUDWEEKS DEVELOPMENT, LLC

Engineer - Ralph Goff and Associates

Land Planner - Allred, Soffe, Wilkinson & Nichols INC.



SPORT COURT, POOL AND PAVILION  
SEE POOL PLANTING PLAN SHEET  
FOR PLANTING IN THIS AREA

**WATER BUDGET**

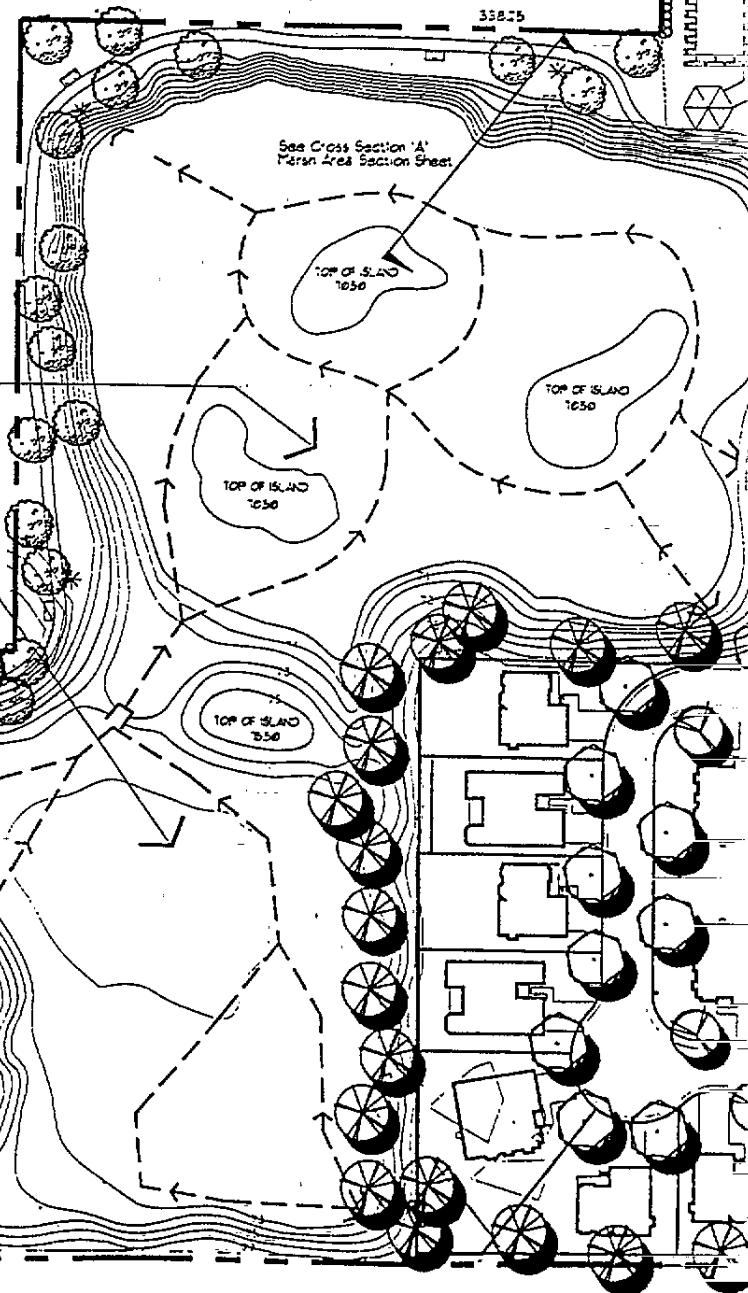
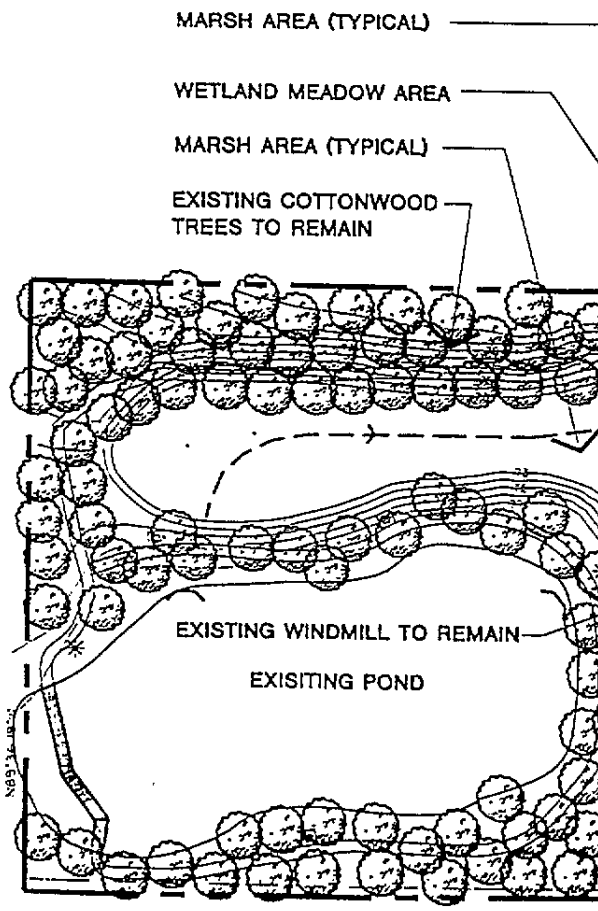
INFLUWS

PRECIPITATION	16 INCHES	52 ACRE-FEET
OUTFLOW FROM SOUTH POND	3 GPM	48 ACRE-FEET
OUTFLOW FROM VICTORS POND	16 GPM	160 ACRE-FEET
		<b>TOTAL 16 ACRE-FEET</b>

OUTFLUWS

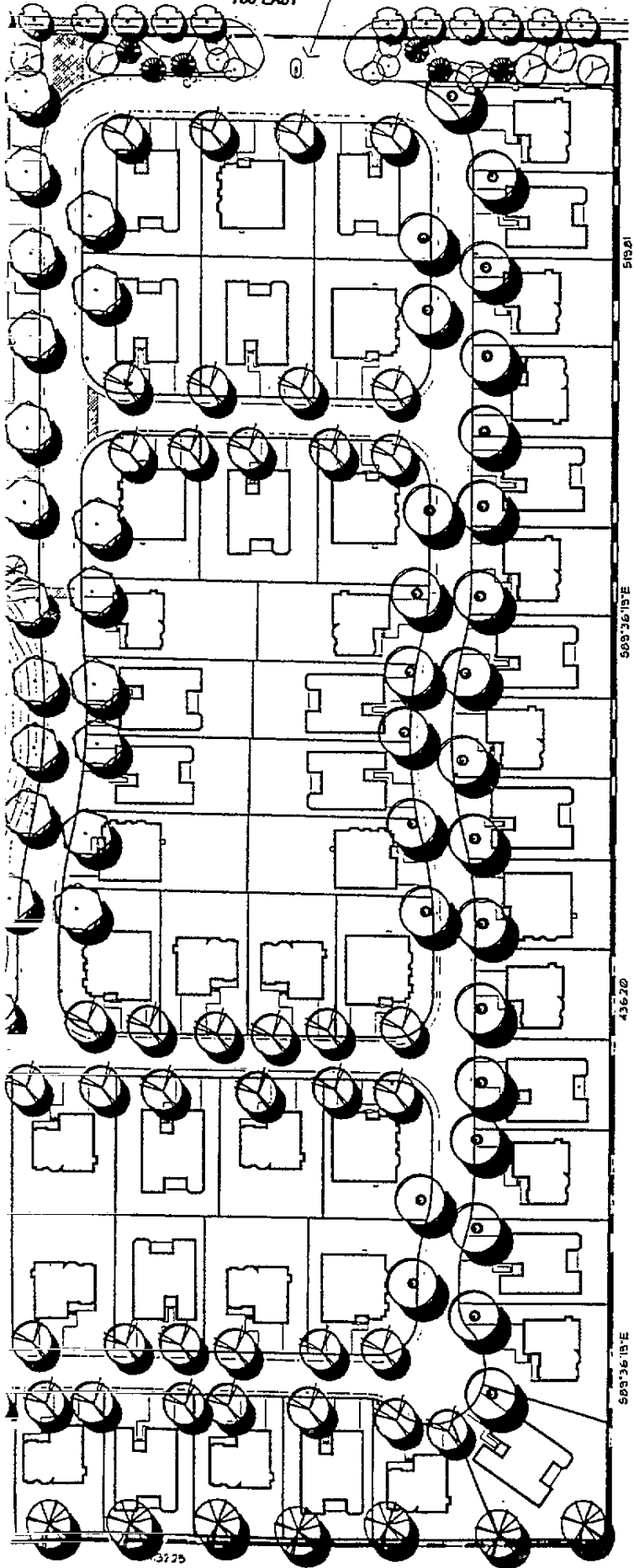
EVAPOTRANSPIRATION	48 INCHES	56 ACRE-FEET
		<b>TOTAL 56 ACRE-FEET</b>

THE WATER BALANCE INDICATES THAT THERE WILL BE AN EXCESS OF APPROXIMATELY 10 ACRE-FEET ANNUALLY THAT CAN BE STORED AS OPEN WATER ON THE SITE. APPLIED OVER THE COMBINED 3.5 ACRES, THIS WOULD RESULT IN AN AVERAGE, INFLOW WATER DEPTH OF 2.3 FEET. GIVEN THE VARIABLE DEPTHS IN THE TWO EXISTING PONDS, TOPOGRAPHICAL MODIFICATIONS TO THE MITIGATION SITE, AND THE CONSTRUCTION OF PROPOSED OUTLET AND INLET STRUCTURES, WE FEEL THAT THERE IS SUFFICIENT WATER TO SUPPORT A WETLAND ENVIRONMENT AT THE SITE. FURTHER, THE EXISTING OUTLET FROM THE WEST POND COULD BE USED TO RELEASE INUNDATED WATER AT THE SITE SHOULD IT BECOME NECESSARY TO LOWER WATER DEPTHS.  
(KARL D. KROOP, Hydrologist - Great Basin Earth Science, Inc.)



- PROJECT SIGN SEE ELEVATION ON 700 EAST PLANTING SHEET

700 EAST



**WETLAND PLANTING**

**MARSH AREAS**

These sites, in both the restoration/enhancement area and the adjacent wetland, where the water depths vary between 0 to 2 feet. Recommended vegetation for these sites include:

Seeding	Scientific Name	Common Name	Pounds of Pure Live Seed/Acre
	<i>Scirpus americanus</i>	Common 3 Sq. Bull Rush	4.0
	<i>Scirpus acutus</i>	Hardstem Bulrush	6.0
	<i>Scirpus maritimus</i>	Alkali Bulrush	4.0
Total Seeding Rate			7.0

\*Seeding rates are for broadcast seeding or hydroseeding as drilling in these areas is not practical in saturated conditions. See section on General Reclamation information, below.

**WET MEADOW AREAS**

These sites would be where the water depth is from 0 to 18 inches below the ground surface for at least 8% of the growing season. Recommended vegetation for these sites include:

Seeding	Scientific Name	Common Name	Pounds of Pure Live Seed/Acre
	<i>Agrostis alba</i>	Redtop Bentgrass	1.0
	<i>Poa palustris</i>	Fowl Bluegrass	0.5
	<i>Festuca arundinacea</i>	Kentucky Fescue	1.0
	<i>Phalaris arundinacea</i>	Reed Canarygrass	0.5
	<i>Carex nebrascensis</i>	Nebraska Sedge	1.0
	<i>Carex rostrata</i>	Beaked Sedge	1.0
	<i>Trifolium fragiferum</i>	Strawberry Clover	0.5
Total Seeding Rate			5.5

\*Seeding rates would be doubled if broadcast seeding or hydroseeding is used rather than drilling.

Two common species, saltgrass and arctic rush, are not listed here because these species are the dominant species already existing on this site. Rhizomes and seeds existing in the native topsoil should be sufficient to re-establish these, and other species so long as the native topsoil is used in the reclamation effort.

**Shrub And Tree Plantings**

Scientific Name	Common Name	Plantings / Acre
<i>Salix exigua</i>	Coyote Willow	120 Slips
<i>Cornus stolonifera</i>	Red-osier Dogwood	193 Containers
<i>Ribes aureum</i>	Golden Currant	193 Containers
<i>Sambucus canadensis</i>	American Elder	193 Containers
<i>Iris pseudacorus</i>	Water Iris	120 Bulbs

\*120 slips/acre out from local stock, spaced 6 feet apart (Dalton, et al, 1991).

**TREE LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	ACER PLATANOIDES 'EMERSON KING'	CRIMSON KING MAPLE	7" CAL
	GLEDITSIA TRICANTHOS 'SHADE-MASTER'	HONEY LOCUST	7" CAL
	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	7" CAL
	FRAXINUS PENNSYLVANICA 'LANCÉOLATA'	PATMORE ASH	7" CAL
	TREES TO BUFFER RESIDENTIAL UNITS AND ADJACENT PROPERTIES		
	PICEA PUNGENS 'GLAUCO'	GREEN SPRUCE	8-10" CAL
	QUERCUS RUBRA	RED OAK	14" CAL
	SALIX MATSUCANA 'GLABROSA'	GLOBE WILLOW	14" CAL

NOTE:  
TREE PLANTING FOR BUFFERING SHALL BE MIXED WITH THE ABOVE THREE SPECIES. ONE SYMBOL IS UTILIZED TO ENHANCE GRAPHIC CLARITY.  
FOOT PRINTS SHOWN ON PLAN REPRESENT THREE STYLES FOR GRAPHIC PURPOSES. MORE STYLES WILL BE USED IN ACTUAL CONSTRUCTION OF HOMES. SEE TYPICAL LOT PLANTING PLAN FOR PLANT CALLOUTS.

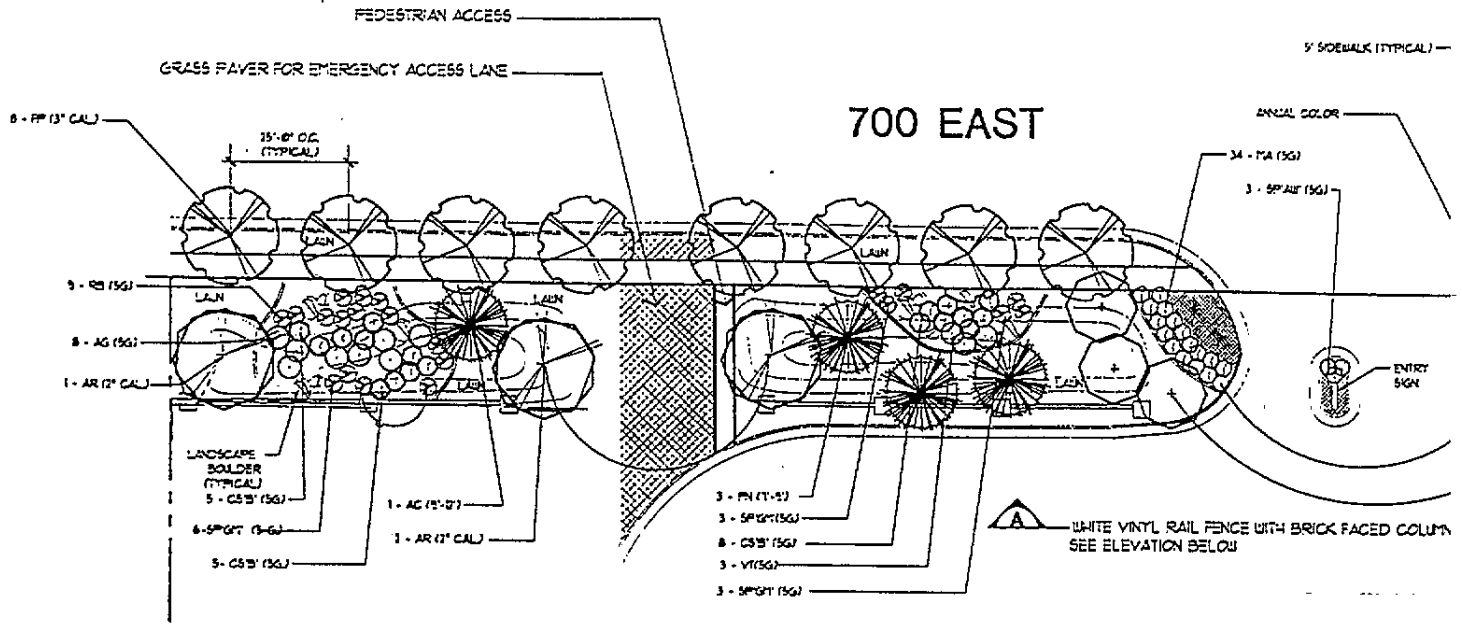
RECEIVED  
CITY OF DENVER

BK 7985 PG 2839

# SUNSET PONDS P.U.D.

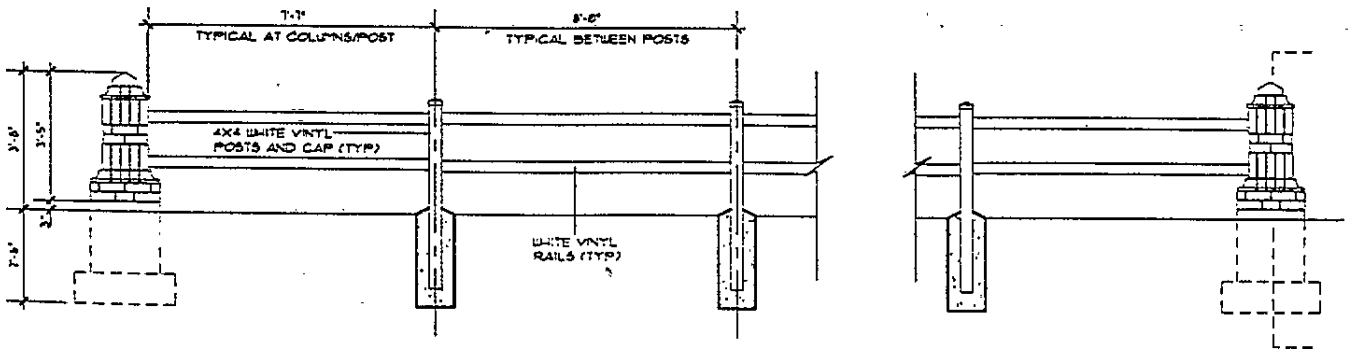
## 700 EAST PLANTING PLAN

SUDWEEKS DEVELOPMENT, LLC  
 Allred, Soffe, Wilkinson & Nichols INC.



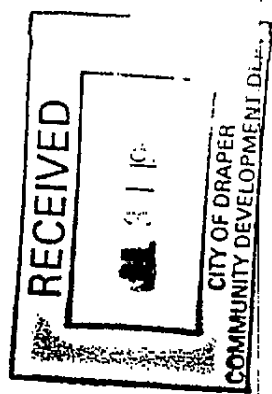
### CONCEPTUAL PLANTING PLAN

SCALE: 1/4" = 1'-0"  
 NTS



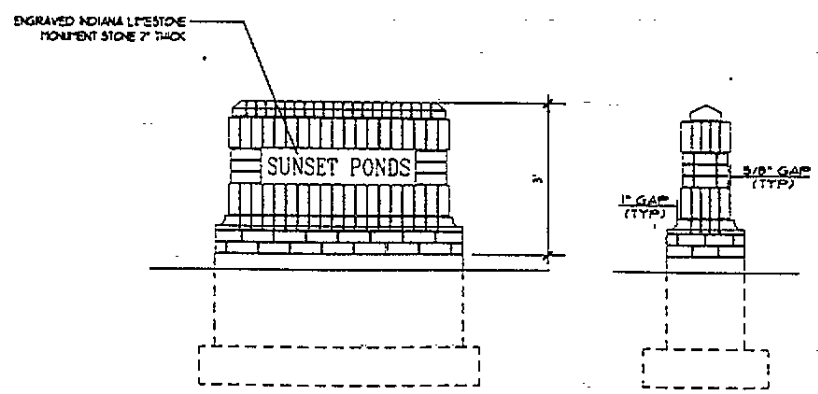
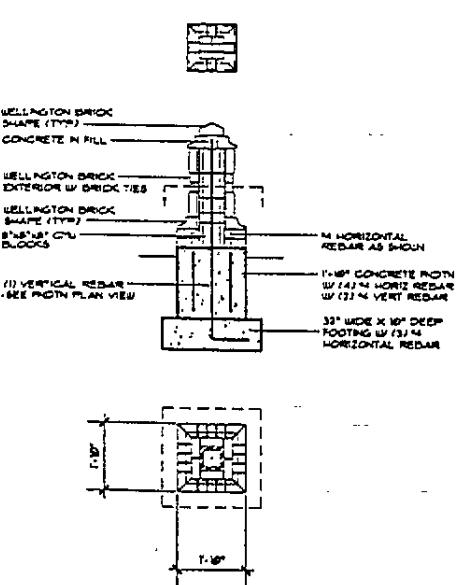
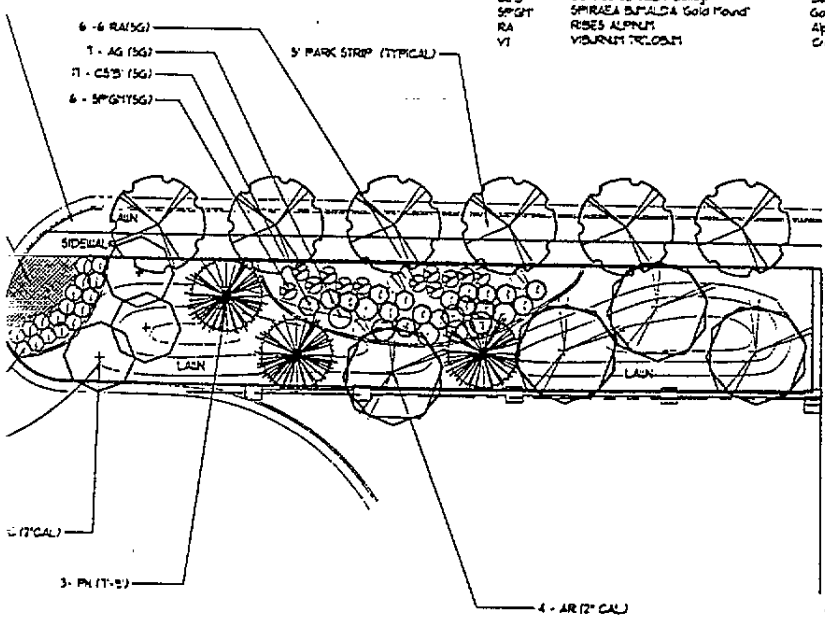
**A** PILASTER AND FENCING ELEVATION  
 NOT TO SCALE

*Pg 2870*  
 BK 7985 PG 2 R L N



**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
<b>EVERGREEN TREES</b>			
AC	ABIES CONCOLOR	White Fir	5'-10"
PPG	PICEA PUNGENS GLAUCA	Colorado Green Spruce	5'-10"
PN	PAULS NIGRA	Austrian Pine	8'-5"
<b>ACCENT TREES</b>			
MI	MALUS IOENSIS 'KLEIN'S IMPROVED'	Seckel Crab	7" CAL
PS	PRUNUS SARCENTII 'COLUMNAR'	Columnar Cherry	7" CAL
PC	PYRUS CALLERTANA 'CAPITAL'	Capital Pear	7" CAL
<b>DECIDUOUS TREES</b>			
AR	ACER RUBRUM 'RED SUNSET'	Red Sunset Maple	7" CAL
BO	BETULA OCCIDENTALIS	Western Red Birch	8'-10"
FP	FRAXINUS PENNSYLVANICA LANCEOLATA	Flamingo Ash	7" CAL
<b>ACCENT SHRUBS</b>			
MA	MAHONIA AQUIFOLIUM 'COMPACTA'	Compact Oregon Grape	5 Gallon
EA	EBONYLUS ALATA 'COPFACIA'	Compact Burning Bush	5 Gallon
SP/AU	SPIRAEA DUMALDA 'ANTHONY CATERER'	Anthony Waterer Spiraea	5 Gallon
<b>SHRUBS IN BERBED AREAS</b>			
AG	ACER GINNALA	Amur Maple	5 Gallon
CSB	CORNUS SERICEA 'Balfour'	Balfour Redtwig Dogwood	5 Gallon
SP/GT	SPIRAEA DUMALDA 'Gold Mound'	Gold Mound Spiraea	5 Gallon
RA	RIBES ALPNUM	Alpine Currant	5 Gallon
VI	VIBURNUM TRICOLORUM	Creeping Snow	5 Gallon



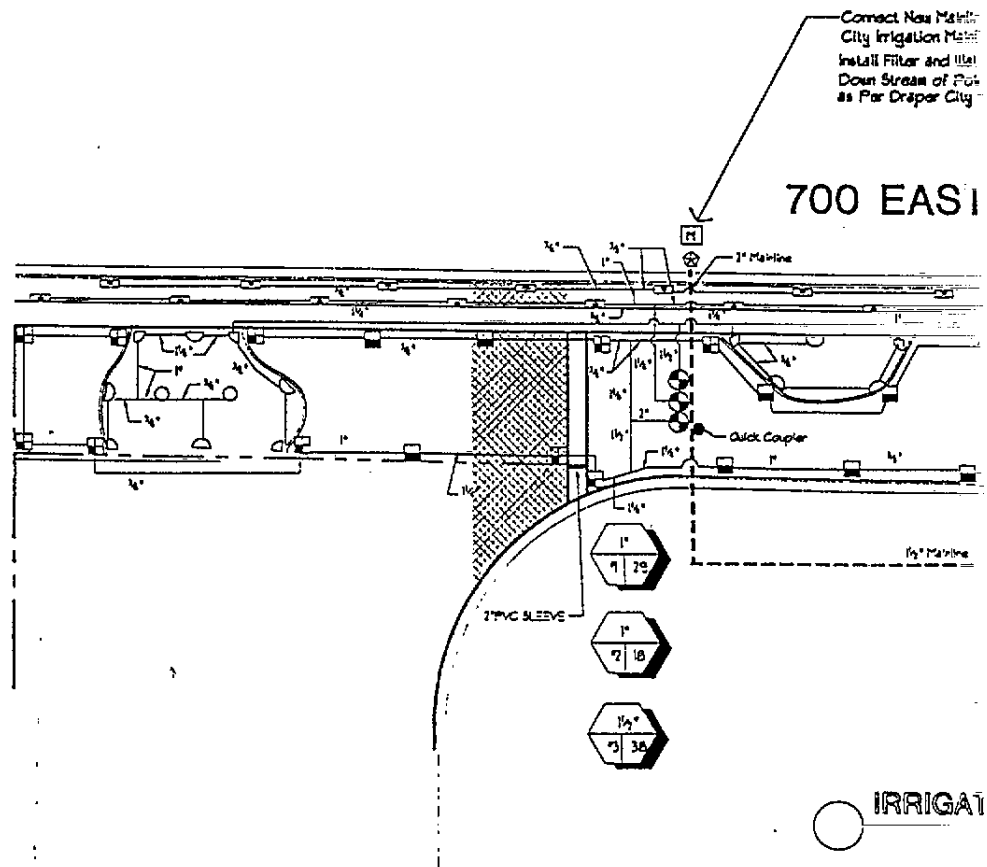
**B ENTRY SIGN ELEVATION AND SECTION**  
NOT TO SCALE

BK 7985 PG 284 1

# SUNSET PONDS P.U.D.

## 700 EAST IRRIGATION PLAN

SUDWEEKS DEVELOPMENT, LLC  
Allred, Soffe, Wilkinson & Nichols INC.



BK 7985 PG 2842

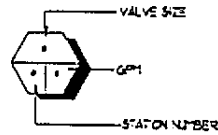
# IRRIGATION SCHEDULE

## SYMBOL DESCRIPTION

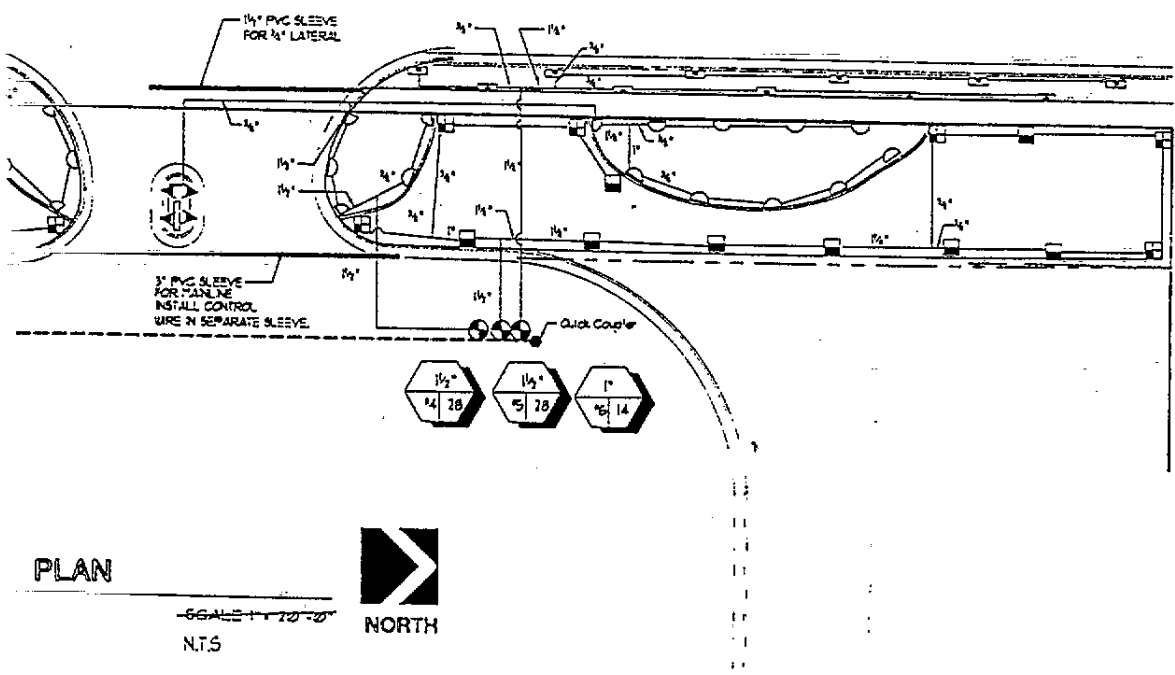
SYMBOL	BRAND	DESCRIPTION	MODEL #	PSI	RAD.	GPM
[Symbol]	Hunter	PGM Turf Rotor Pop-up	PGM-06-SJ	60	21'	12
[Symbol]	Hunter	PGM Turf Rotor Pop-up	PGM-06-SJ	60	24'	15
[Symbol]	Rainbird	1800-PRS Shrub Pop-up	1812-SAM-PRS-8H	30	8'	19
[Symbol]	Rainbird	1800-PRS Shrub Pop-up	1812-SAM-PRS-8Q	30	8'	39
[Symbol]	Rainbird	1800-PRS Shrub Pop-up	1812-SAM-PRS-15F	30	15'	330
[Symbol]	Rainbird	1800-PRS Shrub Pop-up	1817-SAM-PRS-15H	30	15'	163
[Symbol]	Rainbird	1800-PRS Shrub Pop-up	1812-SAM-PRS-15Q	30	15'	93
[Symbol]	Rainbird	1800-PRS TURF Pop-up	1804-SAM-PRS-1595T	30		121
[Symbol]	Rainbird	1800-PRS TURF Pop-up	1804-SAM-PRS-1595T	30		61

- ⊗ AMIAD IN-LINE FILTER W/ PRESSURE GAUGE KIT  
MODEL # 38-24-01-07 FILTER/PLANGED 60 MESH  
ENCLOSURE - MODEL # 588C-40DLHP
- ⊙ RAINBIRD PES8 SERIES CONTROL VALVE (SIZED ON PLAN)
- △ RAINBIRD CONTROLLER MODEL AND LOCATION  
TO BE VERIFIED BY OWNER
- PVC SCHED. 40 LATERAL LINE (SIZE AS NOTED ON PLAN)
- 4" PVC SCHEDULE 40 MAIN LINE PIPE  
ALL MAIN LINE FITTINGS TO BE SCHEDULE 80
- PVC SCH. 40 SLEEVE
- RAINBIRD QUICK COUPLING VALVE 44LRC 1"

### VALVE KEY



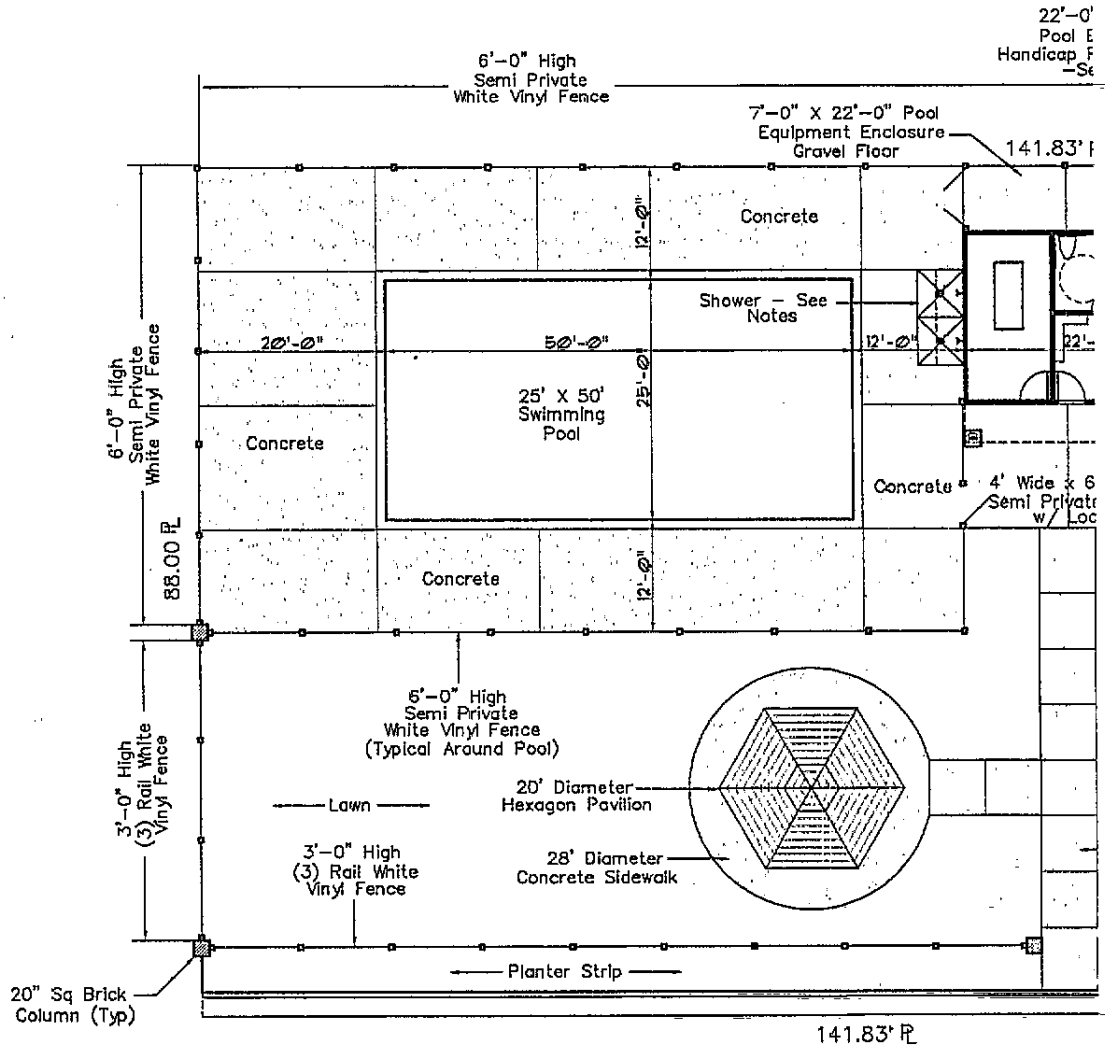
in Vault  
direction



PLAN  
SCALE = 1" = 20'-0"  
N.T.S.  
NORTH

RECEIVED  
JUL  
CITY OF DRAPER  
COMMUNITY DEVELOPMENT

BK 7985PG2843



**General Notes**

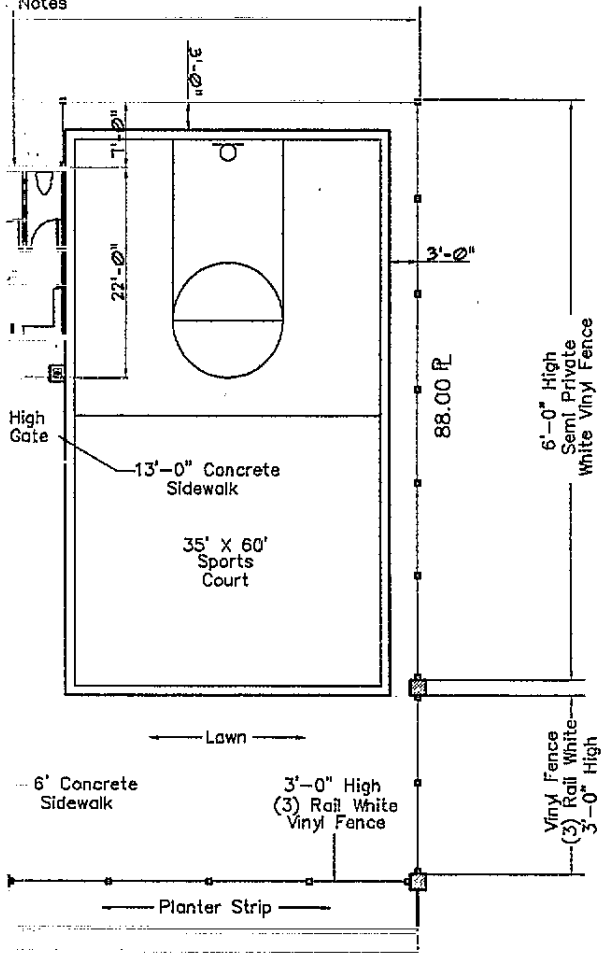
- Outside shower stalls are to be covered by roof
- Slope concrete to drains - as shown
- Drains to connect per jurisdiction requirements
- Handicap bathroom stall is to comply to all ADA requirements
- Sink is to comply to all ADA requirements

**Shading Lane**

BK 7 985 PG 2844



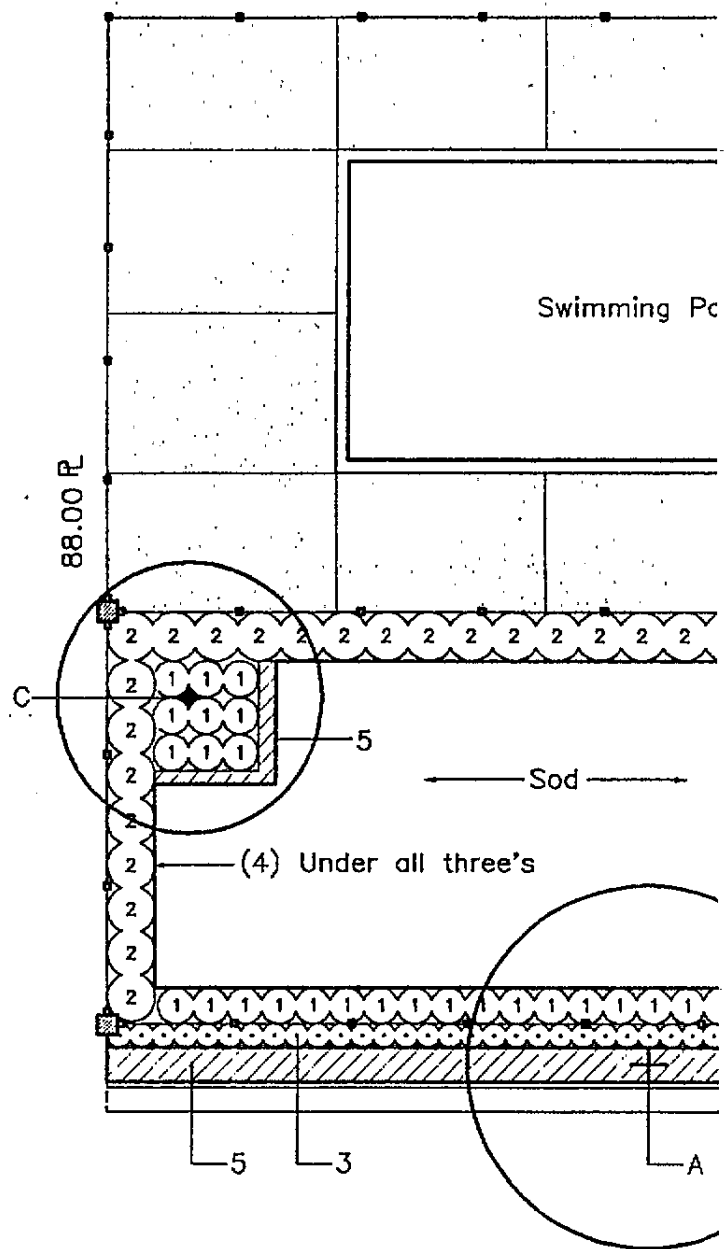
X 22'-0"  
 Equipment/  
 Public Restroom  
 Notes



Amenities Area at Sunset Ponds  
 Draper, Utah  
 12,481 square feet

**SITE PLAN**  
 SCALE: 1"=20'-0"

BK7985PG2845



**Key Botanical Name**

**Trees**

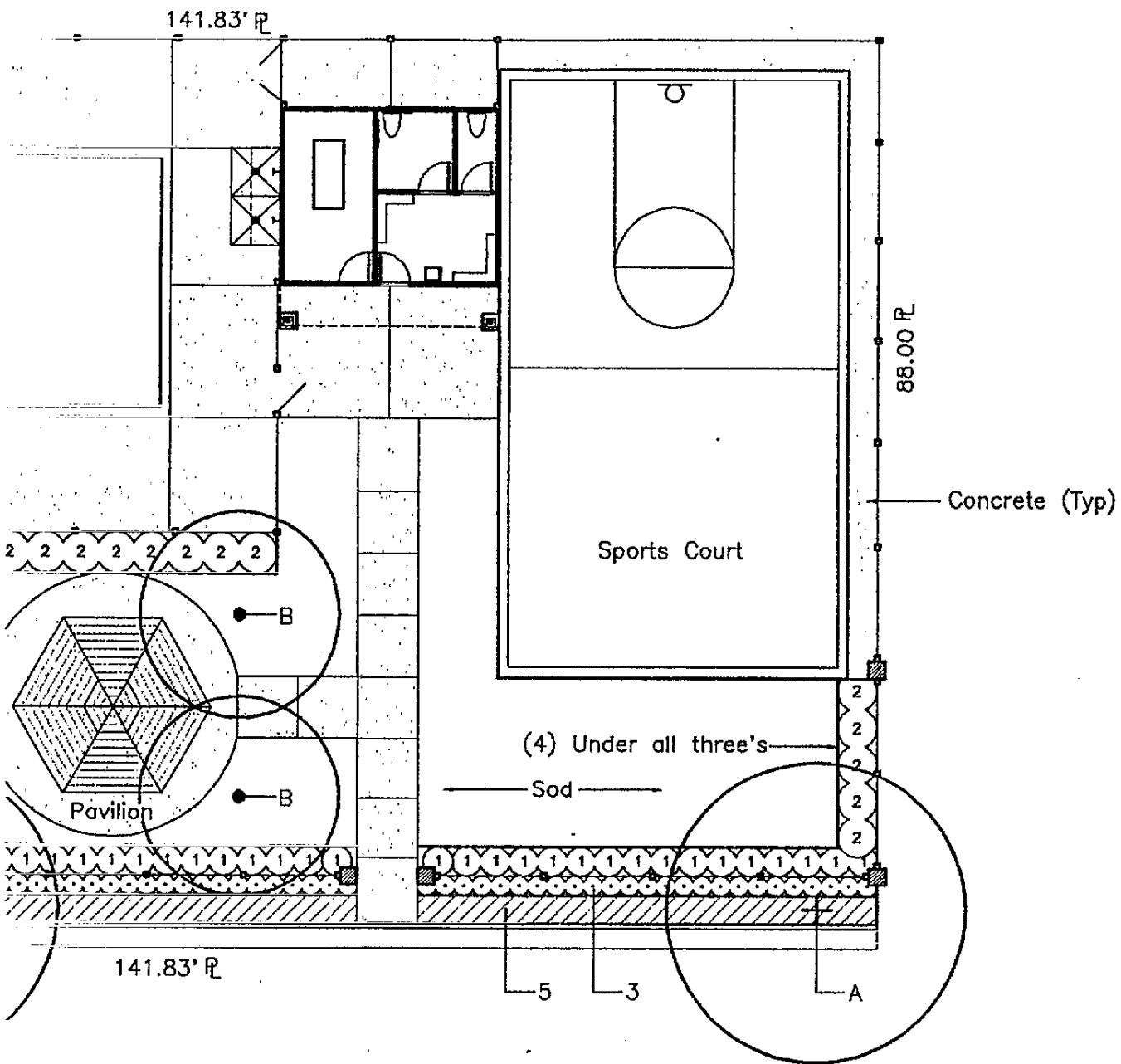
A. <i>Platanus acerifolia</i>	London Planetree	2" caliper	P.
B. <i>Pyrus calleryana</i> "Aristocrat"	Aristocrat Flowering Pear	2" caliper	
C. <i>Cercis canadensis</i>	Eastern Redbud	2" caliper	

**Shrubs**

1. <i>Spirea bumalda</i> "Anthony Waterer"	Dwarf Red Spirea	2" gallon	
2. <i>Taxus baccata repandens</i>	Spreading English Yew	21-24 inch	B.
3. <i>Viburnum opulus nana</i>	Dwarf Cranberry Bush	2" gallon	

**Groundcover and Vines**

4. <i>Sedum spurium</i>	Dragons blood sedum	Flats	P.
5. <i>Vinca Minor</i>	Dwarf Periwinkle	Flats	P.



**Notes**

1. Finish grade in sod areas, prior to installation of sod, shall be 2" below adjacent pavement.
2. Install shredded redwood bark mulch to a depth of (2) two inches over all exposed soil in shrub beds and (1) inch in groundcover beds.
3. At shrub beds, shovel cut all lawn edges to provide smooth, uniform edges and straight lines as shown on plans.
4. Backfill mix for all planting pits shall be prepared per a soils report to be obtained and paid for by the contractor.

reat Plan

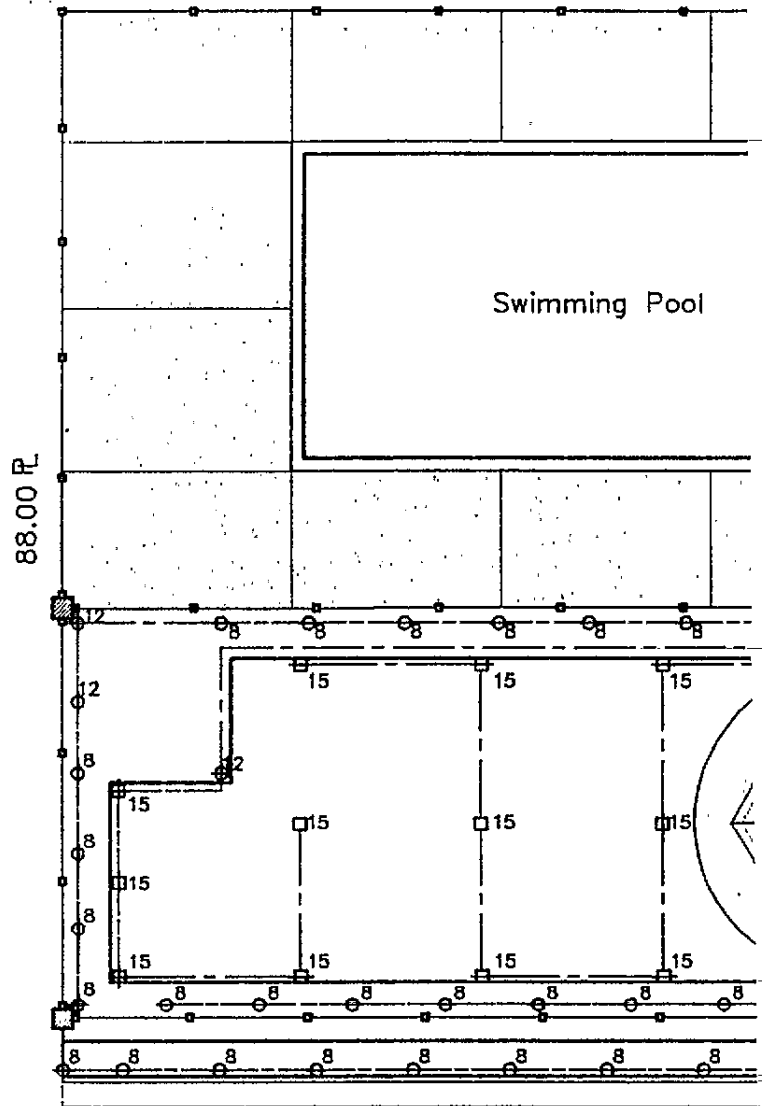
10' o.c.  
10' o.c.



Amenities Area at Sunset Ponds  
 Planting Plan  
 Draper, Utah  
 12,481 square feet

**SITE PLAN**  
 SCALE: 1"=20'-0"

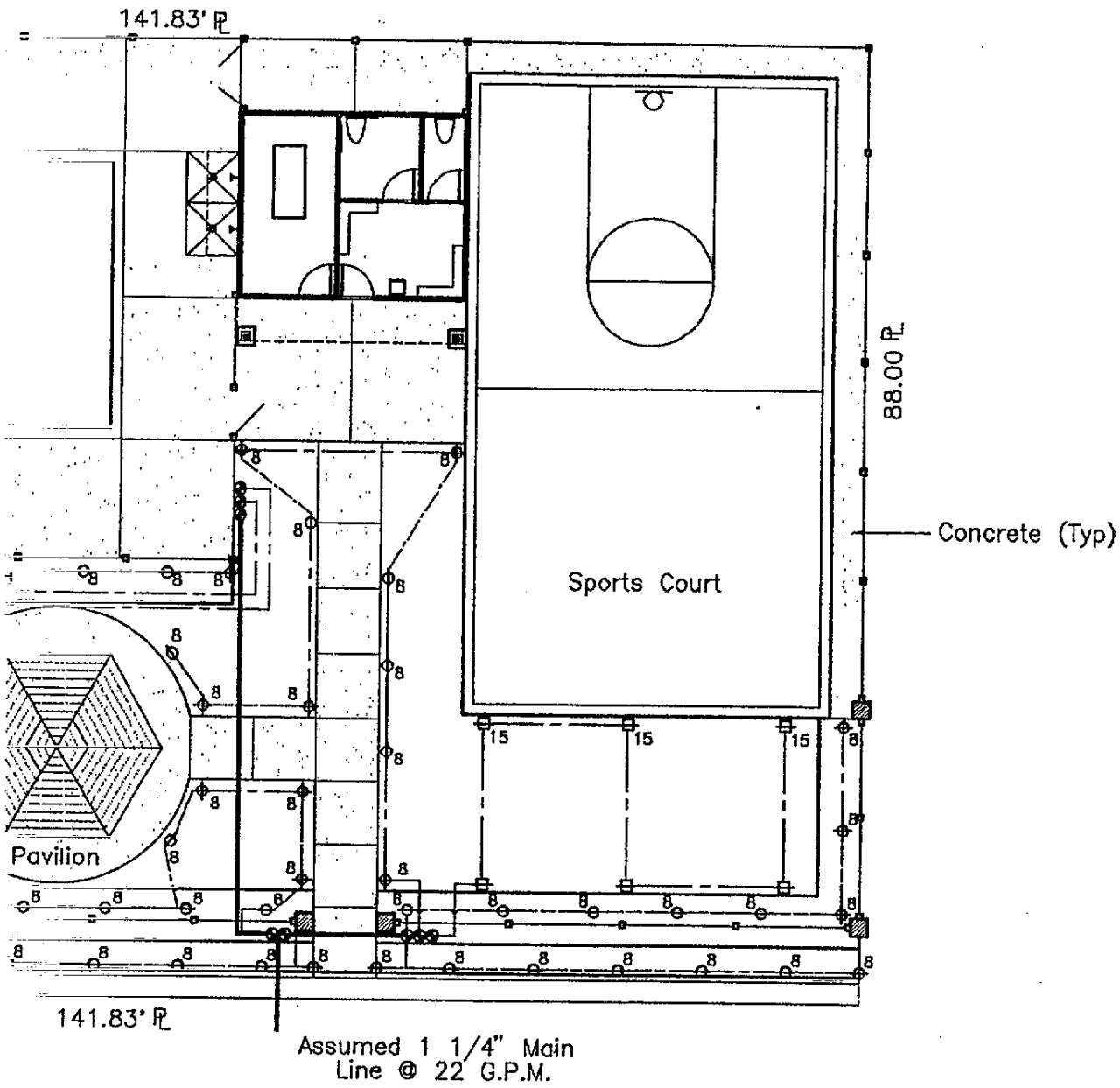
BK7985PG2847



### Irrigation Schedule

Key	Description	Flow	Operating Pressure	Notes
□	Rainbird 1804-15F: Full circle spray head	3.7 gpm	30 psi	
⊕	Rainbird 1804-15H: Half circle spray head	1.85 gpm	30 psi	
⊕	Rainbird 1804-15Q: Quarter circle spray head	0.93 gpm	30 psi	
⊕	Rainbird 1812-12H: Half circle spray head	1.3 gpm	30 psi	
⊕	Rainbird 1812-12Q: Quarter circle spray head	0.65 gpm	30 psi	
⊕	Rainbird 1812-10H: Half circle spray head	0.79 gpm	30 psi	
⊕	Rainbird 1812-10Q: Quarter circle spray head	0.39 gpm	30 psi	
⊕	Rainbird 1812-8H: Half circle spray head	0.79 gpm	30 psi	
⊕	Rainbird 1812-8Q: Quarter circle spray head	0.39 gpm	30 psi	
⊕	Rainbird 100-PGA: 1" Electric Remote Control Valve			
—	PVC Schedule 40 - 1 1/4" Main Line			
—	PVC Schedule 40 Lateral Line: Size as required			

BK7985PG2848



Connect to existing water line. Install water meter per City and backflow preventor as required. Locate backflow device in shrub bed. Verify static and operating pressures prior to commencing work. Assumed static pressures are adequate to provide operating pressure at furthest head of 30 psi. Install sleeves under all pavements. Size as required to accommodate pipes and control wires. Install 8 station controller in pool equipment room per owner.

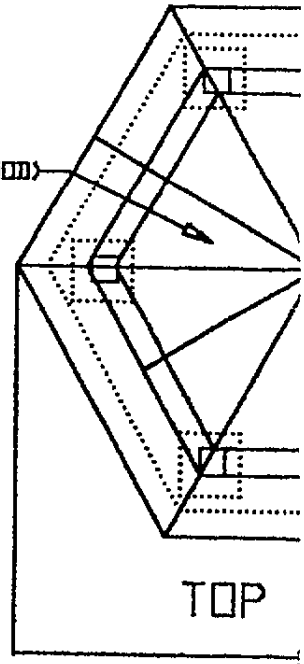


Amerillos Area at Sunset Ponds  
Irrigation Plan  
Draper, Utah  
12,481 square feet

**SITE PLAN**  
SCALE: 1"=20'-0"

BK7985PG2849

ASPHALT SHINGLES (WEATHER WOOD)

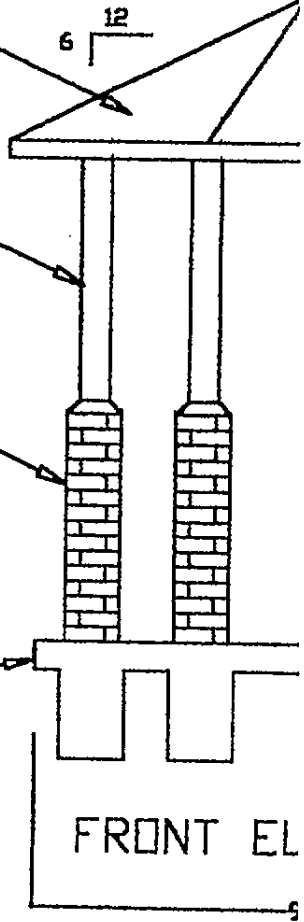


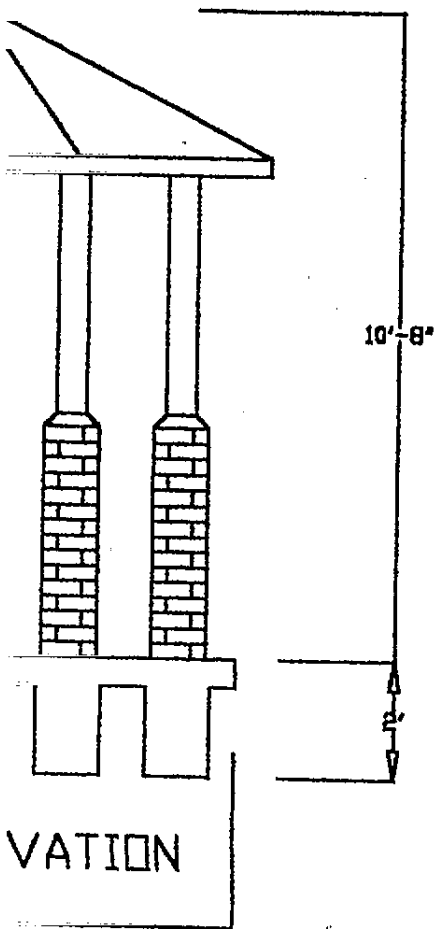
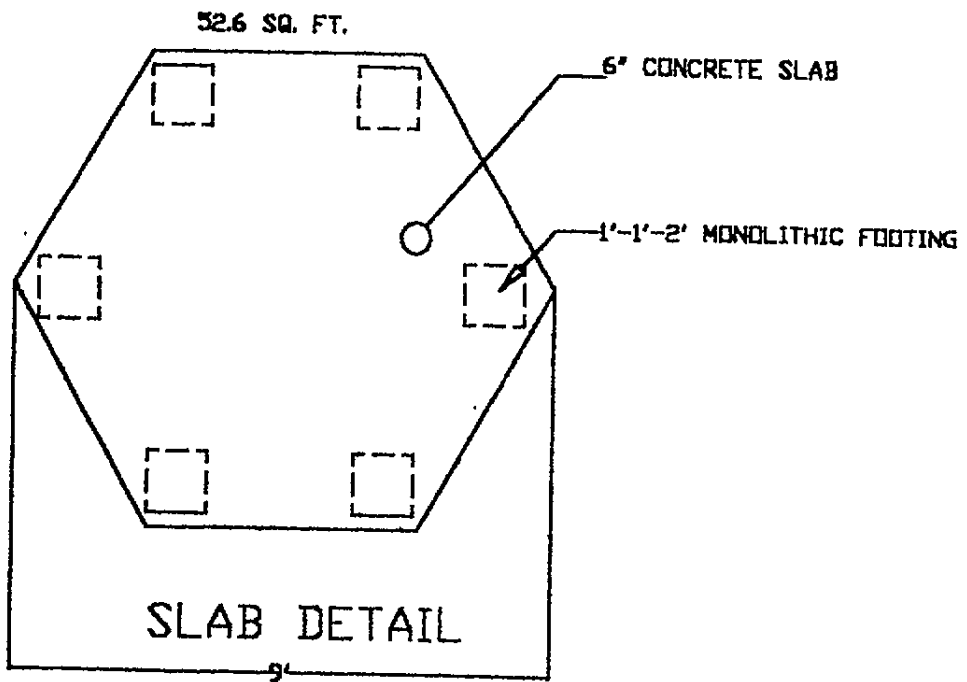
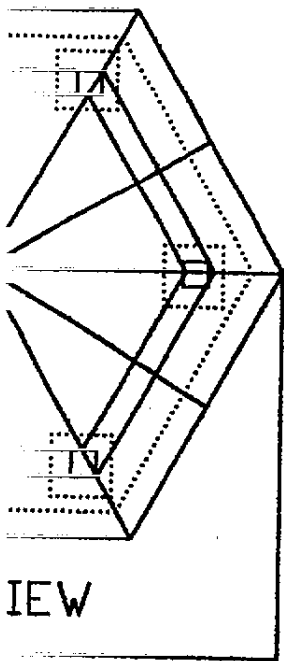
ASPHALT SHINGLES (WEATHER WOOD)

6" BY 6" ALUMINUM WRAP (WHITE)

4' BRICK VENEER (CASTLE MIST)

6" CONCRETE SLAB





*SUNSET  
PONDS  
PAVILION  
SCALE 1"=4'*

BK 7 985 PG 285 1

# SUNSET PONDS P.U.D.

## TYPICAL LOT IRRIGATION

SUDWEEKS DEVELOPMENT, LLC  
Allred, Soffe, Wilkinson & Nichols INC.

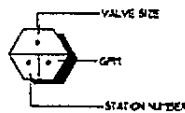
### IRRIGATION SCHEDULE

#### SYMBOL DESCRIPTION

SYMBOL	BRAND	DESCRIPTION	MODEL #	PSI	RAD.	GPM
●	Rainbird	1800-PRS Turf Pop-up	1804-SAM-PRS-15F	30	15'	3.70
▲	Rainbird	1800-PRS Turf Pop-up	1804-SAM-PRS-15M	30	15'	1.85
▲	Rainbird	1800-PRS Turf Pop-up	1804-SAM-PRS-15VAN	30	15'	1.23
■	Rainbird	1800-PRS Turf Pop-up	1804-SAM-PRS-15G	30	15'	.93
▼	Rainbird	1800-PRS Shrub Pop-up	1807-SAM-PRS-8H	30	8'	.79
▼	Rainbird	1800-PRS Shrub Pop-up	1807-SAM-PRS-8Q	30	8'	.39

- RAINBIRD PERSO SERIES CONTROL VALVE (SIZED ON PLAN)
- PVC SCHED. 40 LATERAL LINE (SIZE AS NOTED ON PLAN)
- 1/4" PVC SCHEDULE 40 MAIN LINE PIPE  
ALL MAIN LINE FITTINGS TO BE SCHEDULE 80
- PVC SCH. 40 SLEEVE
- 1" WATER METER WITH STOP AND WASTE VALVE FOR EACH LOT (TYPICAL)

#### VALVE KEY



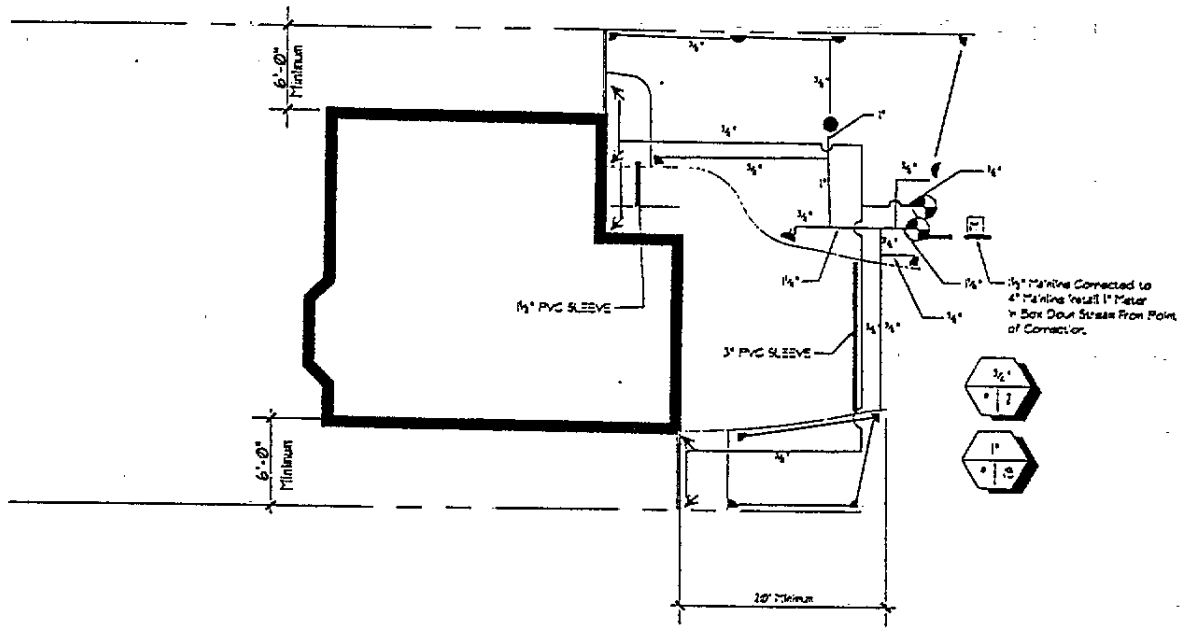
#### SPRINKLING SYSTEM NOTES

1. THIS SYSTEM WAS DESIGNED FOR A STATIC WATER PRESSURE AND 40% UNLESS INDICATED OTHERWISE ON PLAN. SHOULD THE PRESSURE AND THE GPM BE LESS THAN THIS, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE INS. SO THAT ADJUSTMENTS CAN BE MADE. IF PRESSURE IS MUCH GREATER, ARCHITECT, IT MAY REQUIRE A PRESSURE REDUCER.
2. THIS SPRINKLER IRRIGATION PLAN IS FOR GRAPHIC CLARITY. WHERE VALVES ARE SHOWN IN CONCRETE EXCEPT WHERE CROSSING, THE INSTALL THE PIPING AND VALVES TO BE PROTECT ADJACENT PLANTING AREAS.
3. CONTRACTOR SHALL MAKE SITE VISIT TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO SUBMITTING ALL QUESTIONS TO LANDSCAPE ARCHITECT.
4. SEE SPECIFICATIONS FOR FOR MATERIAL AND PIPE SPECIFICATIONS.
5. CONTRACTOR SHALL INSTALL COUPLER PVC SLEEVE IN THE SAME TRENCH AS ALL CONCRETE AND ASPHALT.

BK7985PG2852



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 COMMUNITY DEVELOPMENT DEPT



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Lot Irrigation Plan (Typical)  
 SCALE 1"=10'-0"  
 N.T.S. NORTH

BK 7 985 PG 2853

# SUNSET PONDS P.U.D.

## TYPICAL LOT PLANTINGS

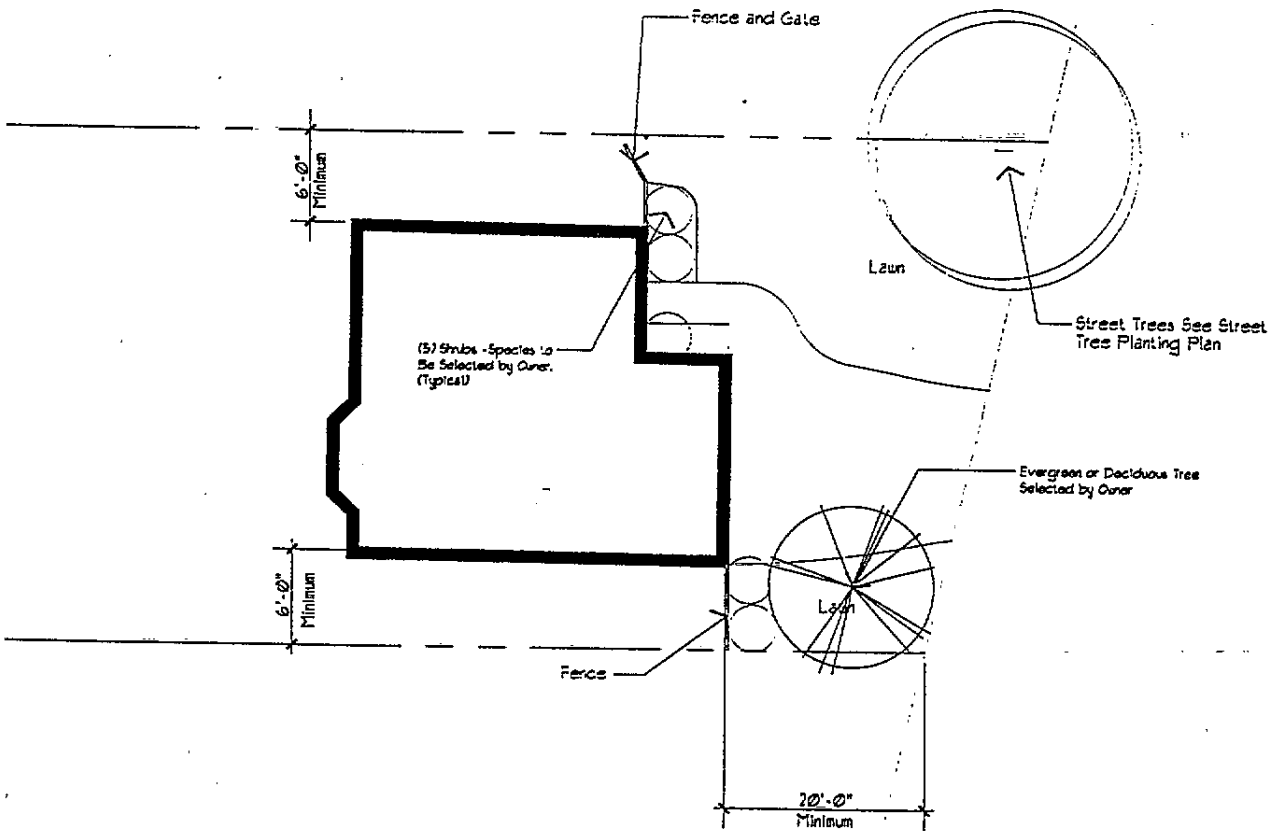
SUDWEEKS DEVELOPMENT, LLC  
 Allred, Soffe, Wilkinson & Nichols INC.

### PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE
<b>EVERGREEN TREES</b>		
ABIES CONCOLOR	White Fir	7'-8'
PICEA PUNGENS GLAUCA	Colorado Green Spruce	7'-8'
PNUS NIGRA	Austrian Pine	7'-8"
<b>Deciduous Trees</b>		
ACER RUBRUM	Red Sunset Maple	2" Caliper
FRAXINUS PENNSYLVANICA 'LANCEOLATA'	Palmore Ash	2" Caliper
CERCIS CANADENSIS	Eastern Redbud	2" Caliper
PYRUS CALLERYANA 'CHANTICLEER'	Chanticleer Pear	2" Caliper
<b>EVERGREEN SHRUBS</b>		
JUNIPERUS CHINENSIS 'SEA GREEN'	Sea Green Juniper	1 Gallon
MAHONIA AQUIFOLIUM 'COMPACTA'	Compact Oregon Grape	1 Gallon
FRAXUS LAUROCERASUS 'OTTO LUYKEN'	Otto Luyken Laurel	1 Gallon
TAXUS MEDIA 'DARK GREEN SPREADER'	Dark Green Spreading Yew	1 Gallon
<b>DECIDUOUS SHRUBS</b>		
<b>Small (Less than 4' High)</b>		
BERBERIS THUNBERGII 'ATROPURPUREA'	Red-Leaf Barberry	1 Gallon
EVONYMUS ALATA 'COMPACTA'	Compact Burning Bush	1 Gallon
RIBES ALPINUM	Alpine Currant	1 Gallon
SPIRAEA BUMALDA 'ANTHONY WATERER'	Anthony Waterer Spiraea	1 Gallon
SYRINGIA VILUTINA 'MISS KIM'	Miss Kim Lilac	1 Gallon
<b>Large (Taller than 4')</b>		
ACER GINNALA	Amur Maple	1 Gallon
CORNUS SERICEA 'BAILEY'	Bailey Red-Twig Dogwood	1 Gallon
COTONEASTER LUCIDOUS	Peking Cotoneaster	1 Gallon
LIGUSTRUM VICARYI	Golden Privet	1 Gallon
HIBISCUS SYRIACUS	Rose of Sharon	1 Gallon
ROSA RUGOSA	Hardy Shrub Rose	1 Gallon
VIBURNUM BURKWOODII	Burkwood Viburnum	1 Gallon

BK7985PG2854

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 COMMUNITY DEVELOPMENT DEPT



○ Lot Planting Plan (Typical)

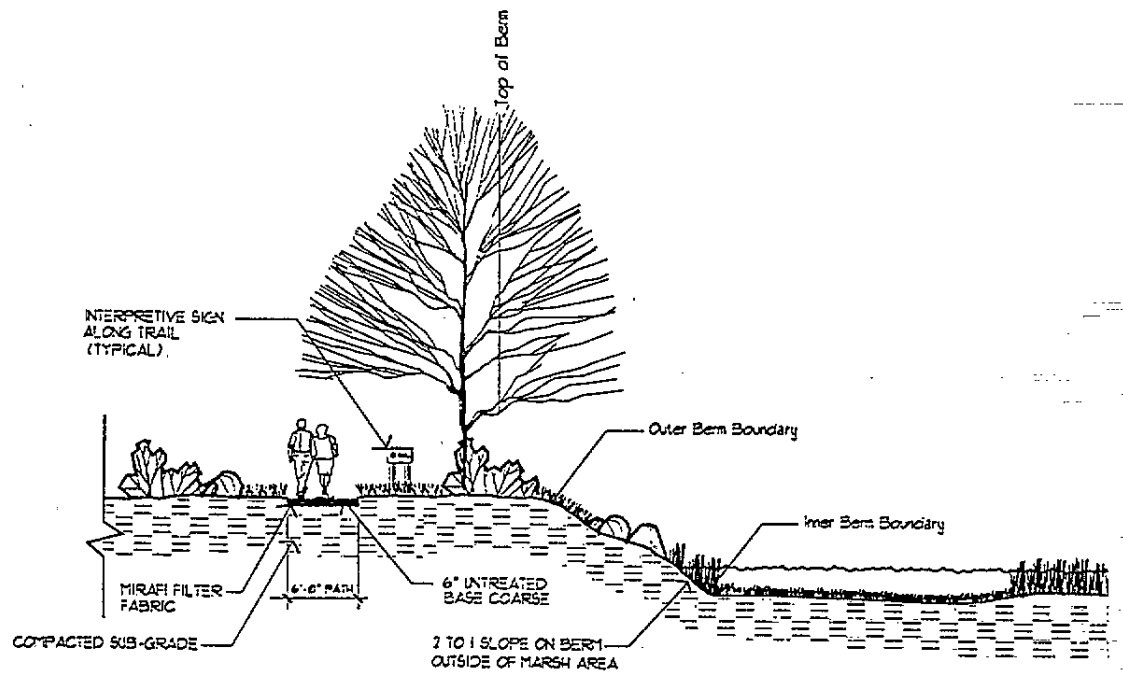
SCALE 1" = 10'-0"  
 N.T.S

BK7985PG2855

# SUNSET PONDS P.U.D.

## Wetland Sections and Details

SUDWEEKS DEVELOPMENT, LLC  
Allred, Soffe, Wilkinson & Nichols INC.



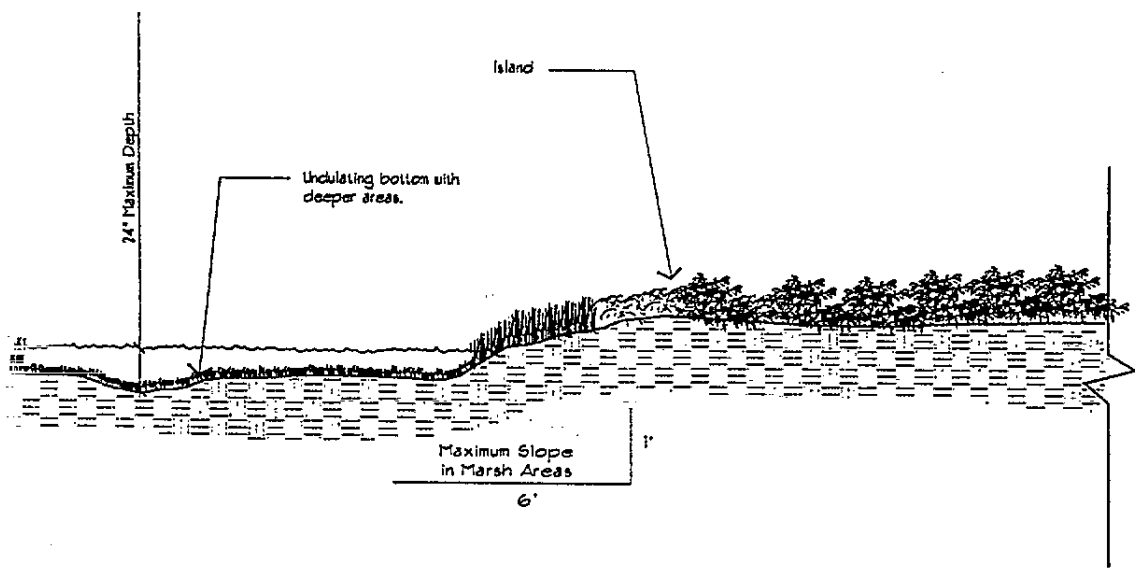
(A) Marsh

BK 7985 PG 2856

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JUL 1 1997

CITY OF DRAPER



3a Section

Not to Scale

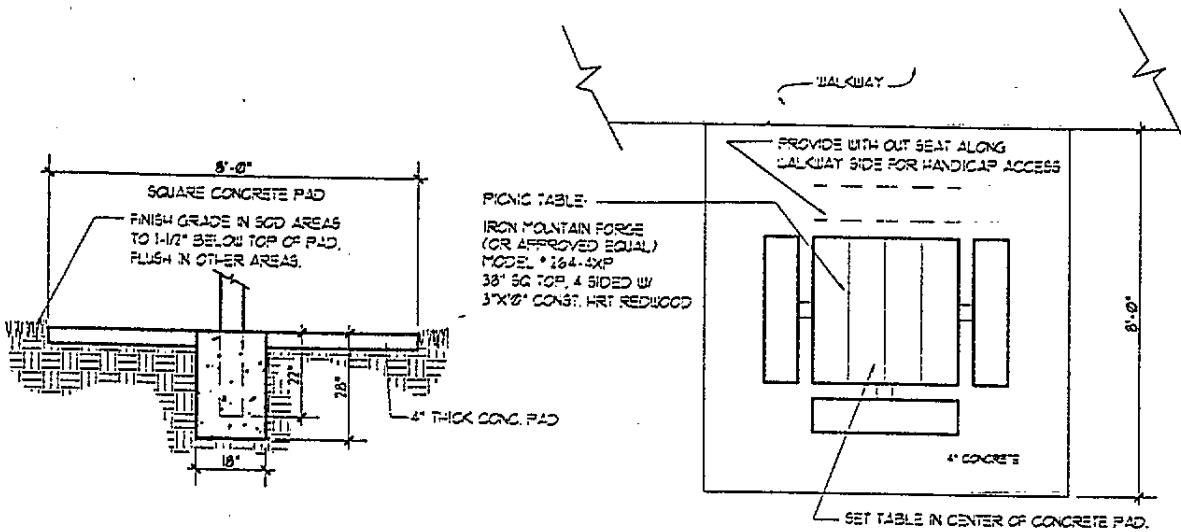
BK7985PG2857

# SUNSET PONDS P.U.D.

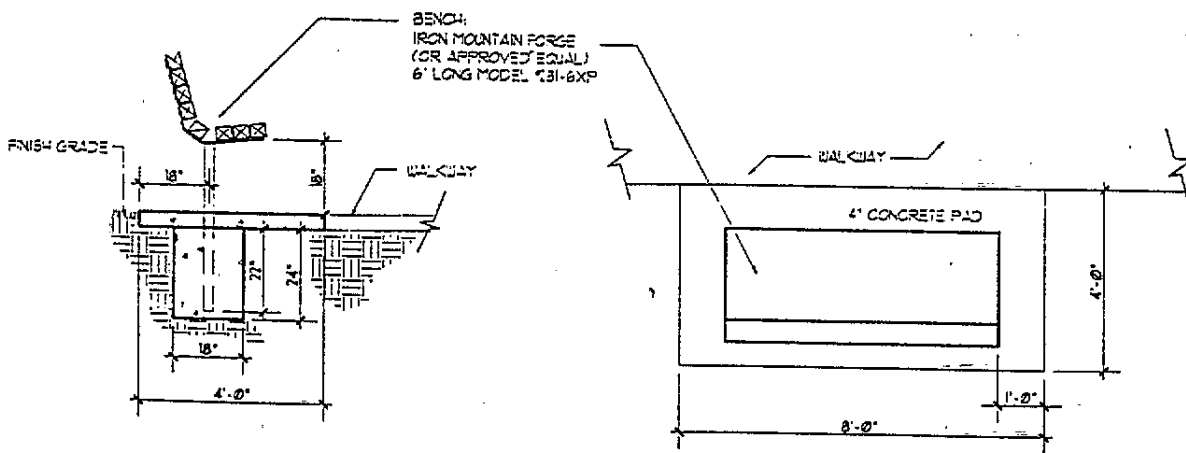
## Design Details

SUDWEEKS DEVELOPMENT, LLC

Land Planner - Allred, Soffe, Wilkinson & Nichols Inc.

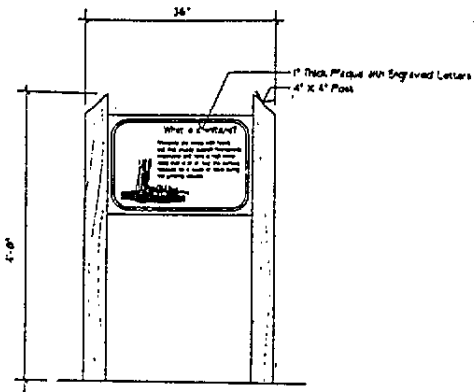


PICNIC TABLE DETAIL NOT TO SCALE



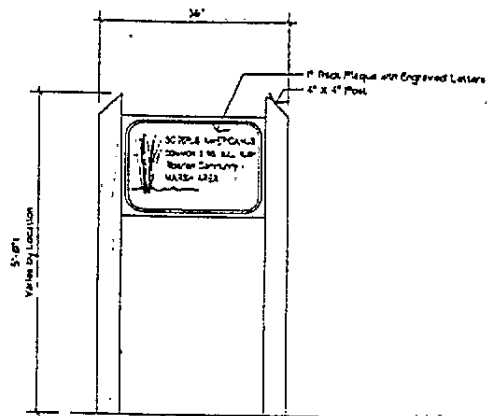
BENCH DETAIL NOT TO SCALE

BK 7985 PG 2858



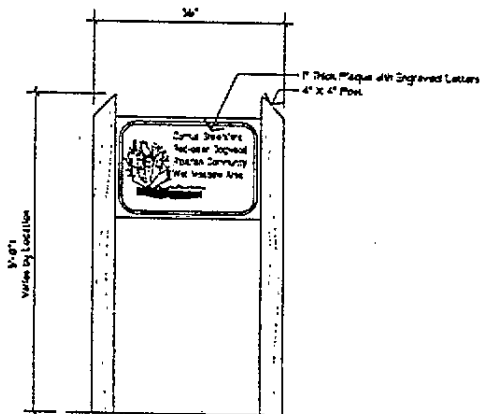
Interpretive Sign 'A'

NOT TO SCALE



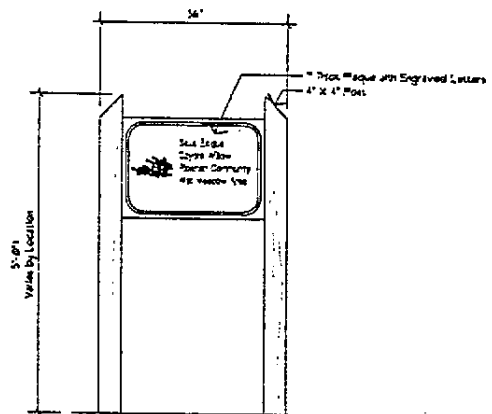
Interpretive Sign 'B'

NOT TO SCALE



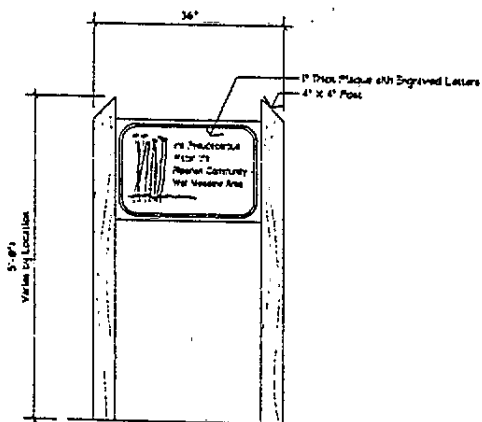
Interpretive Sign 'C'

NOT TO SCALE



Interpretive Sign 'D'

NOT TO SCALE



Interpretive Sign 'E'

NOT TO SCALE

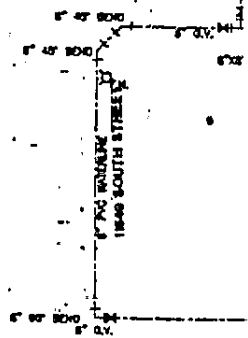
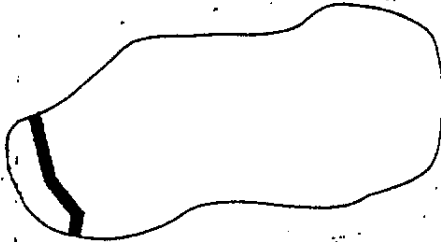
# SUNSET PONDS P.U.D.

A PLANNED UNIT DEVELOPMENT LOCATED IN THE NORTHWEST QUARTER OF SECTION 20  
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

## MASTER WATER PLAN

EXIST 16" WATER MAIN

- NOTES:
1. WATER IS 5' OFF PROPERTY LINE ON CURB SIDE AND 8' OFF PROPERTY LINE ON SIDEWALK SIDE
  2. PRIVATE ROADWAY & COMMON AREAS ARE ALSO UTILITY EASEMENTS FOR SEWER, WATER, STORM DRAIN AND PUBLIC UTILITIES



BK 7.985 PG 2860

-POOR COPY-  
CO. RECORDER

PLAT PREPARED BY

RALPH GOFF AND ASSOCIATES

118 EAST YORK STREET  
MURRAY, UT 84107  
384-8728

PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF

A.D. 19\_\_ BY THE DRAPER

CITY PLANNING COMMISSION

CHAIRMAN, DRAPER CITY PLANNING COMM

OWNER - DEVELOPER

SUBWEEDS DEVELOPMENT L.L.C.

9677 So. 700 E. SUITE D  
SANDY, UT 84070  
523-1039

SEWER DISTRICT NO. 1

APPROVED THIS \_\_\_\_\_ DAY OF

A.D. 19\_\_

DIRECTOR, S. L. CO SEWER DIST. NO. 1

ENGINEER'S CERTIFICATE

APPROVED AS TO COMPLIANCE WITH  
DRAPER CITY ORDINANCE

DATE

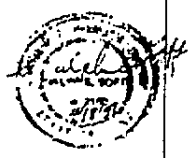
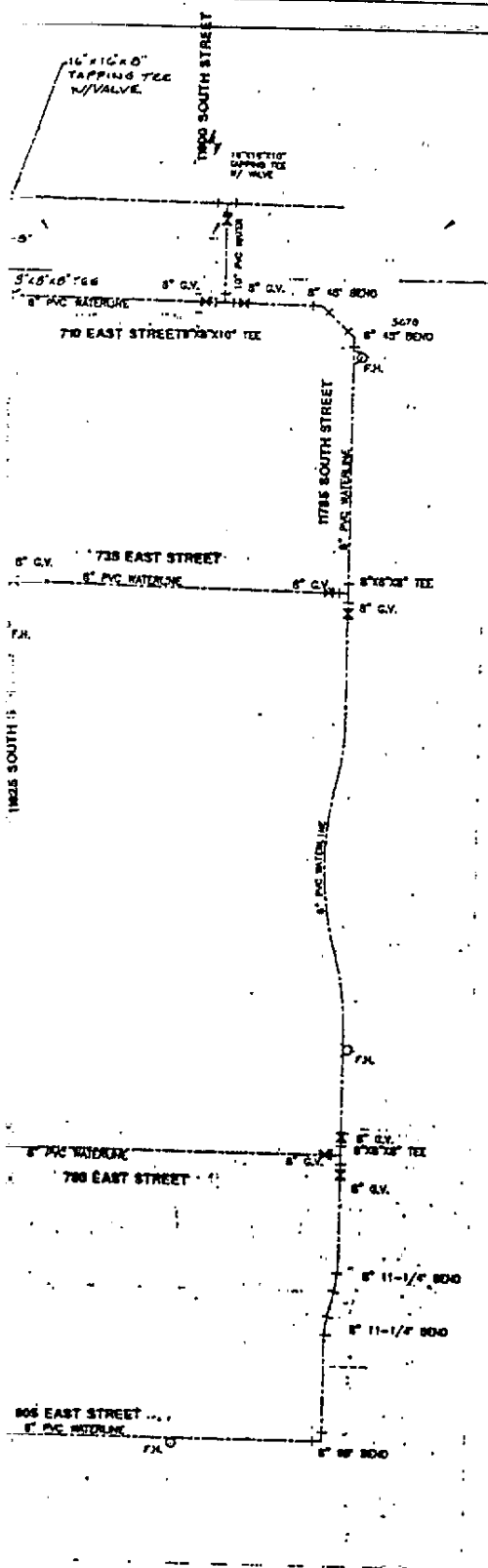
DRAPER CITY ENGINEER

APP

DAY

DRP





LEGAL DESCRIPTION

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT \_\_\_\_\_ THE \_\_\_\_\_ (UNDERSIGNED OWNER) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

SUNSET PONDS P.U.D.

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE

IN WITNESS WHEREOF \_\_\_\_\_ HAVE HERETO SET \_\_\_\_\_

HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 19\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ATTORNEY  
 AS TO FORM THIS \_\_\_\_\_  
 \_\_\_\_\_ A.D. 19\_\_\_\_  
 CITY ATTORNEY

MAYOR'S CABINET  
 PRESENTED TO DRAPER CITY  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 A.D. 19\_\_\_\_ AT WHICH TIME THIS SUBDIVISION  
 WAS APPROVED AND ACCEPTED  
 ATTEST DRAPER CITY CLERK \_\_\_\_\_ MAYOR, DRAPER CITY

RECORDED # \_\_\_\_\_  
 STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED  
 AT THE REQUEST OF \_\_\_\_\_  
 DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 FEE \_\_\_\_\_ SALT LAKE COUNTY RECORDER

-POOR COPY-  
 CO. RECORDER

BK7985PG2861





# SUNSET PONDS P.U.D. SUDWEEKS DEVELOPMENT, LLC FINAL GRADING PLAN

NORTH OF BEARING  
 WEST QUARTER CORNER SECTION 20  
 T35N R10E  
 2L94W  
 FOUND COUNTY MONUMENT

NUMBER	COL. 1	TAN	PAD	LEN	CHD
01	87.29	14.91	8.70	13.43	21.12
02	87.29	14.91	8.70	13.43	21.12
03	87.29	14.91	8.70	13.43	21.12
04	87.29	14.91	8.70	13.43	21.12
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13	87.29	14.91	8.70	13.43	21.12
14	87.29	14.91	8.70	13.43	21.12
15	87.29	14.91	8.70	13.43	21.12
16	87.29	14.91	8.70	13.43	21.12
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74	87.29	14.91	8.70	13.43	21.12
75	87.29	14.91	8.70	13.43	21.12
76	87.29	14.91	8.70	13.43	21.12
77	87.29	14.91	8.70	13.43	21.12
78	87.29	14.91	8.70	13.43	21.12
79	87.29	14.91	8.70	13.43	21.12
80	87.29	14.91	8.70	13.43	21.12
81	87.29	14.91	8.70	13.43	21.12
82	87.29	14.91	8.70	13.43	21.12
83	87.29	14.91	8.70	13.43	21.12
84	87.29	14.91	8.70	13.43	21.12
85	87.29	14.91	8.70	13.43	21.12
86	87.29	14.91	8.70	13.43	21.12
87	87.29	14.91	8.70	13.43	21.12
88	87.29	14.91	8.70	13.43	21.12
89	87.29	14.91	8.70	13.43	21.12
90	87.29	14.91	8.70	13.43	21.12
91	87.29	14.91	8.70	13.43	21.12
92	87.29	14.91	8.70	13.43	21.12
93	87.29	14.91	8.70	13.43	21.12
94	87.29	14.91	8.70	13.43	21.12
95	87.29	14.91	8.70	13.43	21.12
96	87.29	14.91	8.70	13.43	21.12
97	87.29	14.91	8.70	13.43	21.12
98	87.29	14.91	8.70	13.43	21.12
99	87.29	14.91	8.70	13.43	21.12
100	87.29	14.91	8.70	13.43	21.12

CLYDE W. &  
CONNIE M.  
JENSEN

CLYDE W. &  
CONNIE M.  
JENSEN

WASESCHA

NEIL  
TUNBRIDGE

ANITA F.  
DEAN F.  
TUNBRIDGE

ALAN D. &  
IDA M.  
TUNBRIDGE

KATHY &  
DAVID W.  
STOVELL

VACATED ROAD  
370.95

N0°23'41"E

338.25

N0°35'19"W

336.25

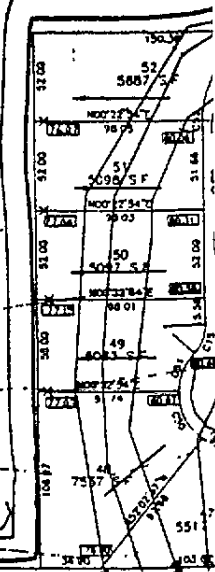
N0°23'41"E

338.25

S0°23'41"W

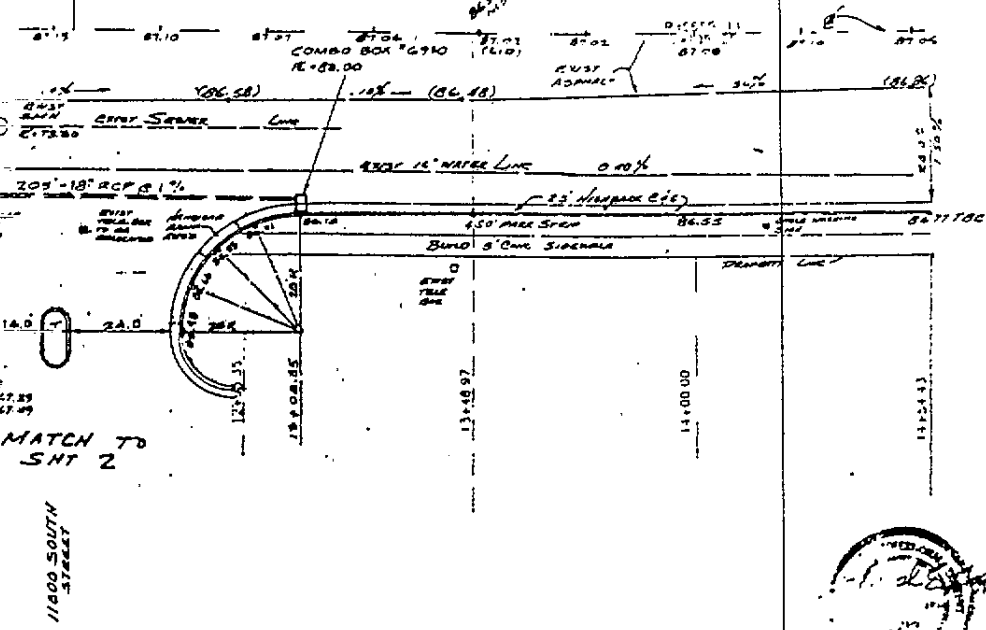
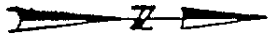
VICTOR'S POND

Pg 2864 BK 7985  
BK 7985 PG 2864









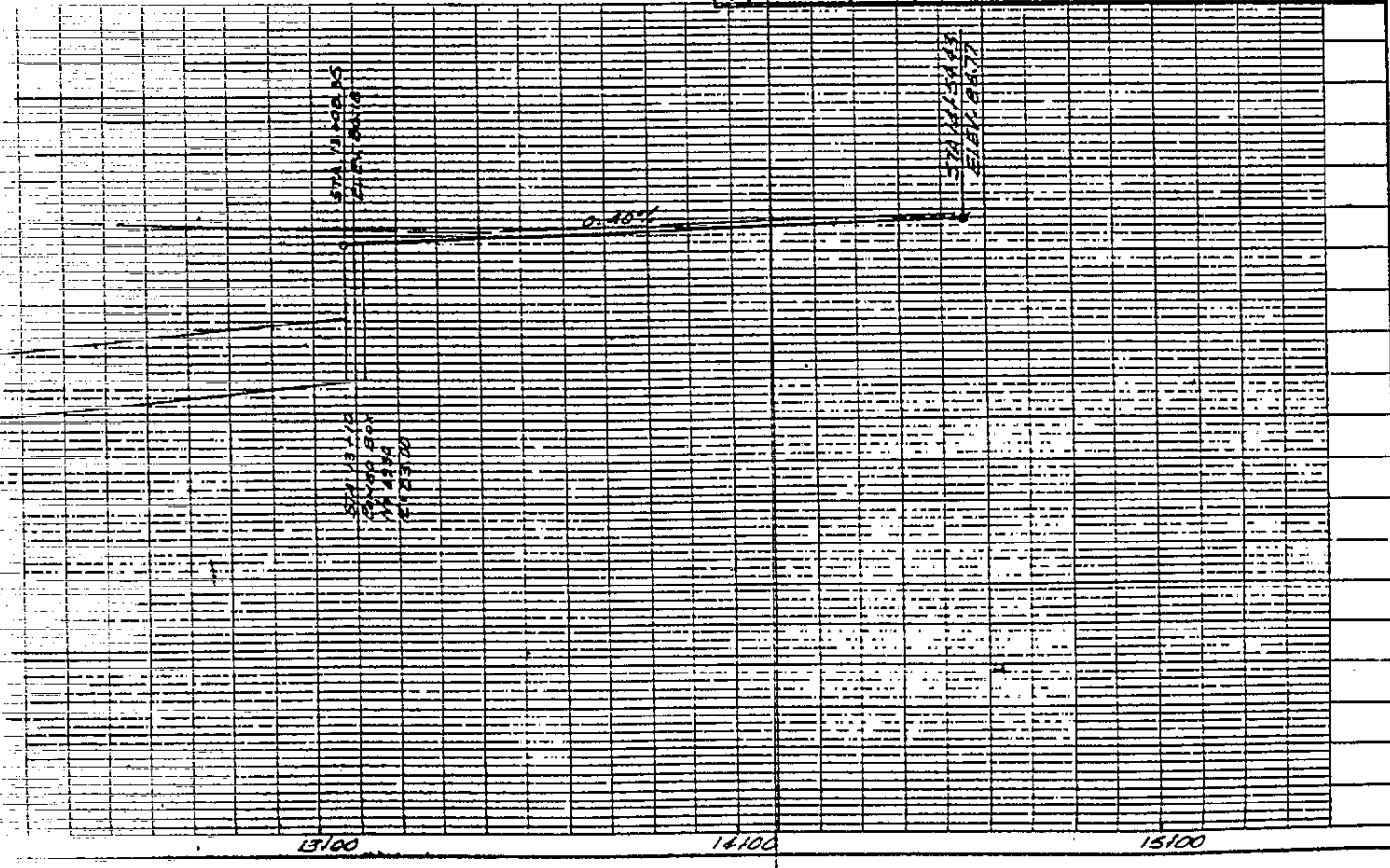
MATCH TO  
SHT 2

11400 SOUTH STREET

**EAST STREET**

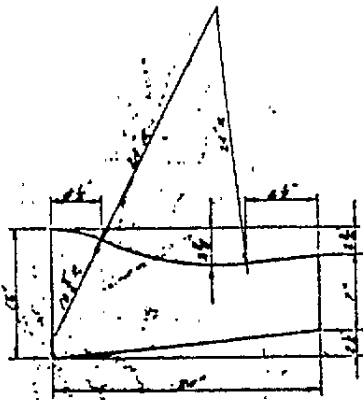


REVISIONS			SUNSET PONDS P.U.D.		
NO	DATE	BY	GRADE SHEETS		
1	7/16/97	DB	RALPH GOFF AND ASSOCIATES		
2			CONSULTING ENGINEERS		
3			118 WEST STREET, MURRAY, UTAH 84147		
4			DESIGN BY	SCALE	MATERIAL
5			CHECKED	DATE 6-18-97	DRAWING NO.
			TRACED	APPD	1 of 11

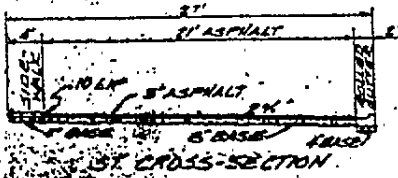


BK7985PG2867

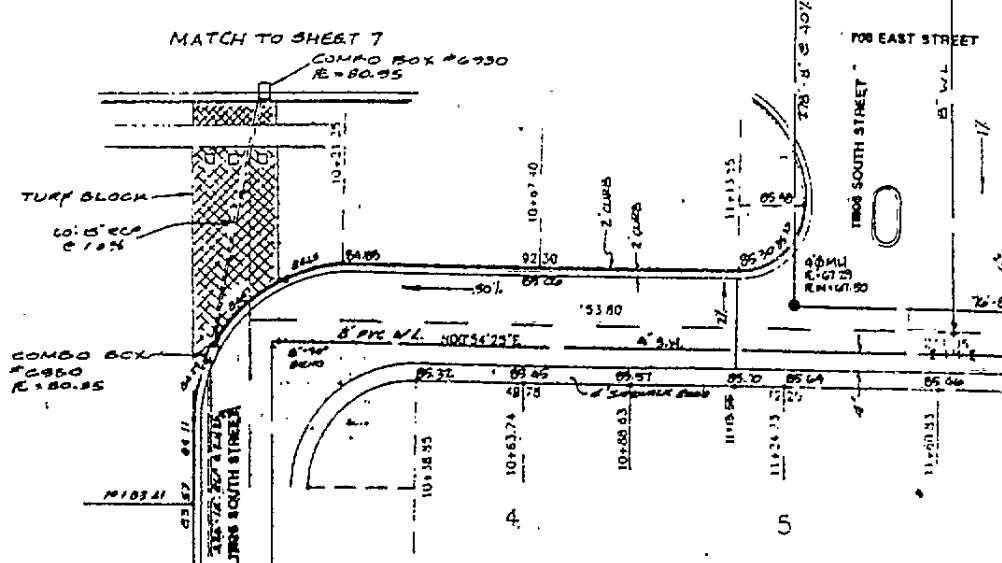
PLAN
DATE
SCALE
PROJECT
DESIGNER
CHECKER
APPROVER



TYPICAL 24" ROLL GUTTER



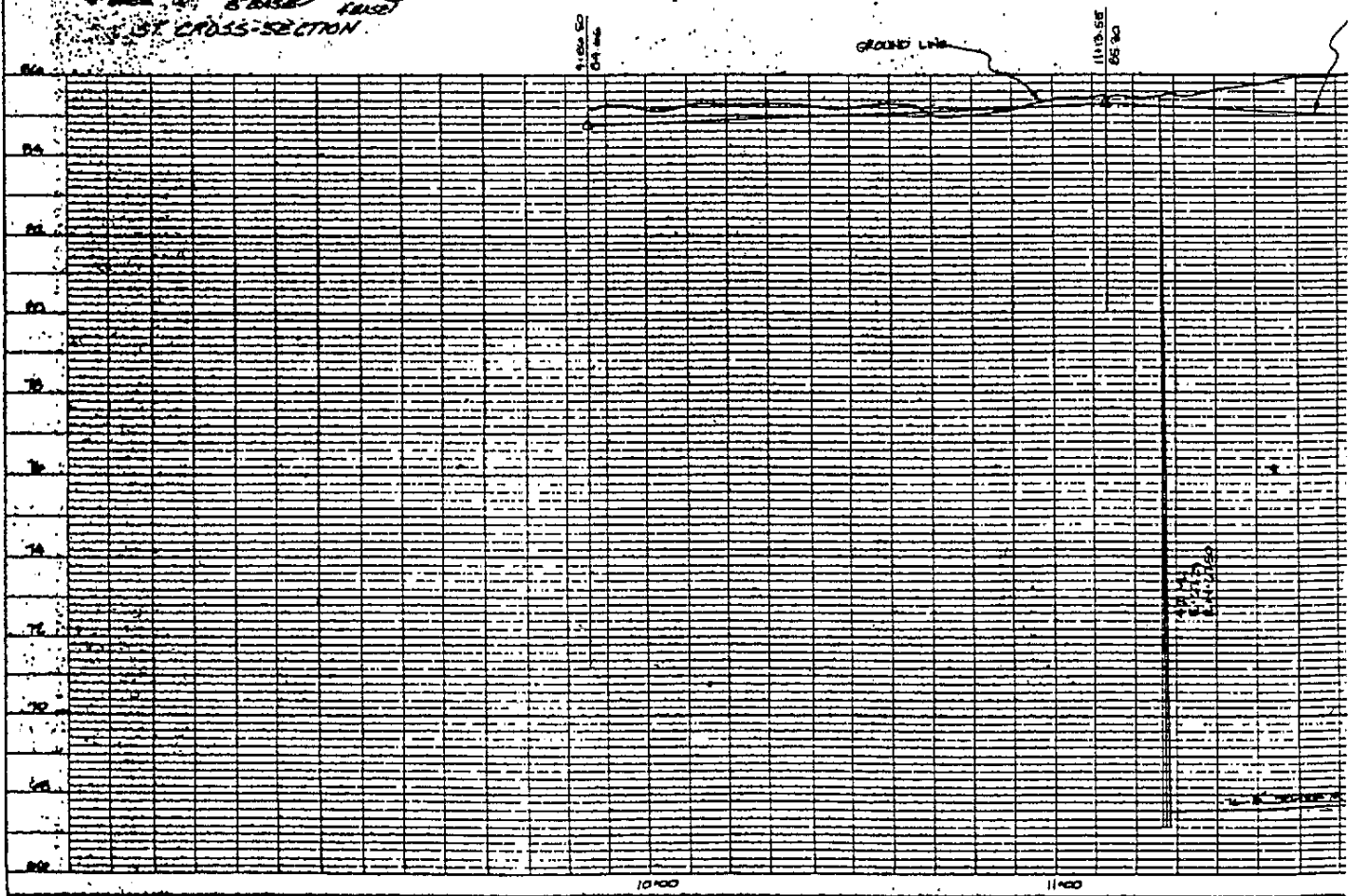
ST. CROSS-SECTION



710 EAST STRE

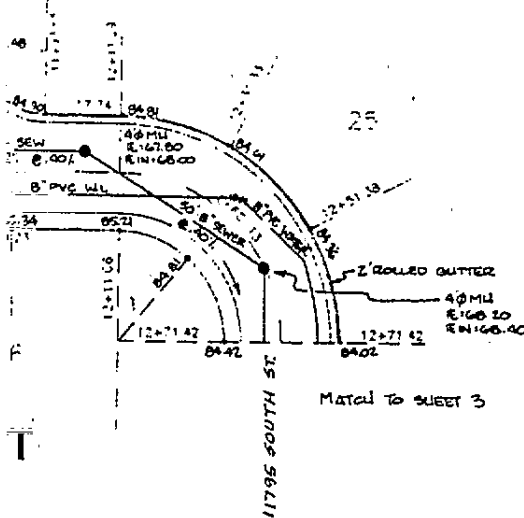
NOTE: ALL STREETS TO BE POSTED "NO PARKING ON STREET"

PROFILE
DATE
SCALE
PROJECT
DESIGNER
CHECKER
APPROVER



BK 7985  
BK 7985 PG 286R





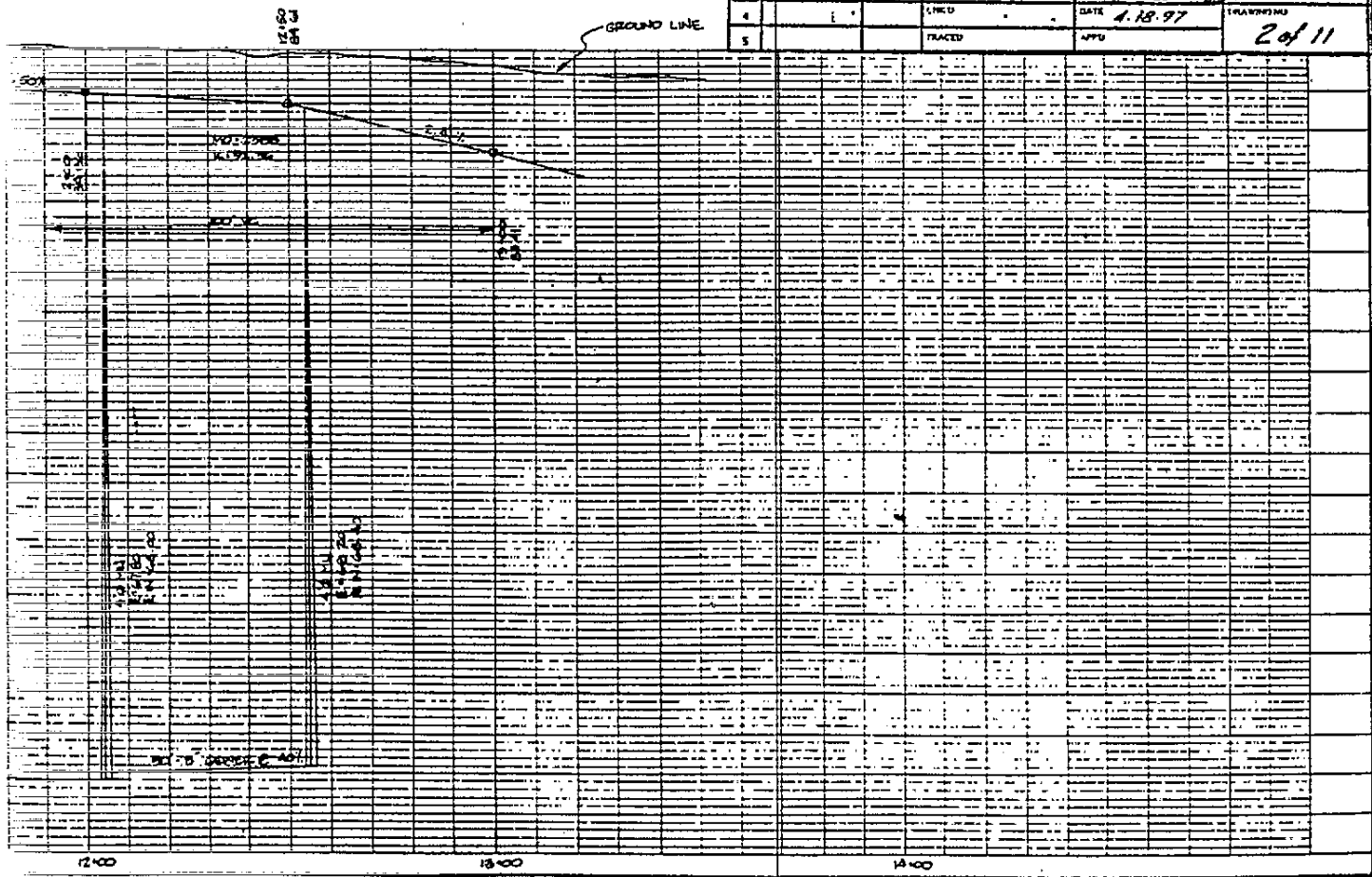
**GENERAL NOTES**

1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE S.W. CORNER OF SECTION 30 TOWNSHIP 3 SOUTH, RANGE # 12W, SALT LAKE BASIN AND MERIDIAN. ELEVATION= 4426.56
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO DRAPER CITY STANDARD SPECIFICATION OR AS PER CITY ENGINEER



REVISIONS			SUNSET PONDS PUD		
NO.	DATE	BY	GRADE SHEETS		
1			RALPH GOFF AND ASSOCIATES		
2			CONSULTING ENGINEERS		
3			115 WEST STREET, MURRAY, UTAH 81501		
4			DRAWN BY	SCALE	STANDARD
5			CHECKED	DATE	TRAINING
			TRACED	APPD	

PG PROFILE (SEEWALK AND COVER)



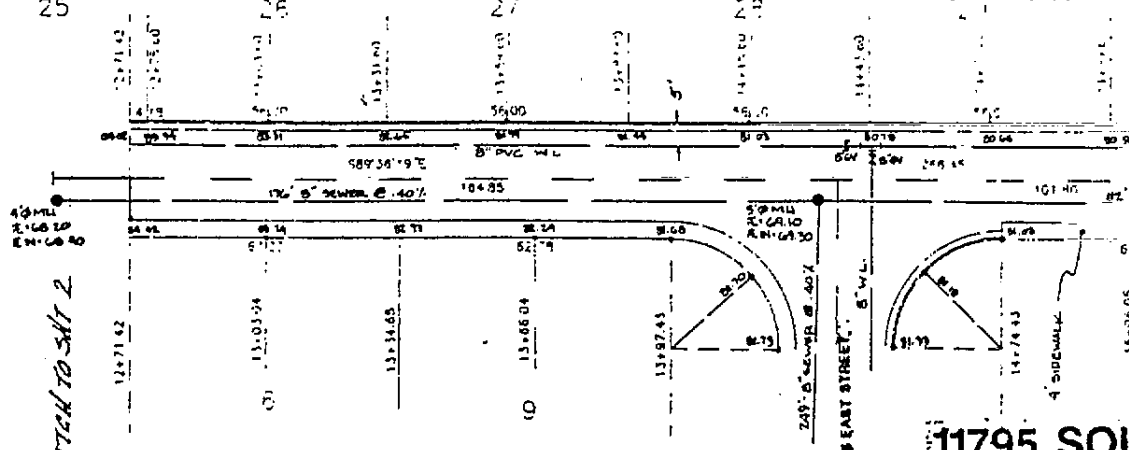
DATE	
BY	
CHECKED	
APPROVED	
PROJECT	
DESCRIPTION	
LOCATION	
SCALE	
PLAN	
NOTE BOOK	
NO. OF SHEETS	
SHEET NO.	

25

26

27

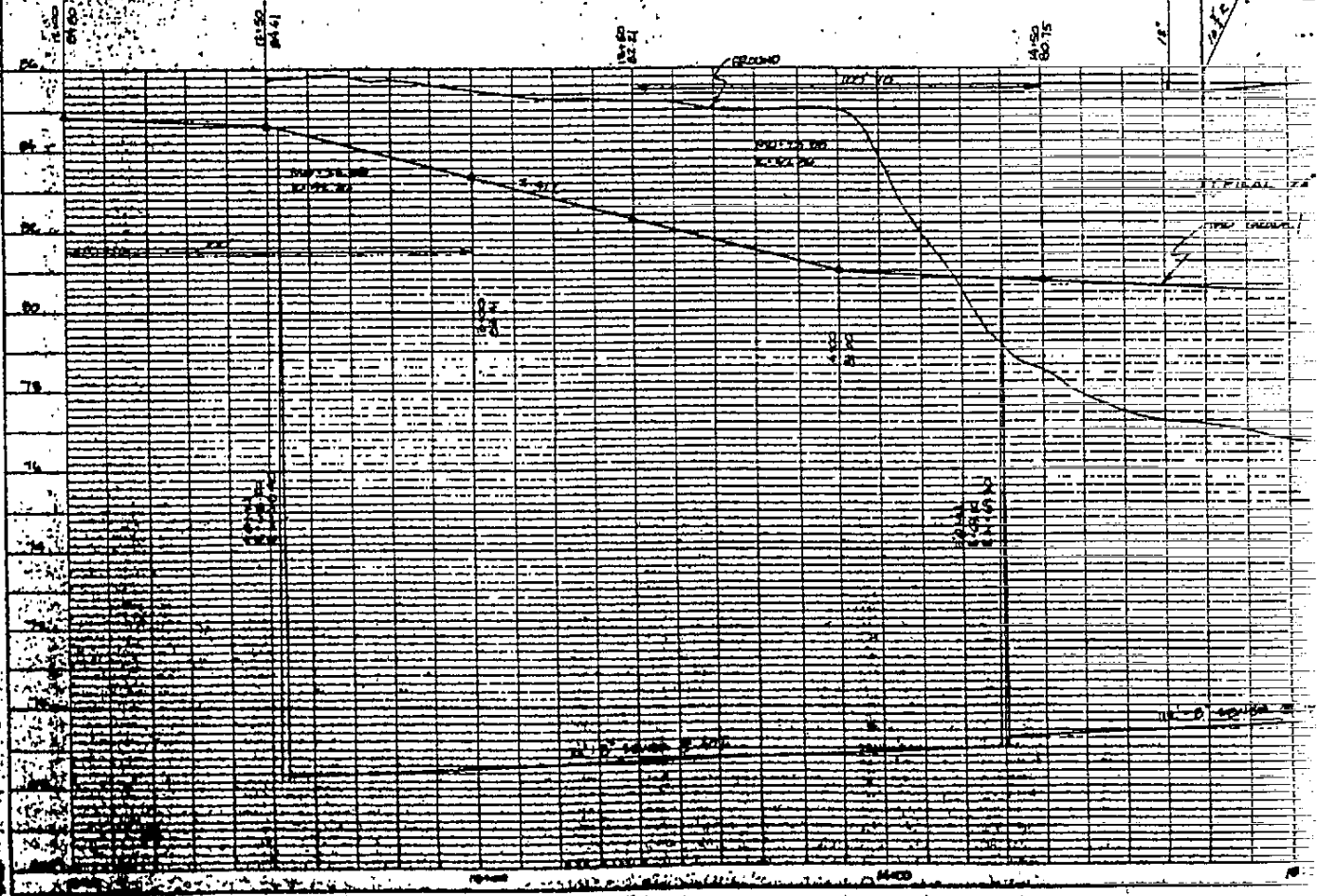
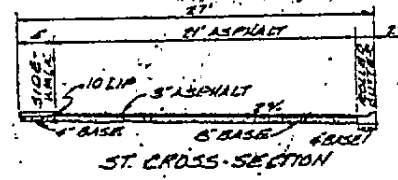
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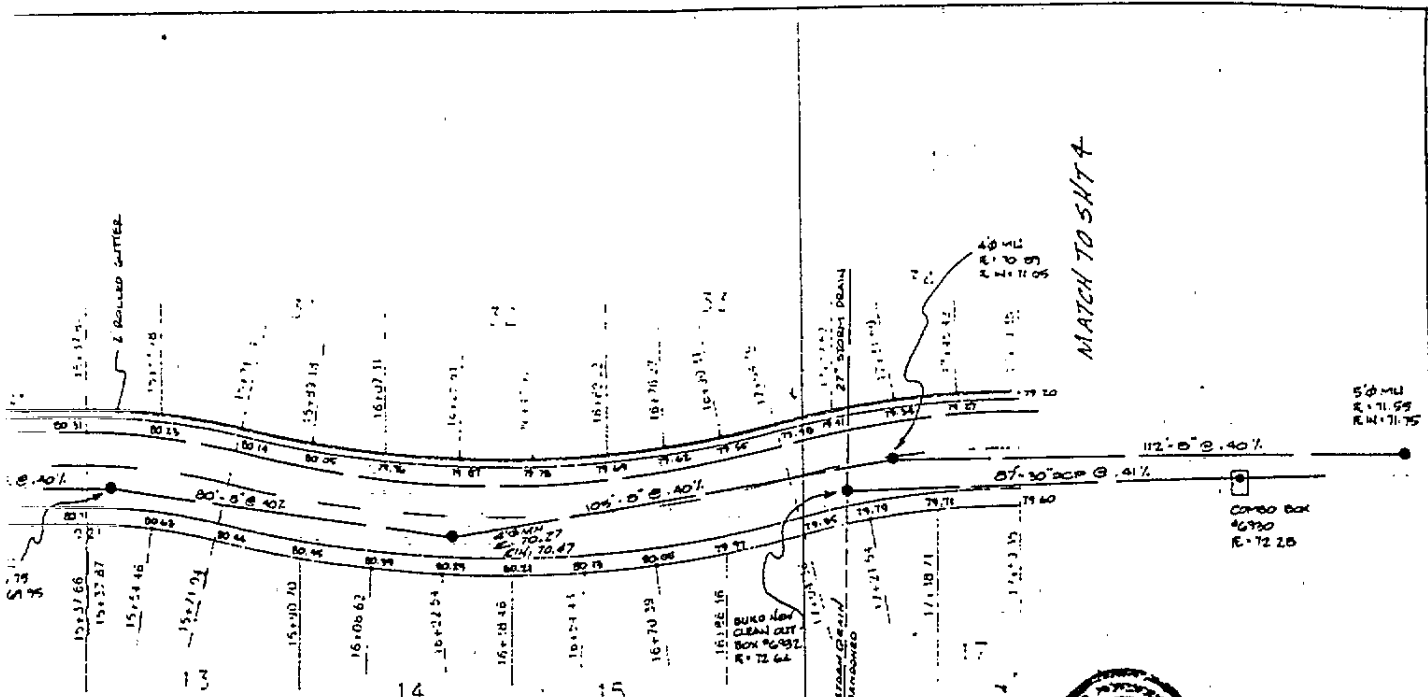
11795 SOI

MATCH TO SHEET 9

NOTE:  
ALL STREETS TO BE POSTED  
NO PARKING ON STREET



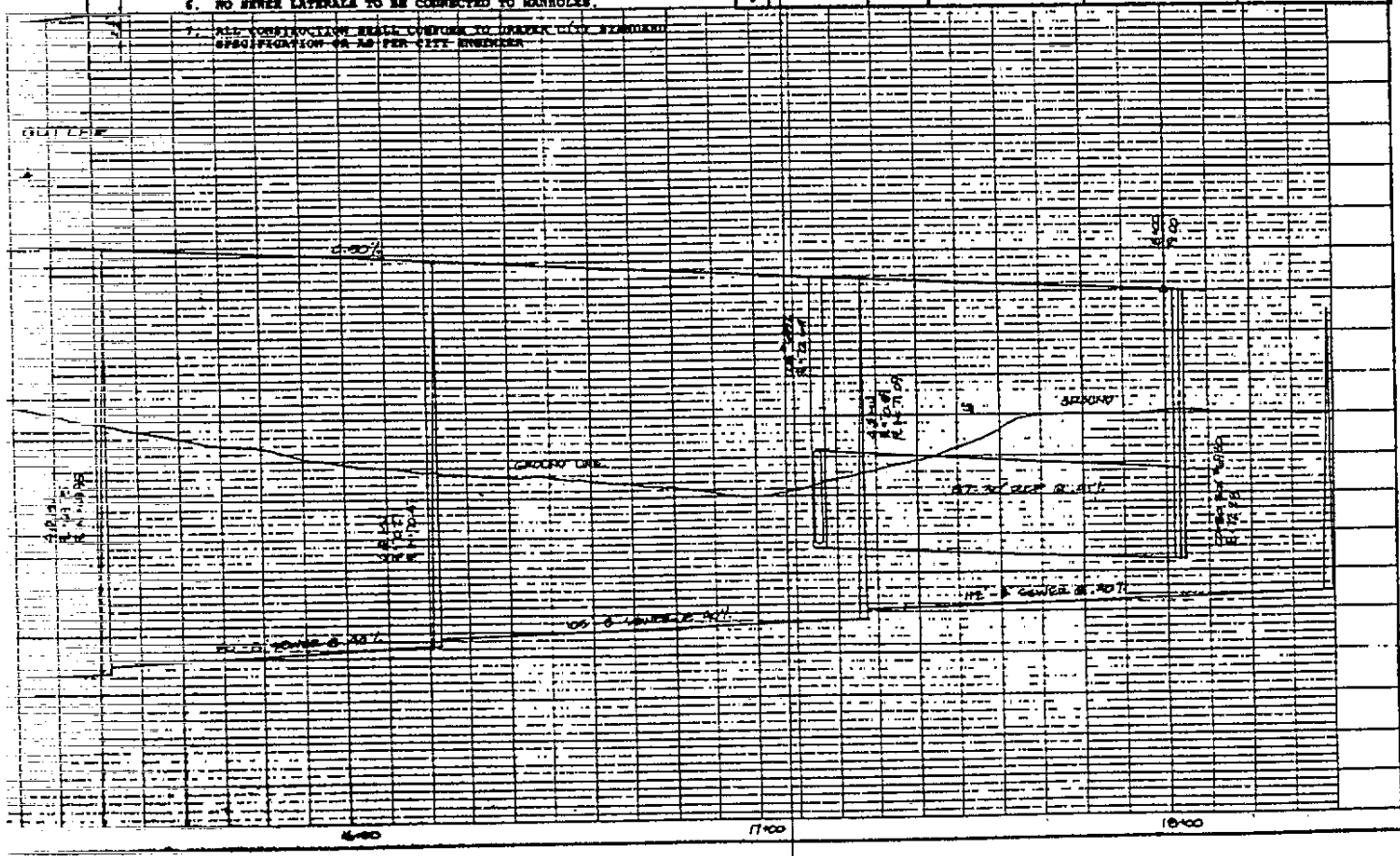
DATE	
BY	
CHECKED	
APPROVED	
PROJECT	
DESCRIPTION	
LOCATION	
SCALE	
PROFILE	
NOTE BOOK	
NO. OF SHEETS	
SHEET NO.	



**GENERAL NOTES**

1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE SW CORNER OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 7 EAST, SALT LAKE BASIN AND MERIDIAN. ELEVATION= 4486.64
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO UTILITY LINE STANDARD SPECIFICATION #4 AS PER CITY ENGINEER.

REVISIONS			SUNSET PONDS RD.		
NO.	DATE	BY	GRADE SHEETS		
1			RALPH GOFF AND ASSOCIATES		
2			CONSULTING ENGINEERS		
3			DRAWN BY	SCALE	MATERIAL
4			LINK	DATE	DRAWING NO.
5			TRACK	UPD	3 of 11

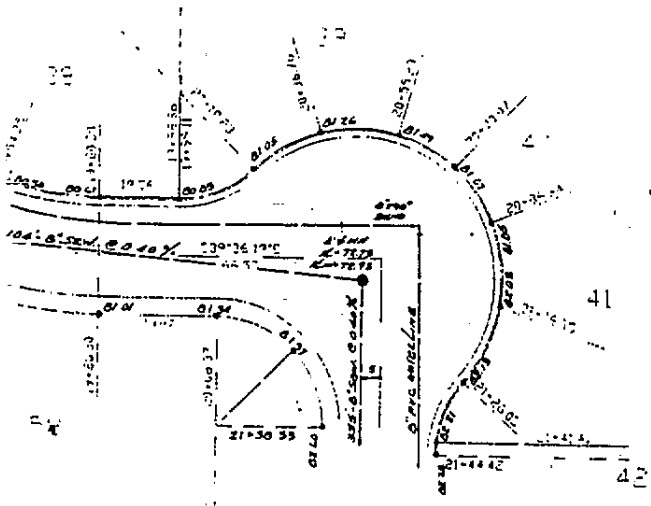


BK 7985 PG 287 11



**GENERAL NOTES**

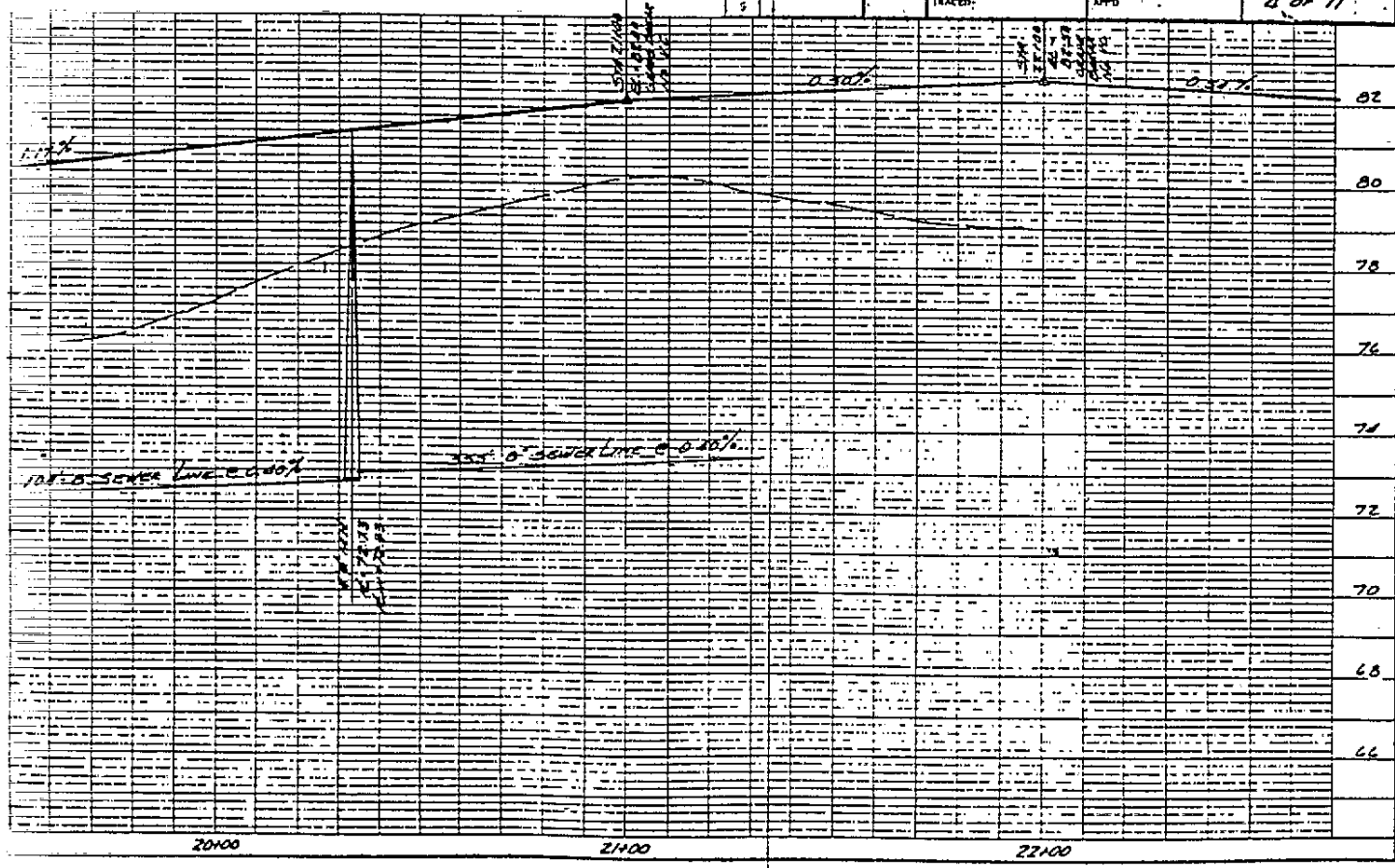
1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE NORTH QUARTER CORNER OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION=
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO URBAN CITY STANDARD SPECIFICATION OR AS PER CITY ENGINEER.



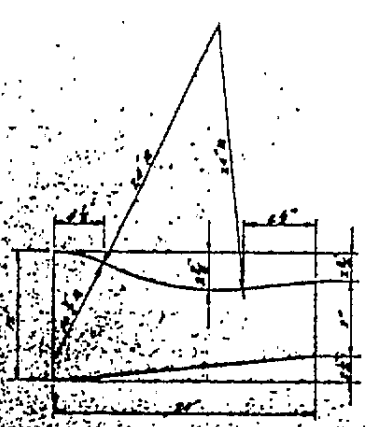
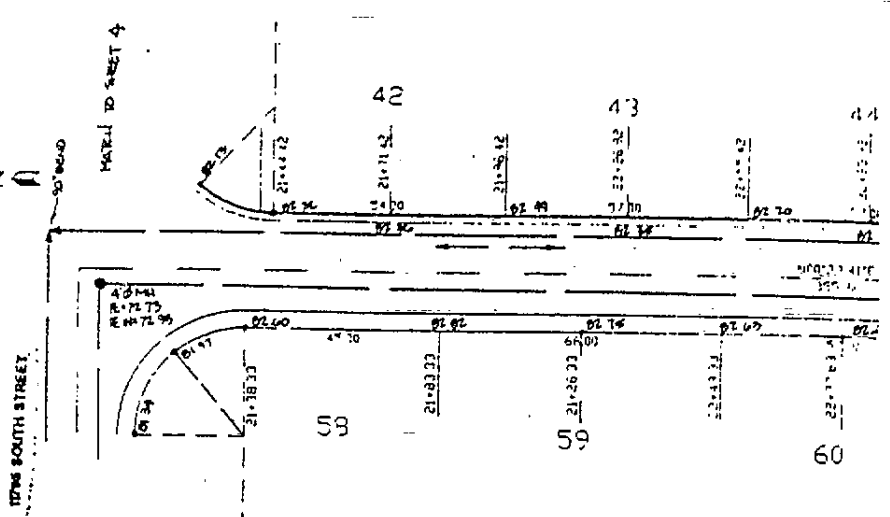
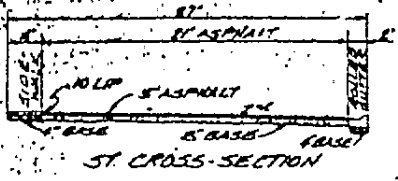
EET

MATCH TO SHEET 5

REVISION			SUNSET ROADS, U.D.		
NO.	DATE	BY	GRADE SHEETS		
1			RALPH COFF AND ASSOCIATES CONSULTING ENGINEERS 510 FIRST STREET, OGDEN, UTAH 84403		
2			DESIGNED	SCALE 1" = 20'	MATERIAL
3			CHECKED	DATE 4-18-97	DRAWN/REVISED
4			TRACED	APP'D	8 of 11
5					

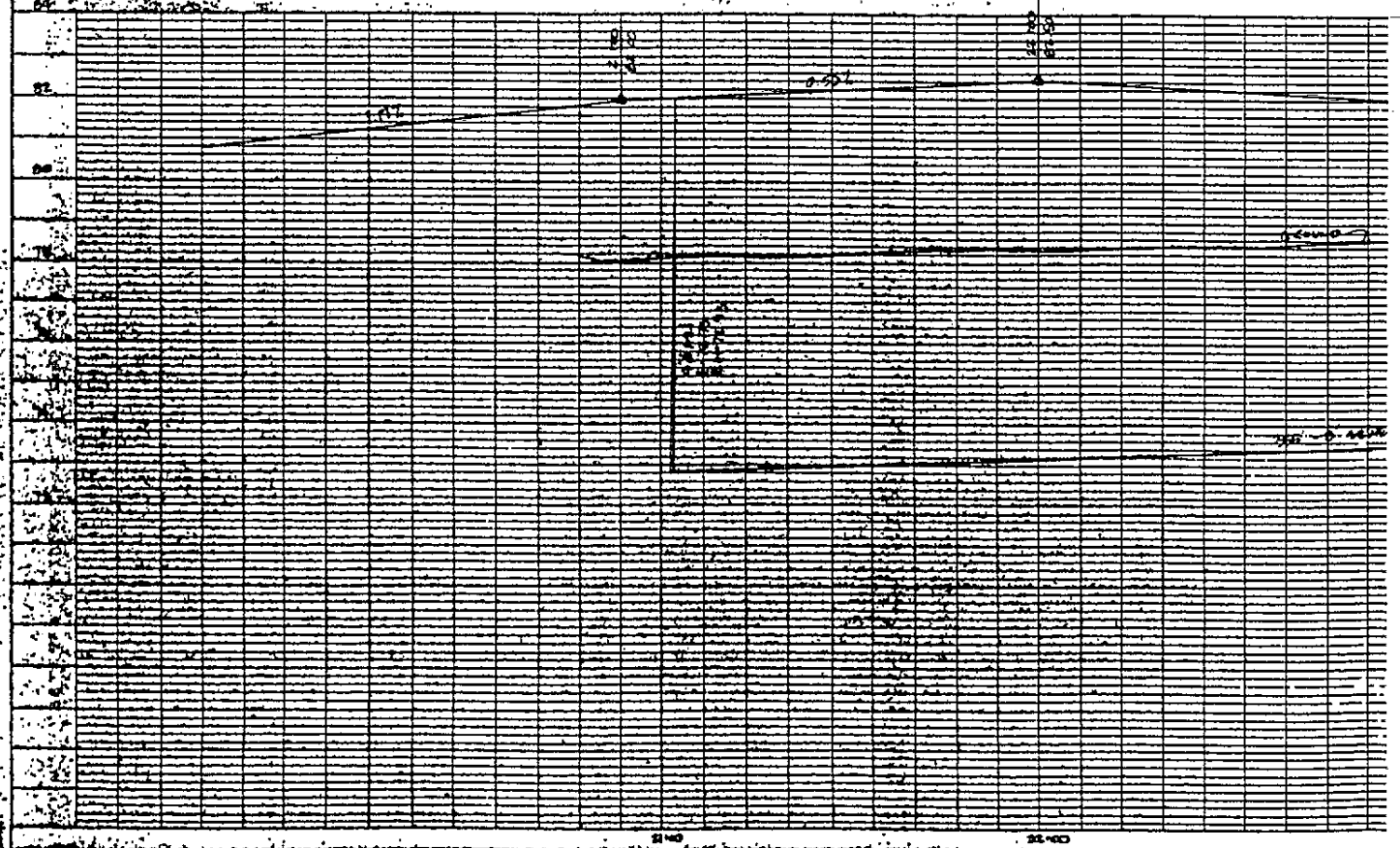


BK7985FG2873



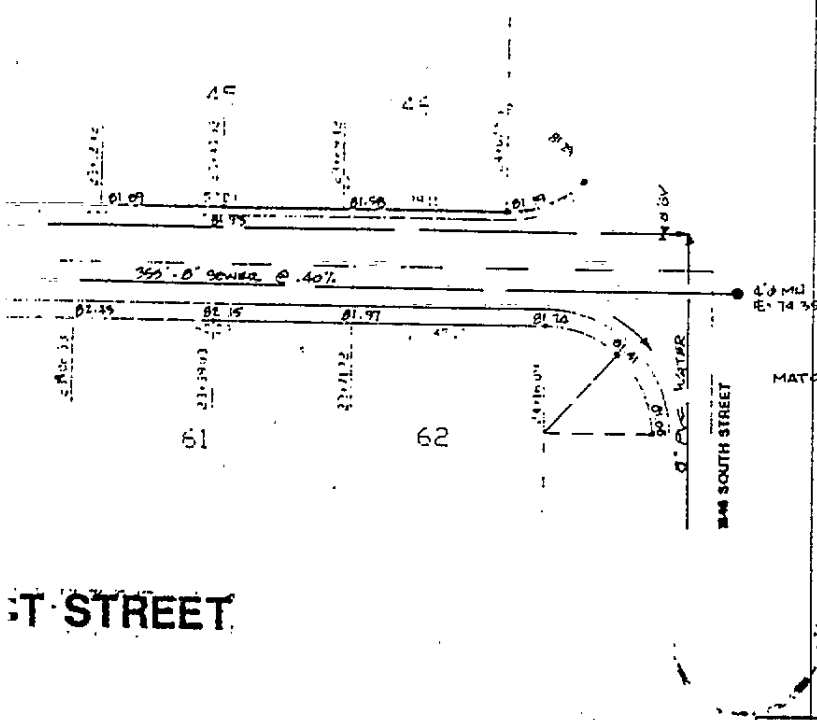
NOTE:  
ALL STREETS TO BE PAVED  
NO PARKING ON STREETS

805 EA



**GENERAL NOTES**

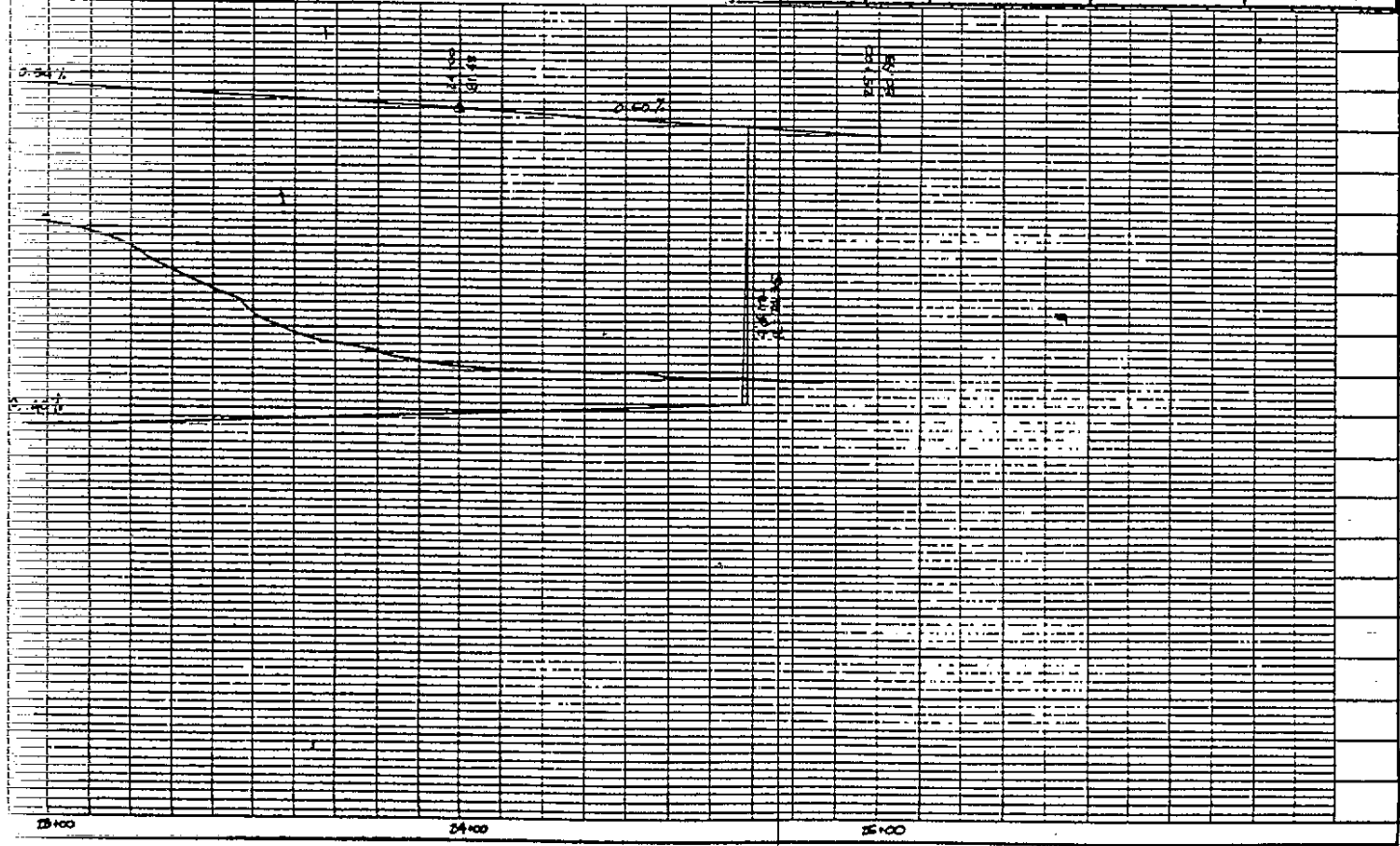
1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE CORNER OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION=
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO DRAPER CITY STANDARD SPECIFICATION OR AS PER CITY ENGINEER.



ST STREET

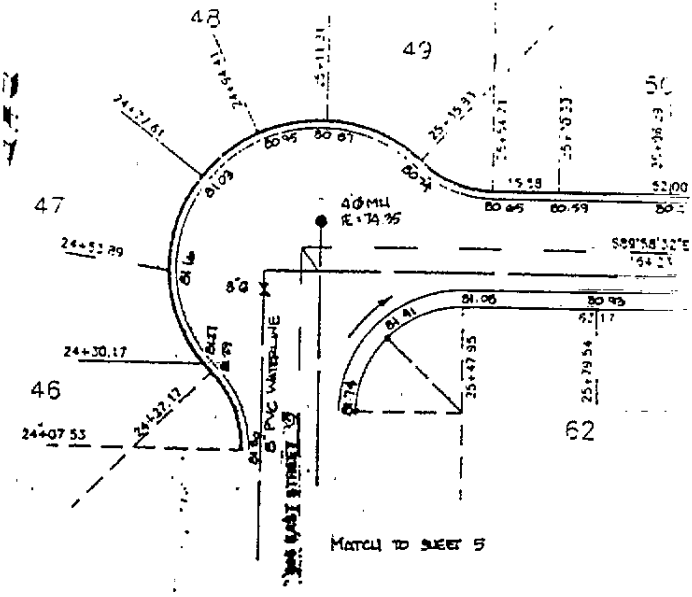
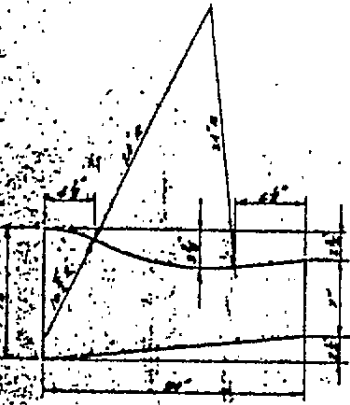
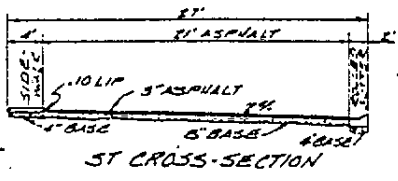


REVISIONS			SUNSET PARKS T.O.D.		
NO.	DATE	BY	GRADE SHEETS		
1			RALPH GOTT AND ASSOCIATES		
2			CONSULTING ENGINEERS		
3			318 WEST STREET, MINERAL UTAH 81607		
4			DRAWN BY	SCALE	MATERIAL
5			CHECKED	DATE	DRAWING NO.
			TRACED	APPD	5 of 11



BK7985PG2875

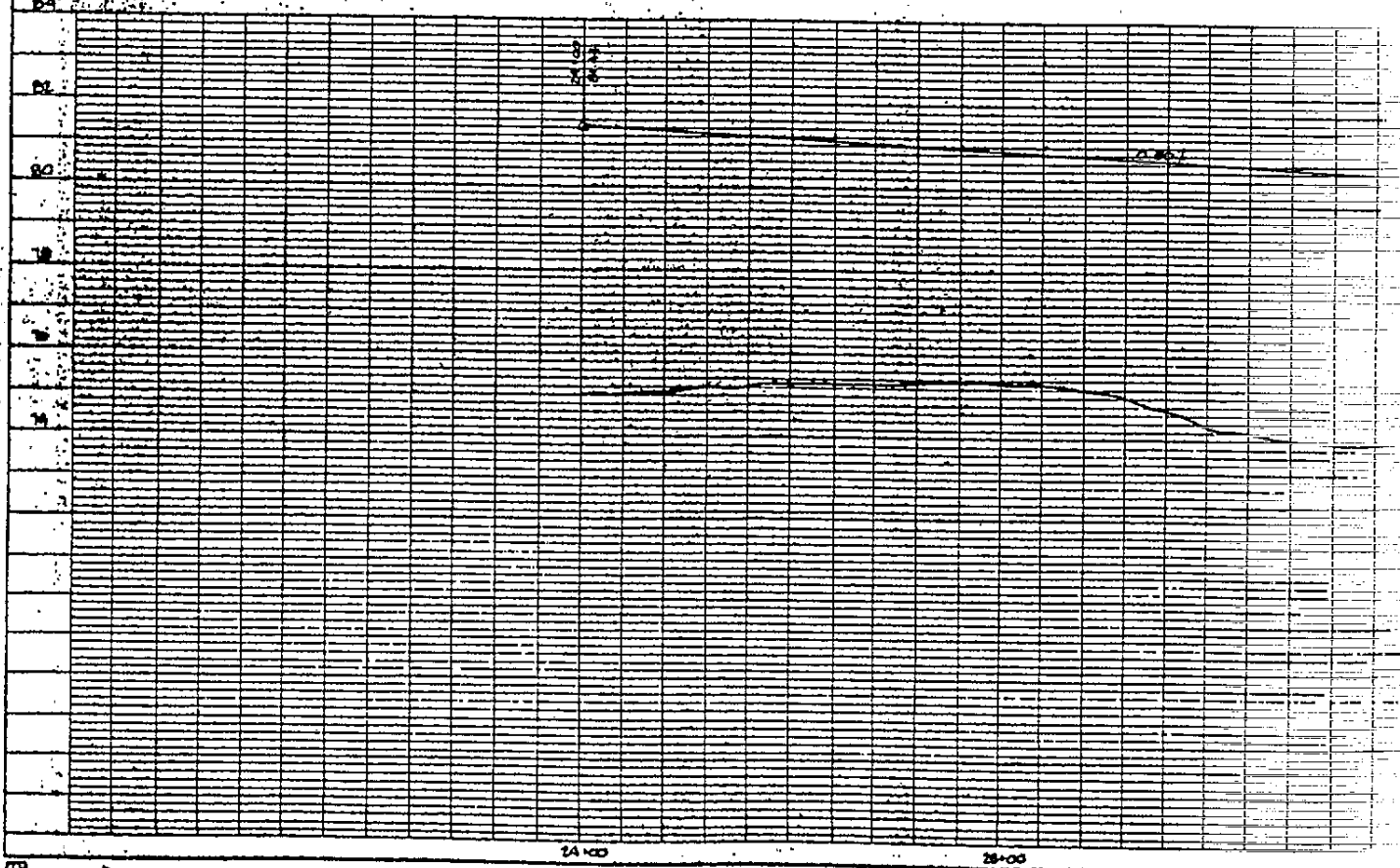
PLAN
DATE
SCALE
PROJECT
NO.
BY
CHECKED
DATE



NOTE: ALL DIMENSIONS TO BE POSITIONED ACCORDING TO THE STREET

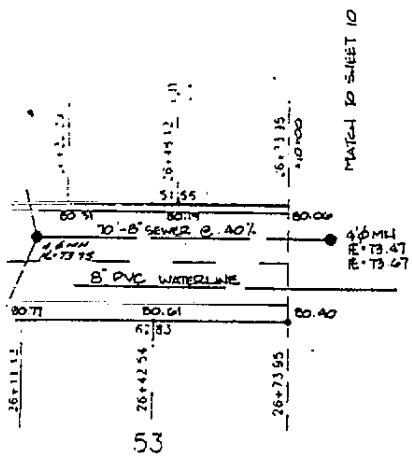
11840 SOL

PROFILE
DATE
SCALE
PROJECT
NO.
BY
CHECKED
DATE



BK 7985  
BK 7985 PG 2876





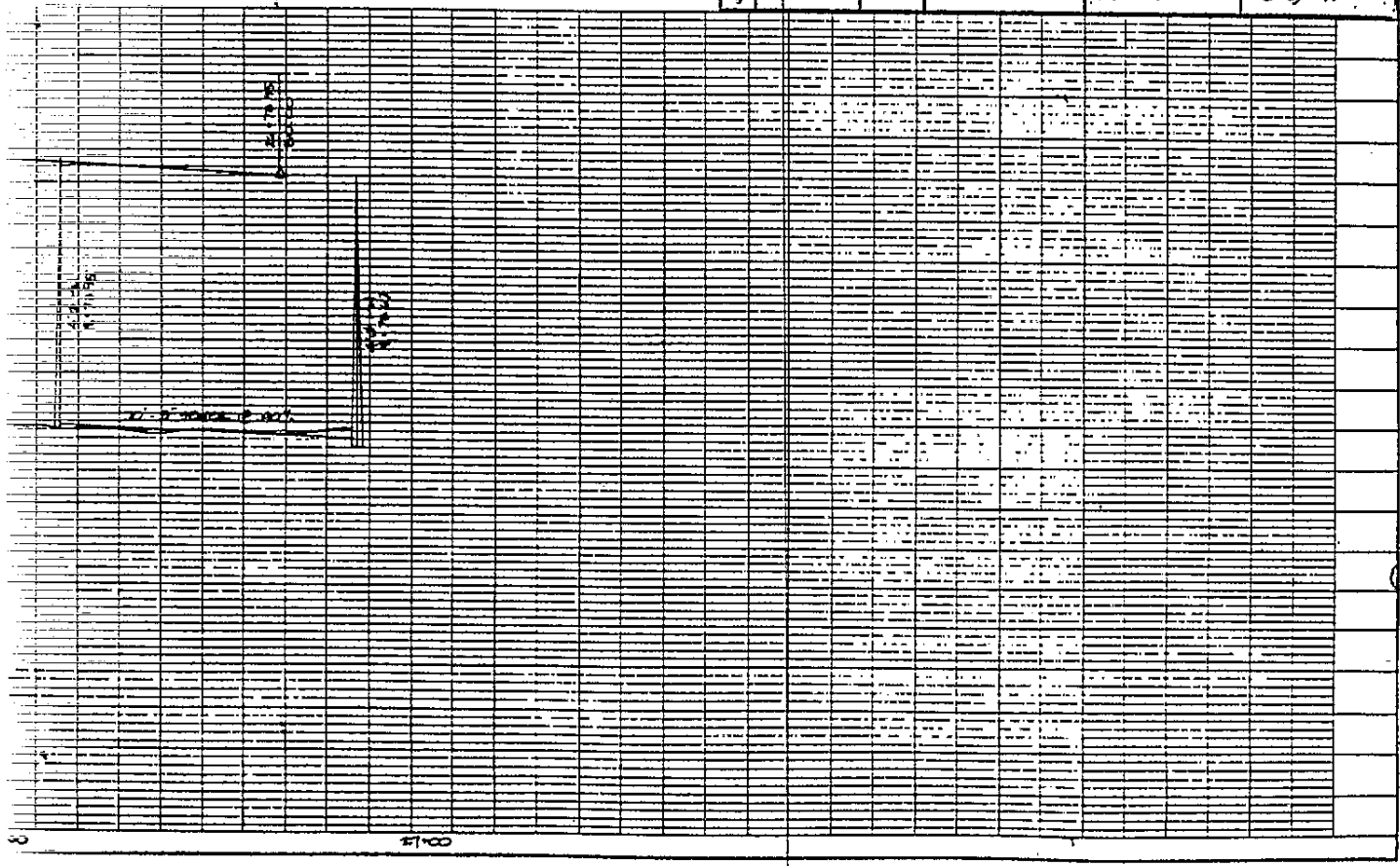
**GENERAL NOTES**

1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE S.W. CORNER OF SECTION 36, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION= 4436.57
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO DRAPER CITY STANDARD SPECIFICATION OR AS PER CITY ENGINEER.



11TH STREET

REVISIONS			SUNBELT DRAINAGE DISTRICT					
NO.	DATE	BY	GRADE SHEETS					
1			<b>RALPH GOFF AND ASSOCIATES</b> CONSULTING ENGINEERS 111 WEST STREET, HURRAY, UTAH 84047					
2								
3						INVENTOR	SCALE	MATERIAL
4						CHECKED	DATE	DRAWN/ENG
5						TRACED	APP'D	



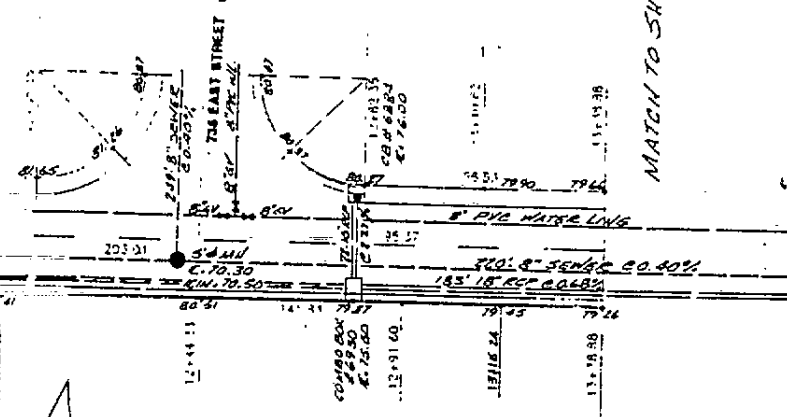
79 2877

BK7985PG2877

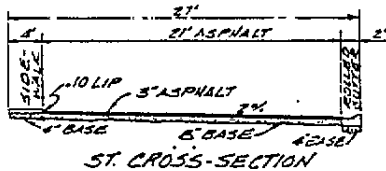


MATCH TO SHT 9

MATCH TO SHT 8



# 11825 SOUTH STREET



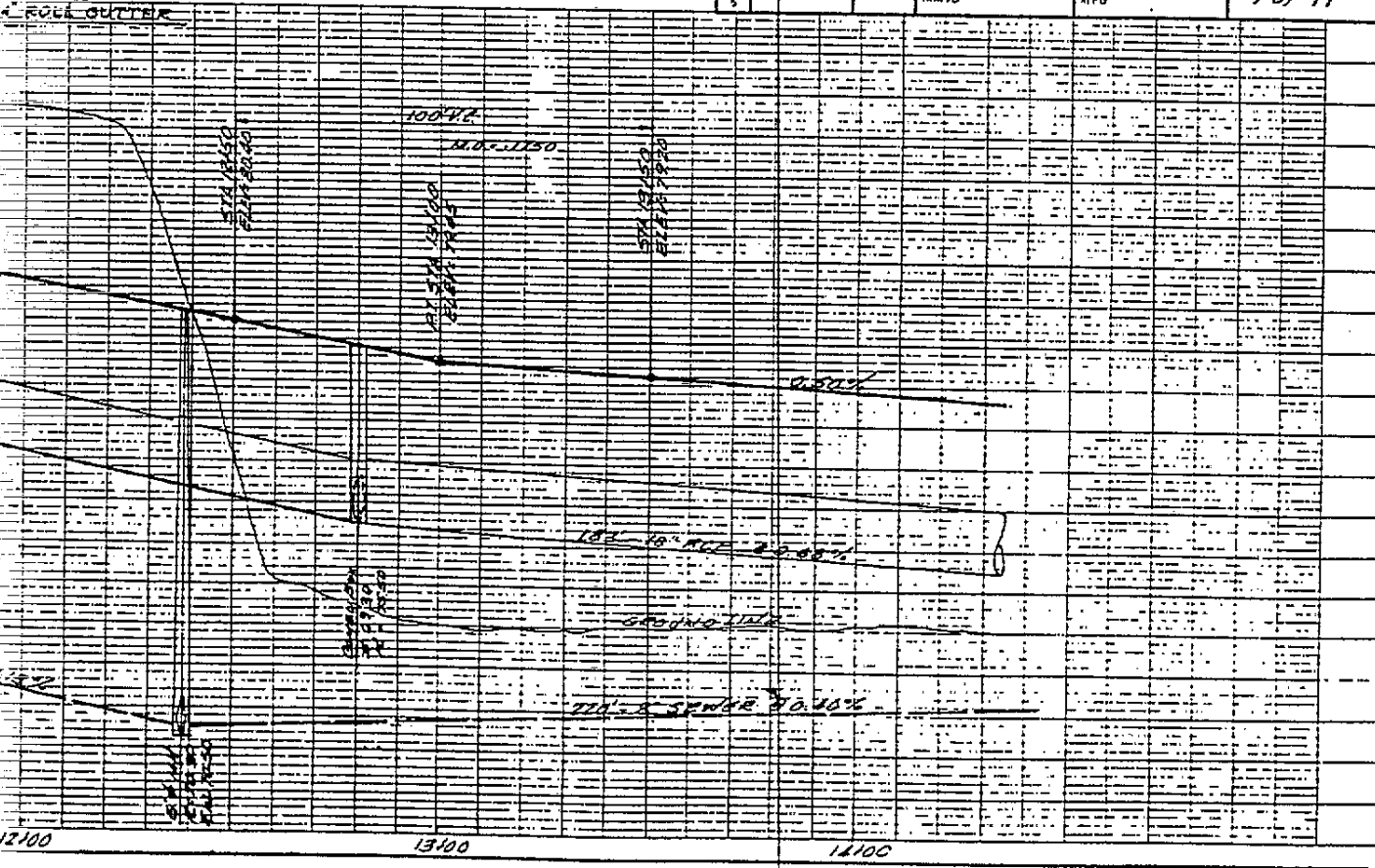
### GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE SW CORNER OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION= 4486.50
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO DRAPER CITY STANDARD SPECIFICATION OR AS PER CITY ENGINEER



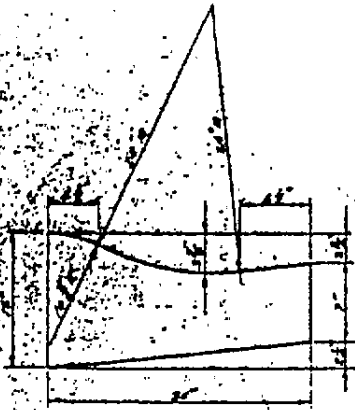
REVISION		
NO	DATE	BY
1	7-16-97	DB
2		
3		
4		
5		

SUNSET PONDS PUD		
GRADE SHEETS		
RALPH GOFF AND ASSOCIATES		
CONSULTING ENGINEERS		
110 WING STREET, MIDWAY, UTAH 84047		
DESIGNED BY	SCALE	TITLE
DB	1" = 20'	GRADE SHEETS
CHECKED	DATE	DRAWING NO.
	4-18-97	7 of 11
TRACED	APPD	

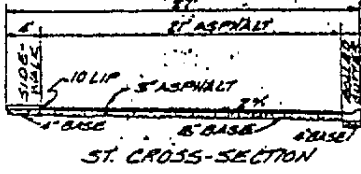


BK7985PG2879

PLAN
DATE
SCALE
PROJECT
NO.
BY
CHECKED
APPROVED

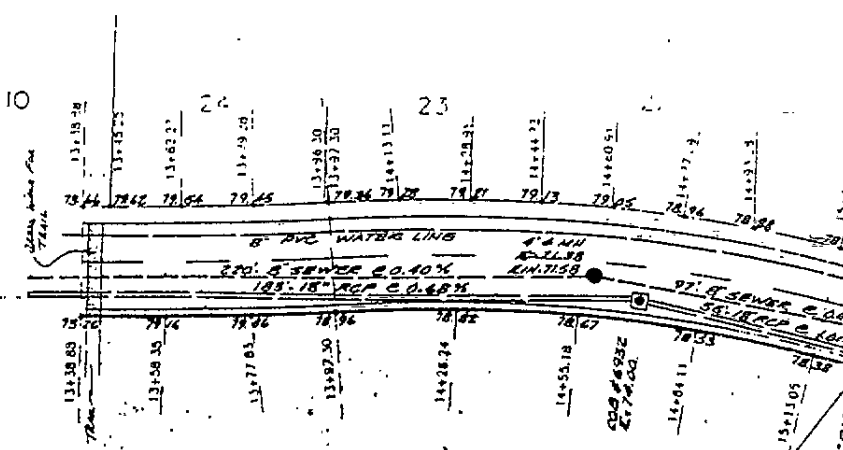


TYPICAL 24" ROLL GUTTER



ST. CROSS-SECTION

MATCH TO SHIT 7

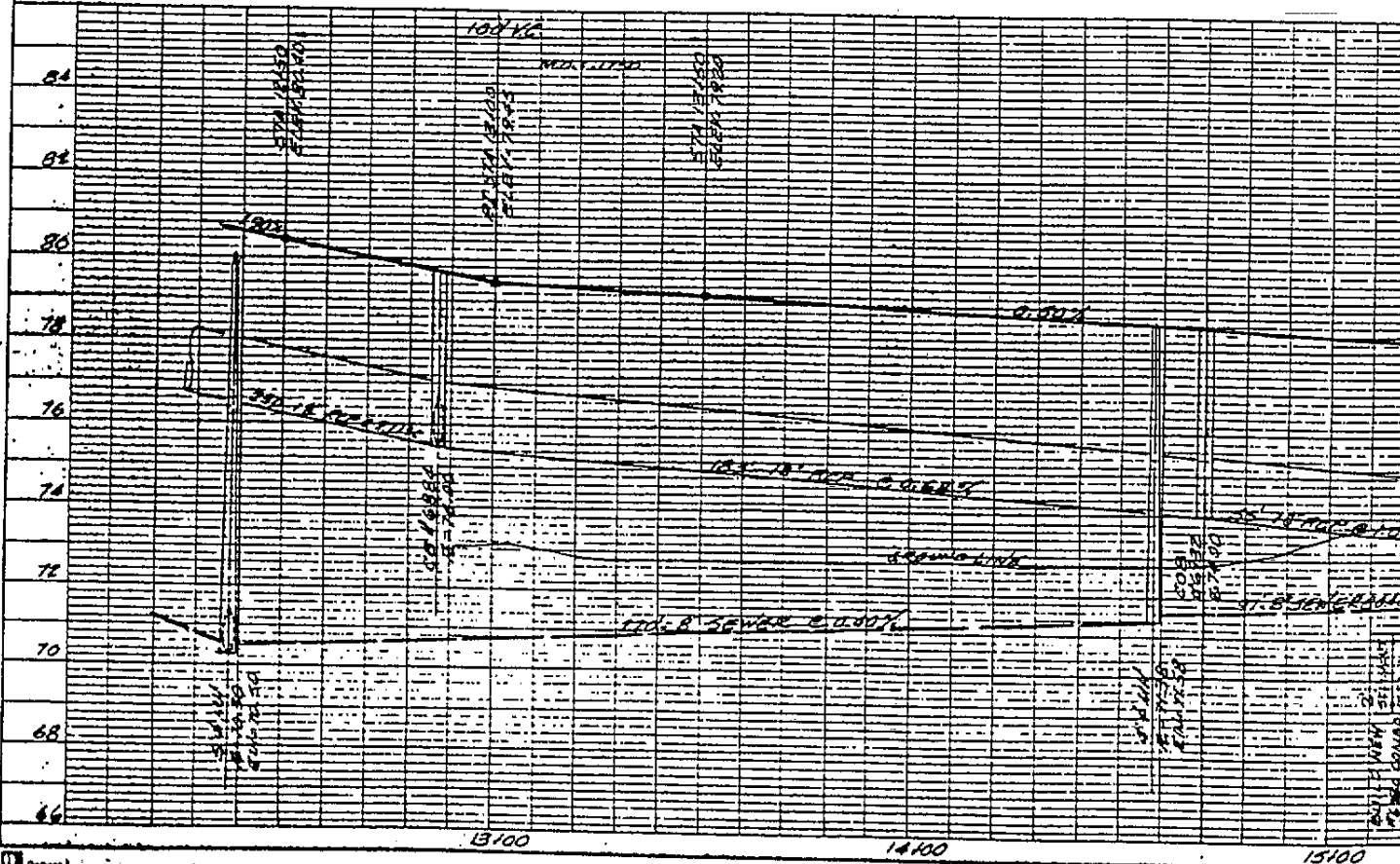


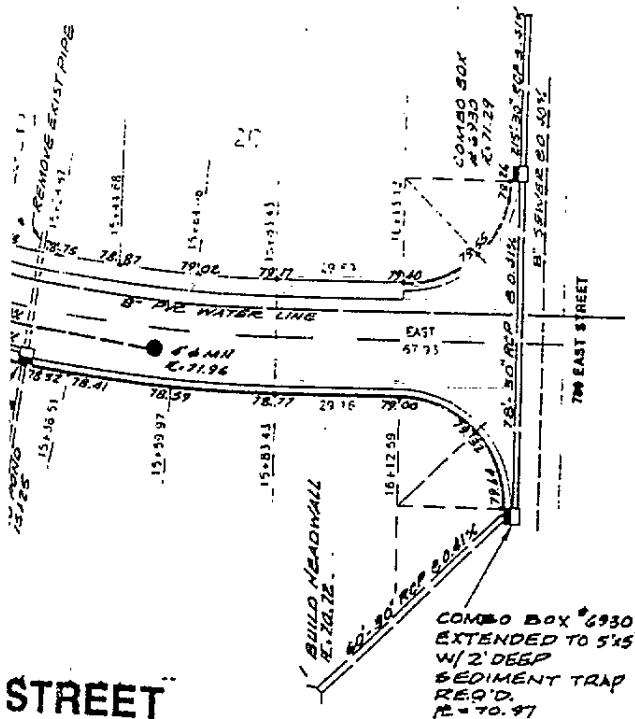
BUILD NEW 6930 COMBO BOX  
 EXTENDED TO 5'45" W/ 2' DEEP  
 SEDIMENT TRAP, GBDZ GRATE  
 REQUIRED.  
 21" RCP, R = 71.20  
 18" RCP, R = 78.45

NOTE: ALL STREETS TO BE PAVED  
 TO MATCH THE ADJACENT

11825 SOUTH

PROFILE
DATE
SCALE
PROJECT
NO.
BY
CHECKED
APPROVED





COMBO BOX #6930  
EXTENDED TO 5'x5'  
w/ 2' DEEP  
SEDIMENT TRAP  
REQ'D.  
R. = 70.97



**GENERAL NOTES**

1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE S.W. CORNER OF SECTION 36, TOWNSHIP 3 SOUTH, RANGE 7 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION = 4486.56
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO DRAPER CITY STANDARD SPECIFICATION OR AS PER CITY ENGINEER.

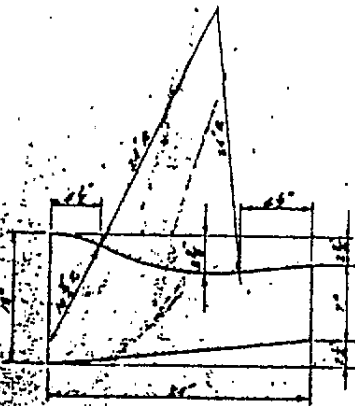
STREET

REVISIONS			SUNSET PONDS PUD		
NO.	DATE	BY	GRADE SHEETS		
1	7-16-97	DB	RALPH GOFF AND ASSOCIATES		
2			CONSULTING ENGINEERS		
3			118 VINE STREET, SERRAVALLO, UTAH 84055		
4			DRAWN BY: DB	SCALE: 1"=20'	MATERIAL
5			CHECKED:	DATE: 4-18-97	DRAWING NO: 8 of 11
			TRACED:	APP'D:	

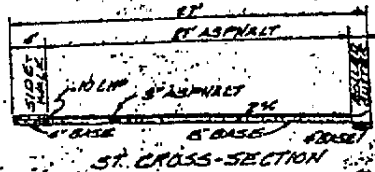
STATION	INVERT	GRADE	DIAMETER	LENGTH	MANHOLE	REMARKS
16+00	78.97	78.97	18"	10'		
16+10	78.77	78.77	18"	10'		
16+20	78.59	78.59	18"	10'		
16+30	78.41	78.41	18"	10'		
16+40	78.23	78.23	18"	10'		
16+50	78.05	78.05	18"	10'		
16+60	77.87	77.87	18"	10'		
16+70	77.69	77.69	18"	10'		
16+80	77.51	77.51	18"	10'		
16+90	77.33	77.33	18"	10'		
17+00	77.15	77.15	18"	10'		

BK7985PG2881

PLAN
PROJECT NO.
DATE
BY
CHECKED
APPROVED
SCALE
NOTES



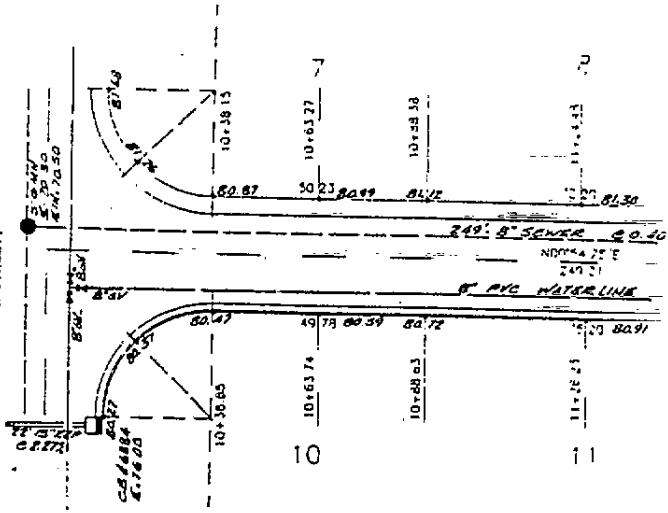
TYPICAL 24" ROLL GUTTER



ST. CROSS-SECTION

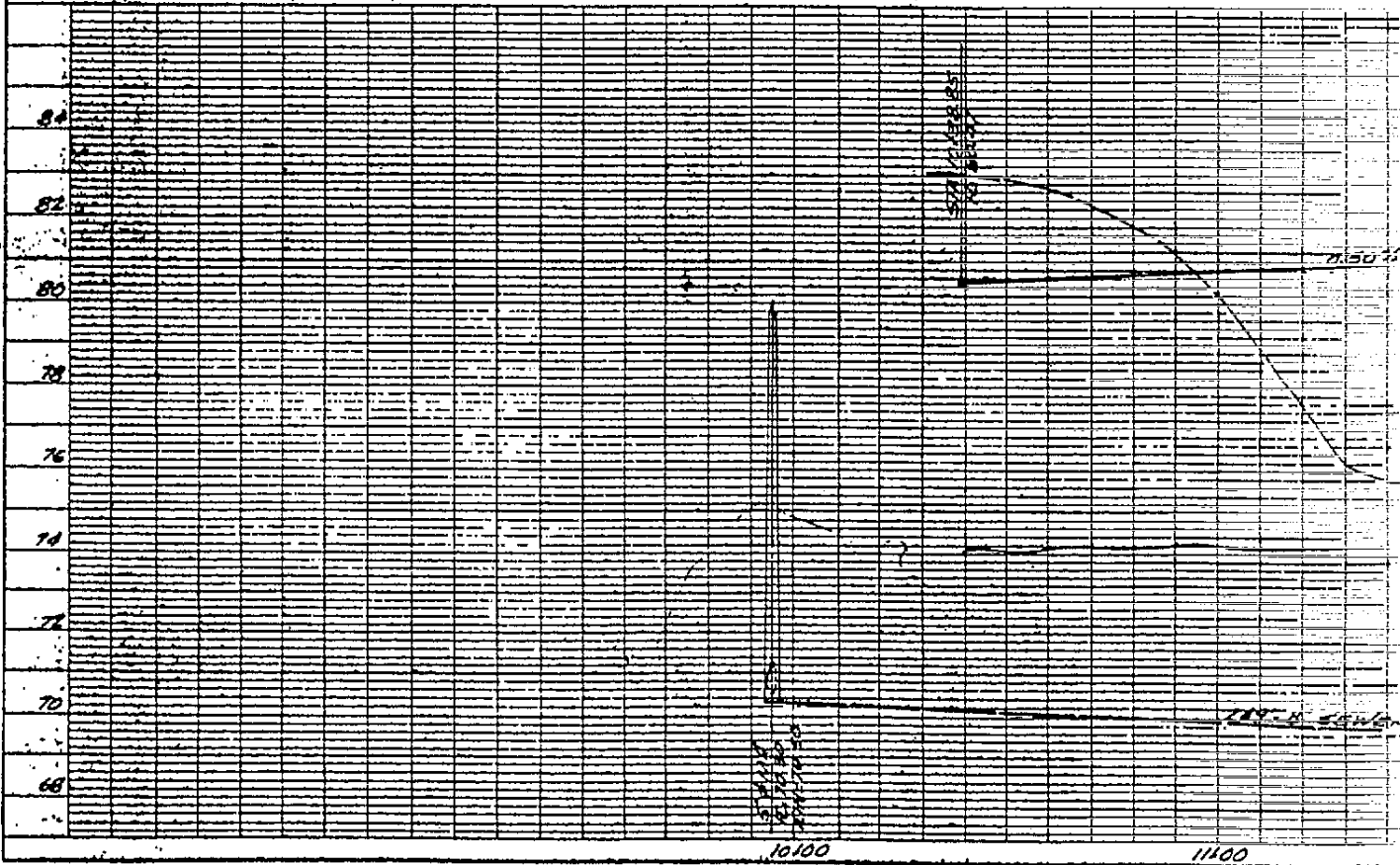
NOTE:  
ALL STREETS TO BE POSTED  
"NO PARKING ON STREET"

MATCH TO SHY. 7  
THRU SOUTH STREET



735 EAST

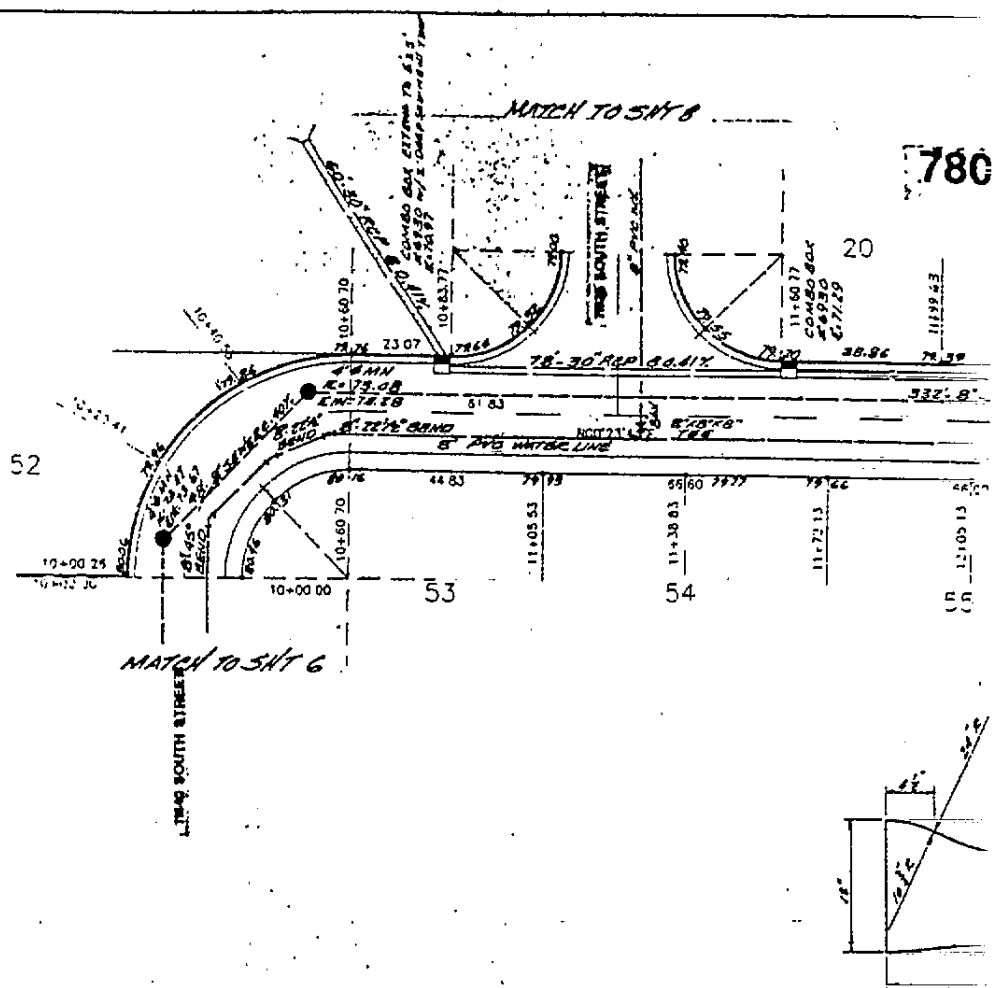
PROFILE
PROJECT NO.
DATE
BY
CHECKED
APPROVED
SCALE
NOTES



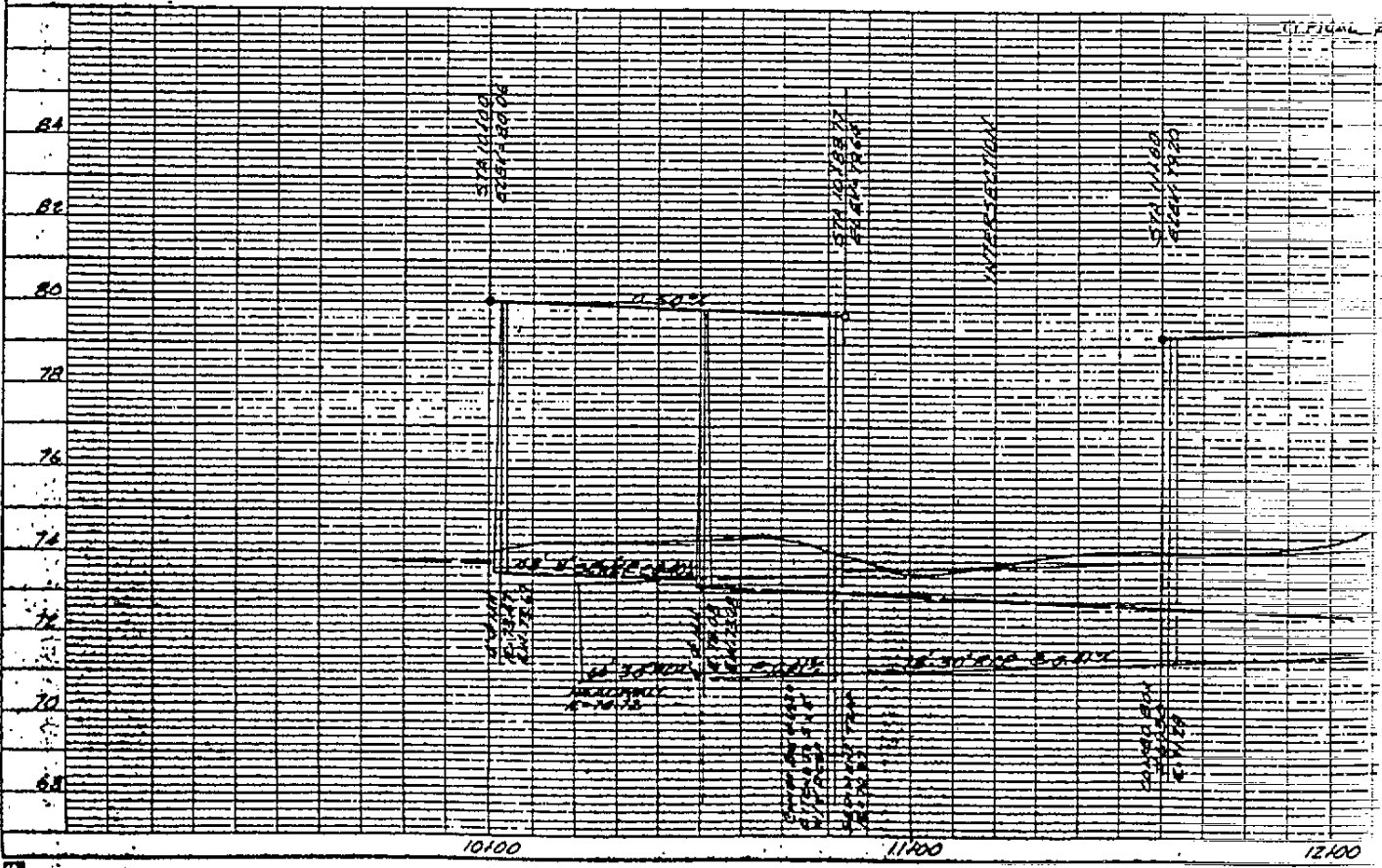
BK 7985 PG 2882  
BK 7985 PG 2882



DATE	
BY	
CHECKED	
APPROVED	
SCALE	
PROJECT	
DESCRIPTION	
PLANS	
PROFILES	
SECTION	

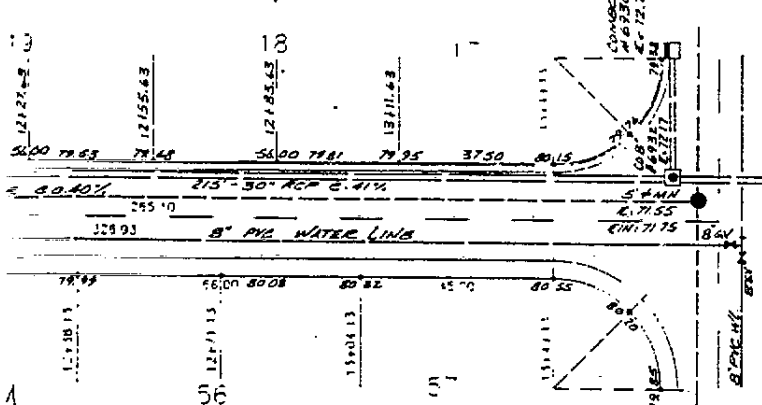


DATE	
BY	
CHECKED	
APPROVED	
SCALE	
PROJECT	
DESCRIPTION	
PLANS	
PROFILES	
SECTION	





# AST STREET

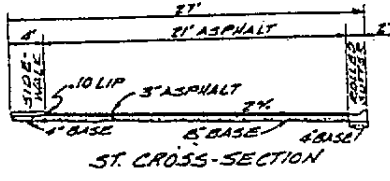


MATCH TO SHEET A FROM SOUTH STREET

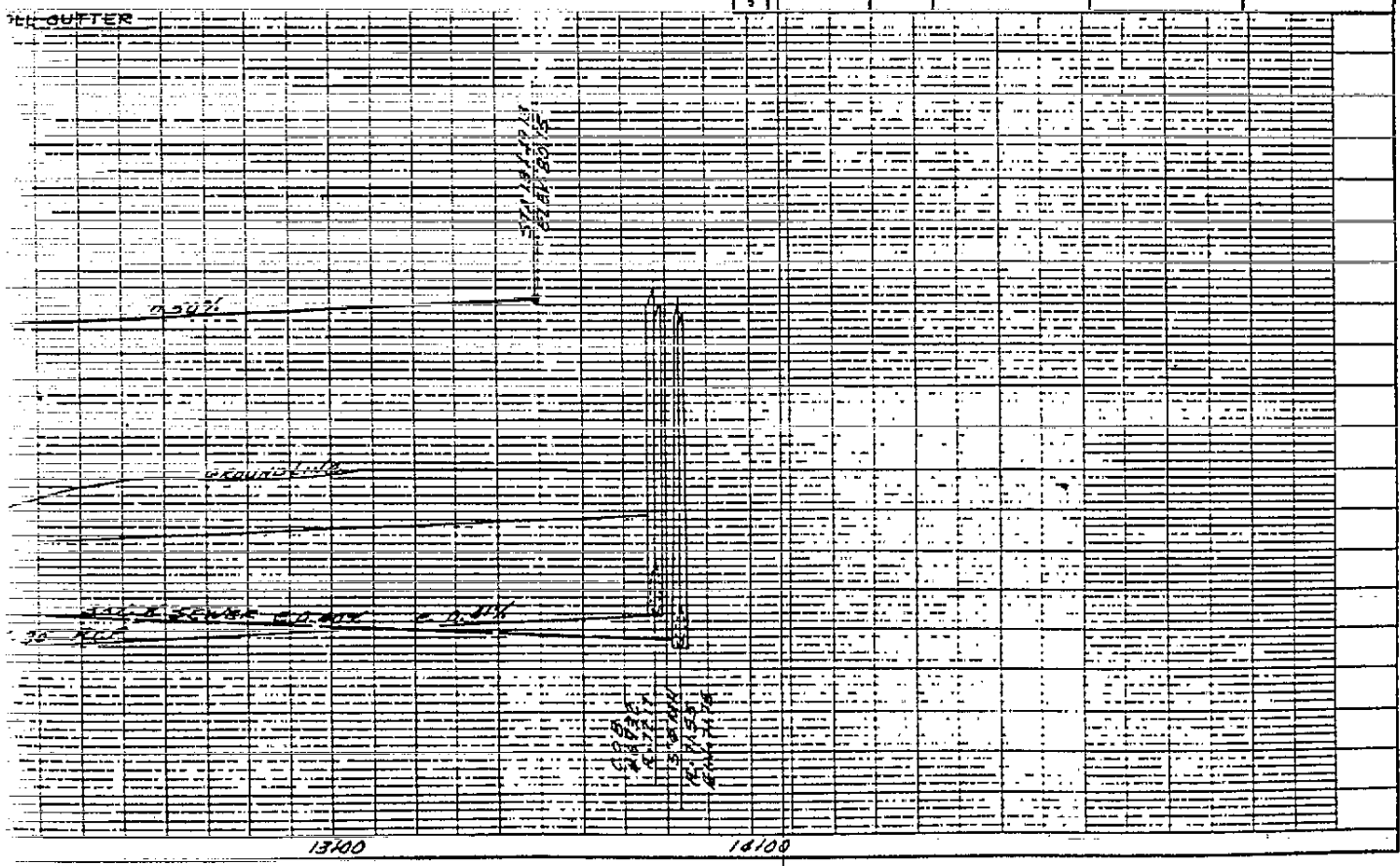
### GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION FOR SEWER SHALL CONFORM TO SALT LAKE COUNTY SEWERAGE IMPROVEMENT DISTRICT #1 TECHNICAL STANDARDS.
2. BENCH MARK IS COUNTY MONUMENT LOCATED AT THE S-W CORNER OF SECTION 10 TOWNSHIP 3 SOUTH, RANGE 7 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION= 4484.56
3. MANHOLES SHALL BE SET TO FINISHED GRADE AS SHOWN BY PROFILES.
4. DEVELOPER IS TO EXTEND SEWER LATERALS TO 10 FEET BEYOND PROPERTY LINES AND PROVIDE TEST TEE AT END.
5. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER LINES.
6. NO SEWER LATERALS TO BE CONNECTED TO MANHOLES.
7. ALL CONSTRUCTION SHALL CONFORM TO DRAPER CITY STANDARD SPECIFICATION OR AS PER CITY ENGINEER.

NOTE:  
ALL STREETS TO BE POSTED  
"NO PARKING ON STREET"

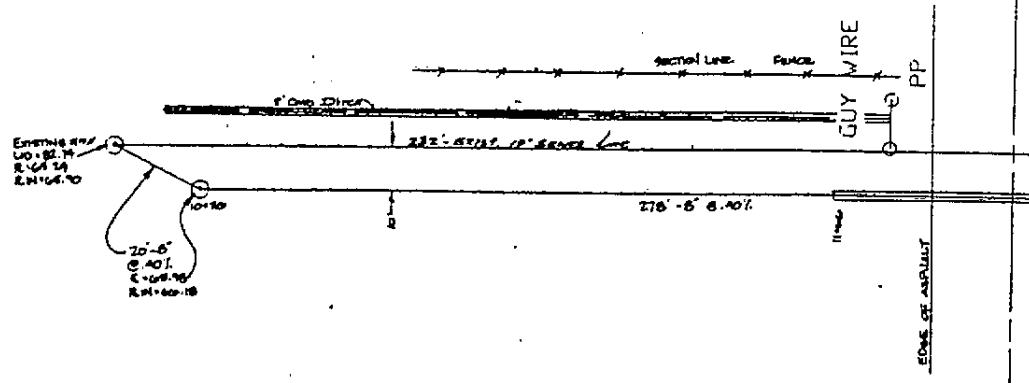


REVISIONS			SUNSET PARK PUD	
NO	DATE	BY	GRADE SHEETS	
1			RALPH GOFF AND ASSOCIATES	
2			CONSULTING ENGINEERS	
3			DESIGNED BY DB	SCALE 1" = 20'
4			CHECKED DATE 8.18.97	DRAWING NO
5			TRACED	10 of 11



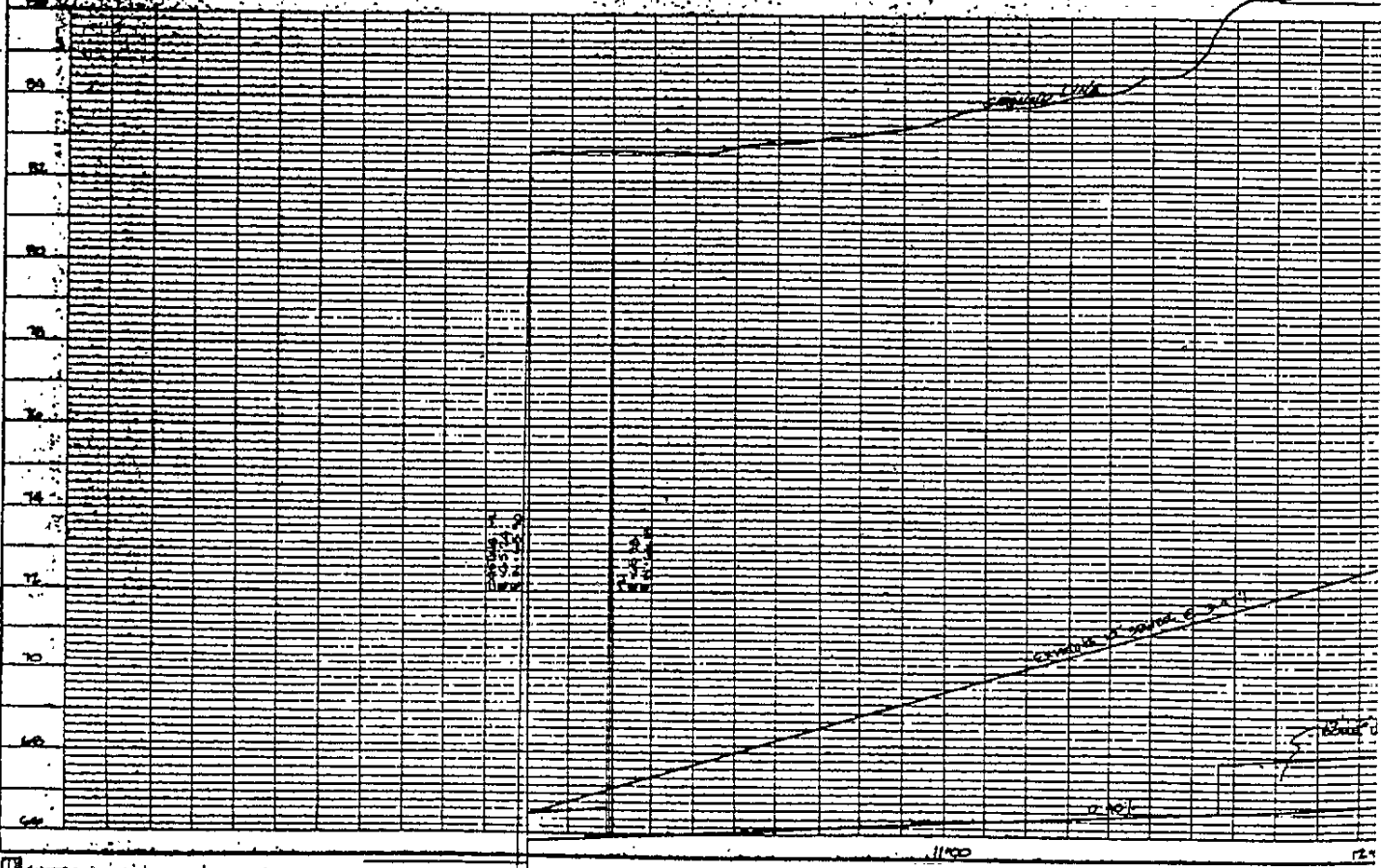
BK 7 9 8 5 PG 2 8 8 5

# SEWER OUTFALL 11800 SOUTH STREET



PLAN
DATE
SCALE
PROJECT
CLIENT
DESIGNER
CHECKER
APPROVER

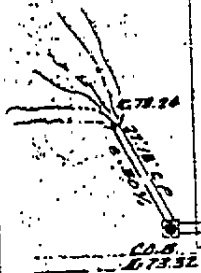
PROFILE
DATE
SCALE
PROJECT
CLIENT
DESIGNER
CHECKER
APPROVER





PLAN
HOSE BOOK
NO.
DATE
BY
CHECKED
APPROVED
SCALE

DRAINAGE INTO ENHANCED WETLANDS.



48

47

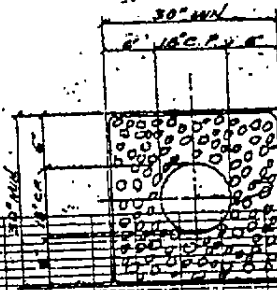
46

45

44

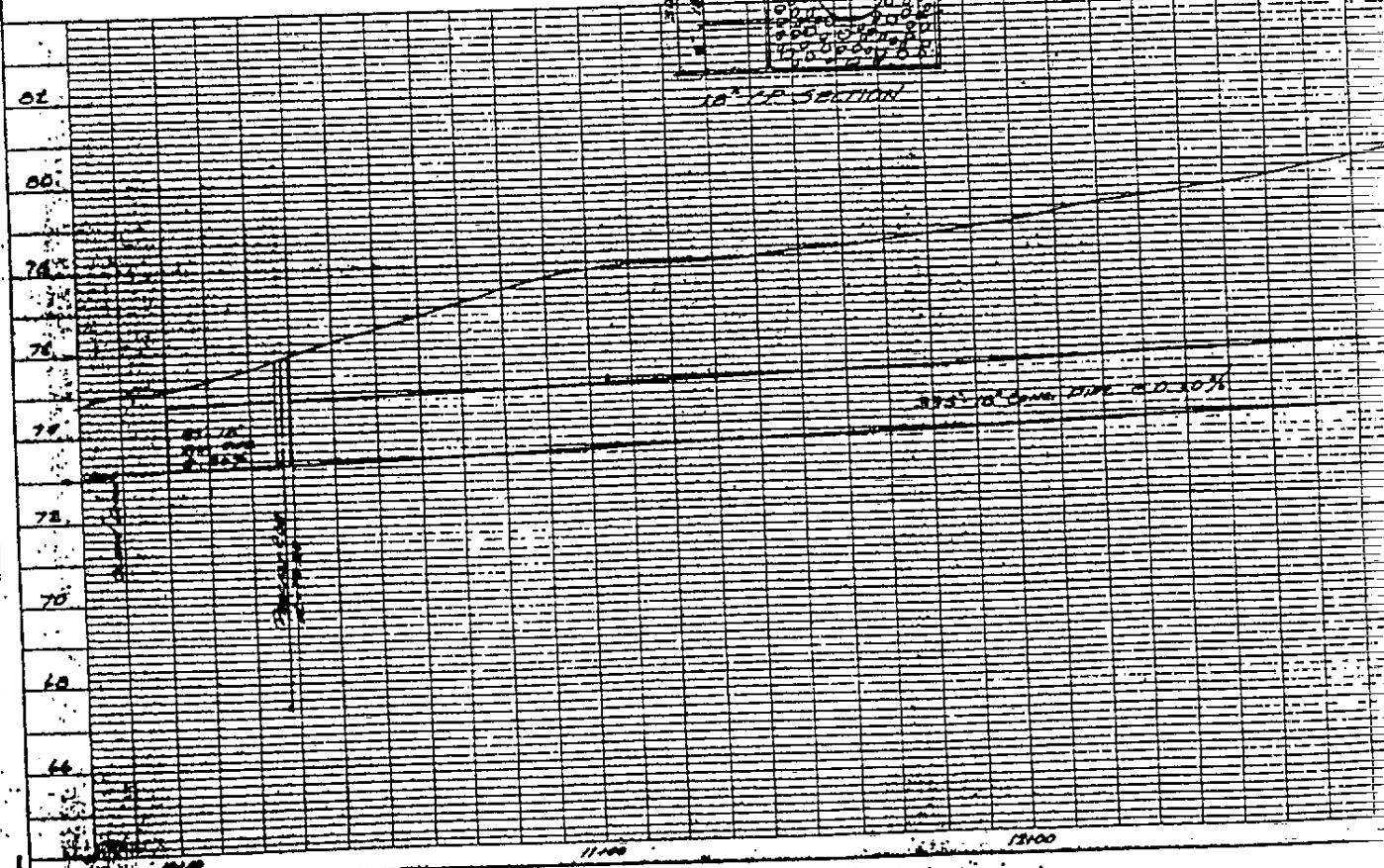
395'-18" CONC PIPE C-30 1/4  
CAPACITY - 200 GPM FROM VICTOR'S POND

RASENF

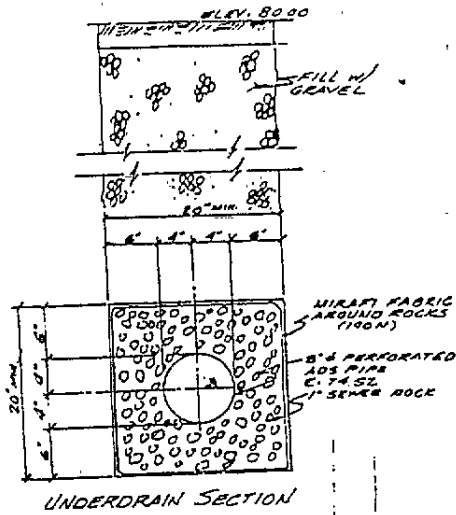


VICTOR'S POND

18" CP SECTION



PROFILE
HOSE BOOK
NO.
DATE
BY
CHECKED
APPROVED
SCALE



**S POND  
LET**

REMOVE EXIST OUTLET FROM 42  
 BUILD NEW COB  
 R.I.N. 74.78  
 R.O.U.F. 74.50

EXIST COB  
 R.I.N. 77.60  
 R.O.U.F. 74.85

EXIST OUTLET STRUCTURE VICTOR'S POND

180'-8" UNDERDRAIN @ 20%  
 (CUTOFF DRAIN)

REVISIONS			SUNSET EGRINDS TRUCK		
NO.	DATE	BY	VICTOR'S POND OUTLET		
1			RALPH GOFF AND ASSOCIATES		
2			CONSULTING ENGINEERS		
3			215 W. 21ST ST., BIRMINGHAM, ALABAMA 35202		
4			ISSUED BY: DG	SCALE: 1" = 20'	STATICAL
5			CHECKED:	DATE: 4-18-97	DRAWN BY:
			DESIGNED:	APPROVED:	1 of 1

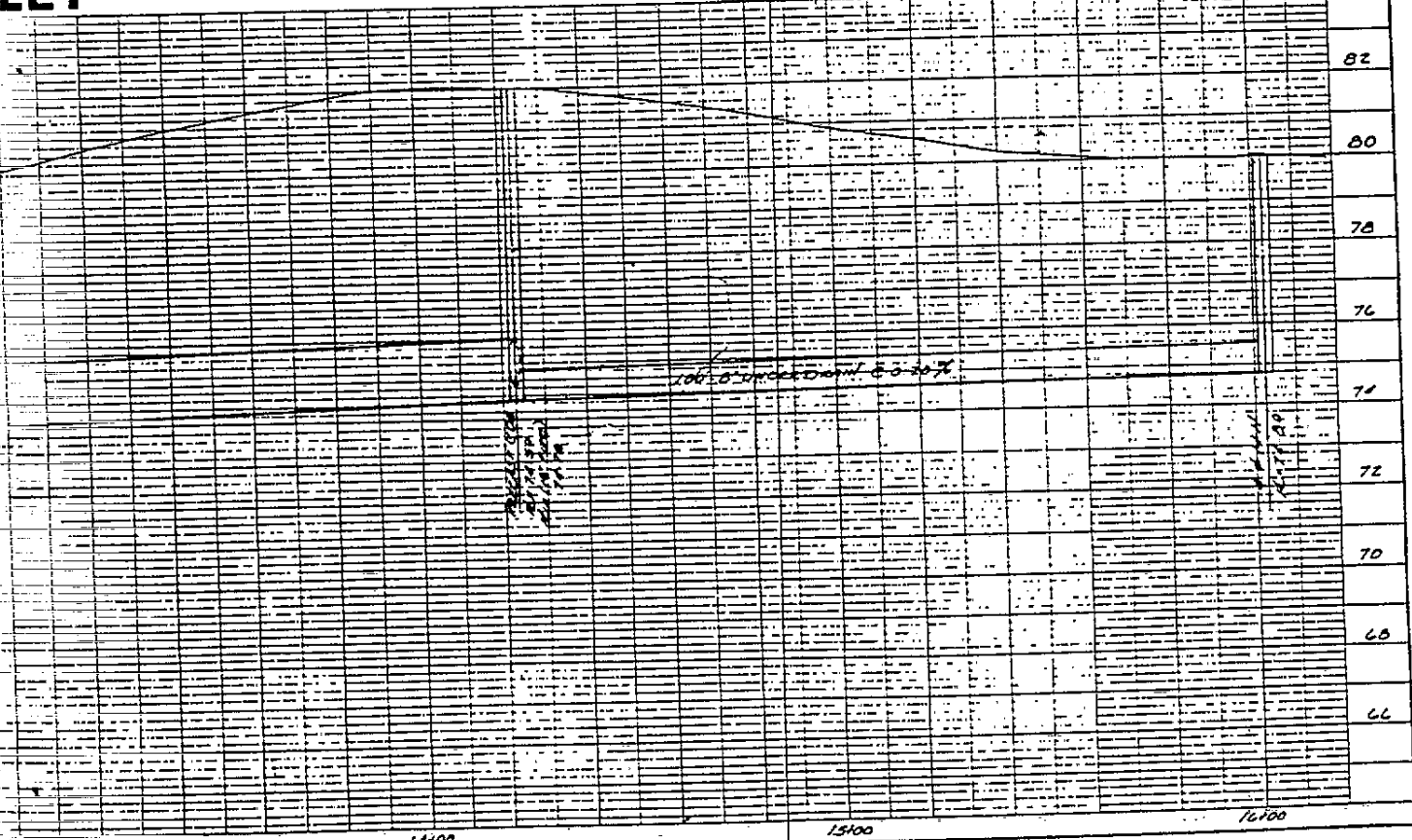
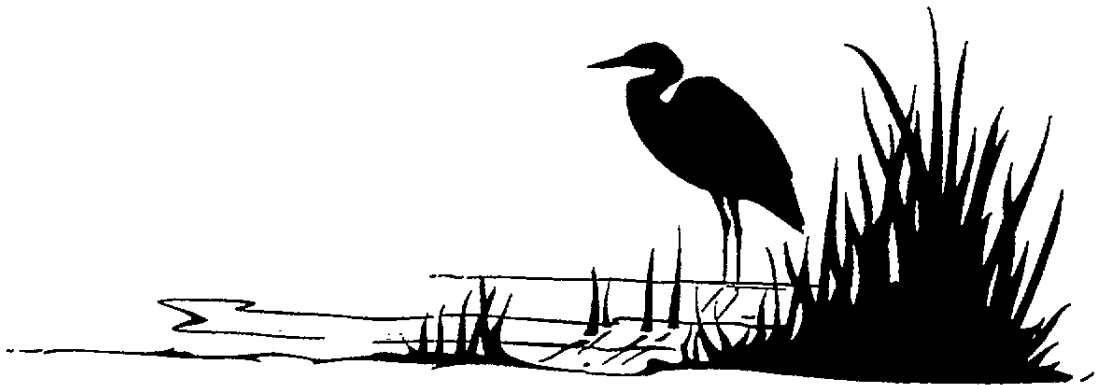


Exhibit "D"  
PUD AGREEMENT

# Sunset Ponds

A Master Planned Community  
Draper, Utah

## Design Guidelines



**IVORY HOMES**  
Utah's Number One Home Builder.

BK 7985 P62890

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## Table of Contents Sunset Ponds, P.U.D.

Design Guidelines	3
Environment	4
Purpose	5
Architectural Standards	6
Landscape Standards	9
Design Review Committee	10

### ATTACHMENTS

- Brick Element on all homes
- Mail box detail
- Lot Planting Plan (typical)
- Lot Irrigation Plan (typical)
- Typical Home Elevations (various)

Note: The inclusion of typical home plan elevations does not necessarily limit the choice of plans to specifically those identified in this document. The purpose is to provide a visual aid in identifying the design style appropriate in this community.

---

Design Guidelines  
Sunset Ponds, P.U.D.  
Draper, Utah

These Design Guidelines have been promulgated pursuant to Section III, 19.e. of the Declaration of Conditions, Covenants and Restrictions for Sunset Ponds, P.U.D., (the "Declaration"), first recorded on \_\_\_\_\_ as Instrument \_\_\_\_\_, official records of Salt Lake County. The Design Guidelines are binding upon all persons who at any time construct, reconstruct, refinish, alter or maintain any improvements upon the Property. The Design Guidelines are administered and enforced by the Design Review Committee in accordance with the Declaration and the procedures herein and herein set forth. The Design Guidelines may be amended from time to time and it is the responsibility of each Owner or other Person to obtain and review a copy of the most recently revised Design Guidelines.

In establishing and developing these Design Guidelines, several important factors have been taken into consideration: the environmental conditions of the site including the level of the water table in the area; the overall slope and topography; and current real estate market conditions which will effect the type and style of the homes.



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## Environment

Environmental studies have been undertaken at Sunset Ponds and an extensive body of knowledge has evolved about its environmental factors, including slope, soils, geologic conditions, hydrology, vegetation, climate and wildlife. The approximately 18 acres of land on which Sunset Ponds is situated consists of wet meadows, a large pond, grazing fields and agricultural areas. Sunset Ponds is unique because of its rich and diverse plant and animal life.

As a result of this intensive study of the ecology and environment at Sunset Ponds, the philosophy of the project has evolved. Stated simply, it is a blending of people, homes and the existing environmental factors into a harmonious residential community that will grow in value over time.

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## Purpose

The purpose of the Design Guidelines is not to create look-alike Residences or other improvements or to suggest that they should all have the same colors and materials. Rather, the purpose is to create a harmonious architectural approach compatible with this site while at the same time providing each future home owner the maximum amount of flexibility in choosing exterior and interior features so as to avoid a monotony of design, exterior elevations and colors. The architectural standards and design guidelines should be viewed by each Lot Owner as his/her protection that the special type of development will be preserved and enhanced over time.

## Architectural Standards

### 1. Height of Structures

The maximum height for any Residence shall not exceed a basement and two stories above ground and shall not exceed City of Draper building height standards for the zone.

### 2. No Reflective Finishes

No highly reflective finishes (other than glass, which may not be mirrored) shall be used on exterior surfaces (other than surfaces of hardware fixtures), including without limitation the exterior surfaces of any of the following: roofs, all projections above roofs, retaining walls, doors, trim, fences, pipes, equipment mailboxes, and newspaper tubes.

### 3. Roofs

All roofs shall be of a material, color, and texture approved by the Design Review Committee. The overall appearance of the Residence will be an important consideration. The color of roofs must conform to the color standards set forth in the Design Guidelines which include light to middle range values of "earth tones".

### 4. Materials - Exterior Surfaces

Exterior surfaces will consist of the following:  
On all sides and rears of all homes, vinyl siding of a color conforming to the color standards set forth in the Design Guidelines

will be acceptable. The fronts of all homes will be a combination of stucco and brick, whose colors shall be conforming to the color standards set forth in the Design Guidelines. All brick elements will be "Classic Traditional" brick chosen from the approved color standards. The color of the siding, stucco and brick will be chosen to complement and match as closely as possible.

5. Additional Construction and/or Exterior Changes  
Any changes to the approved plans before, during, or after the construction of an Improvement must first be submitted to the Design Review Committee for approval.

6. No Two Homes Alike On Adjoining Lots  
Due to the unique nature of this subdivision including the limited lot size, no two homes alike are allowed on adjoining lots, defined as lots which share common side yard property lines. This includes the same model with different exterior materials, however the same model with two front elevation details will be allowed on adjoining lots.

7. Additional Common Features  
All homes at Sunset Ponds shall be constructed with matching brick elements on all homes, and various community features, which will include a specially designed brick wainscot and stucco front elevation (See Attachment I), two car garage minimum with brick soldier course surround, white vinyl

energy efficient windows with grid pattern at the front and side elevations, matching exterior lighting, entrance door lockset and kickplate, and engraved limestone address plates.

8. Setback and Side-yard requirements

All home front setback locations will be alternating between 20-25 feet for a unique overall subdivision appearance. The Design Review Committee will establish the setback locations which are noted on the recorded subdivision plat. Minimum side yards are six (6) feet from side property line and minimum rear yard setback is 15 feet. Cantilevers for fire places, closets, bay windows, upper story cantilever will all be considered part of the structure and cannot encroach into the side yard setback. Corner lots will be considered normal two frontage lots with 20' set backs on the front and 20' on the side adjacent to the street.

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# Landscaping Standards

## 1. Guidelines

These guidelines are intended to promote the establishment of compatible and continuous landscape development to enhance and unify within and between homes. More specifically, the guidelines are intended to provide for a neat and well maintained appearance to preserve the existing site character. (See Attachments 3 & 4)

The primary landscape treatment shall consist of shade trees, a mix of deciduous and evergreens, ground covering and shrubs. At least one street tree and one lot tree must be maintained on each lot. Secondary landscape treatment should reflect the nature of the project. Annual planter beds are encouraged. Each homeowner should provide a variety of plants chosen from a recommended list, which include changing color, texture, height and density. A mixture of trees, ground covers, perennials, annuals and turf is suggested. The approved list of planting is included herein as attachments 3 & 4 and are identified as "Lot Planting Plan (typical)" and "Lot Irrigation Plan (typical)" respectively.

All landscaping installation, maintenance, repair and/or replacement will be consistent with the standards of paragraphs 19a, 19b & 19e, (page 19-20) of the "Declaration"

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## Design Review Committee Organization and Duties

### 1. Design Review Committee Membership Organization

The initial Design Review Committee will be made up of:

Trevor Sudweeks  
9677 South 700 East, Suite D  
Sandy, Utah 84070

Brian Apsley  
970 East Woodoak Lane  
Salt Lake City, Utah 84117

Chris P. Gamvroulas  
970 East Woodoak Lane  
Salt Lake City, Utah 84117

Except for the initial committee which consists of the Owner/Developer of record and his assigns, the Architectural Control Committee shall consist of three members, the majority of which shall constitute a quorum and the concurrence of the majority shall be necessary to carry out the provisions applicable to this Committee. The Committee may designate one member to act on its behalf. In the event of death or resignation of any of the members, the surviving members of the Committee shall have full authority to appoint another person to fill the said vacancy. Except for the initial members appointed to the Committee, all members of the Committee must be residents

of the subdivision at the time of their appointment. Should any member move his residence outside of the subdivision he shall be disqualified to serve and the Committee shall declare a vacancy.

At such time that all lots owned by the initial Owner/Developer are sold, the aforementioned Owner/Developer and his assigns shall be released from responsibility of the Committee. The reorganization of the Committee shall be by a 2/3 majority vote of the then current property owners within the described property.

## 2. Duties

It shall be the duty of the Design Review Committee to consider and act upon such proposals or plans from time to time submitted to it pursuant to the Design Guidelines.

## 3. New Building Procedure

To maintain a degree of protection to the investment which homeowners in this area may make, homes of superior design are requisite. Designs shall be limited to those prepared by architects or by qualified residential designers of outstanding ability whose previous work may be reviewed as a part of the approval process.

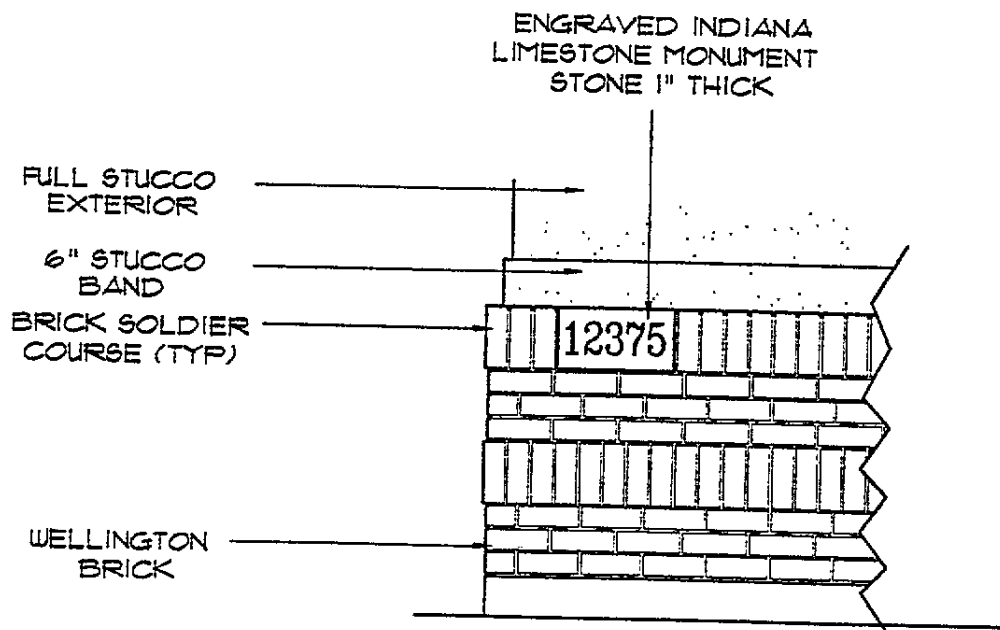
## 4. Preliminary Drawings

Design Review Committee may require, as a minimum, the following:



- a. Plot plan to scale of entire site with buildings located and elevation of floors shown above or below a designated point on the street.
- b. Floor plans of each floor level to scale.
- c. Elevations to scale of all sides of the home.
- d. One major section through house.
- e. A perspective.
- f. Specifications of all outside materials to be used on the exterior of the residence.

The attached plans are the initial list approved by the Design Review Committee.



# BRICK ELEMENT OF ALL HOMES

ALL BUILDING FRONTS ARE TO BE STUCCO  
W/ 34 1/2" HIGH BRICK WAINSCOT

SCALE: 1/2" = 1'-0"

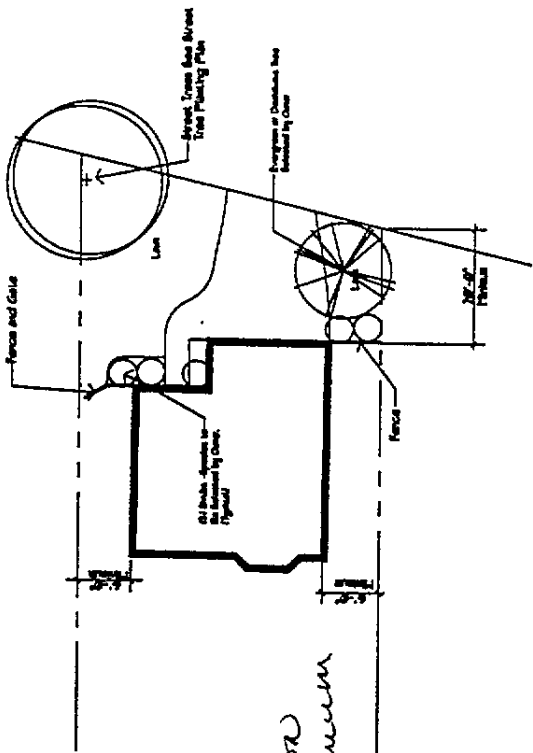
BK 7 9 8 5 PG 2 9 0 2

BK7985PG2903

*Move to U.S. Section*

PLANT PALETTE		COTTON WARE	SIZE
<b>EVERGREEN TREES</b>			
ROSYMARINA NANA		Blue Fir	7-8'
PICEA MARSHII		Colorado Green Spruce	7-8'
PRUNUS LAURUS		Austrian Pine	7-8'
<b>Deciduous Trees</b>			
ACER RUBRUM		Red Sweetgum	7' Caliper
FRAXINUS PENNSYLVANICA		White Birch	7' Caliper
CERES CAUCASICA		European Beech	7' Caliper
PTILIS CALLERIANA		Cherry Laurel	7' Caliper
<b>EVERGREEN SHRUBS</b>			
AMORPHOSA CANADENSIS		Sea Green Juniper	1 Galton
MAHONIA AQUIFOLIUM		Dark Green Juniper	1 Galton
PRUNUS LAURUS		Dark Green Spreading	1 Galton
PRUNUS LAURUS		Dark Green Spreading	1 Galton
<b>DECIDUOUS SHRUBS</b>			
SMALL (Less than 4' High)		Red Leaf Barberry	1 Galton
BERBERIS THUNBERGII		Compact Burning Bush	1 Galton
BURNING BUSH		Alpine Currant	1 Galton
REBES ALPINA		Anthony's Blouse Spirea	1 Galton
SPARGANGLIA		Flora Killa Lonic	1 Galton
<b>Large (4' to 6' High)</b>			
ACER GINNALA		Alex Maple	1 Galton
CORNUS BACCATA		Balling Red-Twig Dogwood	1 Galton
COTONEASTER LUCIDUS		Pruning Cotoneaster	1 Galton
LEUCODENDRON		Golden Privet	1 Galton
IBIDOLEPSIS		Rose of Sharon	1 Galton
ROSA REGINA		Herb of the Rose	1 Galton
VIBURNUM BURKWOODII		Burke's Dogwood	1 Galton

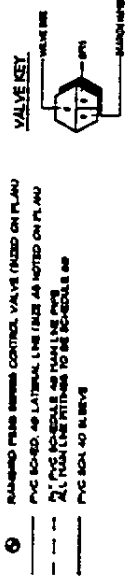
*to Garden to minimum*



**Lot Planting Plan (Typical)**  
 SCALE 1" = 16'-0"  
 NORTH

# IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MODEL *	PN	ROAD	GPI
1	Number of Main Pines	1/2" PIP-UP	1/2"	1/2"	1/2"
2	Number of Main Pines	3/4" PIP-UP	3/4"	3/4"	3/4"
3	Number of Main Pines	1" PIP-UP	1"	1"	1"
4	Number of Main Pines	1 1/2" PIP-UP	1 1/2"	1 1/2"	1 1/2"
5	Number of Main Pines	2" PIP-UP	2"	2"	2"
6	Number of Main Pines	2 1/2" PIP-UP	2 1/2"	2 1/2"	2 1/2"
7	Number of Main Pines	3" PIP-UP	3"	3"	3"
8	Number of Main Pines	3 1/2" PIP-UP	3 1/2"	3 1/2"	3 1/2"
9	Number of Main Pines	4" PIP-UP	4"	4"	4"
10	Number of Main Pines	4 1/2" PIP-UP	4 1/2"	4 1/2"	4 1/2"
11	Number of Main Pines	5" PIP-UP	5"	5"	5"
12	Number of Main Pines	5 1/2" PIP-UP	5 1/2"	5 1/2"	5 1/2"
13	Number of Main Pines	6" PIP-UP	6"	6"	6"
14	Number of Main Pines	6 1/2" PIP-UP	6 1/2"	6 1/2"	6 1/2"
15	Number of Main Pines	7" PIP-UP	7"	7"	7"
16	Number of Main Pines	7 1/2" PIP-UP	7 1/2"	7 1/2"	7 1/2"
17	Number of Main Pines	8" PIP-UP	8"	8"	8"
18	Number of Main Pines	8 1/2" PIP-UP	8 1/2"	8 1/2"	8 1/2"
19	Number of Main Pines	9" PIP-UP	9"	9"	9"
20	Number of Main Pines	9 1/2" PIP-UP	9 1/2"	9 1/2"	9 1/2"
21	Number of Main Pines	10" PIP-UP	10"	10"	10"
22	Number of Main Pines	10 1/2" PIP-UP	10 1/2"	10 1/2"	10 1/2"
23	Number of Main Pines	11" PIP-UP	11"	11"	11"
24	Number of Main Pines	11 1/2" PIP-UP	11 1/2"	11 1/2"	11 1/2"
25	Number of Main Pines	12" PIP-UP	12"	12"	12"
26	Number of Main Pines	12 1/2" PIP-UP	12 1/2"	12 1/2"	12 1/2"
27	Number of Main Pines	13" PIP-UP	13"	13"	13"
28	Number of Main Pines	13 1/2" PIP-UP	13 1/2"	13 1/2"	13 1/2"
29	Number of Main Pines	14" PIP-UP	14"	14"	14"
30	Number of Main Pines	14 1/2" PIP-UP	14 1/2"	14 1/2"	14 1/2"
31	Number of Main Pines	15" PIP-UP	15"	15"	15"
32	Number of Main Pines	15 1/2" PIP-UP	15 1/2"	15 1/2"	15 1/2"
33	Number of Main Pines	16" PIP-UP	16"	16"	16"
34	Number of Main Pines	16 1/2" PIP-UP	16 1/2"	16 1/2"	16 1/2"
35	Number of Main Pines	17" PIP-UP	17"	17"	17"
36	Number of Main Pines	17 1/2" PIP-UP	17 1/2"	17 1/2"	17 1/2"
37	Number of Main Pines	18" PIP-UP	18"	18"	18"
38	Number of Main Pines	18 1/2" PIP-UP	18 1/2"	18 1/2"	18 1/2"
39	Number of Main Pines	19" PIP-UP	19"	19"	19"
40	Number of Main Pines	19 1/2" PIP-UP	19 1/2"	19 1/2"	19 1/2"
41	Number of Main Pines	20" PIP-UP	20"	20"	20"
42	Number of Main Pines	20 1/2" PIP-UP	20 1/2"	20 1/2"	20 1/2"
43	Number of Main Pines	21" PIP-UP	21"	21"	21"
44	Number of Main Pines	21 1/2" PIP-UP	21 1/2"	21 1/2"	21 1/2"
45	Number of Main Pines	22" PIP-UP	22"	22"	22"
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48	Number of Main Pines	23 1/2" PIP-UP	23 1/2"	23 1/2"	23 1/2"
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55	Number of Main Pines	27" PIP-UP	27"	27"	27"
56	Number of Main Pines	27 1/2" PIP-UP	27 1/2"	27 1/2"	27 1/2"
57	Number of Main Pines	28" PIP-UP	28"	28"	28"
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61	Number of Main Pines	30" PIP-UP	30"	30"	30"
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64	Number of Main Pines	31 1/2" PIP-UP	31 1/2"	31 1/2"	31 1/2"
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70	Number of Main Pines	34 1/2" PIP-UP	34 1/2"	34 1/2"	34 1/2"
71	Number of Main Pines	35" PIP-UP	35"	35"	35"
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74	Number of Main Pines	36 1/2" PIP-UP	36 1/2"	36 1/2"	36 1/2"
75	Number of Main Pines	37" PIP-UP	37"	37"	37"
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77	Number of Main Pines	38" PIP-UP	38"	38"	38"
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81	Number of Main Pines	40" PIP-UP	40"	40"	40"
82	Number of Main Pines	40 1/2" PIP-UP	40 1/2"	40 1/2"	40 1/2"
83	Number of Main Pines	41" PIP-UP	41"	41"	41"
84	Number of Main Pines	41 1/2" PIP-UP	41 1/2"	41 1/2"	41 1/2"
85	Number of Main Pines	42" PIP-UP	42"	42"	42"
86	Number of Main Pines	42 1/2" PIP-UP	42 1/2"	42 1/2"	42 1/2"
87	Number of Main Pines	43" PIP-UP	43"	43"	43"
88	Number of Main Pines	43 1/2" PIP-UP	43 1/2"	43 1/2"	43 1/2"
89	Number of Main Pines	44" PIP-UP	44"	44"	44"
90	Number of Main Pines	44 1/2" PIP-UP	44 1/2"	44 1/2"	44 1/2"
91	Number of Main Pines	45" PIP-UP	45"	45"	45"
92	Number of Main Pines	45 1/2" PIP-UP	45 1/2"	45 1/2"	45 1/2"
93	Number of Main Pines	46" PIP-UP	46"	46"	46"
94	Number of Main Pines	46 1/2" PIP-UP	46 1/2"	46 1/2"	46 1/2"
95	Number of Main Pines	47" PIP-UP	47"	47"	47"
96	Number of Main Pines	47 1/2" PIP-UP	47 1/2"	47 1/2"	47 1/2"
97	Number of Main Pines	48" PIP-UP	48"	48"	48"
98	Number of Main Pines	48 1/2" PIP-UP	48 1/2"	48 1/2"	48 1/2"
99	Number of Main Pines	49" PIP-UP	49"	49"	49"
100	Number of Main Pines	49 1/2" PIP-UP	49 1/2"	49 1/2"	49 1/2"



## SPRINKLER SYSTEM NOTES

- THIS SYSTEM WAS DESIGNED FOR 60 PSI STATIC WATER PRESSURE AND 40 GPM UNLESS INDICATED OTHERWISE ON PLAN. BEFORE PROCEEDING WITH THE INSTALLATION SO THAT ADJUSTMENTS CAN BE MADE IN PIPE SIZING. IF PRESSURE IS MUCH GREATER NOTIFY ARCHITECT. IT MAY REQUIRE A PRESSURE REDUCER.
- THIS SPRINKLER IRRIGATION PLAN IS DRAWN FOR GRAPHIC CLARITY. WHERE PIPING AND VALVES ARE SHOWN IN CONCRETE AREAS, EXCEPT WHERE CROSSING, THE INTENT IS FOR THE PIPING AND VALVES TO BE PLACED IN THE ADJACENT PLANTING AREAS.
- CONTRACTOR SHALL MAKE SITE CHECK TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO SUBMITTING BID. REFER ALL QUESTIONS TO LANDSCAPE ARCHITECT.
- SEE SPECIFICATIONS FOR MAINLINE FITTINGS AND PIPE SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL CONTROL WIRE IN A SEPARATE PVC BLEEVE IN THE SAME TRENCH AS THE MAINLINE UNDER ALL CONCRETE AND ASPHALT.



SYMBOL DESCRIPTION

SYMBOL BRAND DESCRIPTION MODEL \*

PN ROAD GPI

Number of Main Pines

1/2" PIP-UP

3/4" PIP-UP

1" PIP-UP

1 1/2" PIP-UP

2" PIP-UP

2 1/2" PIP-UP

3" PIP-UP

3 1/2" PIP-UP

4" PIP-UP

4 1/2" PIP-UP

5" PIP-UP

5 1/2" PIP-UP

6" PIP-UP

6 1/2" PIP-UP

7" PIP-UP

7 1/2" PIP-UP

8" PIP-UP

8 1/2" PIP-UP

9" PIP-UP

9 1/2" PIP-UP

10" PIP-UP

10 1/2" PIP-UP

11" PIP-UP

11 1/2" PIP-UP

12" PIP-UP

12 1/2" PIP-UP

13" PIP-UP

13 1/2" PIP-UP

14" PIP-UP

14 1/2" PIP-UP

15" PIP-UP

15 1/2" PIP-UP

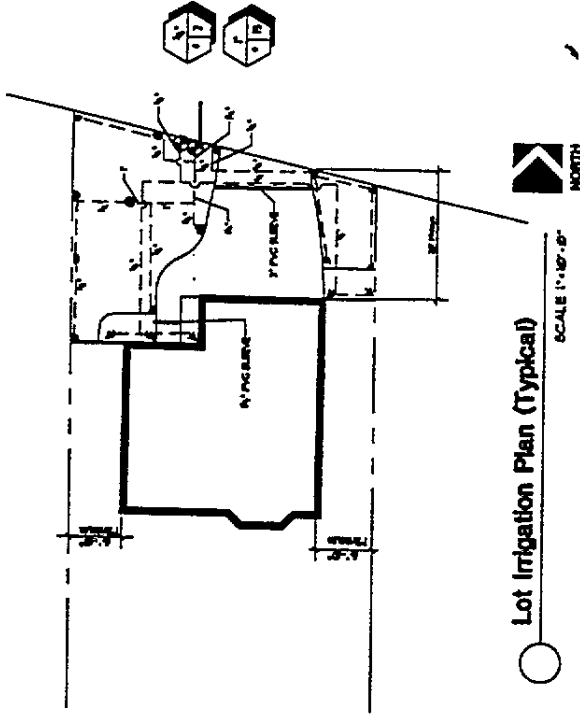
16" PIP-UP

ALLIED SOFT MACHINERY & WORKS
   
 4448 ROUTE 1200 EAST SALT LAKE CITY, UTAH 84112
   
 (801) 487-1234 FAX (801) 487-1235



SUNSET PONDS P.L.L.C.
   
 Sudweeks Development, LLC
   
 Page: 004

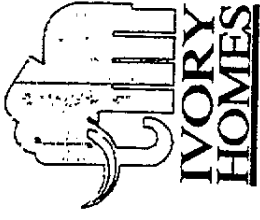
DATE: 11/27/04
   
 PAGE: 104



Lot Irrigation Plan (Typical)

SCALE 1" = 10'-0"

BK 7985 PG 2905



**IVORY HOMES**

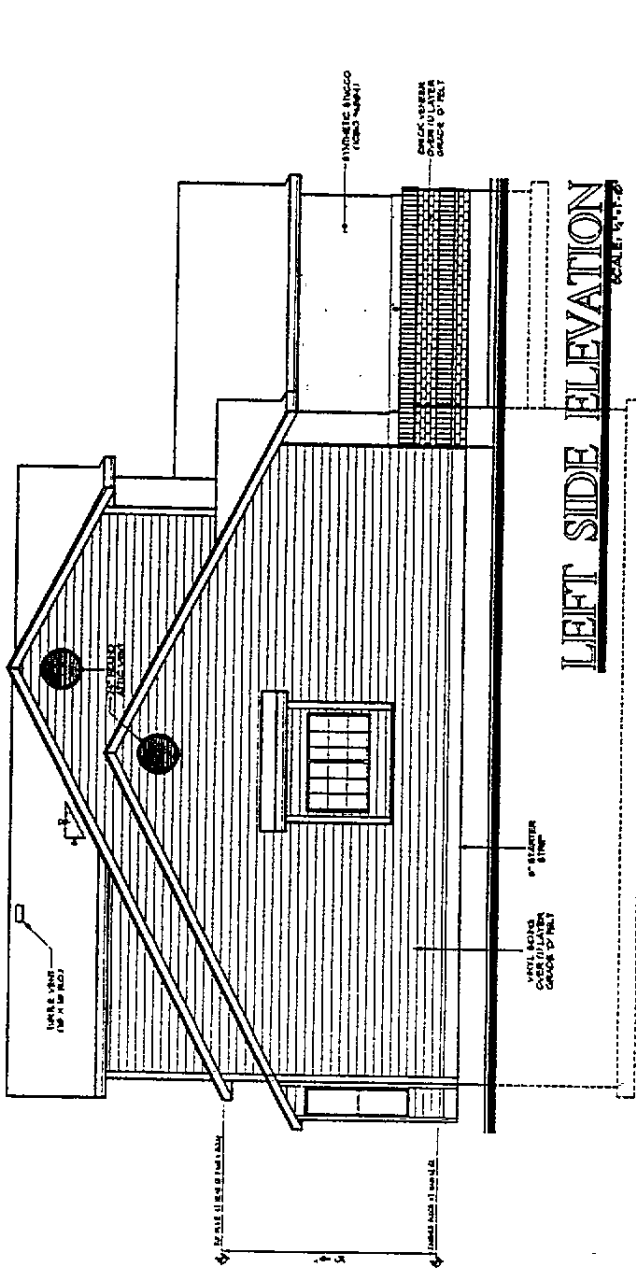
970 Wood Oak Lane  
Salt Lake City, Utah 84119  
(801) 268-0700

**KEYNOTES**

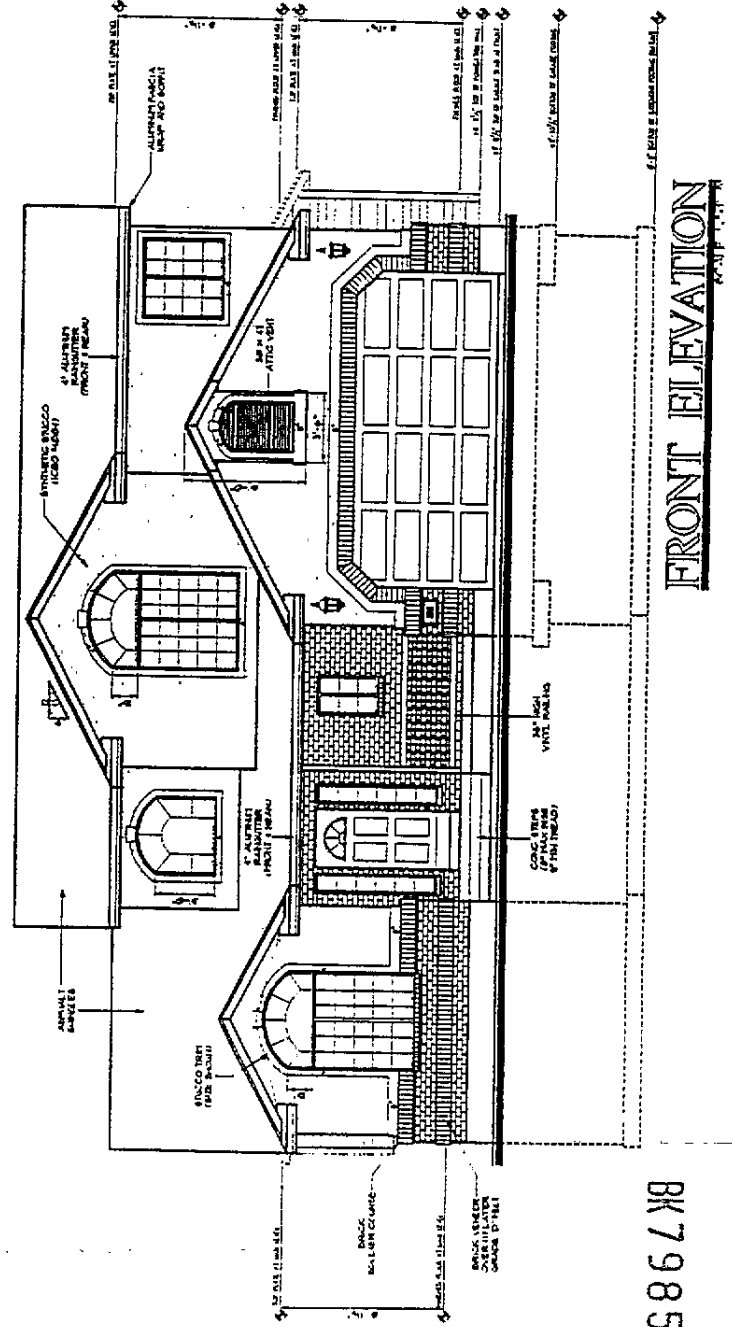
© 1997 Ivory Homes, Inc. All rights reserved.  
This drawing is a preliminary sketch and is not to be used for construction without the approval of Ivory Homes, Inc. All dimensions are in feet and inches unless otherwise noted.

**Alpino**  
(Ranch Plan)

NO. 101	101	101	101	101	101
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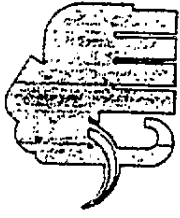


**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

BK 7985 PG 2906



**IVORY HOMES**

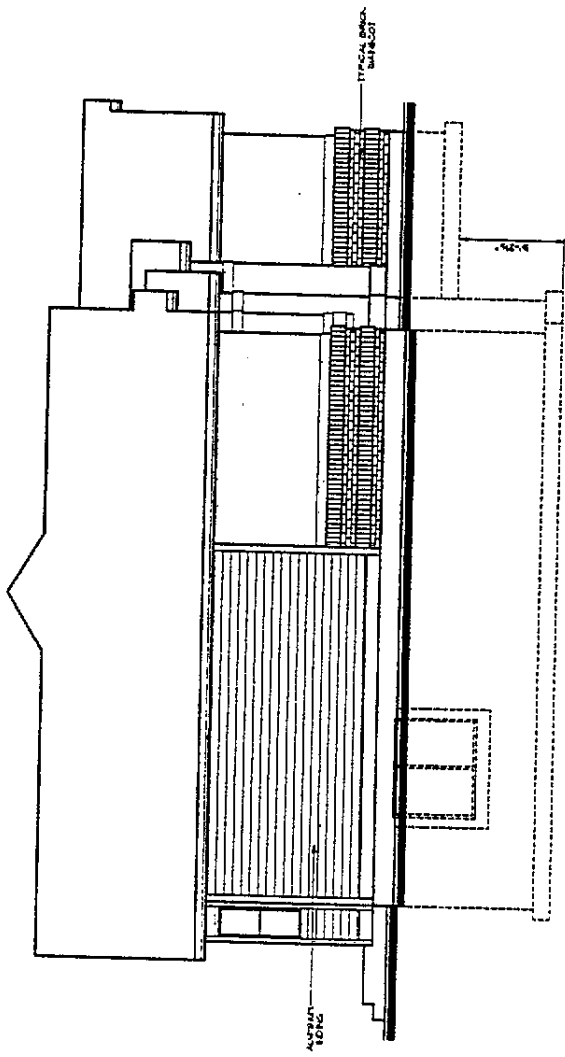
970 Wood Oak Lane  
 Salt Lake City, Utah 84117  
 (801) 265-0700

**KEYNOTES**

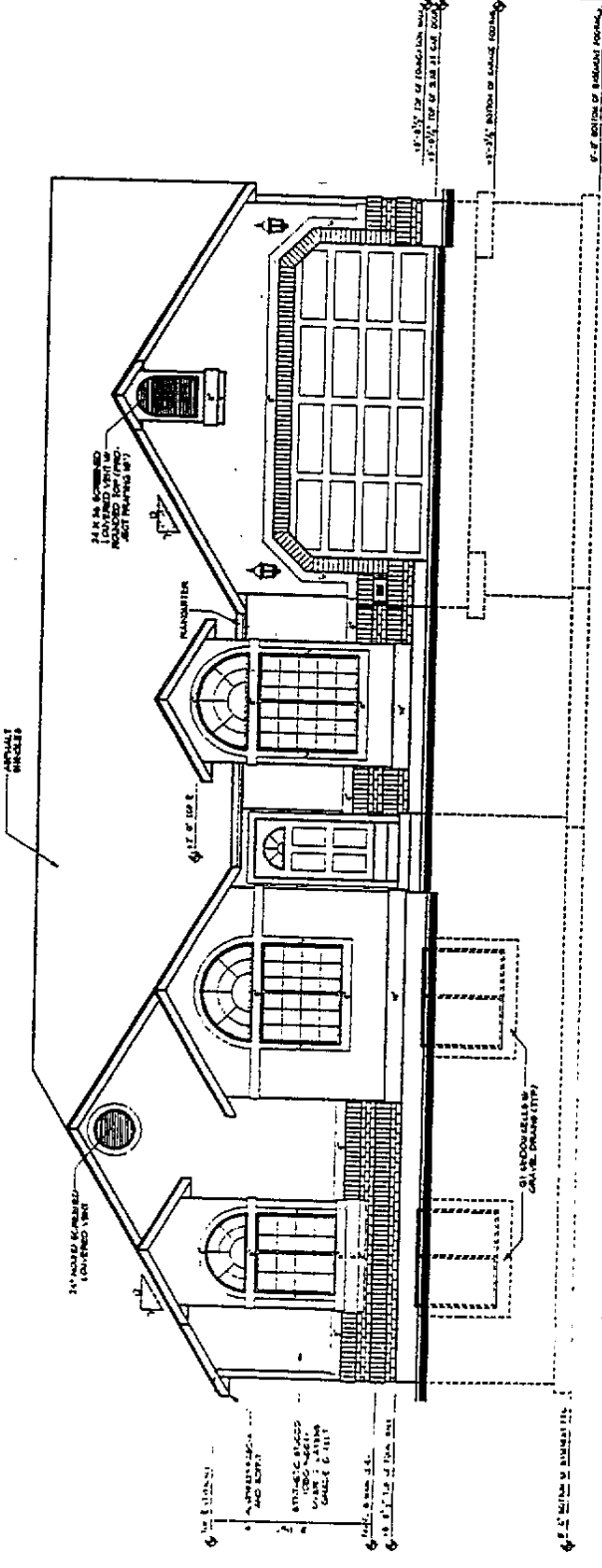
1. ALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.  
 2. ALL MATERIALS TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.  
 3. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).

**Ashford**  
 (House Plan)

NO.	DATE	BY	REVISION
1	10/15/11	JL	ISSUED FOR PERMITS
2	11/15/11	JL	REVISED PER ARCHITECT COMMENTS
3	12/15/11	JL	REVISED PER ARCHITECT COMMENTS
4	01/15/12	JL	REVISED PER ARCHITECT COMMENTS
5	02/15/12	JL	REVISED PER ARCHITECT COMMENTS



**LEFT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

BK 7 985 PC 2907







**IVORY HOMES**

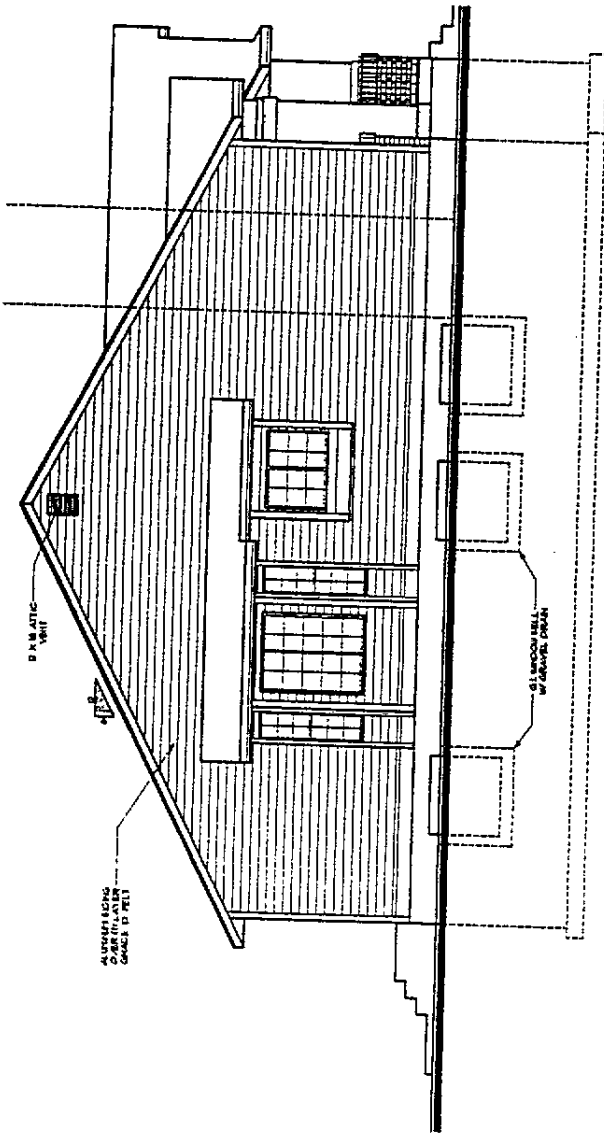
970 Wood Oak Loop  
Salt Lake City, Utah 84117  
(801) 266-0700

**KEYNOTES**

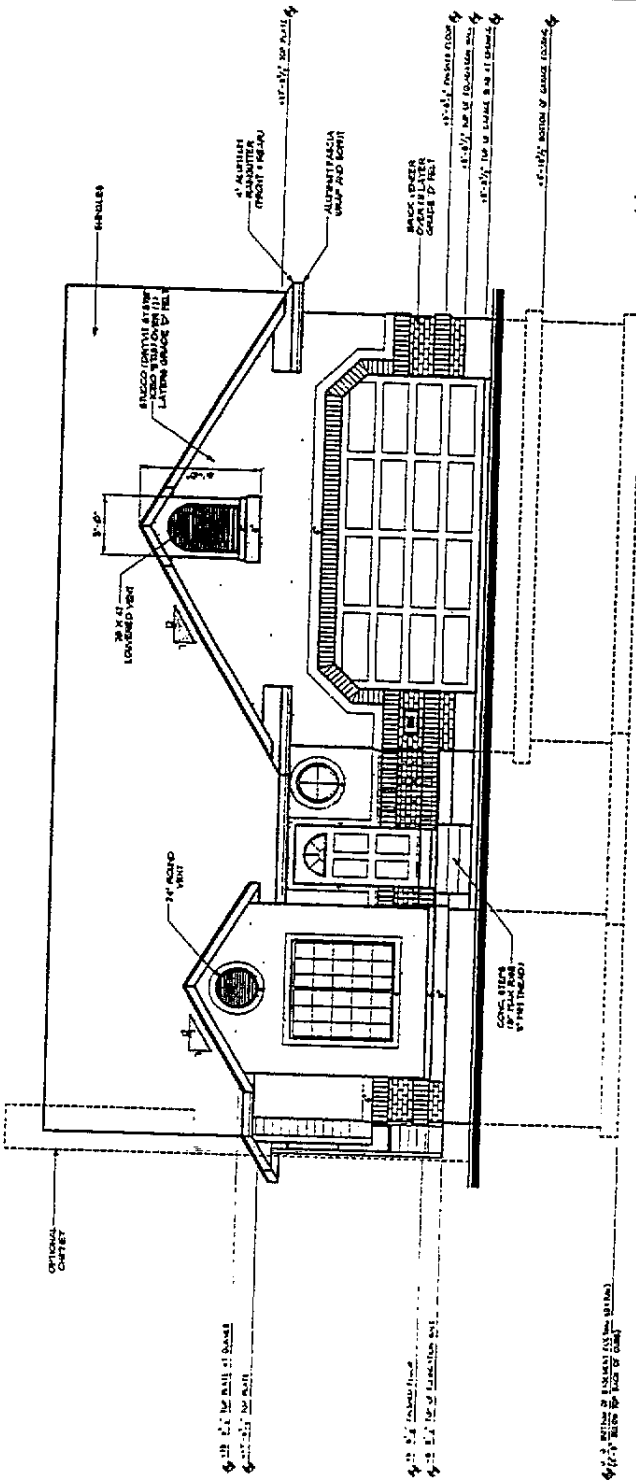
OPTIONAL KEYNOTES: IF YOU WANT TO SEE THE KEYNOTES FOR THIS PLAN, PLEASE REFER TO THE KEYNOTES FOR THE PLAN YOU ARE USING.

**Camel**  
(Rear Plan)

DATE	DEC. 94
BY	NOTED
CHECKED	BY
SCALE	AS SHOWN
NO. OF SHEETS	5
TOTAL SHEETS	5

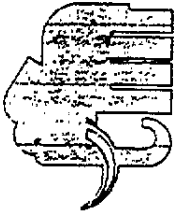


**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

BK 7 985 PG 2 909



**IVORY  
HOMES**

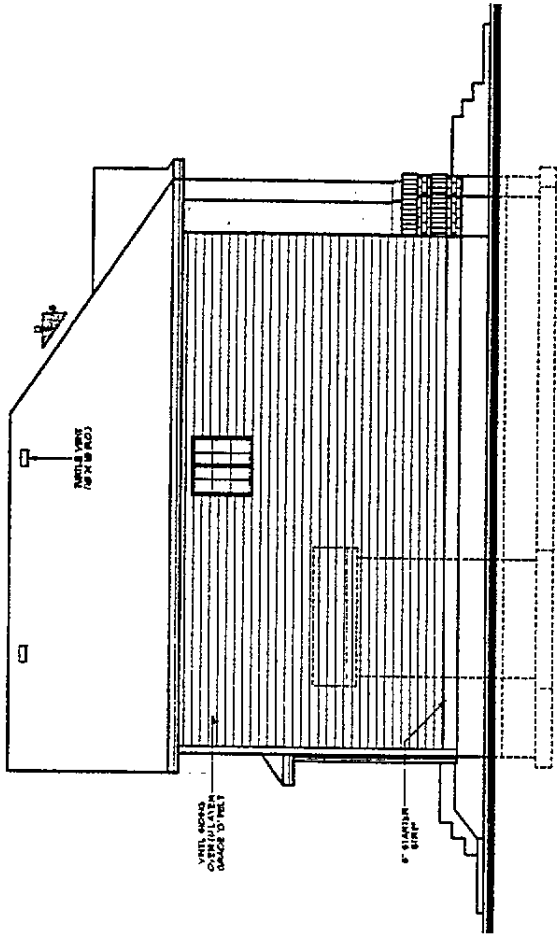
970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 266-0700

**KEYNOTES**

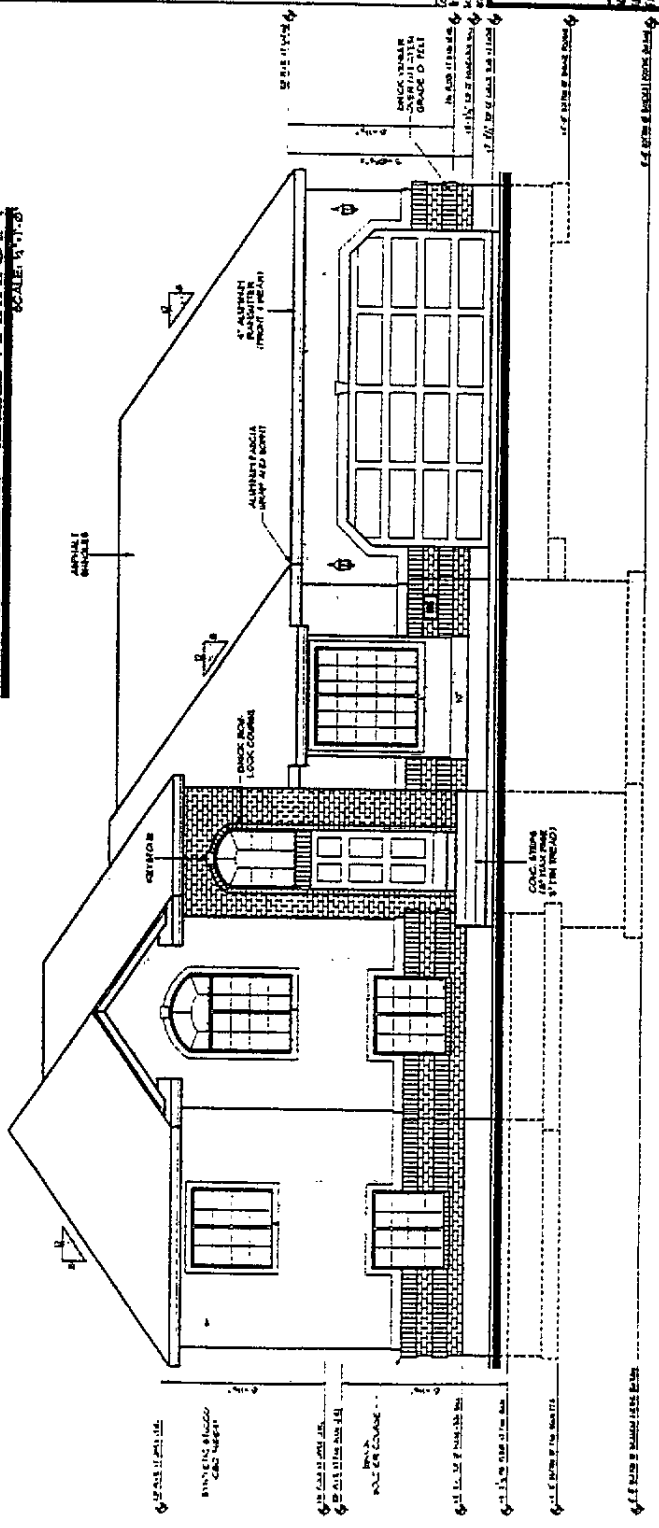
COMMENTS: 1. Home # 9411010  
2. Use of these plans is restricted to the project for which they were prepared. No other use is permitted without the express written consent of the architect. 3. All work to be done in accordance with the applicable codes and specifications of the local, state and federal authorities.

**Carrington**  
(Ranch Plan)

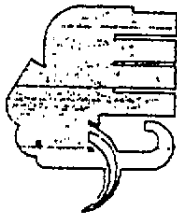
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REVISED	REVISED	REVISED	REVISED	REVISED	REVISED	REVISED	REVISED
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**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**IVORY HOMES**

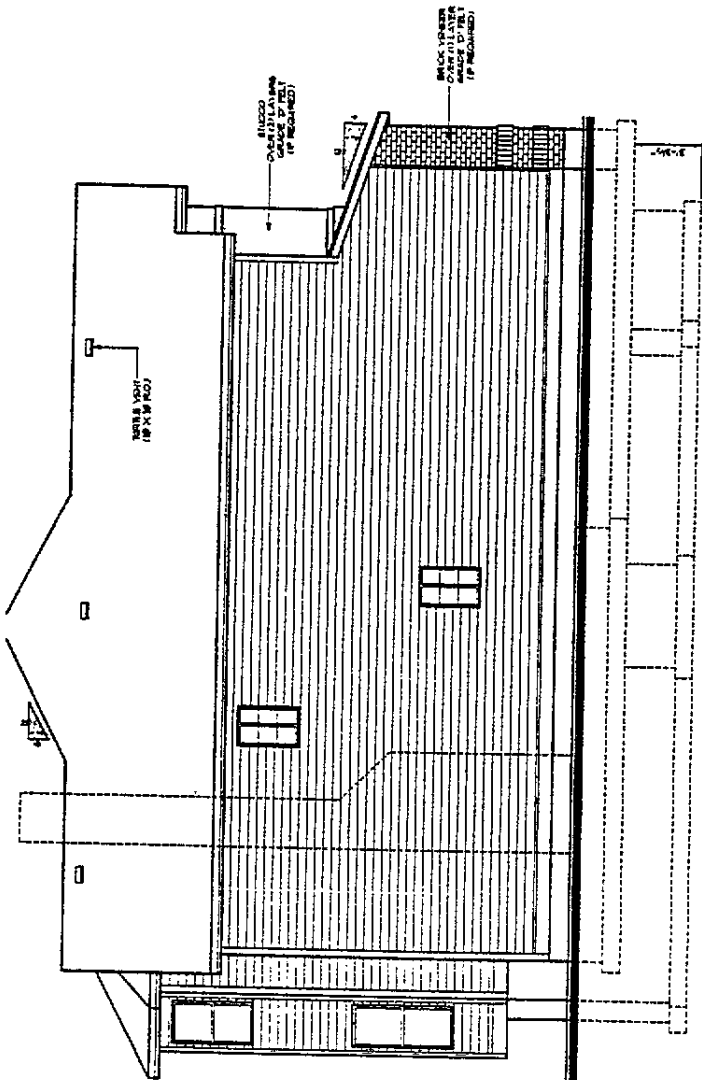
970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 268-0700

**KEYNOTES**

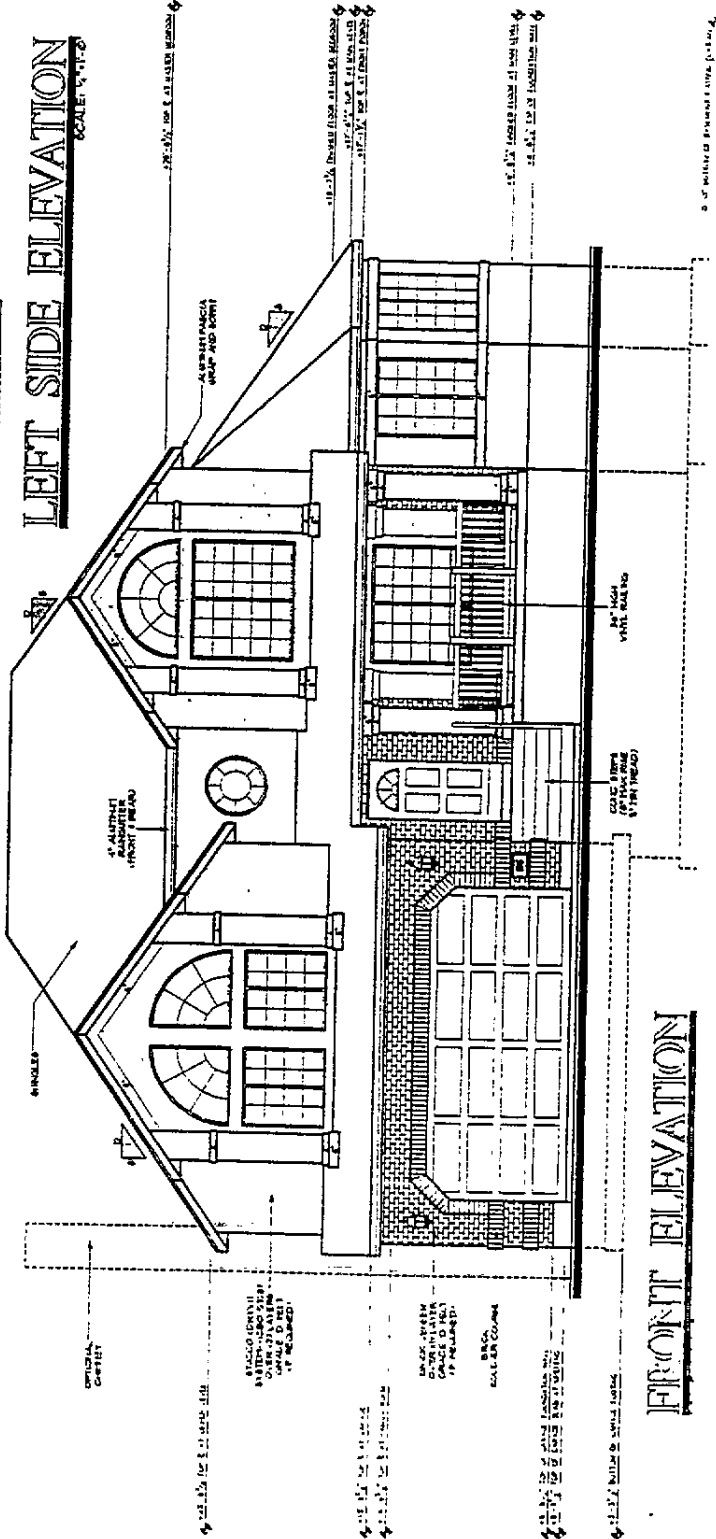
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**Castolina**  
(Base Plan)

DATE: 10/15/11  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
NOTED BY: [Name]  
SCALE: 1/8" = 1'-0"  
SHEET NO: 6  
TOTAL SHEETS: 11



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**



970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 268-0700

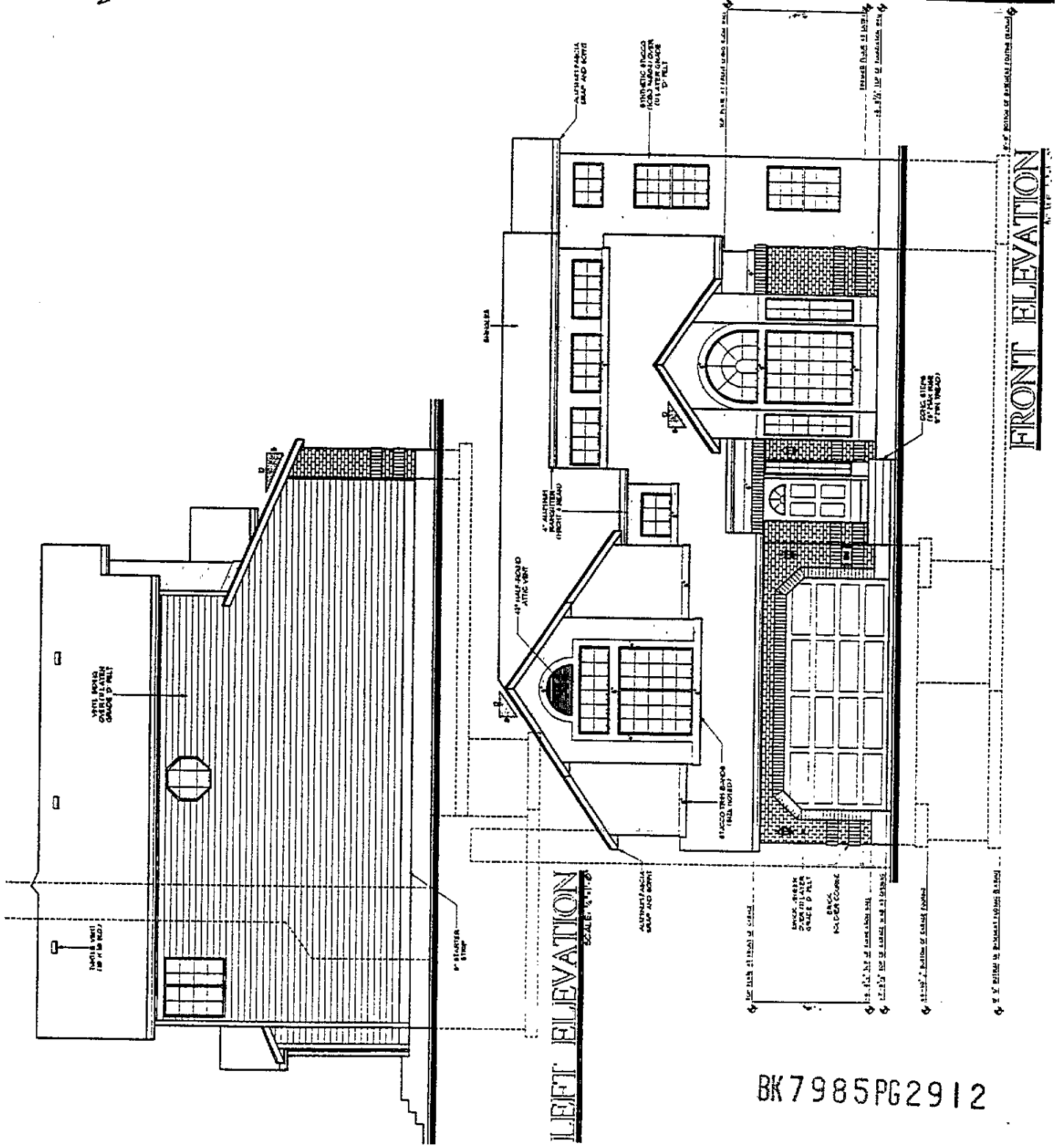
RESIDENTIAL ARCHITECTURE

KEYNOTES

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**Chesterfield**  
(Since 1947)

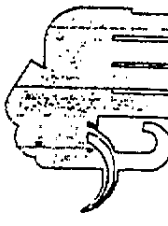
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**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

BK7985PG2912



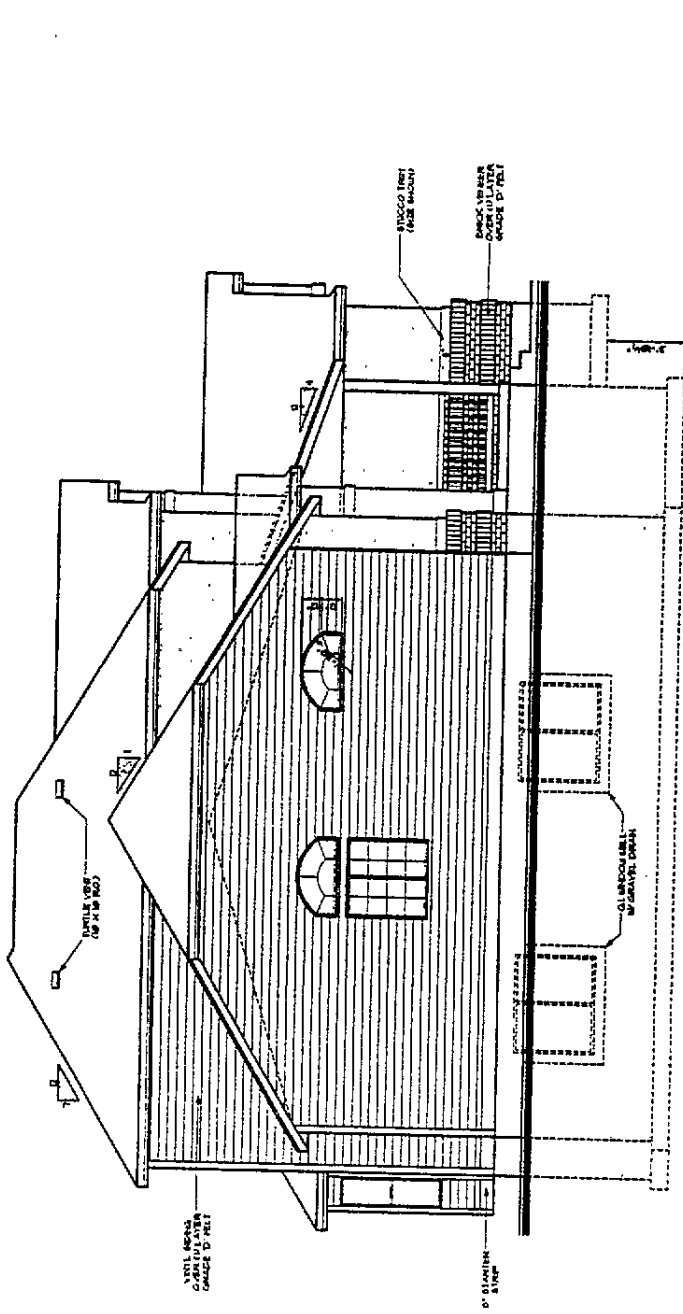
**IVORY HOMES**  
 970 Wood Oak Lane  
 SM Lake City, Utah 84117  
 (801) 268-0700

**KEYNOTES**

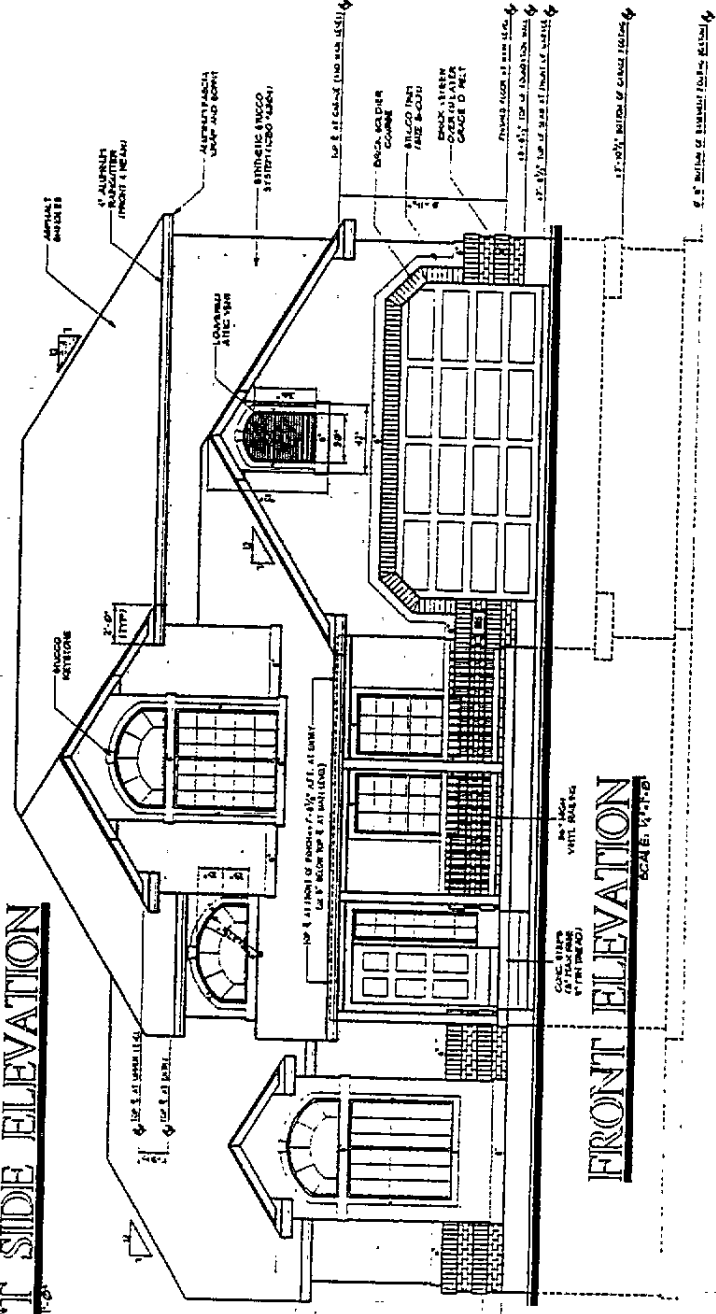
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 ② ALUMINUM VINYL SIDERING (BACK)  
 ③ ALUMINUM VINYL SIDERING (ATTIC)  
 ④ ALUMINUM VINYL SIDERING (PORCH)  
 ⑤ ALUMINUM VINYL SIDERING (BASE)  
 ⑥ ALUMINUM VINYL SIDERING (ROOF)  
 ⑦ ALUMINUM VINYL SIDERING (GABLE)

**Hammilton**  
(above plans)

DATE	1/31
PROJECT	SM
SCALE	AS NOTED
DRAWN BY	JH
CHECKED BY	JH
DATE	1/31
SCALE	AS NOTED
SHEET	7
TOTAL	12

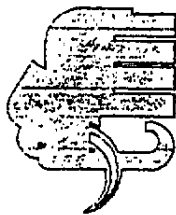


**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

① ALUMINUM VINYL SIDERING  
 ② ALUMINUM VINYL SIDERING  
 ③ ALUMINUM VINYL SIDERING  
 ④ ALUMINUM VINYL SIDERING  
 ⑤ ALUMINUM VINYL SIDERING



**IVORY  
HOMES**

970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 264-0700

**KEYNOTES**

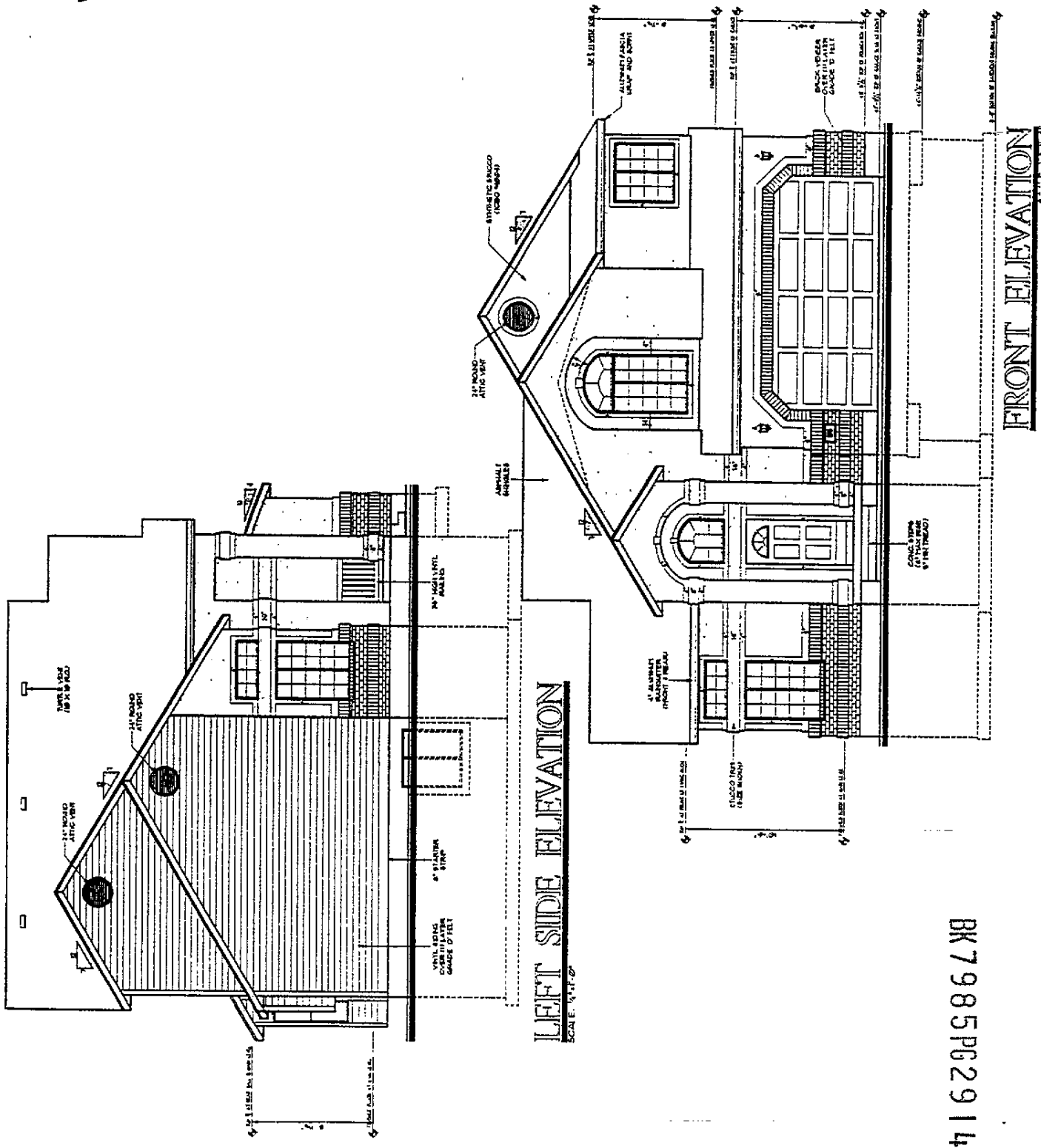
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NO. 5	NO. 6	NO. 7	NO. 8

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**Holiday**  
(House Plan)

NO. 1	NO. 2	NO. 3	NO. 4
NO. 5	NO. 6	NO. 7	NO. 8

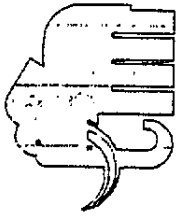
Sheet **6** of 11 Sheets



**LEFT SIDE ELEVATION**

**FRONT ELEVATION**

BK 7985 PG 29 14



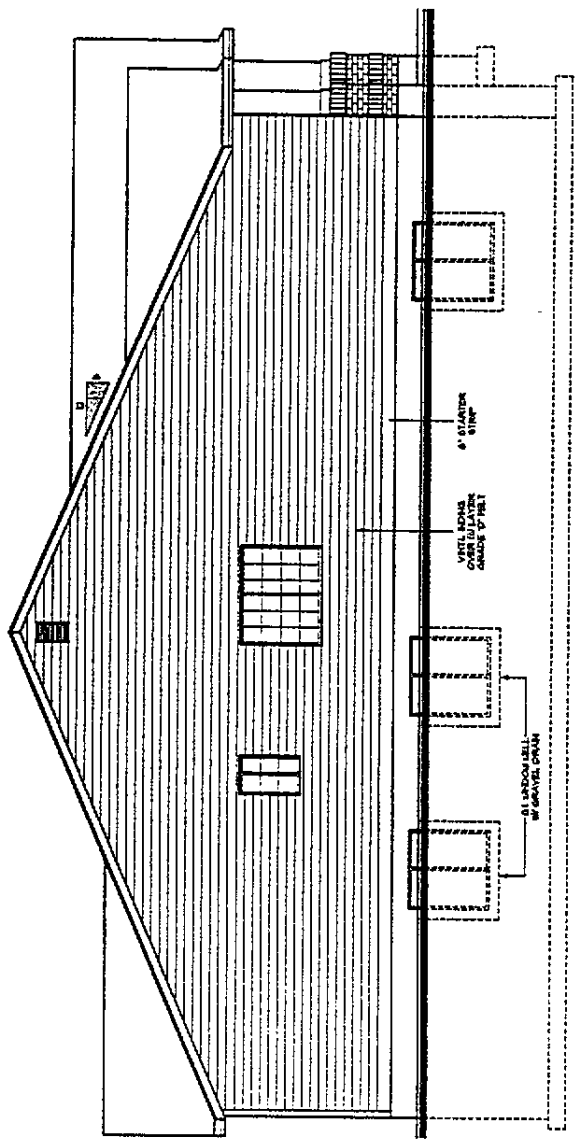
**IVORY HOMES**  
 970 Wood Oak Lane  
 Salt Lake City, Utah 84117  
 (801) 268-0700

**KEYNOTES**

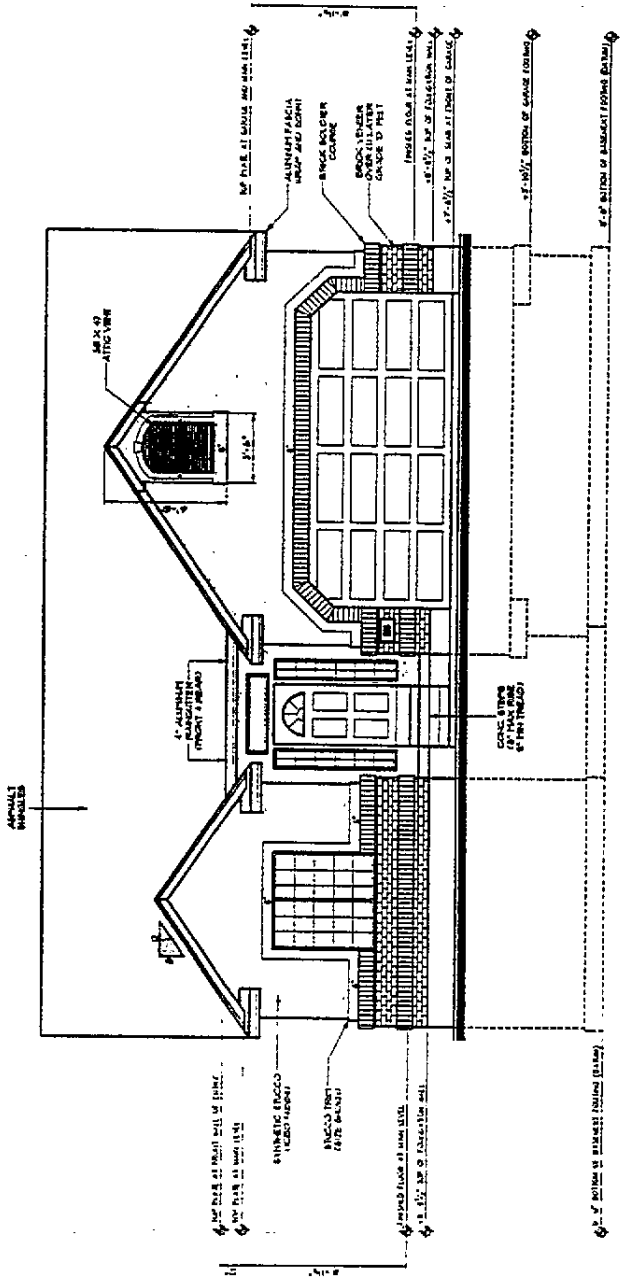
1. ALL FINISHES TO BE AS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
 2. ALL MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AVAILABLE.  
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

**Jefferson**  
 (Single Family)

DATE	NO.	BY	NOTED
7/25/20	10	JK	
APPROVED	DATE	BY	NOTED
JK	7/25/20	JK	
SCALE	SHEET	TOTAL SHEETS	
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**LEFT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**

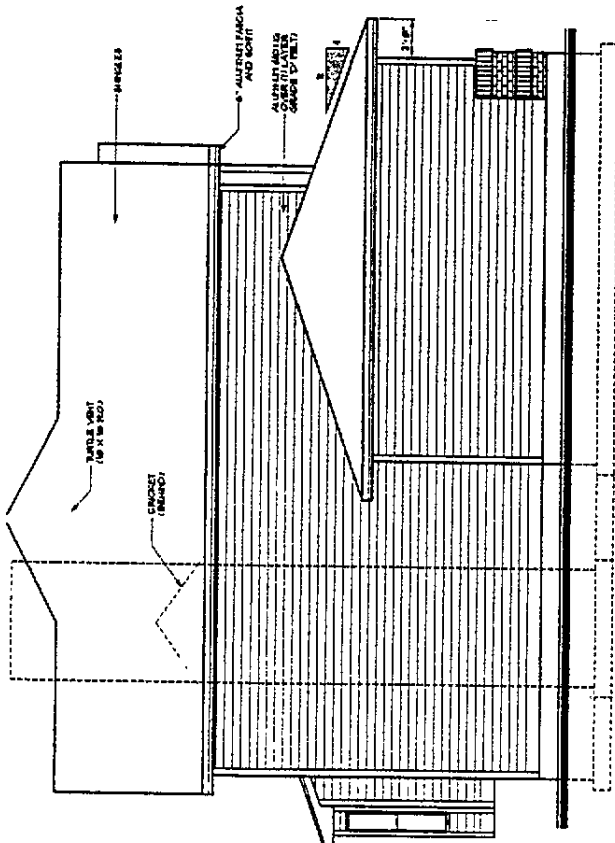
BK7985PG2915



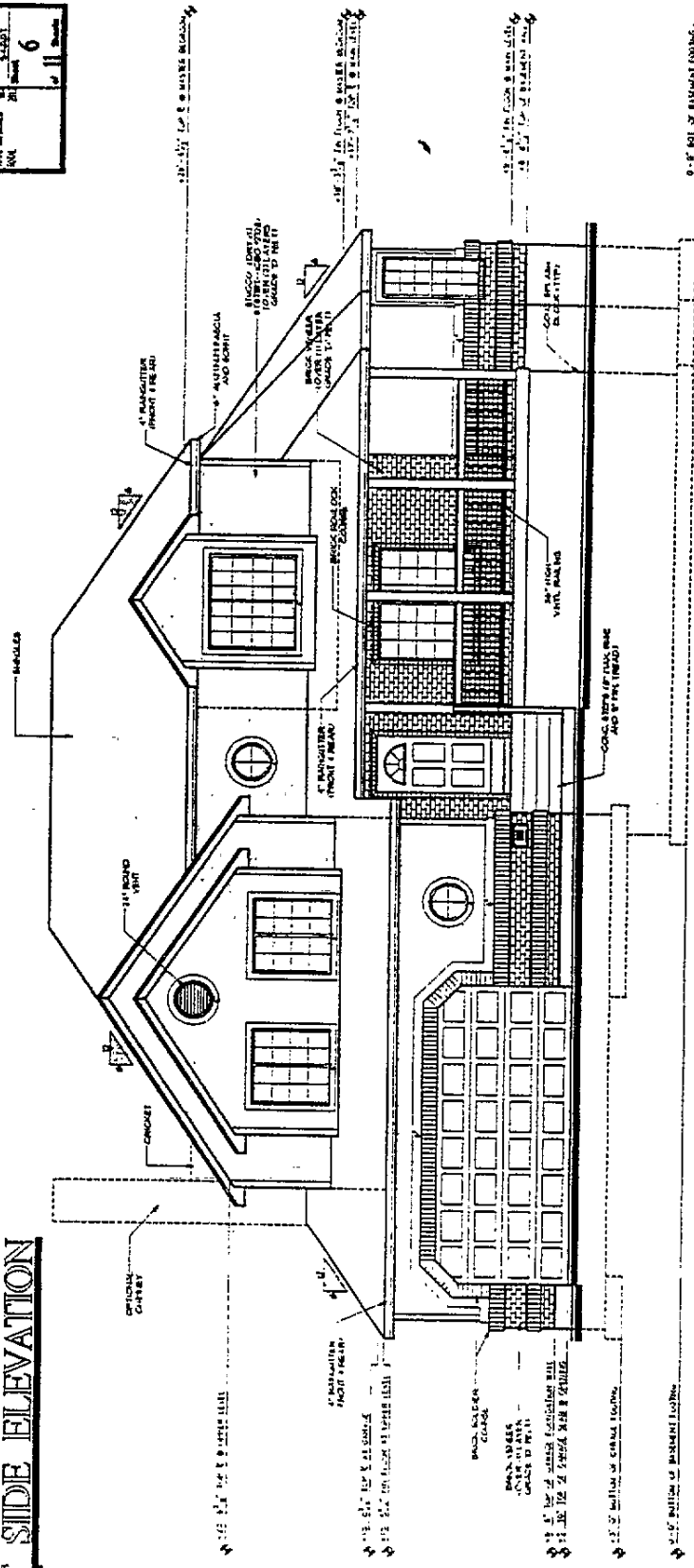
8770 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 288-0700

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<b>LANCASTER</b> (Master Plan)	
DATE: 05/15/95	DATE: 05/15/95
BY: [Signature]	BY: [Signature]
CHECKED: [Signature]	CHECKED: [Signature]
DATE: 05/15/95	DATE: 05/15/95
SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"
NO. 6	NO. 6



**LEFT SIDE ELEVATION**



**FRONT ELEVATION**

BK7985PG2916





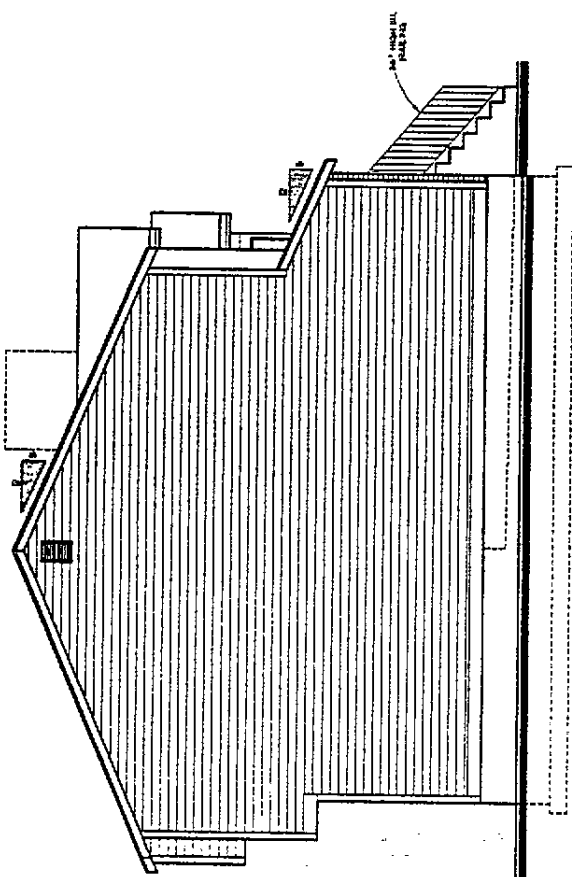
970 Wood Oak Lane  
 Salt Lake City, Utah 84117  
 (801) 243-0700

**KEYNOTES**

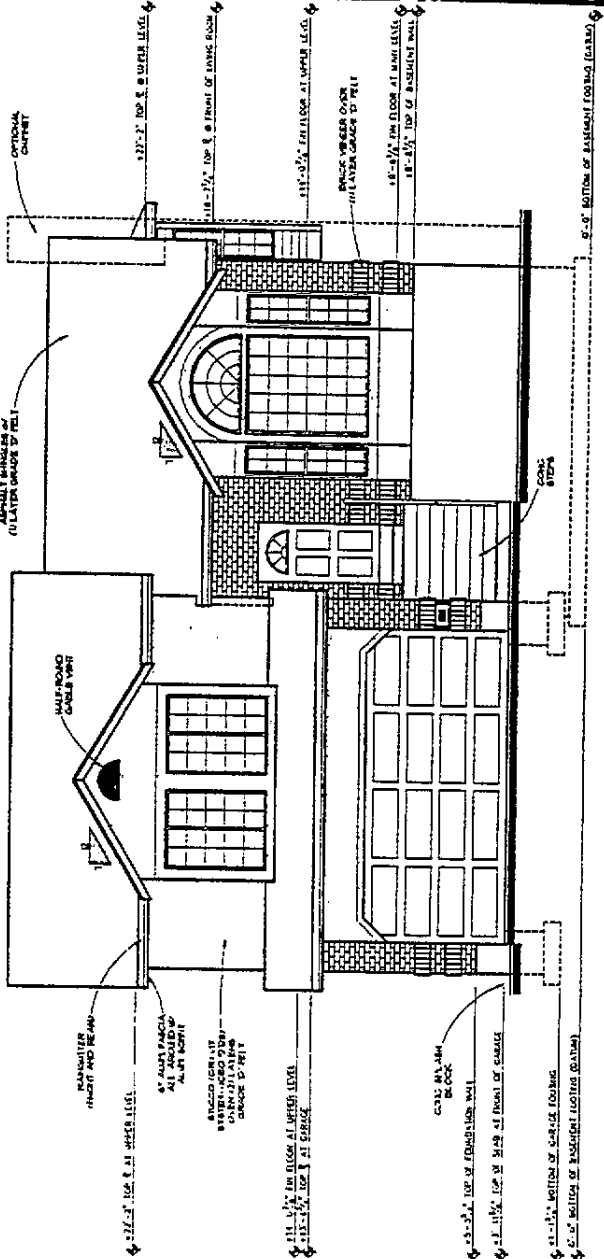
DATE	21	2010
BY	21	2010
PROJECT NO.	21	2010
NO. OF SHEETS	5	10
SHEET NO.	5	10

**Livingston**  
 (Ranch Home)

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

BK 7 985 PG 29 17

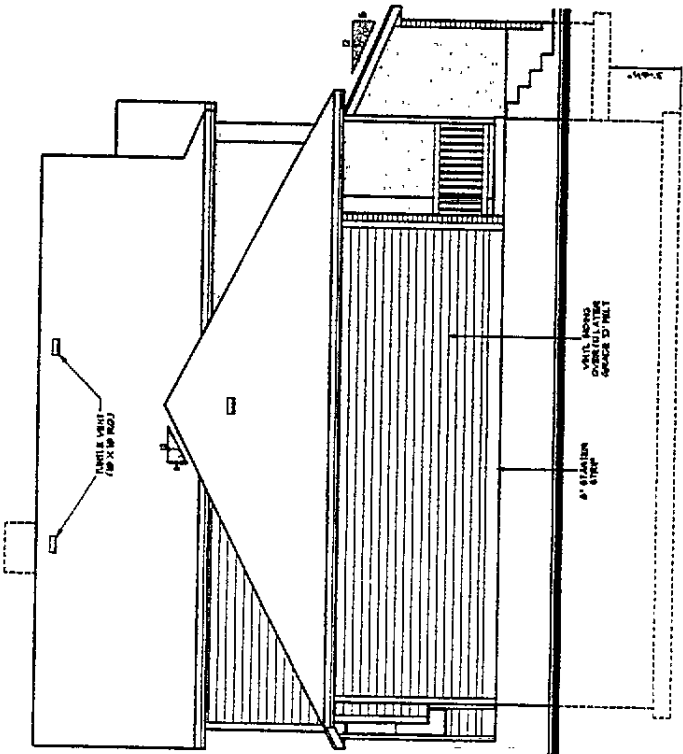


**IVORY HOMES**  
 970 Wood Oak Lane  
 Salt Lake City, Utah 84117  
 (801) 268-0700

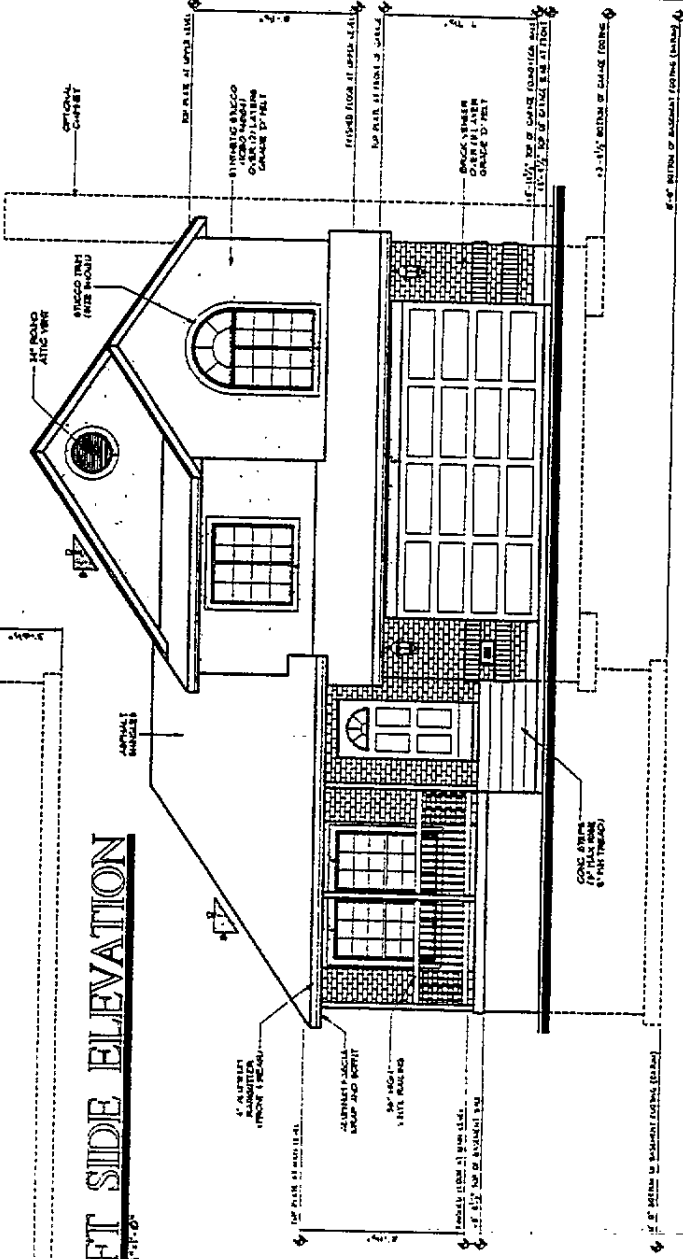
**KEYNOTES**

APPLY TO THIS KEYNOTE. IF YOU HAVE ANY QUESTIONS OR NEED CLARIFICATION, PLEASE CONTACT THE ARCHITECT AT THE ADDRESS OR PHONE NUMBER LISTED BELOW. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT.

<b>Madison</b> (House Plan)	
DATE	10/15/10
PROJECT NO.	10101
REVISION NO.	5
DESIGNER	ARCHITECT
DATE	10/15/10
PROJECT NO.	10101
REVISION NO.	5
DESIGNER	ARCHITECT
DATE	10/15/10
PROJECT NO.	10101
REVISION NO.	5
DESIGNER	ARCHITECT

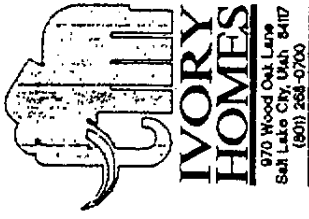


**LEFT SIDE ELEVATION**



**FRONT ELEVATION**  
SCALE: 3/4" = 1'-0"

BK 7985P62918



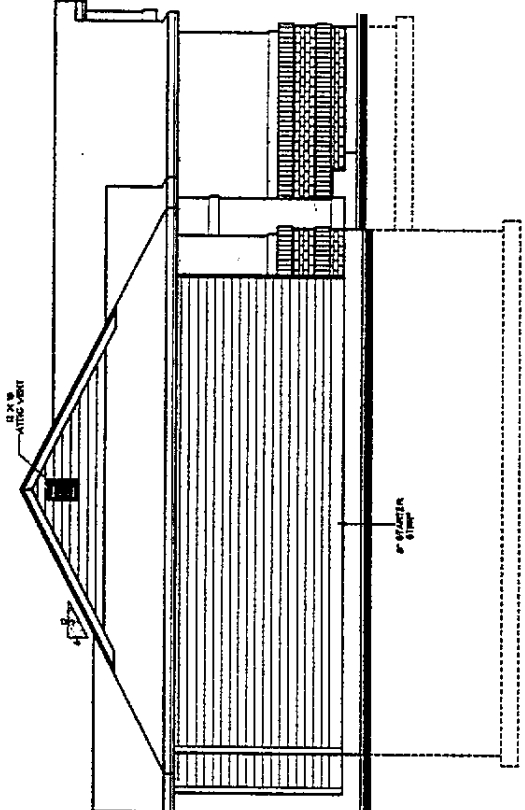
**KEYNOTES**

1. ALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.  
 2. ALL MATERIALS TO BE APPROVED BY ARCHITECT.  
 3. ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.  
 4. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 5. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 6. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 7. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 8. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 9. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 10. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

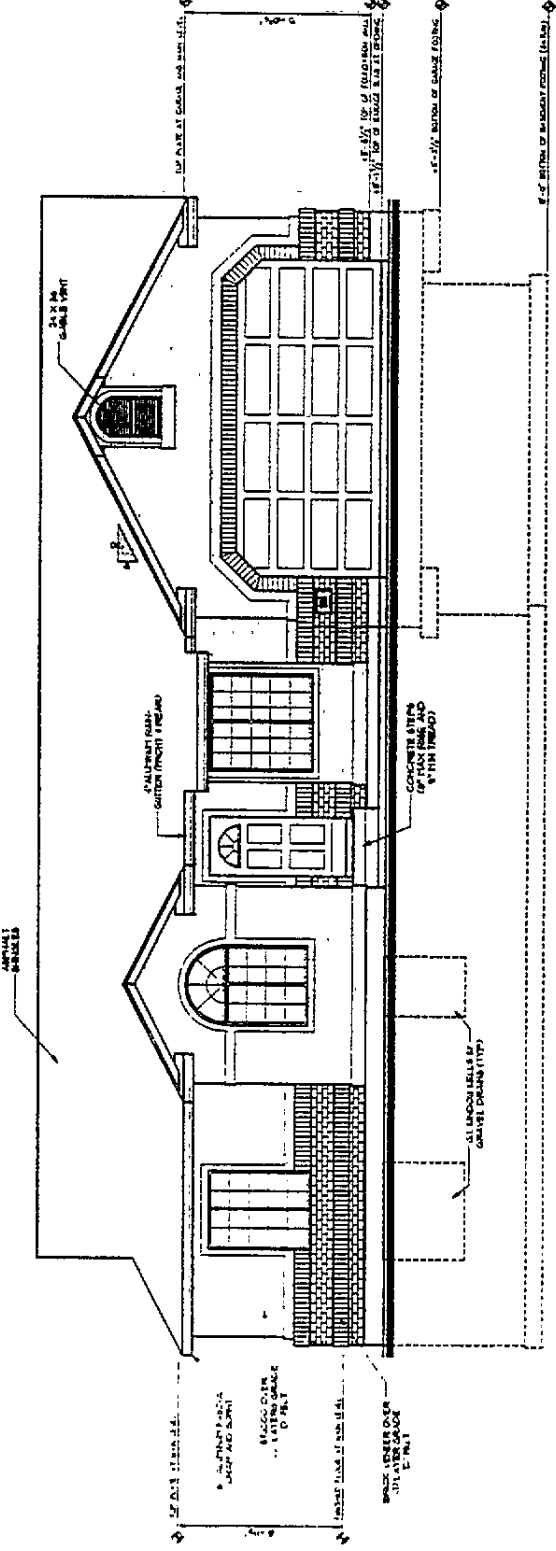
**Mapleton**  
 (Revised for 1997)

DATE	NO.	BY	REVISION
JAN 97	1	MM	NOTED
FEB 97	2	MM	REVISED
MAR 97	3	MM	REVISED
APR 97	4	MM	REVISED
MAY 97	5	MM	REVISED

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

BK 7 985 PG 29 | 9



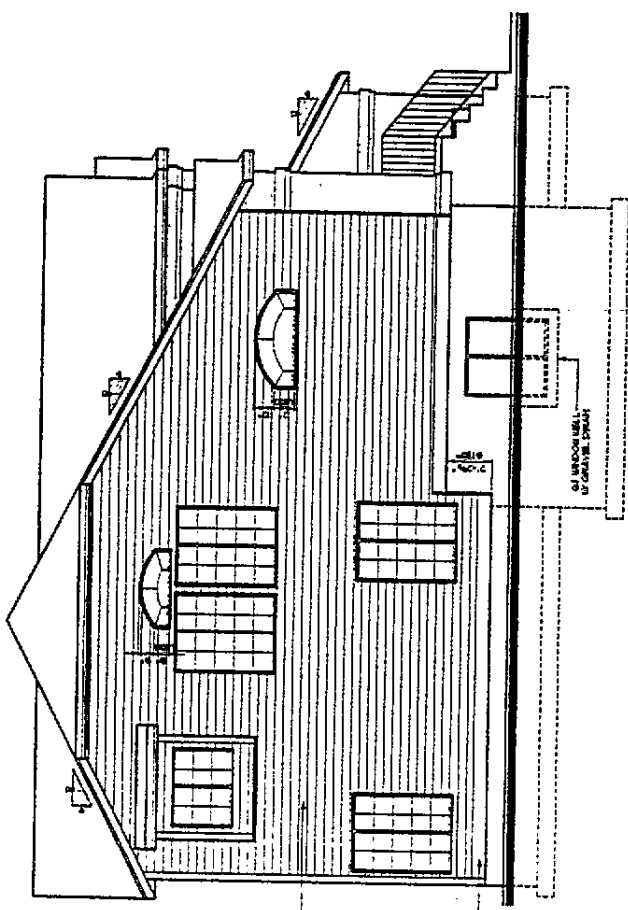
**IVORY HOMES**  
 970 Wood Oak Lane  
 Salt Lake City, Utah 84117  
 (801) 264-0700

**KEYNOTES**

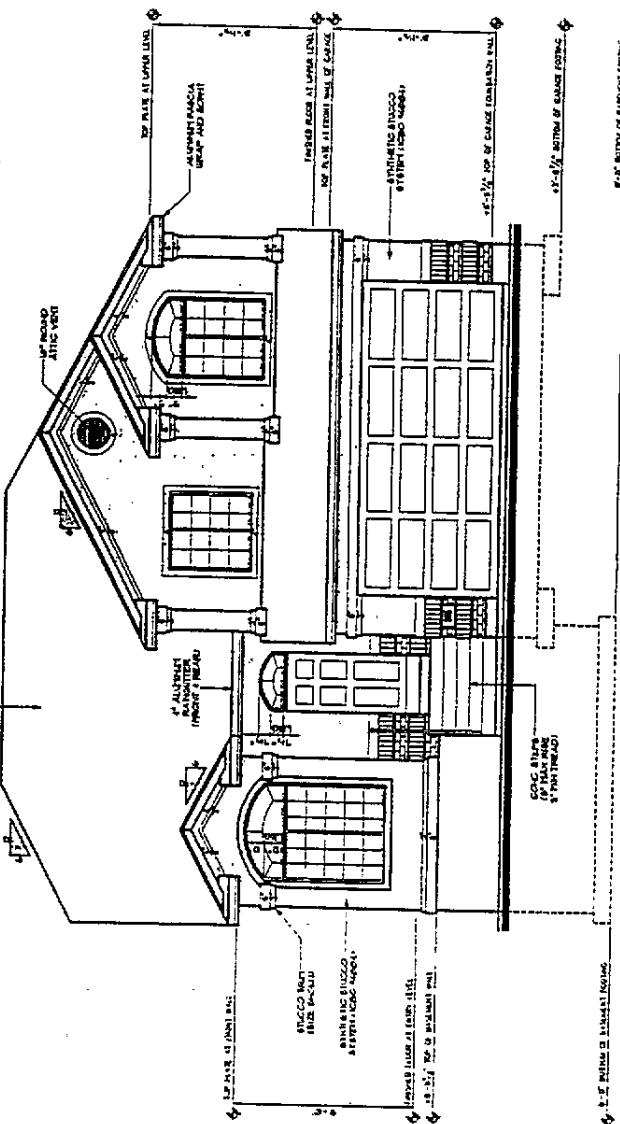
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.  
 3. ALL MATERIALS ARE TO BE OF THE BEST QUALITY AVAILABLE.  
 4. ALL WORK IS TO BE ACCORDING TO THE 2018 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
 5. ALL WORK IS TO BE ACCORDING TO THE 2018 INTERNATIONAL MECHANICAL, ELECTRICAL AND PLUMBING CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
 6. ALL WORK IS TO BE ACCORDING TO THE 2018 INTERNATIONAL FIRE AND SAFETY CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
 7. ALL WORK IS TO BE ACCORDING TO THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
 8. ALL WORK IS TO BE ACCORDING TO THE 2018 INTERNATIONAL BUILDING DEPARTMENT CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
 9. ALL WORK IS TO BE ACCORDING TO THE 2018 INTERNATIONAL CONSTRUCTION DOCUMENTS PRACTICE ACT AND ALL APPLICABLE LOCAL ORDINANCES.  
 10. ALL WORK IS TO BE ACCORDING TO THE 2018 INTERNATIONAL CONTRACT DOCUMENTS PRACTICE ACT AND ALL APPLICABLE LOCAL ORDINANCES.

**Bluerock**  
 (House Plan)

DATE	NO.	BY	CHKD.	DATE	NO.
10/15/2024	1	J. HARRIS	J. HARRIS	10/15/2024	1
REVISED	BY	DATE	NO.	BY	DATE
SHEET NO.			OF 10 SHEETS		
5					

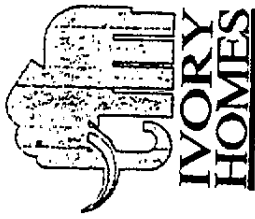


**LEFT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

BK 7 9 8 5 P G 2 9 2 0



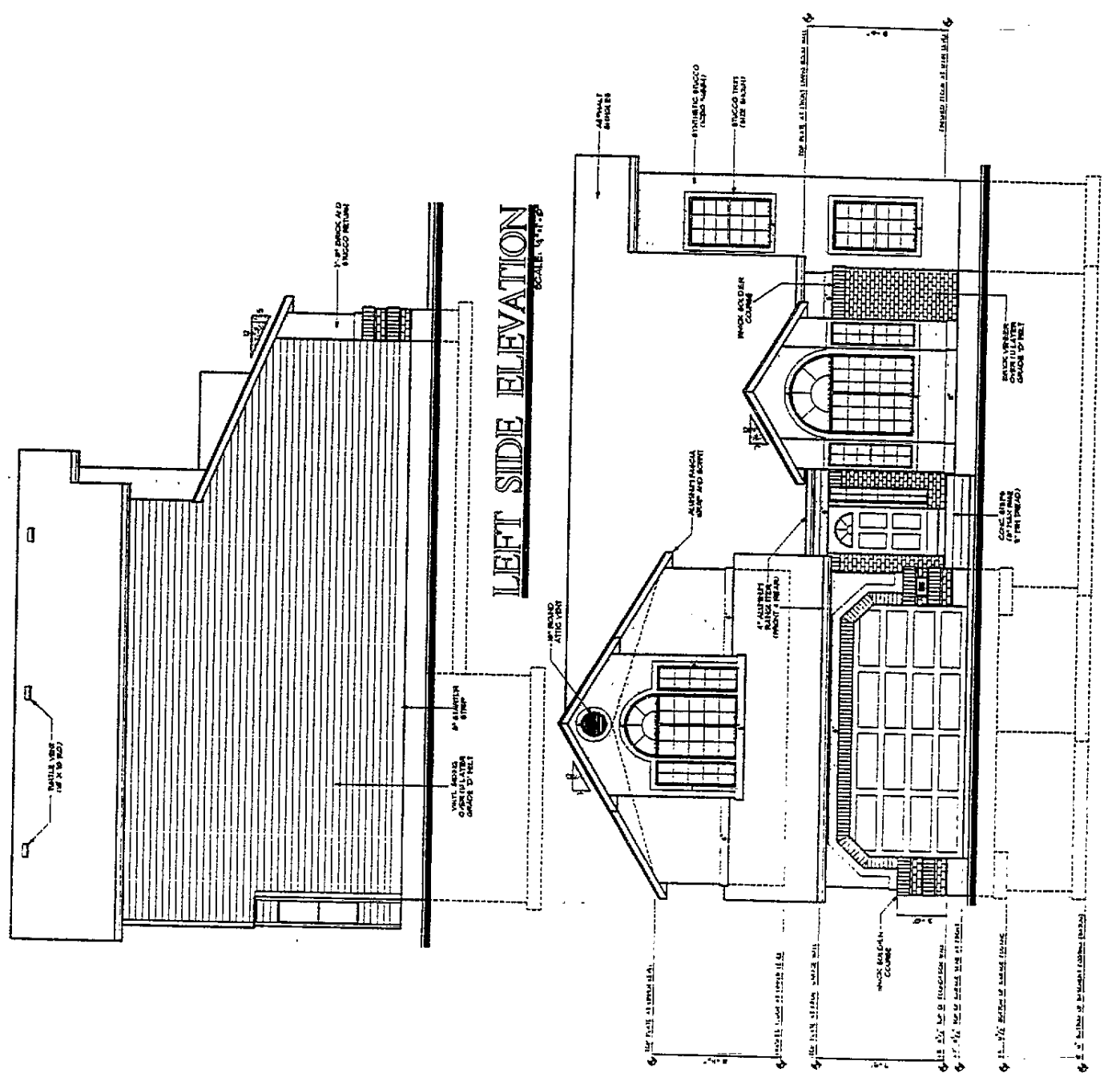
**IVORY HOMES**  
 970 Wood Oak Lane  
 544 Lake City, Utah 84117  
 (801) 268-0700

**KEYNOTES**

KEYNOTES: See notes on drawings for details. All work to be done in accordance with the specifications and standards of the International Building Code, 2003 Edition, and the International Residential Code, 2003 Edition, as applicable. All materials and workmanship shall be in accordance with the specifications and standards of the International Building Code, 2003 Edition, and the International Residential Code, 2003 Edition, as applicable.

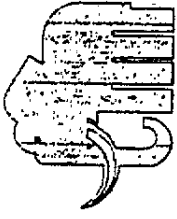
**Now Haven 36**  
 (Master Plan)

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BK 7985 PG 2921





**IVORY  
HOMES**

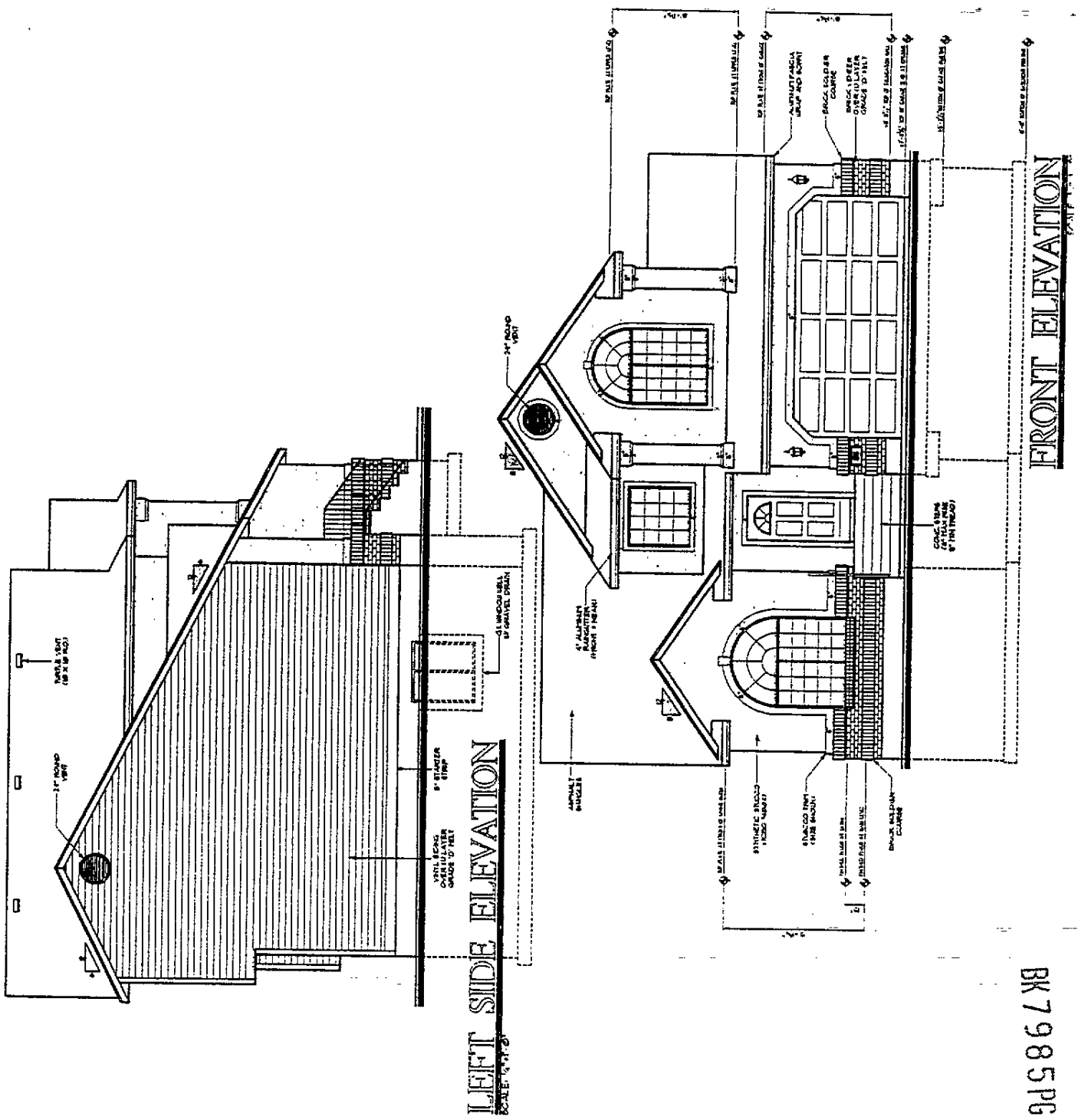
970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 268-0700

**KEYNOTES**

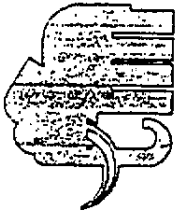
Approved for construction by the City of Salt Lake County, Utah. All work shall conform to the City of Salt Lake County Building Code and all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable codes and regulations. The contractor shall also be responsible for obtaining all necessary insurance and bonding. The contractor shall also be responsible for obtaining all necessary utility connections and for compliance with all applicable codes and regulations. The contractor shall also be responsible for obtaining all necessary utility connections and for compliance with all applicable codes and regulations.

**Onkridge**  
(House Plan)

NO. 6	DATE 11/11/00
BY [Signature]	SCALE 1/8" = 1'-0"
CHECKED [Signature]	PROJECT NO. 0000000000
DESIGNED [Signature]	NO. OF SHEETS 6
DATE 11/11/00	BY [Signature]
NO. OF SHEETS 6	PROJECT NO. 0000000000
NO. OF SHEETS 6	PROJECT NO. 0000000000



BK 7985 PG 2923



**IVORY HOMES**

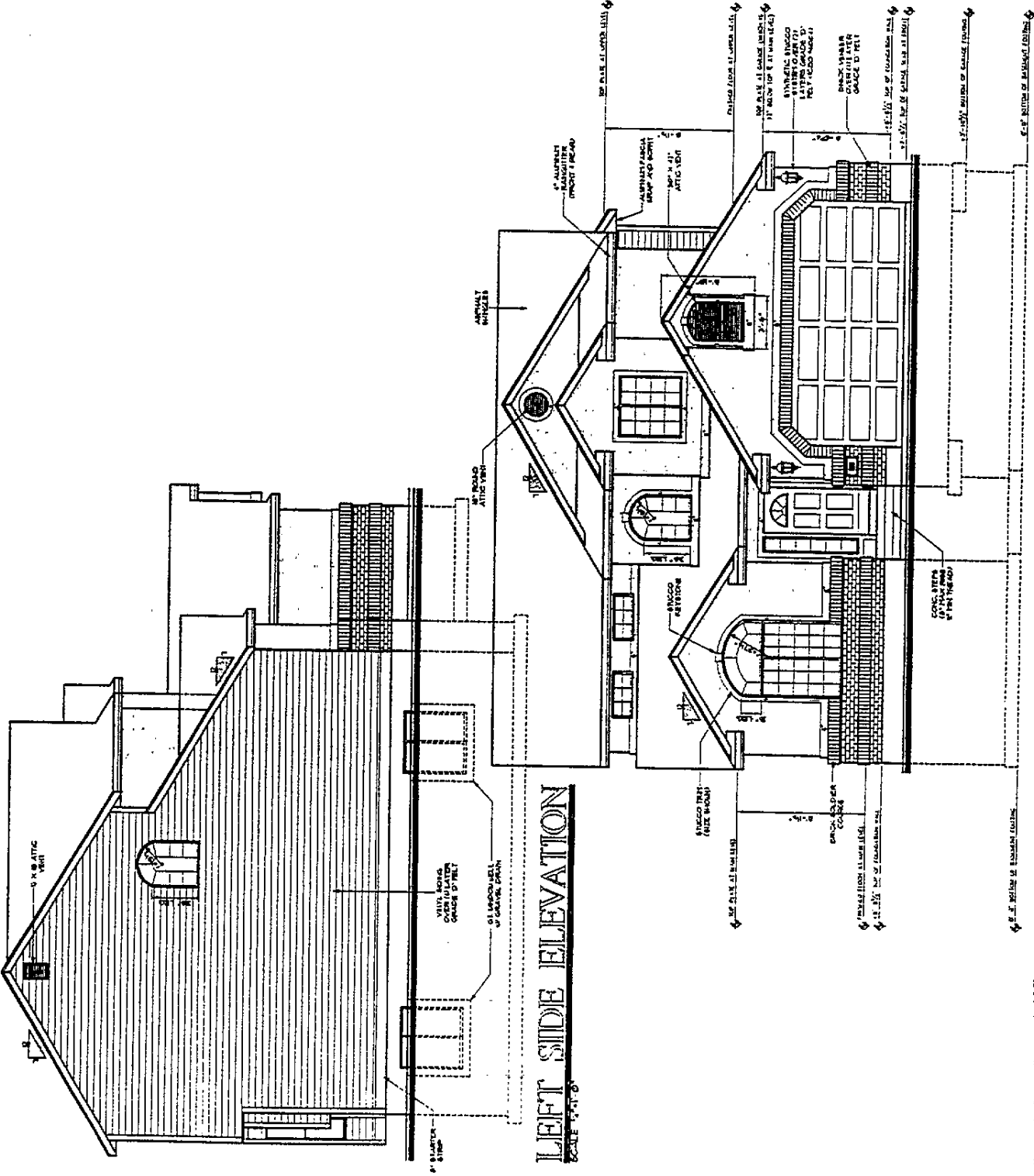
970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 288-0700

**KEYNOTES**

IF THERE ARE ANY NOTES ON THESE SHEETS, THEY SHOULD BE RECORDED IN THE NOTES SECTION OF THE PROJECT MANUAL. SEE ALSO THE PROJECT MANUAL FOR A LIST OF NOTES TO BE RECORDED IN THE PROJECT MANUAL.

**Revisions**  
(Marked Plans)

No.	Date	By	Checked	Notes
1				
2				
3				
4				
5				
6				

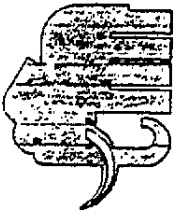


**FRONT ELEVATION**

**LEFT SIDE ELEVATION**

BK 7985 PG 2924





**IVORY HOMES**

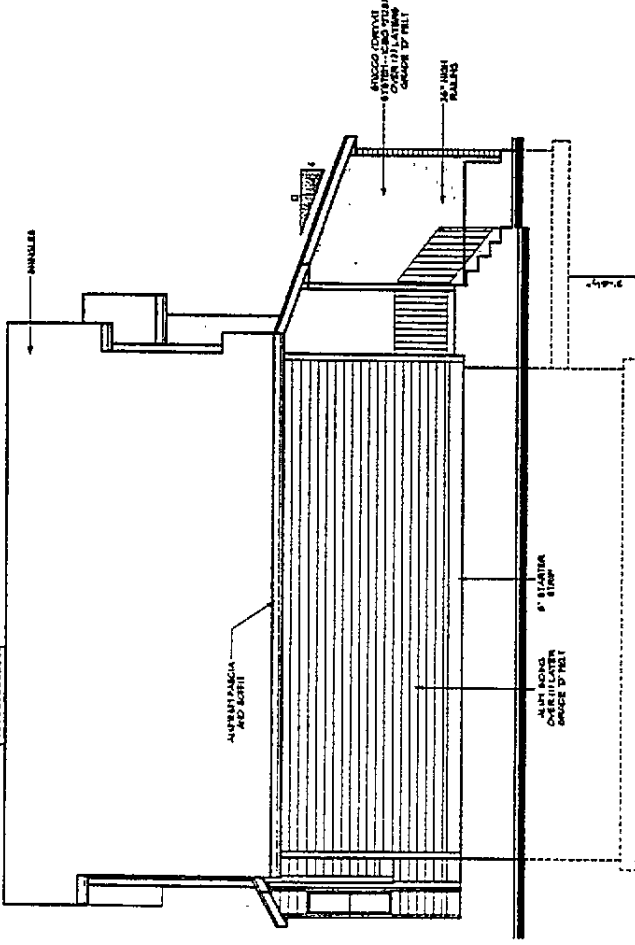
970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 268-0700

**KEYNOTES**

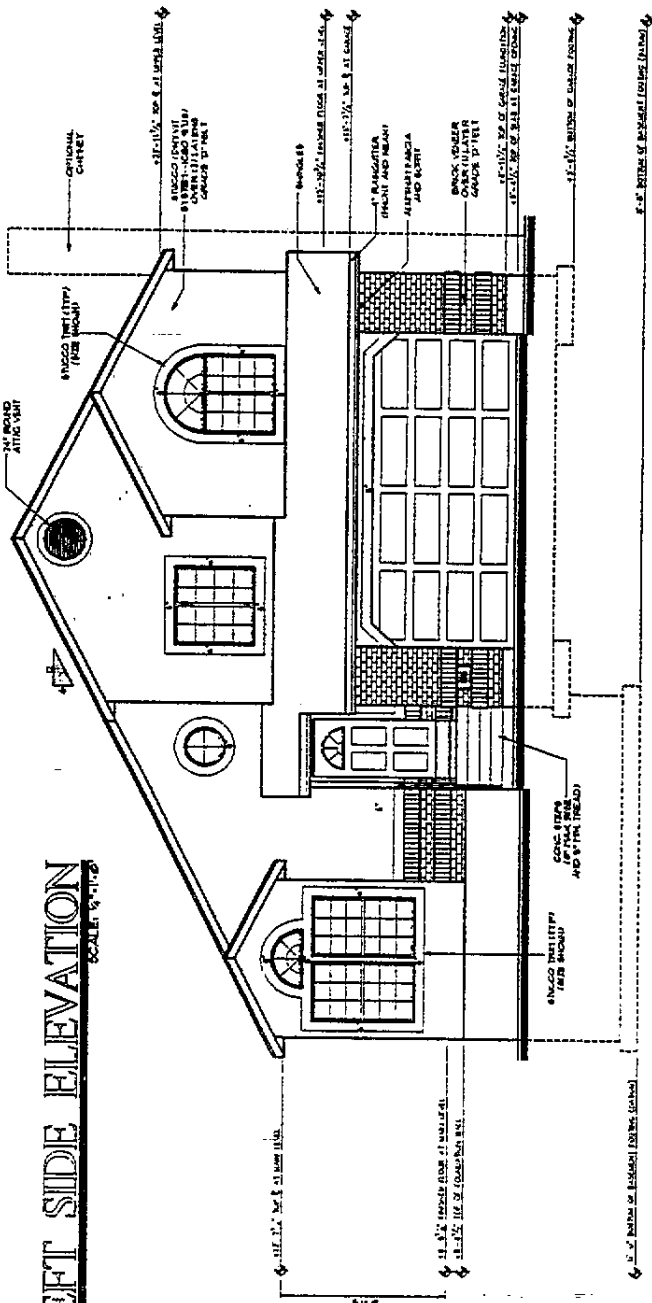
EXPLANATION: Notes in this section apply to all drawings unless otherwise specified. Notes in this section apply to all drawings unless otherwise specified.

**Shoring**  
(Where Placed)

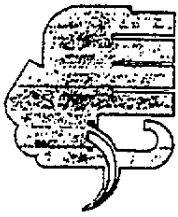
NO.	DATE	BY	REVISIONS
1	APRIL 24	...	...
2	MAY 10	...	...
3	JULY 10	...	...
4	AUG 10	...	...
5	...	...	...



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**IVORY HOMES**

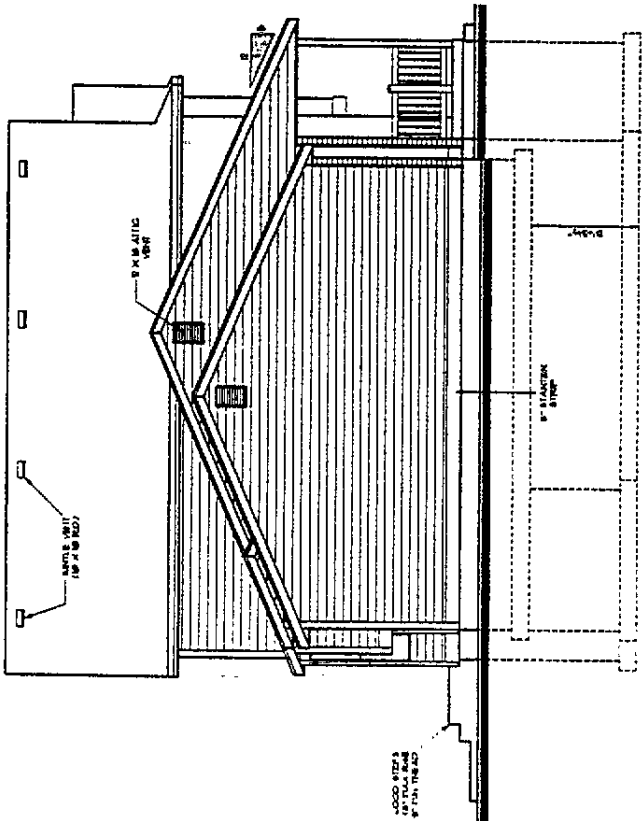
970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 266-0700

**KEYNOTES**

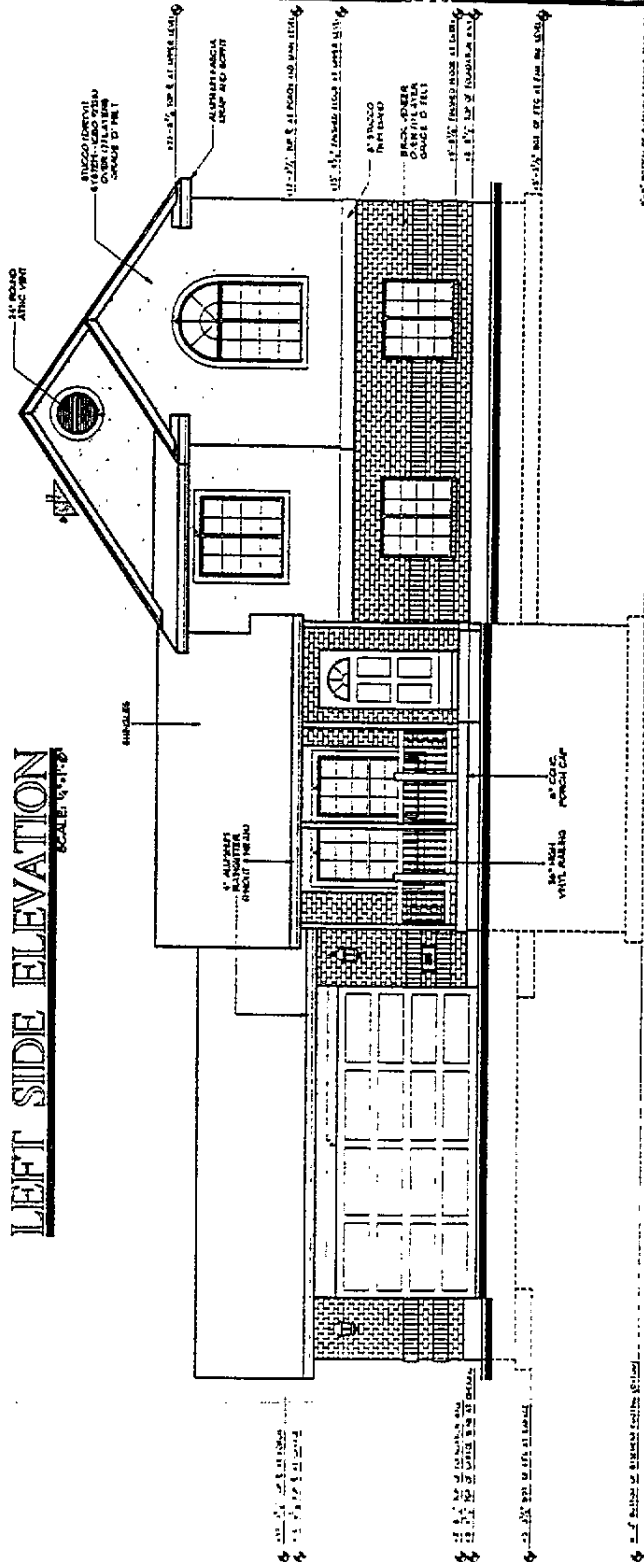
1. ALL FINISHES TO BE AS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
2. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.  
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).  
4. ALL ROOFING SHALL BE AS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
5. ALL WINDOWS AND DOORS SHALL BE AS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
6. ALL EXTERIOR WALLS SHALL BE FINISHED WITH THE MATERIALS AND METHODS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
7. ALL EXTERIOR FLOORS SHALL BE FINISHED WITH THE MATERIALS AND METHODS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
8. ALL EXTERIOR LIGHTING SHALL BE AS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
9. ALL EXTERIOR PAINT SHALL BE AS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.  
10. ALL EXTERIOR TRIM SHALL BE AS SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE NOTED.

**Stratford**  
(House Plan)

NO.	DATE	BY	REVISION
1	10/10/20	JL	ISSUED FOR PERMITS
2	11/10/20	JL	REVISED PER COMMENTS
3	12/10/20	JL	REVISED PER COMMENTS
4	01/10/21	JL	REVISED PER COMMENTS
5	02/10/21	JL	REVISED PER COMMENTS

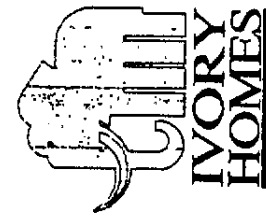


**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

BK 7985 PG 2926



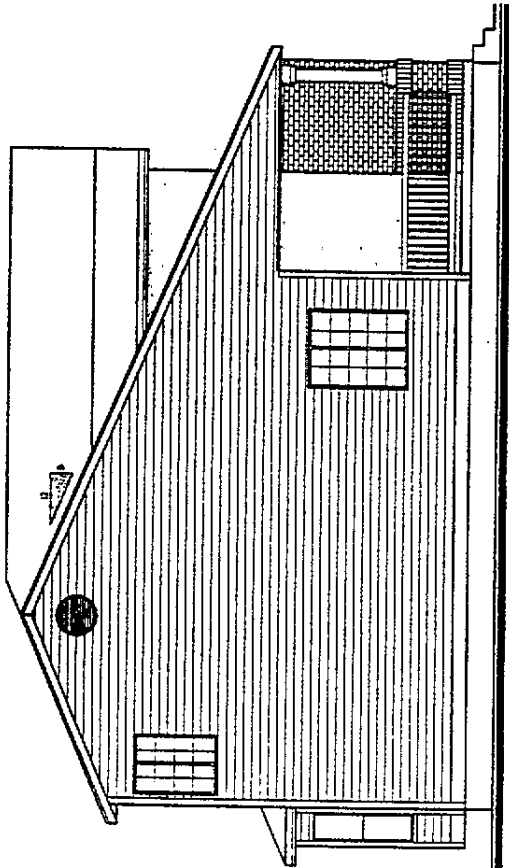
**IVORY HOMES**  
 970 Wood Oak Lane  
 Salt Lake City, Utah 84117  
 (801) 268-0700

**KEYNOTES**

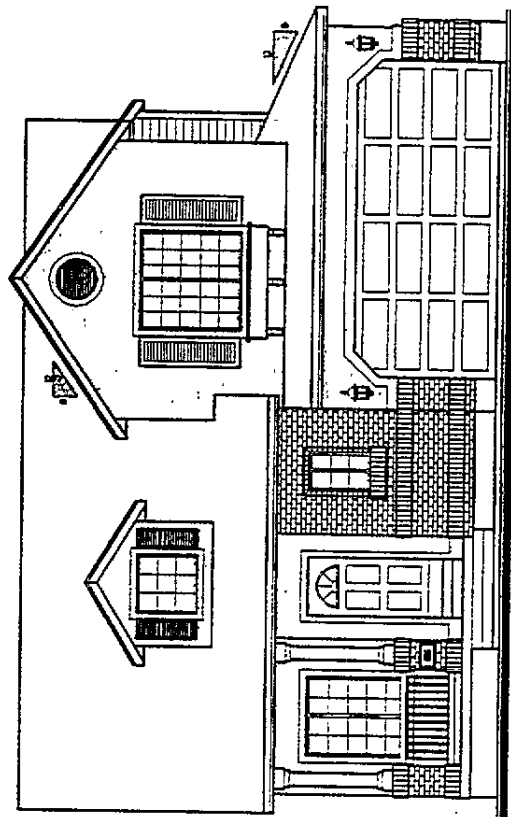
EXPLANATION OF KEYNOTES: All materials to be used in this plan are typical, unless otherwise noted. All materials are to be installed in accordance with the manufacturer's instructions. All materials are to be installed in accordance with the manufacturer's instructions.

**Sunset**  
 (Rear Elevation)

NO. OF SHEETS	1
TOTAL SHEETS	6
DATE	
BY	
CHECKED BY	
APPROVED BY	
SCALE	



**LEFT SIDE ELEVATION**  
 SCALE: 1/4"=1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"



# IVORY HOMES

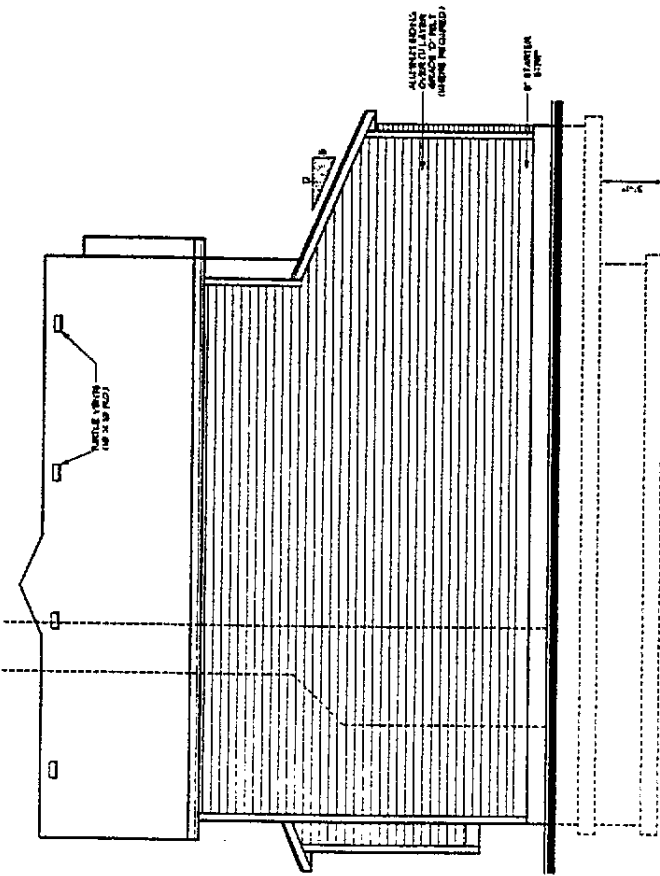
970 Wood Oak Lane  
San Lake City, Utah 84117  
(801) 266-0700

## KEYNOTES

1	ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
2	1" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
3	2" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
4	3" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
5	4" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
6	5" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
7	6" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
8	7" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
9	8" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
10	9" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
11	10" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
12	11" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
13	12" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
14	13" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
15	14" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
16	15" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
17	16" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
18	17" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
19	18" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
20	19" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
21	20" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
22	21" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
23	22" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
24	23" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
25	24" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
26	25" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
27	26" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
28	27" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
29	28" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
30	29" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
31	30" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
32	31" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
33	32" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
34	33" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
35	34" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
36	35" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
37	36" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
38	37" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
39	38" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
40	39" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
41	40" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
42	41" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
43	42" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
44	43" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
45	44" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
46	45" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
47	46" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
48	47" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
49	48" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)
50	49" ALUMINUM FINISH OVER 3/4" FIBER GLASS INSULATION (WHERE REQUIRED)

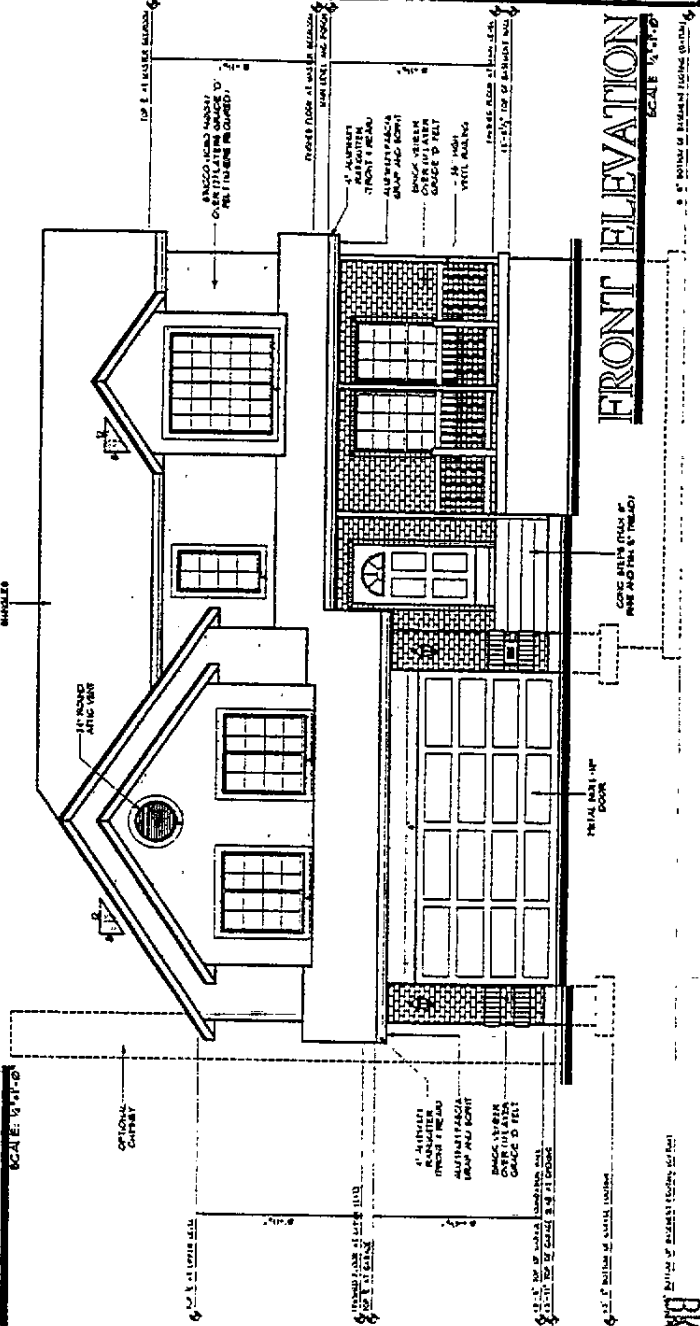
**Westchester**  
(Shower Plan)

DATE: 07/31/12  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 PROJECT NO: 12-001-01  
 SHEET NO: 6  
 OF 11



### LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



### FRONT ELEVATION

SCALE: 1/4" = 1'-0"



**IVORY  
HOMES**  
970 Wood Oak Lane  
8th Lake City, Utah 84117  
(801) 268-0700

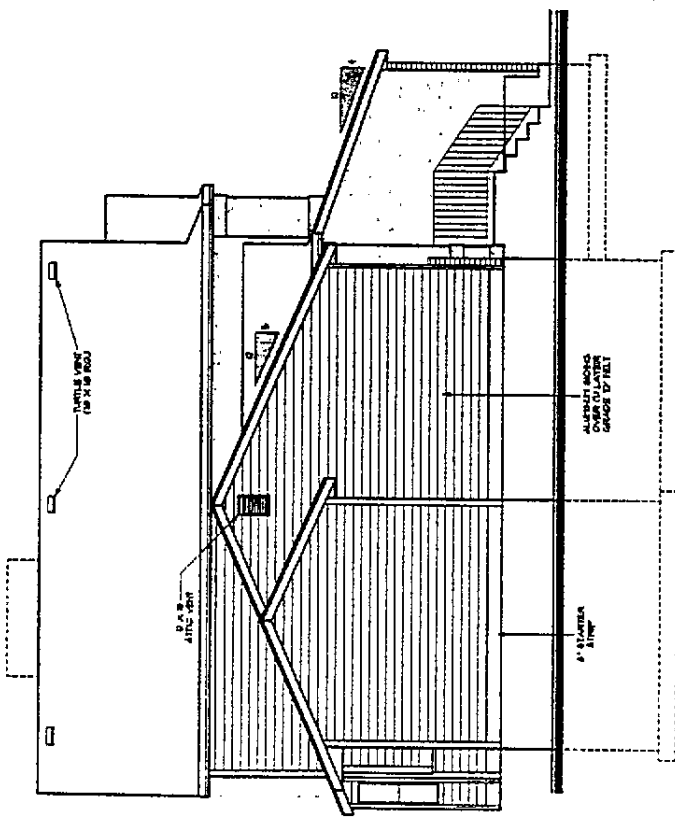
**KEYNOTES**

KEYNOTES

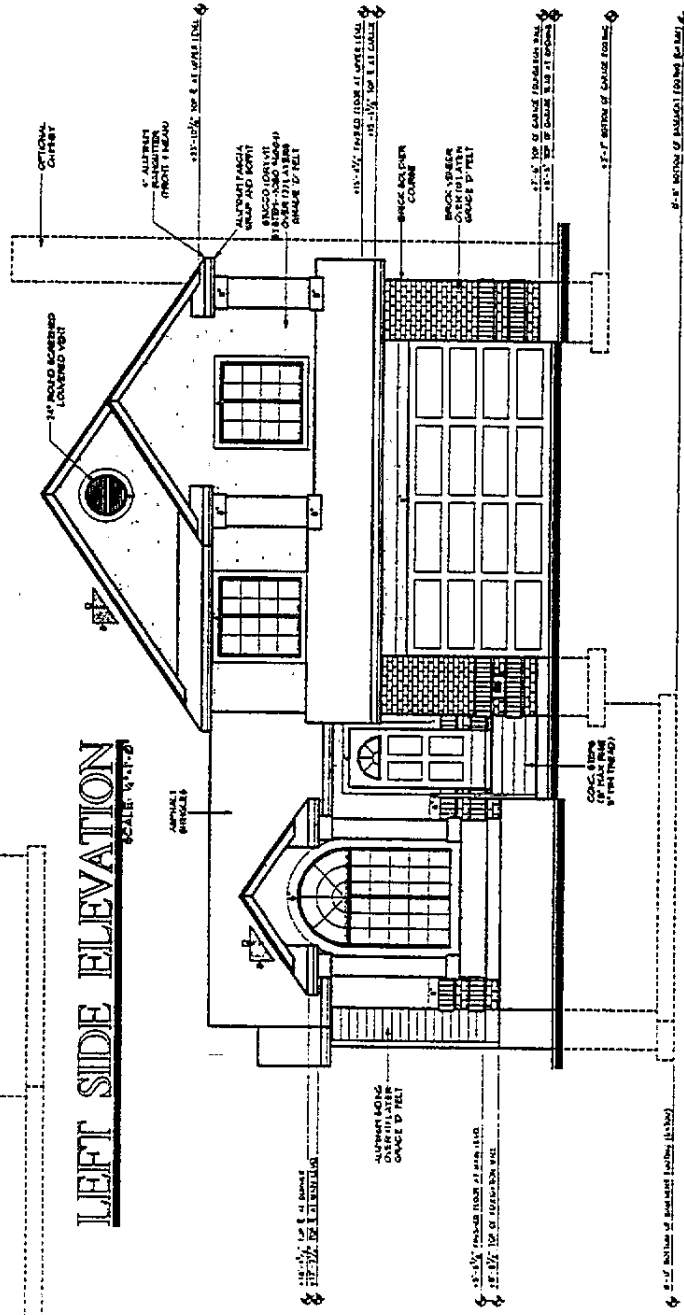
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**Window**  
(Window Plans)

NO.	NOV. 10
DATE	NOV. 10
BY	NOV. 10
CHKD BY	NOV. 10
REVISED	NOV. 10
NO. OF SHEETS	5
TOTAL NO. OF SHEETS	10

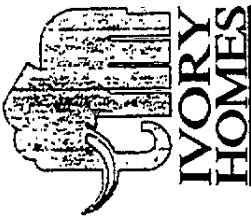


**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

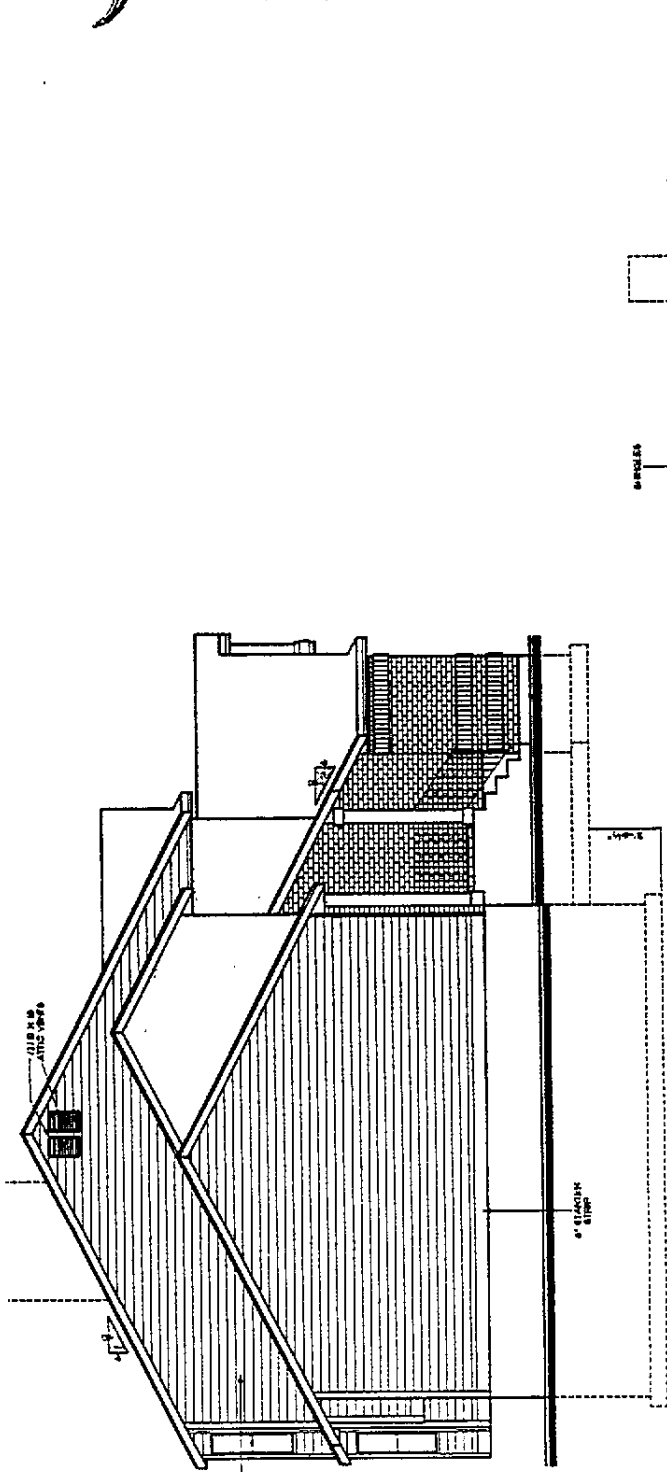
BK 7 985 PG 2 929



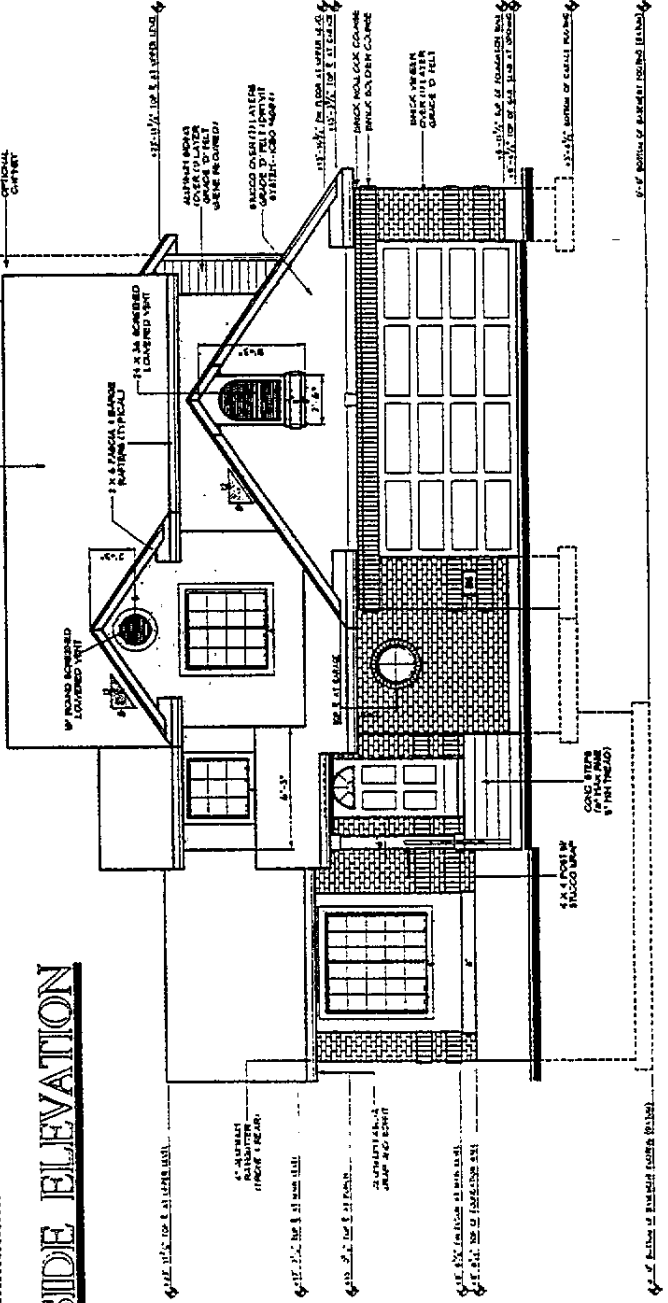
970 Wood Oak Lane  
Salt Lake City, Utah 84117  
(801) 298-0700

**KEYNOTES**

DATE	NO.	BY	REVISION
05/26/98	1	WJ	ISSUED
08/25/98	2	WJ	REVISED
08/25/98	3	WJ	REVISED
08/25/98	4	WJ	REVISED
08/25/98	5	WJ	REVISED



**LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"



**FRONT ELEVATION**  
SCALE 1/4"=1'-0"

05/26/98 08:25 AM \*\*\*NO FEE\*\*  
69722241  
NANCY WORKMAN  
RECORDER, SALT LAKE COUNTY, UTAH  
CITY OF DRAPER  
PO BOX 1020  
DRAPER, UT 84020  
REC BY: V ASHBY  
DEPUTY - WI

BK 7985 PG 2930